

MEMORANDUM

February 4, 2015

TO: Landmarks Board

FROM: Lesli Ellis, Comprehensive Planning Manager
Debra Kalish, Senior Assistant City Attorney
Marcy Cameron, Historic Preservation Planner
James Hewat, Senior Historic Preservation Planner
Angela Smelker, Historic Preservation Intern

SUBJECT: Public hearing and consideration of issuance of a demolition permit for the building located at **645 Walnut St.**, a non-landmarked building over 50 years old, pursuant to Section 9-11-23 of the Boulder Revised Code (HIS2014-00351).

STATISTICS:

1. Site: 645 Walnut St.
2. Date of Construction: c. 1890
3. Zoning: RL-1 (Residential Low)
4. Lot Size: 3,807 sq. ft.
5. Owner: Edward Parent
6. Applicant: Jennifer Campbell

STAFF RECOMMENDATION:

Staff recommends that the Landmarks Board adopt the following motion:

I move that the Landmarks Board approve the demolition permit application for the building located at 645 Walnut St. finding that, due to a loss of architectural integrity, the property is not eligible for landmark designation, and adopt the staff memorandum dated Feb. 4, 2015, as the findings of the board. The Landmarks Board recommends that prior to issuance of the demolition permit, staff require the applicant to submit to CP&S staff for recording with Carnegie Library:

1. *A site plan showing the location of all existing improvements on the subject property;*
2. *Measured elevation drawings of all faces of the buildings depicting existing conditions, fully annotated with architectural details and materials indicated on the plans.*

Should the board choose to issue a stay of demolition, a 180-day stay period would expire on June 16, 2015.

EXECUTIVE SUMMARY:

On Nov. 26, 2014, the Community Planning and Sustainability Department received a demolition permit application for the house at 645 Walnut St. The property is not in a historic district or locally landmarked, but is over 50 years old and the action proposed meets the criteria for demolition defined in Section 9-16-1 of the Boulder Revised Code 1981. On Nov. 26, 2014, the Landmarks design review committee (Ldrc) referred the application to the Landmarks Board for a public hearing, finding there was “probable cause to believe that the property may be eligible for designation as an individual landmark.” The applicant had previously submitted a demolition permit application in March of 2014 that was approved by the Ldrc, which found that alterations had diminished the building’s historic integrity (HIS2014-00069). That application was approved on Apr. 28, 2014 after archival photo documentation was received. The approval expired on Oct. 25, 2014.

PURPOSE OF THE BOARD’S REVIEW:

Pursuant to section 9-11-23(d)(2), B.R.C. 1981, demolition requests for all buildings built prior to 1940 requires review by the Landmarks design review committee (Ldrc). The Ldrc is comprised of two members of the Landmarks Board and a staff member. If, during the course of its review, any one of the three Ldrc members determines that there is “probable cause to consider the property may be eligible for designation as an individual landmark,” the issuance of the permit is stayed for up to 60 days from the date a completed application was accepted and the permit is referred to the board for a public hearing.

If the Landmarks Board finds that the building proposed for demolition may have significance under the criteria in subsection (f) of Section 9-11-23, B.R.C. 1981, the application shall be suspended for a period not to exceed 180 days from the date the permit application was accepted by the city manager as complete in order to provide the time necessary to consider alternatives to the building demolition. If imposed, a 180-day stay period would start when the completed application was accepted by the city manager (Dec. 18, 2014, when the Landmarks Board fee was paid) and expire on June 16, 2015. Section 9-11-23 (g) and (h), B.R.C. 1981.

DESCRIPTION:

The property at 645 Walnut St. is located at the southwest corner of the intersection of 7th St. and Walnut St., at the western terminus of Walnut St. The lot is approximately 3,807 sq ft. in size, and was subdivided through a Planned Unit Development (PUD) agreement in 1976. The exact date of construction is unclear, however, the main portion of the house was likely constructed in the 1890s, as the address first appears in U.S. Census records in 1900. The house is representative of an Edwardian Vernacular residence, common in Boulder at the turn of the twentieth century. The house has been

extensively modified from its original construction, most notably modifications to the second level and the construction of a large addition at the north elevation. See Attachment A: Current Photographs.

