



**CITY OF BOULDER
LANDMARKS BOARD MEETING**

DATE: Wednesday, January 6, 2016

TIME: 6:00 pm

PLACE: 1777 Broadway, Municipal Building, City Council Chambers

1. Call to Order
2. Approval of minutes from the December 2, 2015 Landmark Board Meeting
3. Public Participation for Items not on the Agenda
4. Discussion of Landmark Alteration, Demolition Applications issued and pending
 - Statistical Report
5. Public Hearings
 - A. Public hearing and consideration of a Landmark Alteration Certificate application to demolish an existing house built in 1957 and, in its place, construct a new 2,384 sq. ft. house at 2110 4th Street in the Mapleton Hill Historic District, per section 9-11-18 of the Boulder Revised Code (HIS2015-00254). Owner / Applicant: Katrina Anastas / Angela Feddersen
6. Matters from the Landmarks Board, Planning Department, and City Attorney
 - A. Update Memo
 - B. Subcommittee Update
 - 1) Design Guidelines and Code Revisions
 - 2) Outreach and Engagement
 - 3) Potential Resources
7. Debrief Meeting/Calendar Check
8. Adjournment

For more information contact James Hewat at hewatj@bouldercolorado.gov or (303) 441-3207.

You can also access this agenda via the website at:

<https://bouldercolorado.gov/historic-preservation>

then select "Next Landmarks Board Meeting".

PUBLIC HEARING PROCEDURES

Board members who will be present are:

Kate Remley, Acting Chair
Briana Butler
George Clements
Fran Sheets
Deborah Yin

John Gerstle **Planning Board representative without a vote*

The Landmarks Board is constituted under the Landmarks Presentation Ordinance (Ordinance No. 4721; Title 9, Chapter 11, Boulder Revised Code, 1981) to designate landmarks and historic districts, and to review and approve applications for Landmark Alteration Certificates on such buildings or in such districts.

Public hearing items will be conducted in the following manner:

1. Board members will explain all ex-parte contacts they may have had regarding the item.*
2. Those who wish to address the issue (including the applicant, staff members and public) are sworn in.
3. A historic preservation staff person will present a recommendation to the board.
4. Board members will ask any questions to historic preservation staff.
5. The applicant will have a maximum of 10 minutes to make a presentation or comments to the board.
6. The public hearing provides any member of the public three minutes within which to make comments and ask questions of the applicant, staff and board members.
7. After the public hearing is closed, there is discussion by board members, during which the chair of the meeting may permit board questions to and answers from the staff, the applicant, or the public.
8. Board members will vote on the matter; an affirmative vote of at least three members of the board is required for approval. The motion will state: *Findings and Conclusions*.

* Ex-parte contacts are communications regarding the item under consideration that a board member may have had with someone prior to the meeting.

All City of Boulder board meetings are digitally recorded and are available from the Central Records office at (303) 441-3043. A full audio transcript of the Landmarks Board meeting becomes available on the city of Boulder website approximately ten days after a meeting. Action minutes are also prepared by a staff person and are available approximately one month after a meeting.

**CITY OF BOULDER
LANDMARKS BOARD**

December 2, 2015

1777 Broadway Street, Municipal Building, Council Chambers Room

6:00 p.m.

The following are the action minutes of the December 2, 2015 City of Boulder Landmarks Board meeting. A digital recording and a permanent set of these minutes (maintained for a period of seven years) are retained in Central Records (telephone: 303-441-3043). You may also listen to the recording on-line at: www.boulderplandevlop.net.

BOARD MEMBERS:

George Clements, Interim Chair

Briana Butler

Fran Sheets

Deborah Yin

*John Gerstle **Planning Board representative without a vote*

Kate Remley, Chair (absent)

STAFF MEMBERS:

Debra Kalish, Senior Assistant City Attorney

James Hewat, Senior Historic Preservation Planner

Marcy Cameron, Historic Preservation Planner

Lesli Ellis, Comprehensive Planning Manager

1. CALL TO ORDER

The roll having been called, Interim Chair **G. Clements** declared a quorum at 6:02 p.m. and the following business was conducted.

2. APPROVAL OF MINUTES

On a motion by **G. Clements**, everyone in favor of approval, the Landmarks Board approved (4-0) the minutes as amended of the November 4, 2015 board meeting.

3. PUBLIC PARTICIPATION FOR ITEMS NOT ON THE AGENDA

Karl Anuta, 4840 Thunderbird Drive, former Landmarks Board member, stated that he went to a recent City Council Meeting to request clarification on direction to the Landmarks Board regarding the Glen Huntington Bandshell, quoting, "*Would the Landmarks Board, had all the information been available, have issued or denied the Landmark Alteration Certificate?*" He requested the Landmarks Board postpone the discussion until a later date in order to review material they were planning to present.

Dan Corson, 757 8th Street, former Landmarks Board member, liaison to Planning Board when the Bandshell was landmarked. He stated that the designation included the seating in the environmental significance. Mr. Corson gave an overview of Saco DeBoer and his influence in Boulder's city planning.

Gail Gray, 1123 Spruce Street, President of Historic Boulder, spoke of Boulder's historic preservation legacy and concern that the landmarked Bandshell is under pressure of development. She stated that alteration is putting the entire historic program at risk. Ms. Gray encouraged the City to follow its own guidelines, highlighting that altering this landmark will set a dangerous precedent. She noted that the lighting ceremony was a great event and showed that the Bandshell is not an anachronism.

Abby Daniels, 1123 Spruce Street, Executive Director of Historic Boulder, stated that Historic Boulder considers the benches to be a contributing feature of the landmarked site. She noted that while the ordinance does not call out the seats, the accompanying memo does call out the amphitheater seating. Ms. Daniels also mentioned that the seats have social and environmental significance, along with the structure, stone pathways, and retaining walls. She added that the amphitheatre seating was omitted from the Landmarks Board staff memorandum dated October 7, 2015.

Kathryn Barth, 2940 20th Street, distributed binders with information about the Bandshell and stated that complete information is very important in making a decision. She described the 1995 acoustical report and structural report evolved into the Landmarks Board and City Council meetings.

4. DISCUSSION OF LANDMARK ALTERATION AND DEMOLITION APPLICATIONS ISSUED AND PENDING

- Statistical Report

5. PUBLIC HEARINGS

A. Public hearing and consideration of a Landmark Alteration Certificate application to demolish an existing house built in 1957 and, in its place, construct a new 2,500 sq. ft. house at 2110 4th Street in the Mapleton Hill Historic District, per section 9-11-18 of the Boulder Revised Code (HIS2015-00254). Applicant / Owner: Angela Feddersen / Katrina Anastas

The case was withdrawn by the applicant prior to the hearing; there was no public hearing.

6. MATTERS FROM THE LANDMARKS BOARD, PLANNING DEPARTMENT AND CITY ATTORNEY

- A. Update Memo
- B. Subcommittee Update
 - 1) Demolition Ordinance
 - 2) Outreach
 - 3) Potential Historic Districts and Landmarks
 - 4) Downtown Urban Design Guidelines

Kalani Paho, Urban Designer, presented an overview of the recent revisions.

- 5) Band Shell

D. Kalish clarified the direction from City Council is to consider the two letters from History Colorado and determine whether that information would have impacted their decision.

J. Hewat gave an overview of the review of City Council's direction regarding the Landmarks Board's Oct. 7, 2015 conditional approval for landscaping changes to the Band Shell site. City Council asked the Landmarks Board for their consideration of letters sent by Historic Colorado regarding the eligibility of the Band Shell for listing in the National Register and whether the information would have changed their votes on Oct. 7.

After discussion, the Board took a poll "*Would having this information have changed your vote?*"

B. Butler – would not have changed her vote

G. Clements – would not have changed his vote

F. Sheets – does not know if she would change her vote

D. Yin – would not have changed her vote

Note that **K. Remely** was not present at this meeting, nor for this poll.

D. Yin proposed that the City Council review the information in the binder, determine if there is a reason to re-review the application.

We will transmit this to City Council.

7. DEBRIEF MEETING/CALENDAR CHECK

8. ADJOURNMENT

The meeting adjourned at 7:30 p.m.

Approved on _____, 2015

Respectfully submitted,

Chairperson



CITY OF BOULDER
Planning and Development Services

1739 Broadway, Third Floor • P.O. Box 791, Boulder, CO 80306-0791
phone 303-441-1880 • fax 303-441-4241 • web boulderplandevop.net

Historic Preservation Reviews
Between November 21, 2015 and December 22, 2015

This report shows all historic preservation cases on which the application was approved, denied or withdrawn within the stated date range. This is based on the last action and the date shown on the main screen of the case.

Landmark Alteration Certificate Reviews

Case Count: 15

HIS2014-00174	1507 PINE ST	Individual Landmark
Rear addition of elevator tower and exterior stair, construction of 4-car garage on alley and restoration of historic facade based upon historic photographs, as detailed on plans and specifications dated 12.08.2015 & 12.10.2015. Details of brick and other materials and finished will be submitted to staff prior to issuance of a building permit.		
<u>Sequence #:</u>	107	<u>Decision:</u> Application Approved
<u>Case Manager:</u>	James Hewat	<u>Date:</u> 12/16/2015
		<u>By:</u> LPAB
HIS2015-00299	2045 BROADWAY	Downtown
Restoration of storefront based upon historic photographs and schemes reviewed by Ldrc - details to be reviewed by staff prior to issuance of a building permit.		
<u>Sequence #:</u>	163	<u>Decision:</u> Application Approved
<u>Case Manager:</u>	James Hewat	<u>Date:</u> 12/14/2015
		<u>By:</u> LDRC
HIS2015-00304	198 MORNING GLORY DR	Chautauqua Park
Installation of random ashlar paving over existing concrete apron at sides and front of Chautauqua Auditorium, as detailed on landmark alteration certificate application dated 11.05.2015.		
<u>Sequence #:</u>	165	<u>Decision:</u> Application Approved
<u>Case Manager:</u>	James Hewat	<u>Date:</u> 12/14/2015
		<u>By:</u> LDRC
HIS2015-00305	1048 PEARL ST	Downtown
Changes to the storefront elevations and installation of awnings and patio railing for Eureka! restaurant as shown on drawings dated 12.01.2015. signage to be approved under separate LAC- sign package pending.		
<u>Sequence #:</u>	166	<u>Decision:</u> Application Approved
<u>Case Manager:</u>	James Hewat	<u>Date:</u> 12/02/2015
		<u>By:</u> LDRC
HIS2015-00317	1545 PEARL ST	Downtown
Installation of non-illuminated wall mounted and blade signs as detailed on landmark alteration certificate photo-simulations dated 12.16.2015.		
<u>Sequence #:</u>	172	<u>Decision:</u> Application Approved
<u>Case Manager:</u>	James Hewat	<u>Date:</u> 12/16/2015
		<u>By:</u> LDRC
HIS2015-00318	1545 PEARL ST	Downtown
Installation of non-illuminated wall mounted and blade signs as detailed on landmark alteration certificate photo-simulations dated 12.16.2015.		

Sequence #: 173Case Manager: James HewatDecision: Application ApprovedDate: 12/16/2015By: Staff**HIS2015-00326 615 HIGHLAND AV****Mapleton Hill**

Installation of CMU permeable pavers at rear parking area and paving of concrete pad for AC unit at side of house as detailed on plan dated 11.25.2015 and discussed by Ldrc at meeting.

Sequence #: 178Case Manager: James HewatDecision: Application ApprovedDate: 11/25/2015By: LDRC**HIS2015-00328 900 BASELINE RD****Chautauqua Park**

Reconstruction of stair from Chautauqua parking lot to trails at the Ranger Cottage with like materials to match existing as detailed on landmark alteration certificate application dated 11.10.2015.

Sequence #: 180Case Manager: James HewatDecision: Application ApprovedDate: 11/25/2015By: Staff**HIS2015-00329 809 PINE ST****Mapleton Hill**

Repairs to existing pitched roof at valleys, gables, and steeple to stop leaks, and replace roofing porch flat roof area with white coated EPDM as detailed on landmark alteration certificate application dated 11.20.2015.

Sequence #: 181Case Manager: James HewatDecision: Application ApprovedDate: 11/23/2015By: Staff**HIS2015-00330 1007 PEARL ST****Downtown**

Replacement of rooftop HVAC units with like units in same locations as existing as detailed on landmark alteration certificate application dated 12.01.2015.

Sequence #: 182Case Manager: James HewatDecision: Application ApprovedDate: 12/01/2015By: Staff**HIS2015-00334 2233 4TH ST****Mapleton Hill**

Re-roof portion of house that was not covered in HIS2015-00275. Replacement shingles to be GAF Timberline, Armorshield dimensional shingles, weathered wood color as detailed on landmark alteration certificate application dated 11.09.2015.

Sequence #: 184Case Manager: James HewatDecision: Application ApprovedDate: 12/08/2015By: Staff**HIS2015-00336 330 MAPLETON AV****Mapleton Hill**

Reroof flat garage roof with GacoFlex (moisture seal) on existing membrane as detailed on landmark alteration certificate application dated 11/20/2015.

Sequence #: 186Case Manager: James HewatDecision: Application ApprovedDate: 12/14/2015By: Staff**HIS2015-00343 1805 WALNUT ST****Chamberlain**

Re-roof house with Tamko 30 year "Rustic Slate" asphalt shingle as detailed on landmark alteration certificate application dated 12.07.2015.

Sequence #: 189Case Manager: James HewatDecision: Application ApprovedDate: 12/14/2015By: Staff

HIS2015-00345 745 HIGHLAND AV**Mapleton Hill**

Re-roof house and garage with GAF Timberline HD shingles "weathered wood" as detailed on landmark alteration certificate application dated 12.02.2015.

Sequence #: 190
Case Manager: James Hewat

Decision: Application Approved
Date: 12/16/2015
By: Staff

HIS2015-00348 805 BOGGES CR**Chautauqua Park**

Construction of front porch in place of existing portico, reroofing non-contributing building, and resetting front flagstone path in concrete as detailed on LAC drawings dated 11.12.2015.

Sequence #: 191
Case Manager: James Hewat

Decision: Application Approved
Date: 12/16/2015
By: LDRC

Non-Designated Accessory Demolition Reviews**Case Count: 1****HIS2015-00339 2330 14TH ST****Not Landmarked**

Demolition of a wood frame garage at the south east corner of lot. Date of construction unknown.

Sequence #: 3
Case Manager: Marcy Cameron

Decision: Application Approved
Date: 12/17/2015
By: Staff

Non-Designated Post-1940 Demo/Off Site Relocation Reviews**Case Count: 11****HIS2015-00314 4405 CHIPPEWA DR****Not Landmarked**

Partial demolition (removal of a street facing wall) of a building constructed in 1960. See PMT2015-04144.

Sequence #: 86
Case Manager: Marcy Cameron

Decision: Application Approved
Date: 12/17/2015
By: Staff

HIS2015-00319 2110 COLUMBINE AV**Not Landmarked**

Full demolition of a detached garage constructed in 1954.

Sequence #: 87
Case Manager: Marcy Cameron

Decision: Application Approved
Date: 12/01/2015
By: Staff

HIS2015-00320 2110 COLUMBINE AV**Not Landmarked**

Partial demolition (removal of more than 50% of the roof) of a house constructed in 1954. Full demolition approved.

Sequence #: 88
Case Manager: Marcy Cameron

Decision: Application Approved
Date: 12/01/2015
By: Staff

HIS2015-00321 2250 VASSAR DR**Not Landmarked**

Partial demolition for the removal of rear additions and a portion of the roof and walls of a house constructed in 1964. Full demolition approved.

Sequence #: 89
Case Manager: Marcy Cameron

Decision: Application Approved
Date: 12/01/2015
By: Staff

HIS2015-00332 1385 CHERRYVALE RD**Not Landmarked**

Partial demolition of more than 50% of the roof structure on residence and outbuilding constructed in 1944. Full demolition approved.

Non-Designated Post-1940 Demo/Off Site Relocation Reviews**Case Count: 11**

Sequence #: 90 Decision: Application Approved
Case Manager: Marcy Cameron Date: 12/01/2015
By: Staff

HIS2015-00333 3875 CLOVERLEAF DR**Not Landmarked**

Partial demolition for alteration of street facing wall of house constructed in 1965.

Sequence #: 91 Decision: Application Approved
Case Manager: Marcy Cameron Date: 12/01/2015
By: Staff

HIS2015-00338 2111 NORWOOD AV**Not Landmarked**

Full demolition of a house constructed in 1963 and four accessory structures constructed post-1963.

Sequence #: 93 Decision: Application Approved
Case Manager: Marcy Cameron Date: 12/11/2015
By: Staff

HIS2015-00342 910 PLEASANT ST**Not Landmarked**

Partial demolition to remove and replace the roof of a garage constructed in c.1957.

Sequence #: 94 Decision: Application Approved
Case Manager: Marcy Cameron Date: 12/16/2015
By: Staff

HIS2015-00344 902 GRANT PL**Not Landmarked**

Partial demolition - removal of more than 50% of the roof of a building constructed in 1941.

Sequence #: 95 Decision: Application Approved
Case Manager: Marcy Cameron Date: 12/17/2015
By: Staff

HIS2015-00346 2735 6TH ST**Not Landmarked**

Full demolition of a building constructed in 1960. Garage to remain.

Sequence #: 96 Decision: Application Approved
Case Manager: Marcy Cameron Date: 12/16/2015
By: Staff

HIS2015-00347 225 MARTIN DR**Not Landmarked**

Full demolition of a building constructed in 1955.

Sequence #: 97 Decision: Application Approved
Case Manager: Marcy Cameron Date: 12/16/2015
By: Staff

Non-Designated Pre-1940 Demo/Off Site Relocation Reviews**Case Count: 1****HIS2015-00295 717 17TH ST****Not Landmarked**

Demolition of a single family one-story brick residence with one-car attached garage built in 1939. Accessory structure at south west corner of property to remain. Application referred by the LDRC to the full board for review; applications withdrawn.

Sequence #: 35 Decision: Application Withdrawn
Case Manager: Marcy Cameron Date: 12/09/2015
By: LDRC

Historic Preservation Reviews Summary

between 11/21/2015 and 12/22/2015

This summary shows all historic preservation cases on which the application was approved, denied or withdrawn within the stated date range. This is based on the last action and the date shown on the main screen of the case.

Landmark Alteration Certificate

Application Approved	15
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Non-Designated Accessory Demolition

Application Approved	1
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Non-Designated Post-1940 Demo/Off Site Relocation

Application Approved	11
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Non-Designated Pre-1940 Demo/Off Site Relocation

Application Withdrawn	1
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MEMORANDUM
January 6th, 2016

TO: Landmarks Board

FROM: Lesli Ellis, Comprehensive Planning Manager
David Gehr, Deputy City Attorney
James Hewat, Senior Historic Preservation Planner
Marcy Cameron, Historic Preservation Planner
Angela Smelker, Historic Preservation Intern

SUBJECT: Public hearing and consideration of a Landmark Alteration Certificate application to demolish an existing house built in 1957 and, in its place, construct a new 2,438 sq. ft. house at 2110 4th Street in the Mapleton Hill Historic District, per section 9-11-18 of the Boulder Revised Code (HIS2015-00254).

STATISTICS:

1. Site: 2110 4th St.
2. Zoning: RL-1 (Residential Low-1)
3. Owner: Katrina H. Anastas Revocable Trust
4. Applicant: Angela Fedderson, Elevate Architecture
5. Site Area: 6,718 sq. ft.
6. Existing House: 840 sq. ft. (approx.)
7. Proposed House: 2,384 sq. ft.
8. Existing Garage: 327 sq. ft.

STAFF RECOMMENDATION:

Staff recommends that the Landmarks Board adopt the following motion:

The Landmarks Board approves the demolition of the non-contributing house and the construction of the proposed 2,438 sq. ft. house at 2110 4th St. as shown on plans dated 12/10/2015, finding that they generally meet the standards for issuance of a Landmark Alteration Certificate in Chapter 9-11-18, B.R.C. 1981, subject to the conditions below and adopts the staff memorandum dated January 6, 2015 in matter 5A (HIS2015-00254) as findings of the board.

This recommendation is based upon staff's opinion that if the applicant complies with the conditions listed below, the proposed demolition and new construction will be generally consistent with the conditions specified in Section 9-11-18, B.R.C. 1981, the *General Design Guidelines*, and the *Mapleton Hill Historic District Design Guidelines*.

CONDITIONS OF APPROVAL:

1. The applicant shall be responsible for constructing the house in compliance with the approved plans dated 12/10/2015, except as modified by these conditions of approval.
2. Prior to submitting a building permit application and final issuance of the Landmark Alteration Certificate, the applicant shall submit the following, which shall be subject to the final review and approval of the Landmarks design review committee: final architectural plans that include revisions to ensure that the final design of the building is:
 - a. Consistent with the *General Design Guidelines* and the *Mapleton Hill Historic District Design Guidelines*; and
 - b. Consistent with neo-traditional interpretations of the Edwardian Vernacular, including redesign to minimize the visual impact of the clerestory windows at the north and south so that all windows are traditionally proportioned, scaled and profiled, reconsider wall cladding materials to eliminate the use of stone other than on the foundation, elimination of standing seam roof on the porch, elimination of the bronze fascia detail, and redesign of the east gable to be more consistent with neo-traditional interpretations of the Edwardian Vernacular in fenestration and materiality.
3. The Landmarks design review committee shall review details for the building, including dormers, wall materials, fenestration patterns on the front, north and south elevations, doors and window details including moldings, and proposed insets, paint colors, and hardscaping on the property to ensure that the approval is consistent with the *General Design Guidelines* and the *Mapleton Hill Historic District Guidelines* and the intent of this approval.

SUMMARY

- Because this application calls for complete demolition of a building and new free-standing construction of more than 340 sq. ft., review by the full Landmarks Board

in a quasi-judicial hearing is required per Section 9-11-14(b), B.R.C. 1981 of the historic preservation ordinance.