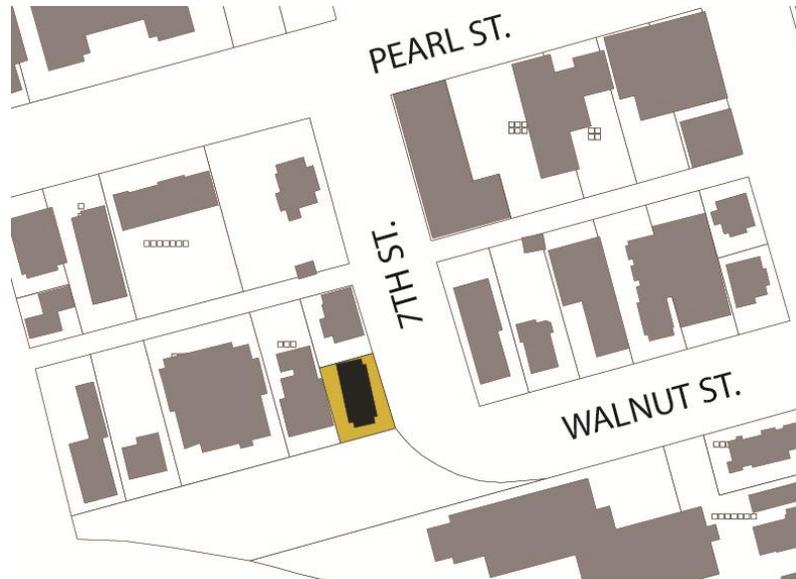


Figure 1. Location Map showing 645 Walnut St.



Figure 2. South Façade, 645 Walnut St., 2015

The one-and-a-half story brick house at 645 Walnut St. is typical of Edwardian Vernacular dwellings built in Boulder during the late nineteenthth century with its front porch (located at the south elevation) brick and frame construction, and simple double-hung windows. The front entrance is flanked by two non-historic, single-light windows. The gable end features c.1970 diagonal wood siding and a grouping of four non-historic windows.



Figure 3. East Elevation, 645 Walnut St., 2015

The east elevation, facing 7th St., features two non-historic windows with stone sills and arched lintels. The gable roof extends past the end of the original brick portion of the house over a covered, open garage. Two bubble skylights and a shed roof dormer are located on the east slope of the roof. The property line ends at the end of the garage, but the house is connected to the property at 1919 7th St. (constructed c.1900 and significantly modified from its original one story, Terrace form). The north elevation is mostly obscured by the non-historic addition. A non-historic door, non-historic window with stone sill, and portion of the brick wall remain.