- The applicant has met with staff on several occasions to review design concepts and provide feedback on the proposal.
- The applicant submitted materials for the Dec. 2, 2015 Landmarks Board meeting, however, after discussions with staff, the applicants chose to withdraw the application and revise the proposed design.
- The existing house was constructed in 1957, outside the 1865-1946 period of significance for the Mapleton Hill Historic District. While the house features some interesting characteristics of 1950s residential design, staff does not consider the house to meet the definition of a “contributing” or “significant newer” building. Staff considers the house to be a non-contributing building to the historic district.
- In terms of mass, scale, height, proportion and style, staff is of the opinion that the proposed design is generally inconsistent with Section 2, Site Design and Section 6, New Primary Buildings of the *General Design Guidelines*, and Section U of the *Mapleton Hill Design Guidelines* and *Section 9-11-18(a)&(b)(1-4) of the Boulder Revised Code*.
- Staff finds the proposed demolition and new construction to be consistent with the criteria for a Landmark Alteration Certificate as per 9-11-18(a) & (b)(1)-(4), B.R.C. 1981, the *General Design Guidelines*, and the *Mapleton Hill Historic District Design Guidelines*.
- Staff finds the proposed new construction to be consistent with the criteria for a Landmark Alteration Certificate as per 9-11-18(a) & (b)(1)-(4) B.R.C. 1981, the *General Design Guidelines*, and the *Mapleton Hill Historic District Design Guidelines*.
- Staff’s recommendation to approve the demolition and new construction is based upon the understanding that the stated conditions will be reviewed and approved by the Landmarks design review committee (Ldrc) prior to the issuance of a Landmark Alteration Certificate.

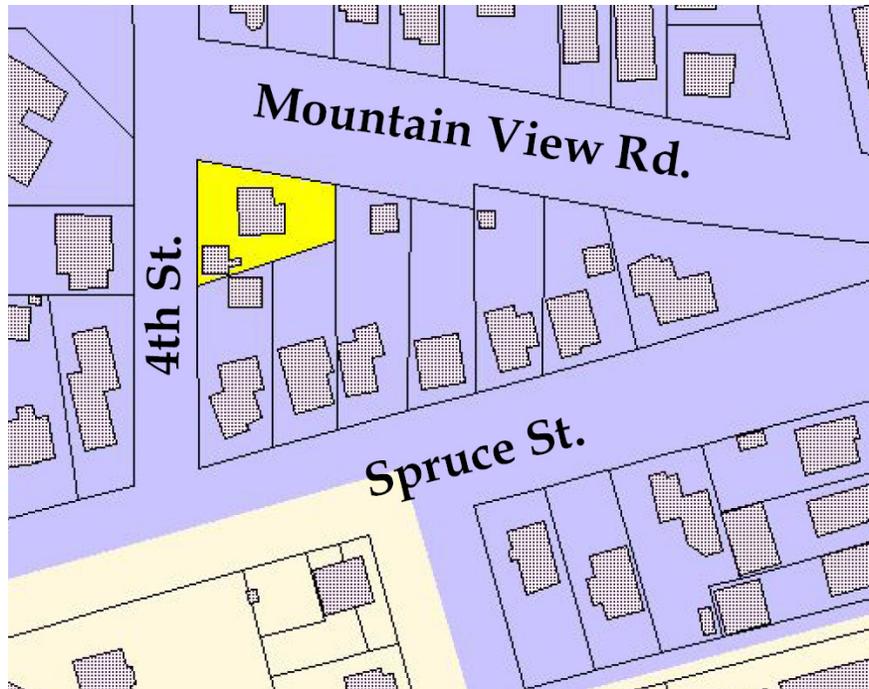


Figure 1. Location Map of 2110 4th St.

PROPERTY HISTORY

According to Tax Assessor Records, the house at 2110 4th St. was constructed in 1957, and first appears in City Directories in 1961. Dr. Robert Beatty was the first owner of the house, living there from 1961 until his death in 1993. In the 1960s and 1970s, Robert's mother Marie Ellen resided there with him.



Figure 2. 2110 4th St., Tax Assessor photograph, 1944



Figure 3. Robert Beatty, c. 1963.

Dr. Robert Beatty was born in 1917 in York, Pennsylvania to Raymond T. and Marie Ellen Beatty. Robert received his bachelor's degree in electrical engineering from George Washington University in 1939, a master's degree in electrical communication from the Massachusetts Institute of Technology in 1943, and received his Doctor of Engineering degree from the University of Tokyo in Japan in 1972. In the 1940s, Robert began working for the U.S. Naval Research Laboratory in Washington D.C. where he worked on underwater sound and radio-direction finding. In 1948, he began working for the U.S. National Bureau of Standards (NBS), also in Washington D.C. He moved to Boulder in 1955 where he continued work as the Chief of the Microwave Circuit Standards with the local NBS branch.¹

Aside from his work at NBS, Robert published numerous articles, co-authored a book on Microwave Network Analysis and contributed to two NBS Monographs. He also gave lectures to NBS employees, such as the one in 1955 titled "A Problem in Attenuation Measurement."² In 1970, he was sent by NBS to Japan to be a guest worker at the Electrotechnical Laboratory in Tanashi, Tokyo, where he also delivered lectures at each of the Imperial Universities in Japan.

Robert married Mary S. Johnson in 1947 in Washington, D.C. but divorced a few years before Robert purchased the house at 2110 4th St.³ Robert later married Nobuko Bowden of Boulder.

Robert's mother, Marie Ellen, resided at the house for nearly two decades up to her death in 1979 at the age of 92. Marie Ellen (Ritter) was born in 1887 in Philadelphia to William and Phoebe Ritter. She married Raymond Beatty (Robert's father) in Washington, D.C. Little else is known about Marie Ellen, other than she was a member of the Daughters of the King, and was a member of St. John's Episcopal Church, both in York, Pennsylvania. She was also interred in York.⁴ After Robert's death in 1993, the

¹ "Robert W. Beatty." *Daily Camera* (Boulder, CO), November 27, 1993.

² "NBS Lecture On Wednesday At 2:30," *Daily Camera* (Boulder, CO), June 20, 1955.

³ "District Court Divorces." *Daily Camera* (Boulder, CO) January 14, 1959.

⁴ "Marie Beatty." *Daily Camera* (Boulder, CO), March 28, 1979.

house passed to his daughter, Sherry Stroh. The Katrina H. Anastas Revocable Trust purchased the house in 2015.

PROPERTY DESCRIPTION

Located on the east side of 4th St., between Spruce St. and Mountain View Rd., the property at 2110 4th St. is part of the Mapleton Terrace addition to the city, which was platted in 1890 by W.H. Thompson, Harold D. Thompson, and Isaac C. Dennett. For many years 4th Street formed the western edge of the city with the land beyond in the ownership of John Brierly who operated vegetable gardens, an orchard, and lime kilns in the area.



Figure 4. Detail from 1911 Haines Panoramic Photo from Mt. Sanitas (approx. property in blue)



Figure 5. Detail from 1919 Tangen Panoramic Photo (approx. property in blue).

The property was included in the expansion of Mapleton Hill Historic District in 2002 which annexed the southwest corner of Mapleton Hill into the historic district. The triangular lot slopes to the south and features mature vegetation, much of which is volunteer in nature. The north side of the property is bounded by the Farmer's ditch along which a driveway runs providing access to the side of 2110 4th St. as well as the rear of two properties to the east, fronting onto Spruce St.

Building permit records indicate the simple 840 sq. ft. proto-Ranch house was constructed in 1957, and has only been moderately altered since that time. A 327 sq. ft. stone garage likely constructed prior to 1919 faces onto 4th St. at the southwest corner of the property. The garage is considered to be a contributing building to the Mapleton Hill Historic District.



Figure 6. 2110 4th St., southwest corner (façade), 2015.

The modest one-story, gabled roof frame building with exposed rafter tails and faux-log siding features a central door, a group of three double-hung windows to the left of the door, and a group of three larger fixed windows to the right of the front door on the facade. The building rests on a concrete foundation part of which is faced with a sandstone veneer. A full basement is accessed by an exterior stair at the south face of

the house. This entrance does not appear on the tax assessor photograph (fig. 3) was added later and likely served as access to a basement apartment.



Figure 7. 2110 4th St., Northwest corner (façade) and side driveway adjacent to Farmer’s Ditch, 2015.



Figure 8. 2110 4th St., north elevation from ditch easement, 2015.



Figure 9. 2110 4th St., East (rear) elevation from ditch easement, 2015.



Figure 10. 2110 4th St., South (side) elevation, 2015.



Figure 11. Property from north side of ditch looking down 4th St. with contributing garage at right, 2015



Figure 12. 2110 4th St., stone garage, west elevation (façade), 2015.

Research indicates that the stone garage on the southwest corner of the property originally belonged to the adjacent 327 Spruce St. prior to it being subdivided and a new lot created. A 1919 panoramic photograph of the city taken from Red Rocks shows a building in this location, but very little detail is discernible. The c.1949 tax assessor card identifies the building as having flat tin roof. Since then the roof height appears to have been raised, creating a lower pitch gable roof with asphalt shingles. A non-historic, multi-panel garage door is located on the west elevation, a single divided light historic casement window on the north elevation, and a pedestrian door is located on the east (rear) face of the building. In spite of the non-historic change in roof and garage door, staff considers the garage to possess a sufficient historic integrity and should be considered a contributing resource to the Mapleton Hill Historic District.



Figure 13. 2110 4th St., stone garage, north elevation, 2015.

PROPOSED NEW CONSTRUCTION

The applicant proposes to demolish the existing house and in its place construct a one and one-half story, 2,384 sq. ft. house.