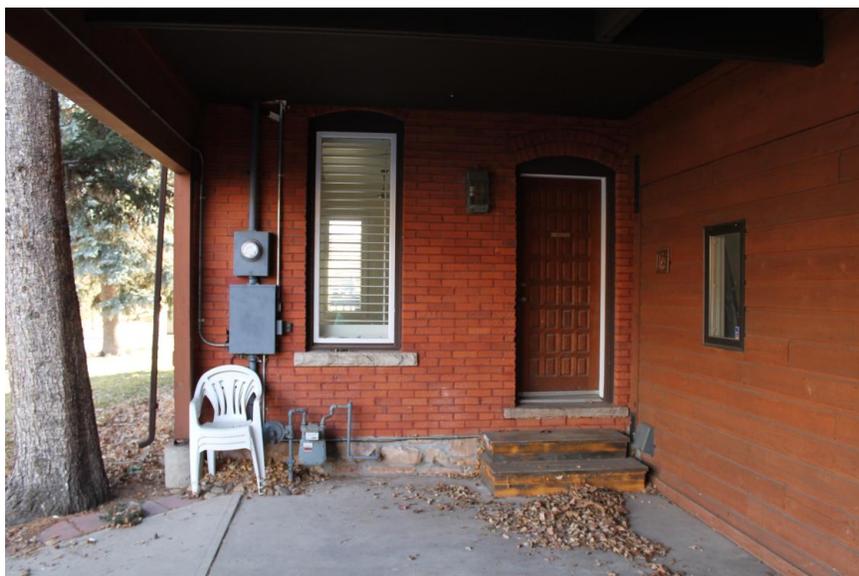


Figure 4. Portion of the North Elevation, 645 Walnut St., 2015



Figure 5. southwest corner, 645 Walnut St., 2015

The west elevation of the house features a non-historic window with a stone sill and arched lintel. The addition is clad in horizontal lap siding. A bubble skylight is located on the west slope of the roof.

ALTERATIONS

Significant alteration occurred in 1978 when the building was converted from office to residential use two years after the PUD was established. The original siding on the gable end appears to have been an alternating pattern of fish scale and rectangular shingles. All windows appear to have been replaced with single-light, non-historic windows. A pair of double-hung windows were centrally located in the gable end and surrounded by wood trim. The porch roof was approximately the same size and was supported by thin spindle posts with the windows on the first floor having been one-over-one double-hung sash. A shed dormer was located on the west slope of the roof and a brick chimney protruded from the peak of the roof. The fascia board at the gable end appears to have been wider than currently exists. A rear porch addition, constructed between 1922 and 1931 and measuring 5 ft. by 12 ft., was located at the north elevation. With the exception of the north wall and porch alterations, the first level of the exterior masonry walls remains intact, while the second level has been significantly altered.



Figure 6. Tax Assessor Photo, 645 Walnut St., c. 1946



Figure 7. Looking north across an open field. One-story building at left is 635-637-639 Walnut Street. The home with the tractor parked in front is 645 Walnut, 1963. Carnegie Branch Library for Local History.

Building permit records show that in 1936 and 1960, the dwelling was re-roofed. In 1971, an electrical permit was received. In 1976, the building was converted from residential to office use and remodeled. In 1978, a building permit was issued for an addition to the upper level. In 1979, the rear addition linking the building to the dwelling at 1919 7th St. was constructed. In 1980, the bubble skylights were added and in 1993 an addition was constructed under the parking structures for storage. The applicant submitted a narrative of known changes to the property that aligns with the building permit records. *See Attachment B: Applicant Materials.*

The National Park Service's Standards for the Treatment of Historic Properties states that, "changes to a property that have acquired historic significance in their own right will be retained and preserved." These alterations were made approximately 30 years ago and are not considered to have historic or architectural merit on their own. While the

first level of the original building remains, the resulting loss of original fabric weakens the property's architectural integrity as a representative turn of the twentieth-century vernacular house.



Figure 8. Diagram showing alterations to the south and east elevations

PROPERTY HISTORY

The house at 645 Walnut St. is located on a portion of Lot 12 of Block 61 in the Boulder West Addition of Boulder and first appears on the Sanborn Fire Insurance Maps in 1900. The lot is located in the former Town of West Boulder. West Boulder was added to Boulder City Town in 1874 by a group of landowners who lived in the neighborhood. They included Harriet Smith, Eric Anderson, Jonas Anderson, Frederick Squires, William Cook and Willamette Arnett.¹ This early town encompassed the area roughly between Third Street on the west, Tenth Street on the east, Water Street (Canyon Boulevard) on the south, and Spruce Street on the north. The Town of West Boulder was comprised of small farms, orchards and residential areas with commercial and industrial establishments along the main wagon road which led toward Boulder Canyon.

¹ West Pearl Historic District Design Guidelines.