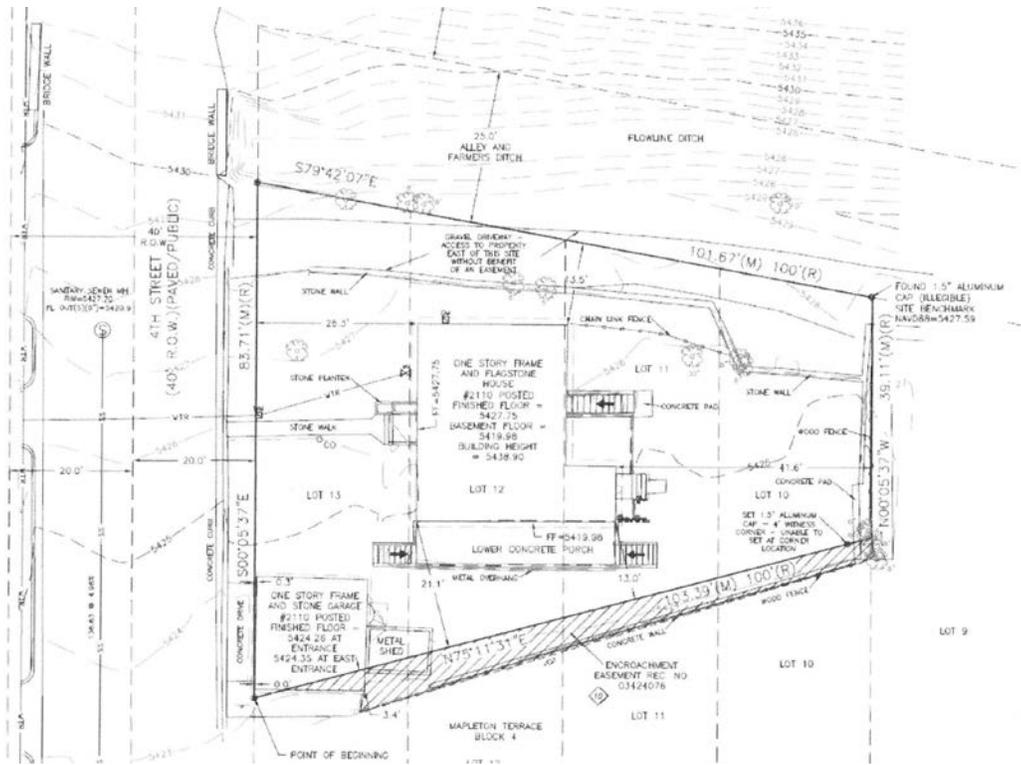


Figure 14. Existing Site Plan

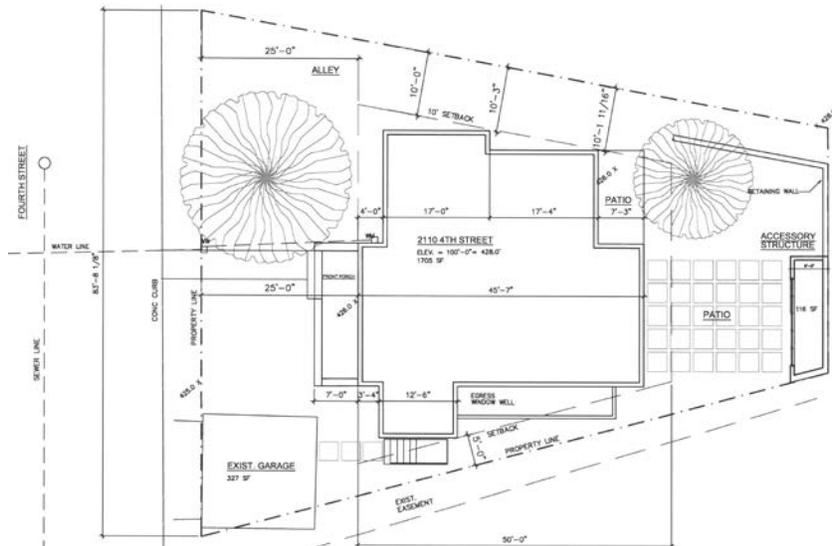


Figure 15. Proposed Site Plan

In plan, the proposed new house is shown to be located at approximately the same location as the existing house. The existing house is located approximately 26' from the west property line and the proposed house is shown to be located at the 25' front yard setback. The existing house measures approximately 35' wide and 26' long, with a 21' by 8' shed-roof portion located at the rear of the house. The proposed house is shown to

measure 45'-7" long and approximately 49' wide with the north wall creating an oblique angle to the north property line which runs adjacent to the Farmer's Ditch. Currently, the driveway provides access to at least one property to the east, although there is no dedicated easement providing that access. The existing contributing garage is shown to be maintained in its current location.

Elevations indicate the house to be one and one-half stories in height of frame construction, with a cross-gable forms and two lower flat roofs at the south and north sides of the house respectively. At its highest point the house is shown to be approximately 30' above grade, with the grade declining approximately 3' from the north to south sides of the proposed building. Drawings show the façade of the house to feature a front-gable with 22' x 7' porch, a north projecting side portion set back 4' from the front gable and a one story flat roof mud-room construction at the south side with the same set back from the projecting gable. The tallest east-west gable form is shown to be clad with clapboard siding, while the side portions of the building are shown to be clad with "ledgestone".

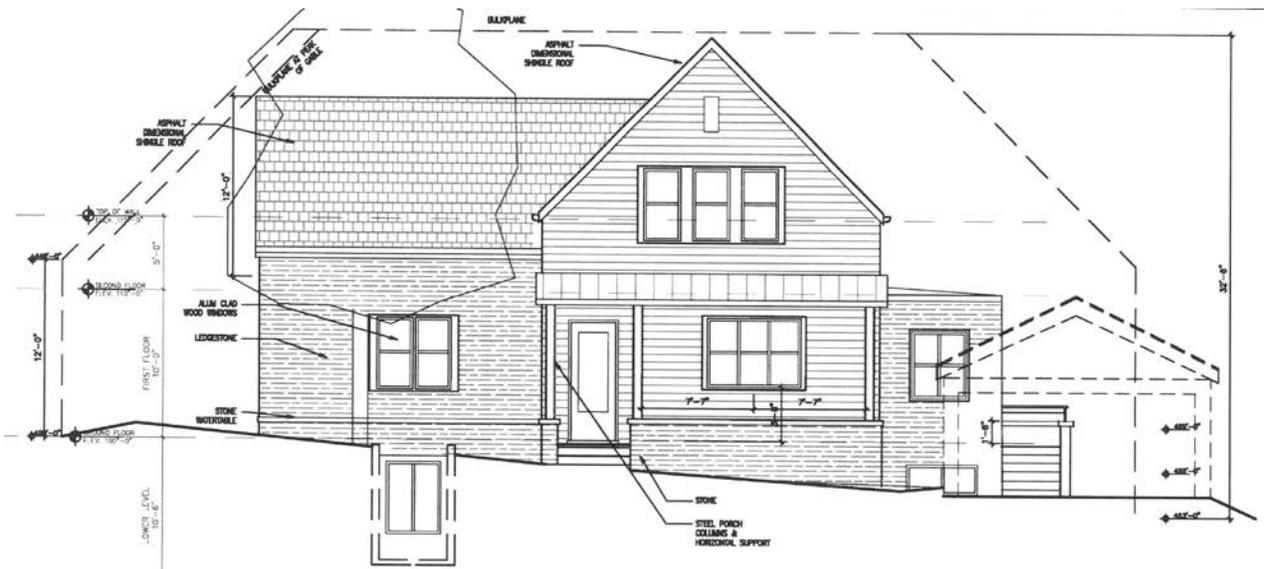


Figure 16. Proposed west elevation (façade)

The first floor of the façade (west elevation), is shown to be fenestrated with ¾ light door on the porch and a set of one-over-one double hung sash and pairs of similar windows on the west face of the north and south portions of the house. A set of three one-over-one double hung sash is shown on the west upper-gable. A light-well is indicated at the north end of the west elevation, however, this feature does not appear on site or floor plans. Likewise, a basement window on the south ell on the west face is

shown to rise several feet above grade, but a window well in this location is not shown in plan.



Figure 17. Proposed south (side) elevation

The south elevation measures 44' in length, and features a 5' x 10' recessed balcony set back 4' from the west face of the gable. This balcony is accessed by a single light door, flanked by two double hung windows. The upper level of the south elevation is also shown to be fenestrated by a row of nine square casement windows while the first floor features a door into the stone sheathed mud room accessed by stairs to a stoop. A 24' x 4' light-well is shown at the south face of the house behind the mud room ell. Three sets of slider windows at the basement level are shown to rise approximately 3' above ground level at the south face.



Figure 18. Proposed north (side) elevation

The north elevation of the house shows a row of seven upper-level casement windows, a rear sliding door and a one-over-one double hung window at the west end of the wood sided portion of the house. The projecting side gable is shown to feature one-over-one sash and a rear facing dormer, while the one story flat roof portion features a 17' x 14' roof deck enclosed by steel railing and casement window. Two skylights are shown to be located at the west end of the main gable roof.

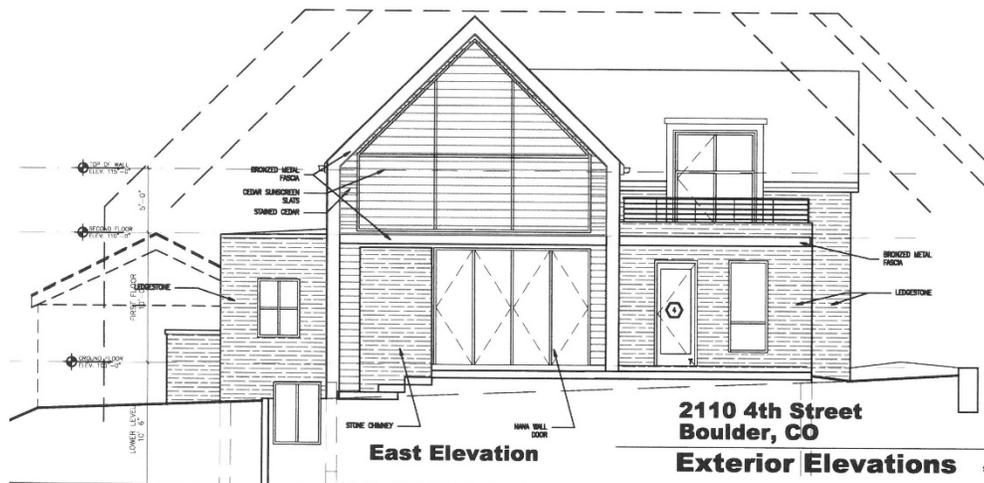


Figure 19. Proposed east (rear) elevation

The east (rear) face of the house shows stained cedar sunscreen slats to cover a considerable portion of the gable area while a set of four French doors is proposed to provide access to a patio area on the ground level. The rear deck area is shown to be accessed by a set of French doors while fenestration at the ground level of the north portion of the house is shown to consist of a single-light door and double hung window. A four-light casement window and light well are shown at the south end of the east face.

Exterior materials shown include asphalt (gable roofs) and standing seam metal roofing (front porch), clapboard and "ledgestone" cladding, stained cedar, bronzed metal fascia and metal clad windows and doors.

The site plan indicates construction of rear retaining walls, a rear patio and a 116 sq. ft. accessory building, (no elevations provided). No information was provided as to whether any changes to the contributing garage are contemplated as part of this project.

CRITERIA FOR THE BOARD'S DECISION

Subsection 9-11-18(b), B.R.C. 1981, sets forth the standards the Landmarks Board must apply when reviewing a request for a Landmark Alteration Certificate.

- (b) Neither the Landmarks Board nor the City Council shall approve a Landmark Alteration Certificate unless it meets the following conditions:
- (1) The proposed work preserves, enhances, or restores and does not damage or destroy the exterior architectural features of the landmark or the subject property within an historic district;
 - (2) The proposed work does not adversely affect the special character or special historic, architectural, or aesthetic interest or value of the landmark and its site or the district;
 - (3) The architectural style, arrangement, texture, color, arrangement of color, and materials used on existing and proposed constructions are compatible with the character of the existing landmark and its site or the historic district;
 - (4) With respect to a proposal to demolish a building in an historic district, the proposed new construction to replace the building meets the requirements of paragraphs (b)(2) and (3) above.
- (c) In determining whether to approve a landmark alteration certificate, the Landmarks Board shall consider the economic feasibility of alternatives, incorporation of energy-efficient design, and enhanced access for the disabled.

ANALYSIS

1. Does the proposed application preserve, enhance, or restore, and not damage or destroy the exterior architectural features of the landmark or the subject property within a historic district?

The existing house was constructed in 1957, well outside the 1865-1946 period of significance for the Mapleton Hill Historic District. While an interesting and intact example of representative architecture from the late 1950s, staff considers the house to be non-contributing to the Mapleton Hill Historic District. Staff finds that, provided the listed conditions are met, the demolition of the existing house and construction of the proposed house will not damage or destroy contributing properties in the streetscape and will be generally compatible and consistent with the *General Design Guidelines* and the *Mapleton Hill Historic District Guidelines* (see Design Guidelines Analysis section).

2. Does the proposed application adversely affect the special character or special historical, architectural, or aesthetic interest or value of the district?

The staff finds that, provided the listed conditions are met, the proposed application will not adversely affect the special character or special historic, architectural, or aesthetic interest or value of the district because the proposed new house will be generally compatible with the *General Design Guidelines* and the *Mapleton Hill Historic District Guidelines* in terms of mass, scale, height, design and color (see Design Guidelines Analysis section).

3. Is the architectural style, arrangement, texture, color, arrangement of color, and materials used on existing and proposed structures compatible with the character of the historic district?

Staff considers the proposed one and two story design of the proposed house to be reflective of Edwardian Vernacular houses in this part of the Mapleton Historic District, yet that the design is makes clear the house is of its time. As such, the staff finds that, provided the listed conditions are met, the proposed new construction will be generally compatible with the architectural style, arrangement, texture, color, arrangement of color, and materials used on the proposed building and will be generally compatible with the character of the historic district in terms of mass, scale, height, setback, and design (see Design Guidelines Analysis section).

4. Does the proposal to demolish the building within the Mapleton Hill Historic District and the proposed new construction to replace the proposed demolished building meet the requirements of the Land Use Code (B.R.C. 1981) paragraphs 9-11-18(b)(2) and 9-11-18(b)(3) of this section?

Staff finds that the application to replace the demolished building meets the requirements of paragraphs 9-11-18(b)(2), 9-11-18(b)(3) and 9-11-18(b)(4) because, provided the listed conditions are met, the construction of a new house will establish compatible features on the streetscape. With the stated conditions, the application is generally compatible and consistent with the *General Design Guidelines* and the *Mapleton Hill Historic District Guidelines* (see Design Guidelines Analysis section).

Once modified as suggested in the Conditions of Approval, the proposal will be consistent in terms of site planning, mass, scale, materials and architectural details and does not detract from the Mapleton Hill Historic District.

DESIGN GUIDELINES

The Historic Preservation Ordinance sets forth the standards the Landmarks Board must apply when reviewing a request for a Landmark Alteration Certificate and the board has adopted the *General Design Guidelines* to help interpret the ordinance. The following is an analysis of the submitted proposal with respect to relevant guidelines. It is important to emphasize that design guidelines are intended to be used as an aid to

appropriate design, and not as a checklist of items for compliance.

The following is an analysis of the proposal’s compliance with the applicable design guidelines:

<i>General Design Guidelines</i>			
2.0 Site Design			
<p>Site design includes a variety of character-defining elements of our historic districts and building. Individual structures are located within a framework of streets and public spaces that set the context for the neighborhood. How structures occupy their site, in terms of alignment, orientation, and spacing, creates much of the context of the neighborhood.</p>			
	<i>Guideline</i>	<i>Analysis</i>	<i>Conforms?</i>
.1	<i>Locate buildings within the range of alignments as seen traditionally in the area, maintaining traditional setbacks at the front, side and rear of the property</i>	The property measures 67’ in width at the west and 40’ at the east, creating a trapezoid where lots in Mapleton Hill are typically 50’ wide by 100’ rectangles. The building is proposed to have a similar front yard setback as the existing house, and is shown to be about 10 ft. wider than the existing house and contained within the front, rear and side yard setback standards. This section of 4 th St. in Mapleton Hill does contain a number of historic houses with alignments similar to that proposed. Staff considers location and setbacks of proposed house in keeping with traditional patterns in Mapleton Hill.	Yes
.2	<i>Building proportions should respect traditional patterns in the district</i>	The proposed house references traditional one and one-half story form common to Boulder. Overall, staff considers the proposed cross-	Yes

		gable form, roof pitch and building widths respects patterns found within the district.	
.3	<i>Orient the primary building entrance to the street</i>	Primary entrance is oriented to the street.	Yes
.4	<i>Preserve original location of the main entry and walk.</i>	Existing house considered non-contributing and proposed for demolition. Walkway is proposed in approximately the same location.	Yes
.5	<i>A new porch may encroach into the existing alignment only if it is designed according to the guidelines and if it is appropriate to the architectural style of the house.</i>	Porch is proposed at the entry way – encroachment into the 25' front yard setback is acceptable under Residential-low 1 (RL-1) zoning and consistent with historic pattern in Mapleton Hill. Proportions and shed roof porch design are generally consistent with guidelines and 1½ story form proposed. Review details including posts and materiality at the Ldrc.	Yes
.7	<i>Preserve a backyard area between the house and the garage, maintaining the general proportion of built mass to open space found within the area</i>	Lot configuration is wider and shallower than traditional lot pattern in the district. Proposed design preserves general proportion of built mass to open space.	Yes
2.2.2	<i>Preserve street trees whenever possible</i>	A mature tree along 4 th St. is shown to be preserved.	Yes

6.0 New Primary Buildings

New construction within a historic district can enhance the existing district character if the proposed design and its siting reflect an understanding of and a compatibility with

the distinctive character of the district. While new construction should fit into the historic character of the district or site, it should not replicate historic styles. Instead, new buildings should relate to the fundamental characteristics of the historic district or landmark site while also conveying a contemporary style. New buildings should not overshadow existing historic structures. Fundamental characteristics to be considered in designing compatible new structures include: site and setting, building size and proportions, materials, and the placement and style of doors and windows.

The primary focus in reviewing new structures will be on aspects that are visible from public streets. The guidelines will be applied most stringently to these publicly visible areas. More flexibility will be allowed for rear elevations and other areas largely screened from public view.

6.1 Distinction from Historic Structures

The replication of historic architecture in new construction is inappropriate, as it can create a false historic context and blur the distinction between old and new buildings. While new structures must be compatible with the historic context, they must also be recognizable as new construction.

	<i>Guideline</i>	<i>Analysis</i>	<i>Conforms?</i>
.1	<i>Create compatible contemporary interpretations of historic elements.</i>	Contemporary interpretation of traditional form is generally appropriate. Ldrc should review profile and visibility of casement and narrow double-hung windows at south and east to ensure consistency with guidelines and ordinance. Design and visibility of rear gable treatment should be reviewed at Ldrc for same.	Maybe
.2	<i>Interpretations of historic styles may be appropriate if distinguishable as new.</i>	Proposed design is largely neo-traditional referencing Edwardian Vernacular 1½ story house form but will be clearly contemporary. More contemporary features of the design are evidenced at sides and rear of house including rows of casement windows balcony/deck	

		railing details as well as rear gable treatment. These elements should be resolved at Ldrc (see 6.1 above).	
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6.2 Site and Setting

New structures should be designed and located so that significant site features, including mature trees, are not lost or obscured. The size of the new structures should not overpower the site or dramatically alter its historic character. Buildings within historic districts generally display a consistency in setback, orientation, spacing and distance

	<i>Guideline</i>	<i>Analysis</i>	<i>Conforms?</i>
.1	<i>Conform to Section 2.0 Site Design.</i>	See above for analysis.	Yes
.2	<i>Overall character of site is retained.</i>	Residential character will be retained, with similar setbacks.	Yes
.3	<i>Compatible with surrounding buildings in setback, orientation, spacing, and distance from adjacent buildings.</i>	Trapezoidal lot configuration is anomalous to Mapleton Hill and presents design challenges. None-the-less, the proposed building retains similar setbacks, orientation, spacing and distance from adjacent buildings.	Yes
.4	<i>Proportion of built mass to open space not significantly different from contributing buildings.</i>	Proposed design preserves general proportion of built mass to open space.	Yes

6.3 Mass and Scale

In considering the overall compatibility of new construction, its height, form, massing, size and scale will all be reviewed. The overall proportion of the building's front façade is especially important to consider since it will have the most impact on the streetscape. While new construction tends to be larger than historic buildings, reflecting the needs and desires of the modern homeowner, new structures should not be so out-of-scale with the surrounding buildings as to loom over them.

	<i>Guideline</i>	<i>Analysis</i>	<i>Conforms?</i>
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.1	<i>Compatible with surrounding buildings in terms of height, size, scale, massing, and proportions.</i>	Proposed scale is generally compatible with surrounding buildings through utilization of traditional 1½ story Edwardian Vernacular building form. While somewhat anomalous, flat roof side and rear portions of house do not detract and are compatible with surrounding historic buildings.	Yes
.2	<i>Mass and scale of new construction should respect neighboring buildings and streetscape.</i>	Massing and scale generally respect neighboring buildings and streetscape as a whole.	Yes
.3	<i>Historic heights and widths as well as their ratios maintained, especially proportions of façade.</i>	General proportions of the façade elements are compatible with, historic forms of like-sized historic houses in the district.	Yes

6.4 Materials

	<i>Guideline</i>	<i>Analysis</i>	<i>Conforms?</i>
.1	<i>Materials should be similar in scale, proportion, texture, finish, and color to those found on nearby historic structures.</i>	Proposed materials include wood clapboard siding, “ledgestone”, stained cedar, asphalt shingle and standing seam metal roofing, metal clads windows and doors, copper fascia. Use of stone for wall cladding relatively rare in Mapleton Hill. Likewise, use of stained wood elements, copper fascia and standing seam roof not common. Consider revision to simplify material palette including	Maybe

		use of stone cladding, fascia, porch roofing. Provide detailed information on all materials including proposed path ways, patio and retaining walls. Review at Ldrc.	
.2	<i>Maintain a human scale by avoiding large, featureless surfaces and by using traditionally sized building components and materials.</i>	Publicly visible elevations appear to meet this guideline.	Yes

6.5 Key Building Elements

Roofs, porches, dormers, windows and doors are some of the most important character-defining elements of any building. As such, they require extra attention to assure that they complement the historic architecture. In addition to the guidelines below, refer also to Section 3.0 Alterations for related suggestions.