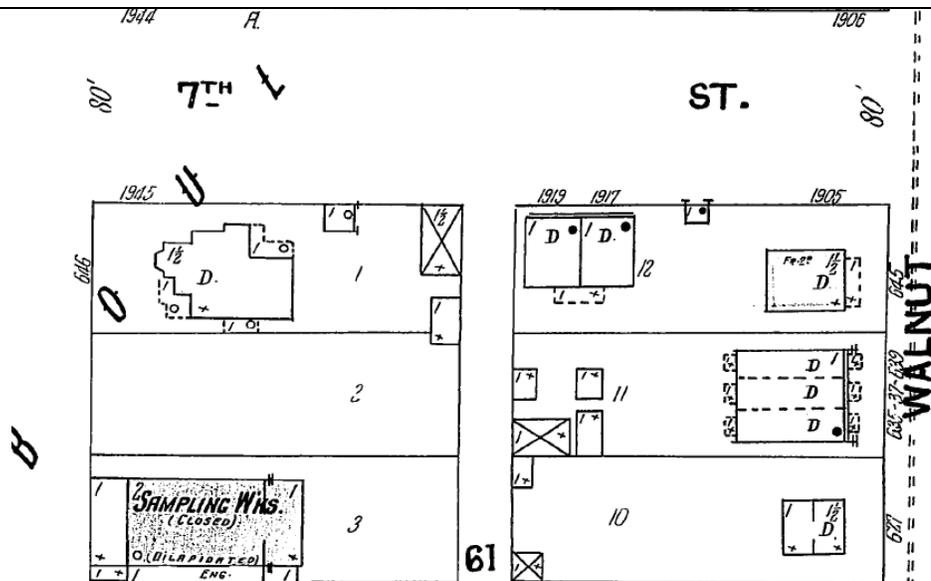


Figure 9. Sanborn Fire Insurance Map, 1900.

Deed research indicates that the property was first owned by Walter Buckingham, who owned multiple properties in this vicinity. The lots at 635 and 645 Walnut (lots 11 and 12) were owned by his first wife, and upon her death, transferred to his second wife, Margaret (Minnie) Buckingham, in 1924, who owned the property until 1927. Minnie was born in Soldier's Grove, Wisconsin in 1876 and married Buckingham in 1923. She was a resident of Boulder for more than 25 years, until her death in 1946. City directory and U.S. census research indicates that the property mainly functioned as a rental property during Mrs. Buckingham's ownership, with a frequent turnover of residents. In 1900, Robert Merrill and his family lived here. Merrill was born in New York in 1871 and worked in Boulder as a billiard hall keeper. He was married to Sadie and had two children, Beatrice and Elmer. His brother, Grant, also lived in the house and worked at the billiard hall. Each year the house was occupied by different residents. The majority of residents are listed as miners, with others employed as carpenters, an auto mechanic, farmer, and merchant.

In 1927, the property was purchased by Elden Moon. City Directories show that Moon initially rented the property to various farmers and miners. Beginning in 1936, Elden's twin brother, Melvin, is listed as living at the property. Elden appears in the city directories as living here only in 1940. Elden was a farmer and oil field worker and Melvin worked as an oil well driller. The property was subsequently purchased in the 1940s by salesman Thomas Sandham and his wife Adeline, realtor JJ Ackerman, and Glyn Basnett. Glyn was in the Army and resided at the house with his wife Lorena from 1946 until 1949. The property was then owned by Keith and Gladys Cline from 1946 until 1976. Keith was a fireman at the Public Service Company and was also listed as a boiler operator. The property has been owned for the longest period of time by Eric

Smith, who purchased the property in 1976. Eric converted the residence into his architectural office. In 1993, he sold the property to the current owner, Ed Parent. See Attachment D: Deed and Directory Research.