	<i>Guideline</i>	<i>Analysis</i>	<i>Conforms?</i>
.1	<i>Design the spacing, placement, scale, orientation, proportion, and size of window and door openings in new structures to be compatible with the surrounding buildings that contribute to the historic district, while reflecting the underlying design of the new building.</i>	Rows of clerestory casement windows on north and south sides of house uncharacteristic of houses in Mapleton Hill may be visible from a public way. Consider redesign to reduce or remove this element from publicly visible elevations. Other windows and doors, especially those on publicly visible faces, should be reviewed by Ldrc to ensure compatibility.	Maybe

.2	<i>Select windows and doors for new structures that are compatible in material, subdivision, proportion, pattern and detail with the windows and doors of surrounding buildings that contribute to the historic district</i>	See .1 above.	
.3	<i>New structures should use a roof form found in the district or on the landmark site</i>	Current design makes use of gable forms of locations and proportions that are found on Edwardian Vernacular form houses in Mapleton Hill. While side and rear flat roof portions of house are less common in the Historic District, they do relate to the historic garage which currently has a flat roof. Shed roof on front porch consistent with this guideline.	Yes
.4	<i>Porches should be compatible in massing and details to historic porches in the district, and should be appropriate to the style of the house.</i>	Porch form and location is generally consistent with historic porches on Edwardian Vernacular houses in Mapleton Hill. Consider open railing on porch. Review design details of porch including roof, posts, railing and steps at Ldrc.	Maybe
.5	<i>Dormers should be secondary to the main roof and should be lower than the roofline. Oversized dormers are inappropriate.</i>	Small rear facing dormer is proposed at rear of house. Review details at Ldrc.	

The following section is an analysis of the proposal relative to Section U. of the *Mapleton Hill Historic District Design Guidelines*. Only those guidelines that further the analysis of the proposed project are included and those that reflect what has been evaluated in the

previous section are not repeated.

Mapleton Hill Historic District Design Guidelines

U. New Construction

While new construction should fit into the character of the Mapleton Hill Historic District, there is no intent to require historic imitation. It is appropriate that new designs incorporate the elements that contribute to the character of the District, such as overall mass, rooflines, windows, porches, front entries, etc. However, innovative ways of incorporating such elements and modern expressions of detailing are strongly encouraged.

New construction in the District should be in the character of the buildings surrounding it. Because streetscapes vary in the District, new buildings facing the street should respect and be consistent with the existing block pattern. Traditional site layout, porch size and placement, front entry location, roof type, and door and window sizes and patterns should be considered when proposing new in-fill construction.

New buildings on the rear of a lot (including house behind a house developments) should be of a lesser mass and scale than the original structure and more simply detailed. New accessory buildings on the rear of a lot should be consistent with the existing pattern of small structures that are simple and utilitarian in design.

New construction on corner lots requires an especially thoughtful approach. Each corner lot will present a unique design challenge for a highly visible building that does not disrupt the historic context.

	<i>Guideline</i>	<i>Analysis</i>	<i>Conforms?</i>
.1	<i>New construction should incorporate the elements contributing to the historic character of the Mapleton Hill Historic District as identified by the Design Guidelines.</i>	Residential character will be retained with similar setbacks.	Yes
.2	<i>Building elevations visible from streets and alleys need the greatest sensitivity. Front porches are an important visual element</i>	Proposed scale is generally compatible with surrounding buildings. Front porch appropriate – review details at Ldrc as outlined in 2.6 of the <i>General Design</i>	Yes

	<i>and should be incorporated into new construction except in unusual situations.</i>	Guidelines above.	
.3	<i>New construction should not imitate historic buildings, but should be an expression of its own time. Contemporary expression of traditional architectural elements is encouraged. Simplicity is an important aspect of creating compatible new construction.</i>	Design is generally neo-traditional and references Edwardian Vernacular in form. In addition to materiality and finish, staff considers integration of flat roof elements and inset balcony to be contemporary but compatible design elements that will clearly distinguish this building as of its time.	Yes
.4	<i>The mass and scale of new construction should respect neighboring buildings and the streetscape as a whole. Site layout, porch size and placement, entry level and location, roof line, and door and window sizes and patterns should harmonize with the historic context rather than compete with or copy it.</i>	The proposed house references traditional one and one-half story form common to Boulder. Overall, staff considers the proposed cross-gable form, roof pitch and building widths respects patterns found within the district. Details of materiality, fenestration, etc. should be reviewed and approved by the Ldrc to ensure consistency with the historic preservation ordinance.	Yes
.7	<i>New construction should utilize a roof form found in the district.</i>	One and one-half story design with cross-gable form consistent with Edwardian Vernacular houses in the historic district.	Yes
.8	<i>Use building materials that are familiar in their dimensions and that can be repeated. This helps to establish a sense of scale for new buildings. Whenever</i>	Staff considers little historic precedent for the use of stone cladding on the walls of a house of this type. More typically, Edwardian Vernacular houses are brick (lower) and clapboard or	Maybe

	<p><i>possible, use familiar building components in traditional sizes. Avoid large featureless surfaces.</i></p>	<p>shingle (upper). Consider revising design to follow this pattern. Little historic precedent for use of metal roofing or stained wood in Mapleton Hill. Provide detailed information on all materials including proposed path ways, patio and retaining walls for review by the Ldrc.</p>	
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Staff considers that, while the existing house is an interesting example of modest, late 1950s housing on Mapleton Hill, because it was constructed well outside of the 1865-1946 period-of-significance for the Mapleton Hill Historic district, it be considered non-contributing. Staff also considers the proposal to construct one and one-half story neo-traditional house in its place is generally appropriate and contextual in this section of the Mapleton Historic District. Staff considers that the design should be revised to make the rear gable at the east elevation more consistent with Edwardian Vernacular design, in terms of fenestration and materiality, and that the design of the casement and narrow double-hung windows at the south and east elevations be revised to ensure consistency with guidelines. Staff also considers that the material palette should be revised to reflect traditional materials, including painted wood, brick and use of stone as an accent material.

FINDINGS

Provided the conditions outlined in the staff recommendation are met, staff recommends that the Landmarks Board approve the application and adopt the following findings:

1. The demolition of the existing house is appropriate as it is non-contributing and the proposed new construction meets the standards in 9-11-18 of the Boulder Revised Code.
2. The proposed new house and garage will not have an adverse effect on the value of the district, as it will be generally compatible in terms of mass, scale, or orientation with other buildings in the district.
3. In terms of mass, scale, and orientation the proposed new house garage will

be generally consistent with Section 9-11-18 B.R.C., Sections 2, 7, 6 and 7 of the *General Design Guidelines*, and Sections D, M, P, Q, & U of the *Mapleton Hill Historic District Guidelines*.

ATTACHMENTS:

- A: Tax Assessor Card
- B: Photographs
- C: Plans and Elevations



Tax Assessor Card, c. 1954.

Attachment B: Photographs



West Elevation (façade), 2015.



View facing southeast, 2015.



East elevation (rear), 2015.



South elevation, 2015.



Garage, north elevation, 2015.



Garage, west elevation, 2015.



View facing southeast, October 2015.



View facing southeast, December 2015.



View into property from north (Mountain View Avenue)



Historic house across from 2110 4th Street



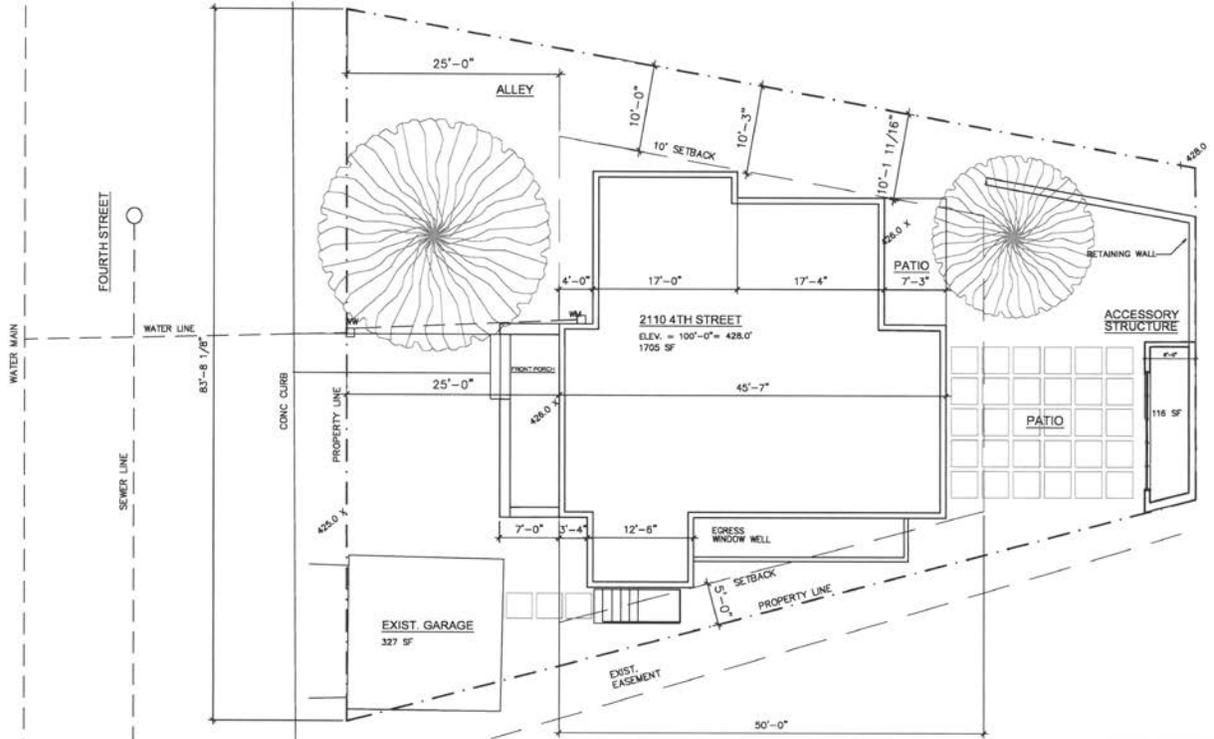
Historic house across from 2110 4th Street



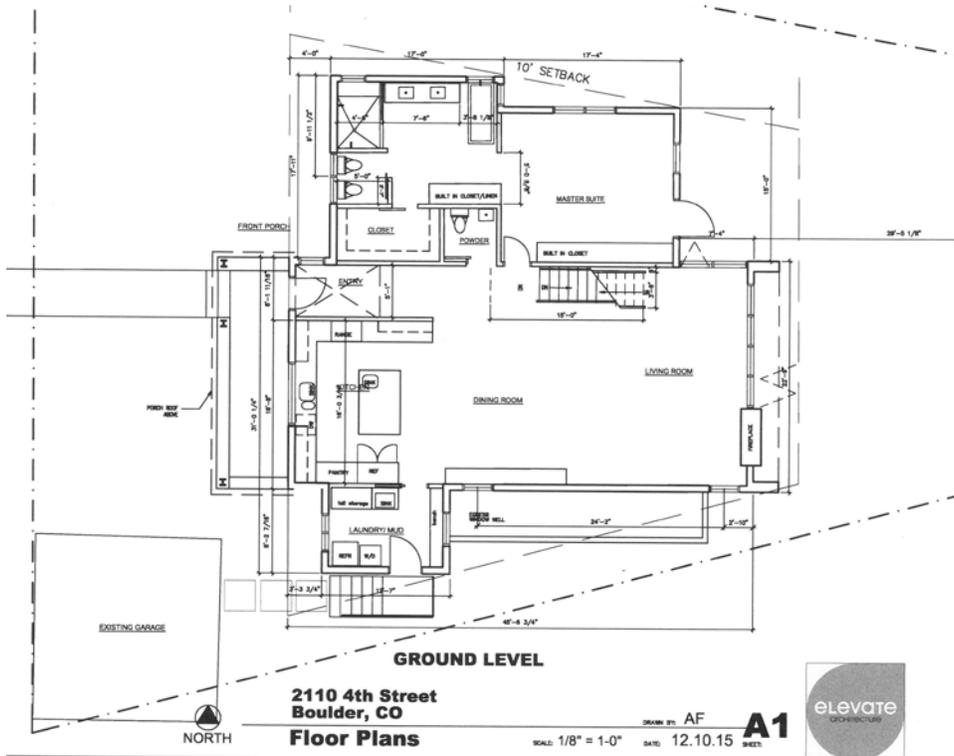
400 Block of Mountain View Avenue



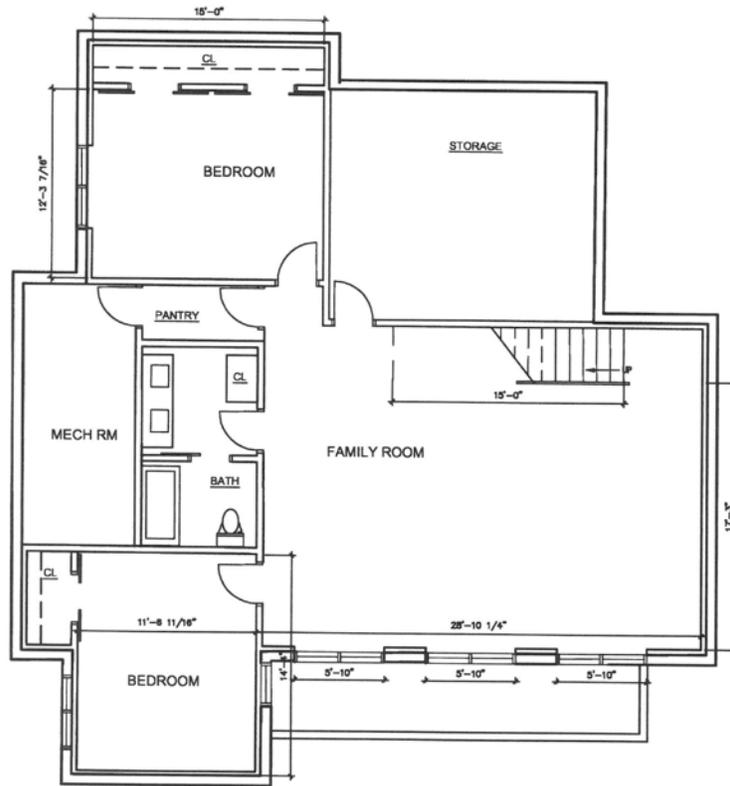
400 Block of Mountain View Avenue



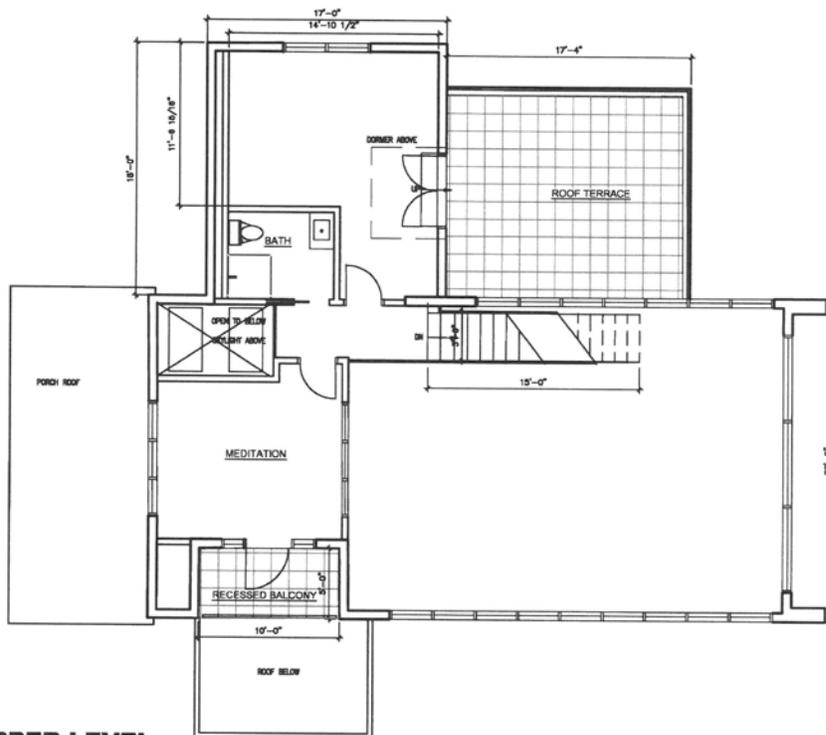
Proposed Site Plan



Proposed ground floor plan

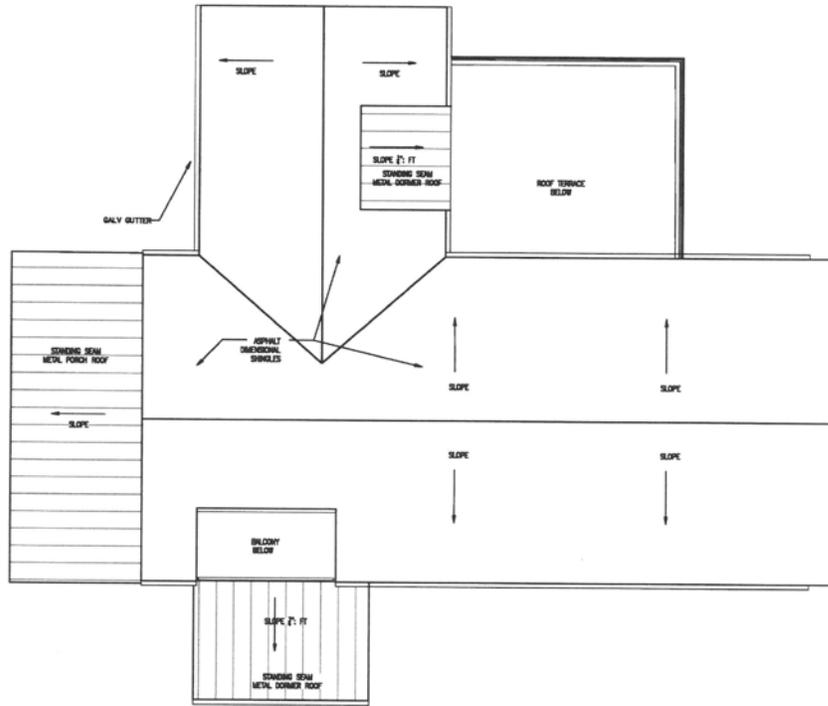


Proposed lower level

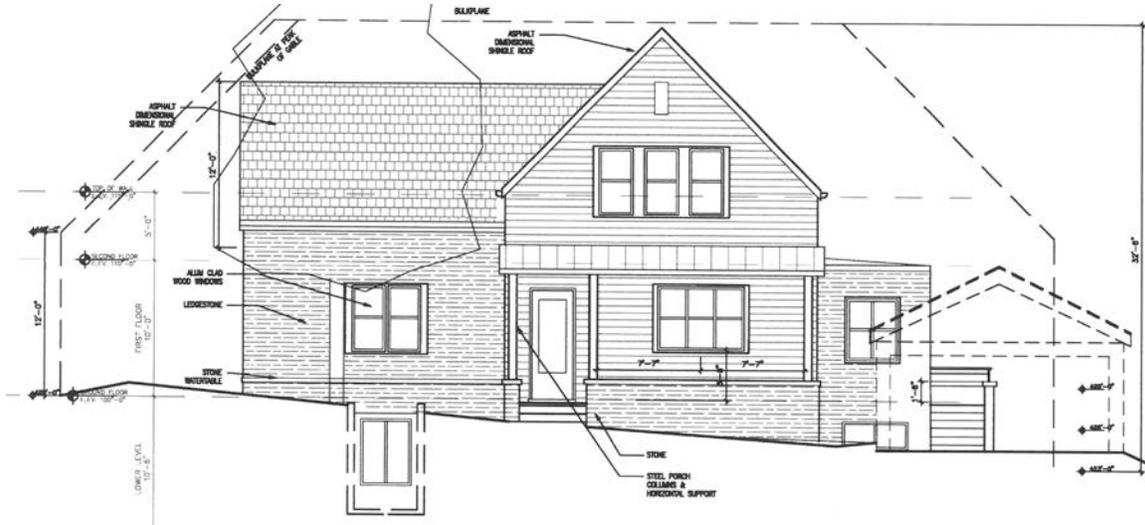


UPPER LEVEL

Proposed upper level



Proposed roof plan



Proposed west (façade) elevation



Proposed east (rear) elevation



Proposed north elevation



Proposed south elevation



PROPOSED EXTERIOR MATERIAL PALETTE



Window color



Asphalt shingle, Metal roof at Porch & Metal Fascia color



Local Limestone at front porch & smaller volumes



Siding & door color



Linear guard rails

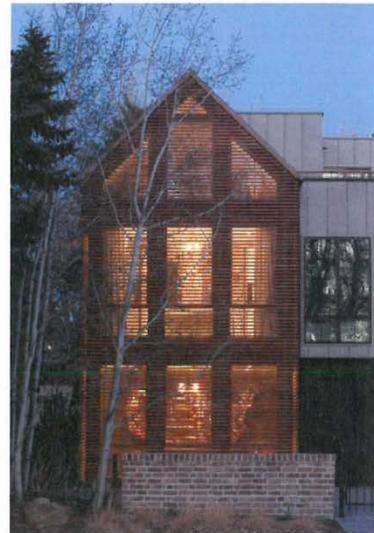


Existing Garage Stone

Proposed Exterior Material Palette



MODERN PITCHED ROOF EXAMPLES



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Modern Pitched Roof Examples

DATE: January 6, 2016
TO: Landmarks Board
FROM: James Hewat, Marcy Cameron
SUBJECT: Update Memo

Landmarks Board Retreat

The Landmarks Board held a retreat on Tuesday, December 8, 2015 from 12-2 p.m. See “Year in Review” attachment. The board will hold a second retreat in January to discuss review of additions to historic buildings.

Glen Huntington Band Shell

On December 2, 2015, the Landmarks Board discussed two letters received from History Colorado regarding the Band Shell’s eligibility for listing in the National Register. Three board members said the information would not have changed their vote, and one board member said she did not have enough information to make that determination. A summary of the board’s discussion was forward to City Council. Update at meeting.