CRITERIA FOR THE BOARD'S DECISION:

Section 9-11-23(f), B.R.C. 1981, provides that the Landmarks Board "shall consider and base its decision upon any of the following criteria:

- (1) The eligibility of the building for designation as an individual landmark consistent with the purposes and standards in Sections 9-11-1 and 9-11-2, B.R.C. 1981;
- (2) The relationship of the building to the character of the neighborhood as an established and definable area;
- (3) The reasonable condition of the building; and
- (4) The reasonable projected cost of restoration or repair.

In considering the condition of the building and the projected cost of restoration or repair as set forth in paragraphs (f)(3) and (f)(4)..., the board may not consider deterioration caused by unreasonable neglect.

As detailed below, staff does not consider this property to be eligible for designation as an individual landmark.

CRITERION 1: INDIVIDUAL LANDMARK ELIGIBILITY

The following is a result of staff's research of the property relative to the significance criteria for individual landmarks as adopted by the Landmarks Board on Sept. 17, 1975. See Attachment F: Individual Landmark Significance Criteria

HISTORIC SIGNIFICANCE:

Summary: The house located at 645 Walnut St. meets historic significance under criterion 1.

1. Date of Construction: c.1890s

Elaboration: The address appears in the 1900 U.S. Census and first appears in the 1903 city directory. The Historic Building Inventory Form indicates the building was constructed in the 1890s.

2. Association with Persons or Events: None

Elaboration: None of the owners or residents appear to have made significant contributions to the community on the local, state or national level. During the first thirty years, the house was utilized as a rental with a high turnover rate. Residents included miners, carpenters, and laborers. Subsequent owners,

including Elden Moon, Glyn Basnett, and Keith and Gladys Cline, do not appear to meet this criterion.

3. Development of the Community: This is one of the earliest houses in the neighborhood, which was originally the town of West Boulder.

4. Recognition by Authorities: Front Range Research Associates

Elaboration: The property was surveyed in 1988 and was found to represent a type, period or method of construction. The survey notes that “the house, although altered, retains original construction details such as its brick belt course and segmental window arches, which represent methods of construction utilized at the turn of the century in Boulder.” The field assessment indicates the building would not be eligible for landmark designation, and that although the building is in “excellent” condition, the extent of alterations was considered “major.”

ARCHITECTURAL SIGNIFICANCE:

Summary: The house located at 645 Walnut St. does not possess architectural significance.

1. Recognized Period or Style: Vernacular

Elaboration: An example of Edwardian Vernacular house construction common during the early twentieth century, as typified by its one-and-a-half story, gable roofed form, front porch, and segmental window arches the house has been extensively modified from its original construction in 1976. Staff does not consider it to be an exceptional or intact example of this building type. The modifications to the house, including the changes to the fenestration on the front gable end, porch replacement, and construction of an addition that overwhelms the massing of the original house, are not considered to have architectural or historic merit. The changes reflect a substantial remodel in 1978 and the result in a significant loss of architectural and historic integrity.

2. Architect or Builder of Prominence: None observed.

Elaboration: The original architect is unknown. Eric Smith remodeled the house in 1978 and located his architectural practice on the property around that time.

3. Artistic Merit: None observed.

4. Example of the Uncommon: None observed.

5. Indigenous Qualities: None observed.

ENVIRONMENTAL SIGNIFICANCE:

Summary: The house located at 645 Walnut St. meets environmental significance under criteria 1.

- 1. Site Characteristics:** The house is located at the corner of 7th St. and Walnut St.
- 2. Compatibility with Site:** The building is located in an area that has historically been a mix of residential and office uses. Today, the area has an urban character.
- 3. Geographic Importance:** None observed.
- 4. Environmental Appropriateness:** None observed.
- 5. Area Integrity:** The building is located in an area that has historically been a mix of residential and office uses. Today, the area has an urban character.

CRITERION 2: RELATIONSHIP TO THE CHARACTER OF THE NEIGHBORHOOD:

This area of Boulder was platted in 1874 and was originally part of the town of West Boulder. The area is not identified as a potential local historic district in the Boulder Valley Comprehensive Plan. Stylistically, the house is related to the early-20th century development of the city, but alterations have diminished its architectural integrity and it is no longer an intact representative example of architecture from that period.

CRITERION 3: CONDITION OF THE BUILDING

No information has been submitted on the condition of the building.

CRITERION 4: PROJECTED COST OF RESTORATION OR REPAIR:

No information about the projected cost of restoration or repair was received as part of this application.

NEIGHBORHOOD COMMENT:

Staff has received no comment to date from the public on this matter.

THE BOARD'S DECISION:

If the Landmarks Board finds that the building to be demolished does not have significance under the criteria set forth in section 9-11-23(f), B.R.C. 1981, the city manager shall issue a demolition permit.

If the Landmarks Board finds that the buildings to be demolished may have significance under the criteria set forth above, the application shall be suspended for a period not to exceed 180 days from the date the permit application was accepted by the city manager as complete in order to provide the time necessary to consider alternatives to the demolition of the buildings (section 9-11-23(h), B.R.C. 1981). A 180-day stay period would expire on June 16, 2015.

FINDINGS:

Staff recommends that the Landmarks Board adopt the following findings:

Issuance of a demolition permit for the house at 645 Walnut St. is appropriate based on the criteria set forth in section 9-11-23(f), B.R.C. 1981, in that the identified building:

1. Has been modified to an extent that has resulted in the loss of its architectural integrity;
2. Does not possess strong historic, architectural or environmental significance;
3. Will be thoroughly documented through Historic American Building Survey Level II recordation.

ATTACHMENTS:

- Attachment A: Current Photographs
- Attachment B: Applicant Materials
- Attachment C: Historic Building Inventory Form
- Attachment D: Deed and Directory Research
- Attachment E: Tax Assessor Card
- Attachment F: Significance Criteria for Individual Landmarks

Attachment A: Current Photographs



Photo 1. South façade, 2015.

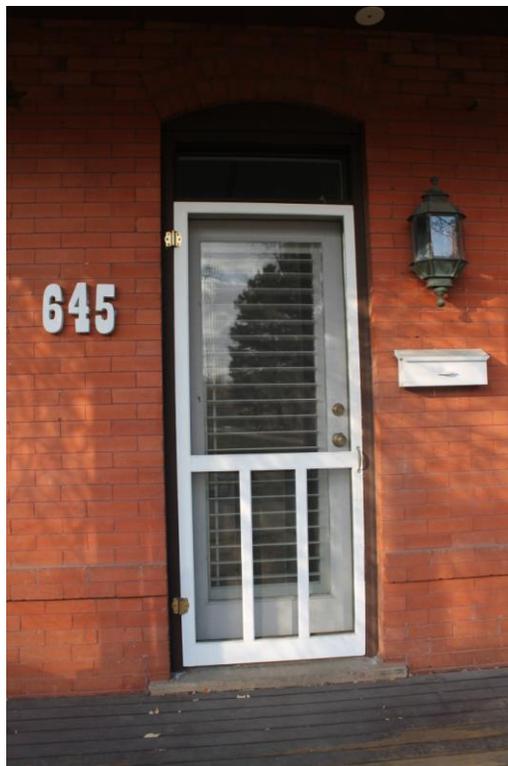


Photo 2. View of front door on south façade, 2015.



Photo 3. View of east elevation, 2015.



Photo 4. View of entire east elevation, 2015.



Photo 5. View of east elevation looking south, 2015.



Photo 6. View of north elevation, 2015.



Photo 7. View from northeast corner, 2014.



Photo 8. View of east elevation looking north, 2015.



Photo 9. View of southwest corner, 2015.



Photo 10. View of 645 Walnut Ave. from Canyon Pointe Park looking north, 2015.