University Hill Commercial District – National Register Nomination

On Dec. 8, the City Council reviewed the [University Hill Reinvestment Strategy Update](#) (click for memo). As part of the strategy, the city is pursuing National Register designation for the commercial district. In October, History Colorado determined that the University Hill Commercial District is eligible for National Register designation. We will be issuing an RFP to hire a consultant to prepare and submit the nomination in 2016. Update at meeting.

Certified Local Government Grant – Historic Resource Survey Plan

We have a signed contract with History Colorado for funding to hire a consultant to assist in the preparation of a Historic resource Survey Plan. Update at meeting.

Downtown Urban Design Guidelines

On Dec. 8, the city hosted a public open house to provide feedback on the proposed changes to the Downtown Urban Design Guidelines and on Dec. 10, a joint board meeting was held to provide feedback from the Landmarks Board, Planning Board and the Boulder Design Advisory Board. Adoption is scheduled for February 2016.

Land Use Review Comments

9.11.2015 Mapleton Hospital Concept Review – Staff Comments.

Historic Preservation Staff acknowledges the detailed research the applicant has undertaken on the history of the property, tracing its evolution from sanatorium to a modern twentieth century medical facility and detailing the resulting change to the character of the property. However, staff is of the opinion that several of the buildings and structures on the property including the smokestack, the stone wall, cottages A & D, and the nurses dormitory are all eligible for landmark designation and should be appropriately preserved. The smokestack is an important and iconic feature of the property intrinsic to the history of

sanatorium/hospital facility. Likewise, the cottages, nurses dormitory and stone wall are all important historic features and worthy of historic preservation. Staff does not encourage the relocation of any of these resources, but rather recommends sensitive design with them situ as a first approach. Historic preservation tax credits could be accessed to assist in their preservation.

To this end, a condition of Site Review approval will require the applicant's submittal of a completed application to landmark these identified resources per policy 2.33 Preservation of Historic and Cultural Resources of the Boulder Valley Comprehensive Plan. Staff recommends that this occurs as soon as possible so that we can schedule a designation hearing. This will allow the Landmarks Board to review the proposed landmarks and boundary(ies) in the context of the larger re-development of the property so that the subsequent Planning Board review will include the Landmark Board's comments and recommendations. Please note that the historic preservation ordinance (9-11-5(a)) states that once a completed application made by the property owner is received, a public hearing must be heard by the Landmarks Board between 60 & 120 days of the application date.

Historic preservation staff also encourages the applicant to take steps to design the development in a manner that is consistent with the historic character of the historic sanatorium and early hospital facility providing for a series of smaller buildings designed in a simplified manner compatible with the character of this era and in keeping with the adjacent Mapleton Hill Historic District. Historic preservation staff recommends that the applicant consult the Mapleton Hill Historic District Guidelines and General Design Guidelines for Boulder's Historic Districts as it continues with the design development process.

1414 Pine Street Pre-Application Comments for Redevelopment of Property

The subject site has four early houses, all of which appear to be potentially eligible for local landmark designation. Each of the houses were inventoried as part of a 1987 Historic Building survey.

The one and one-half story red brick house at **1452 Pine Street** was built in 1890 by Frank Lounsberry who was engaged in the lumber and building materials business. It exhibits a number of architectural elements associated with the Victorian Cottage type of housing common in Boulder during the late nineteenth century including an asymmetrical plan, a hipped roof, decorative brick and terra cotta, stone lintels and bay windows.

1414 Pine Street is a good example of Hipped Box residential design dating from the late nineteenth century featuring a low hipped dormer and half width porch with decorative spindle work on the façade. The brick and frame house is also notable for its widely overhanging eaves, decorative scrollwork on its cornice, wooden bay window, segmental arches, architrave surrounds and multi-light windows. Preliminary research indicates the house was occupied in 1900 by Samuel Hum, a railway auditor who was born in Pennsylvania in 1866.

The two and one-half story brick and frame duplex (**1406-1408 Pine Street**) was built prior to 1900 and survives as a rare early multi-family housing unit on Pine Street. In 1900 the building was home to Benjamin Ellsworth and family and Methodist minister Reverend Marquis Hornbeck and family.

Architecturally, the house is quite ornate featuring three front bays, a gabled eyebrow dormer, rusticated stone sills and lintels, clipped corners on the first floor and staggered brick corners.

*The vernacular house at **2132 14th Street** was built about 1890 and features stuccoed brick walls and a Victorian era front porch supported with decorative brackets spindle work. Research indicates the house was owned by German immigrant Louis Herman who ran a dry goods store in Boulder at 1239 Pearl Street. His wife Bessie, children Mildred and Harry as well as their Swedish immigrant servant Hedois Carlson are all listed in the 1900 City Directory as living in the house.*

Depending of the scope of work for redevelopment of the site, submission of an application to landmark one or more of these properties would likely be a recommended condition of Site Review approval. Submission of a landmark application would be consistent with policy 2.33 Preservation of Historic and Cultural Resources of the Boulder Valley Comprehensive Plan. If discretionary review for the property is planned, staff recommends that an application be submitted as soon as possible so that a designation hearing can be scheduled. This will allow the Landmarks Board to review staff's recommendation as to whether or not the building should be landmarked. If the Board makes a recommendation that the building should be landmarked, it can then be reviewed in the context of the larger re-development of the property and subsequent Planning Board review will include the Landmark Board's comments and recommendations. Please note that the historic preservation ordinance (9-11-5(a)) states that once a completed application made by the property owner is received, a public hearing must be heard by the Landmarks Board between 60 & 120 days of the application date.

Comprehensive Planning and Sustainability Calendar

See attached.

December 2015

Amended: December 21, 2015
 Last Planning Board Meeting: December 17, 2015

Mon	Tue	Wed	Thu	Fri
<div style="border: 1px solid black; padding: 5px; text-align: center;"> Nov 2015 M T W T F S S 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 </div>	1 CC Meeting, 6 p.m. in CC *1st Reading 4525 Palo Parkway Annexation (S. Walbert) *2nd Reading Rezone 0.8 Acre of 385 S Broadway (E. McLaughlin) *2nd Reading Vacat on of Two Public Access Easements 901 Pearl Street (S. Walbert) *2nd Reading to sell a portion of 2180 Violet allowing title transfer to Flatirons Habitat for Humanity (S. Walbert) *Call-up: 311 Mapleton Concept Plan (C. Van Schaack) *Call-up: 4525 Palo Parkway Concept Plan Review	2 BVCP Listening Tour, Eisenhower Elementary, 6:30 - 8:30 p.m. LB, 6 p.m. in CC	3 PB Meeting, 6pm in CC *820 Lee Hill Dr. Amend to Approved Site Plans (S. Walbert) *Dakota Ridge North Design Code Minor Amend (C. VanSchaack)	4
7 BVCP Listening Tour, Heatherwood Elementary, 6:30 - 8:30 p.m. DMC Mtg, 5:30 p.m., CC	8 CC SS, 6 p.m. in CC Downtown Urban Design Guidelines Open House (PB, BDAB, LB, DMC), 5-7p.m., BMoCA	9 BDAB, 4 p.m. in 1777 West Conference Room BVCP Listening Tour, Elks Lodge, 6:30 - 8:30 p.m. EAB 6-8pm, 1st Floor East/West Conf Rooms, New Britain Bldg	10 Downtown Urban Design Guidelines Joint Meeting (PB, BDAB, LB, DMC), 5-8 p.m. First Pres. Church	11
14	15 Joint CC/PB Meeting, 5:30 p.m. in CC *BVCP Update (L. Ellis)	16 UHCAMC, 4-6pm, 1777 West Conference Room	17 BJAD, 4-6 p.m., 1777 West Conf. Room PB Meeting, 6pm in CC *BVCP Update (L. Ellis)	18
21	22 CC SS Cancelled	23	24 CITY HOLIDAY 1 - 5PM	25 CITY HOLIDAY
28	29 CC SS Cancelled	30	31 CITY HOLIDAY 1 - 5PM	<div style="border: 1px solid black; padding: 5px; text-align: center;"> Jan 2016 M T W T F S S 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 </div>

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<p>4 DMC Mtg, 5:30 p.m., CC</p>	<p>5 CC Meeting, 6 p.m. in CC</p> <ul style="list-style-type: none"> *2nd Reading 4525 Palo Parkway Annexation (S. Walbert) *Concept Plan Review 4525 Palo Pkwy (S. Walbert) *Direction on initial screening of public request for the BVCP (L. Ellis) *1st Reading Landmark Designation Ordinance for 1900 King Street (M. Cameron) *1st Reading Landmark Designation Ordinance for 2200 Broadway (M. Cameron) *1st Reading Annexation Ordinance for 236 and 250 Pearl (E. McLaughlin) *Long-term Revocable Lease 3175 Pearl Parkway (C. Hill) *Long Term Revocable Lease 1212 Pearl Street (C. Hill) *Call-up: Utility Easement Vacation 2440 Junction Place (C. Hill) *Call-up: 820 Lee Hill Drive (S. Walbert) 	<p>6 LB, 6 p.m. in CC</p>	<p>7</p>	<p>8</p>																																																																																																		
<p>11</p>	<p>12 CC SS, 6 p.m. in CC</p> <ul style="list-style-type: none"> *Pre-Retreat Discussion 	<p>13</p>	<p>14</p>	<p>15</p>																																																																																																		
<p>18 CITY HOLIDAY</p>	<p>19 CC Meeting, 6 p.m. in CC</p> <ul style="list-style-type: none"> *2nd Reading Landmark Designation Ordinance for 1900 King Street (M. Cameron) *West Fourmile Canyon Creek Area Study (Ponderosa MHP) Update and Direction (C. Meschuk) *2nd Reading Landmark Designation Ordinance for 2200 Broadway (M. Cameron) 	<p>20 UHCAMC, 4-6pm, 1777 West Conference Room</p>	<p>21 BJAD, 4-6 p.m., 1777 West Conf. Room</p> <p>PB Meeting, 6pm in CC</p> <ul style="list-style-type: none"> *3000 Pearl Reve Site Review (E. McLaughlin) 	<p>22 CC Retreat, time & location TBD</p>																																																																																																		
<p>25</p>	<p>26 CC SS, 6 p.m. in CC</p> <ul style="list-style-type: none"> *Co-op Housing Discussion 	<p>27 BDAB, 4 p.m. in 1777 West Conference Room</p> <ul style="list-style-type: none"> *Downtown Urban Design Guidelines (K. Pahoa) 	<p>28 PB Meeting, 6pm in CC</p> <ul style="list-style-type: none"> *Planning Board discussion of Draft Form-Based Code for Boulder Junction Phase I (S. Assefa, K. Guiler) 	<p>29</p>																																																																																																		

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<p>8</p>	<p>9</p> <p>CC SS, 6 p.m. in CC</p> <p>*Hillard Heintze Report from City Manager</p> <p>*Resilience Strategy Update and Exercise</p>	<p>10</p> <p>BDAB, 4 p.m. in 1777 West Conference Room</p>	<p>11</p> <p>BOZA Meeting, 5 p.m. in CC</p>	<p>12</p>																																																																																																		
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