Attachment B: Applicant's Materials

Demolition Request
645 Walnut St., Boulder, CO 80302
Owner's notes
20th January 2015

Ed Parent is the current owner of 645 Walnut Street – a zoned mixed-use property currently being used as office space. It is his intention to remodel the existing brick building into an upstairs living unit and main floor workspace. This building has never been considered for landmark designation and was approved for demolition in March of 2014 under Historic Preservation HIS2014-00069. A delay in construction resulted in this permit lapsing.

The oldest photo we have of 645 Walnut (built in the 1890's) is attached to the 1934 Boulder County Real Estate Appraisal. This shows a 1.5 story, 1360 square foot residence of "vernacular masonry" with a wood front porch. Although not visible in this photo, the 1946 appraisal shows a 5x12 foot back entry/porch had been added. A photo from 1963 (although distant) does not appear to show significant front elevation changes.

We have in our possession no photos from the next few decades. By the time that Ed Parent purchased the building (1991-2) it was no longer being used as a residence. The previous owner, Eric Smith, attached this office space to the building directly behind it on the North side. In the 1982 blueprints used to remodel the space we see the structure much as it exists today; an attached two-story office space with a front porch, storage rooms and a three-space carport.

Ed's knowledge of extensive changes made to this property is as follows:

The back porch has been removed and the North elevation of the home is now attached to the building behind it by an addition and a "sky bridge".

The remaining visible North elevation's brick has been altered.

There are no doors or windows original to the structure.

There are no interior walls or floors original to this structure.

An interior staircase has been added/relocated and now covers an exterior window.

The original chimney has been removed.

The original front porch has been replaced.

The entire second story is no longer original to the house – all windows, skylights, exterior materials and roofing are from the 1980's.

Please feel free to contact me should you require additional information.

Jennifer Campbell for Ed Parent
303.999.1838

Attachment C: Deed and Directory Research

645 Walnut St.
S 75 FT LOT 12 BLK 61 BOULDER WEST
Sec 30 Town 1N Range 70

Owner (Deeds)	Date	Occupant(s)/Directory
Walter and Janie Buckingham 1900-1924	1900 Census	Robert Merrill family (Sadie, Beatrice, Elmer and brother Grant. Billiard Hall Keeper)
	1901	
	1903	Christ & Katherine Schneider, carpenter.
	1904	Ed & Maude Overholt, miner.
	1905	J.C. & Grace Wilson, merchant.
	1906	Della Lemmex, widow.
	1908	William & Elizabeth Johns, miner.
	1911	Richard S., Joseph & Loretta Yates, miners.
	1913	Vacant
	1916	C. Otto & Anna Landstom, employee at C&S Ry.
	1918	"
Margaret Buckingham 1924-1927	1921	Raleigh R. & Amy Sherrill, auto mechanic.
	1923	N.B. Anderson, plasterer, and W. Gleason, carpenter.
Elden Moon 1927 - 1943	1926	J. R. & Lizzie Bartholomew, laborer.
	1928	William & Teresa Breach, employee at City P&H Co.
	1930	Dan and Mary Collins, farmer.
	1932	Paul & Gertrude Archer, miner.
	1936	Melvin Moon, oil well driller.
	1938	"
Thomas and Adeline Sandham 1943-1945	1940	Melvin and Elden moon.
	1943	
JJ Ackermann	1946	
Glyn Basnett 1946-1949	1949	Glyn & Lorena Basnett, U.S. Army.
Keith and Gladys Cline 1949-1976	1951	Keith Cline, fireman at Pub. Serv. Co.
	1953	
	1955	Keith Cline, boiler operator.
	1956	
	1958	
	1959	
	1960	"
	1961	
Eric Smith 1976-1993	1962	
	1963	
Eric Smith 1976-1993	1964	Eric S. Associates Architecture & Planning.
Edward Parent 1993-Present		



Survey Photograph, 645 Walnut St., 1988

Attachment E: Tax Assessor Card, c.1949

OPEN *Reappraised 1949* *1946*
 Reappraised 19 34

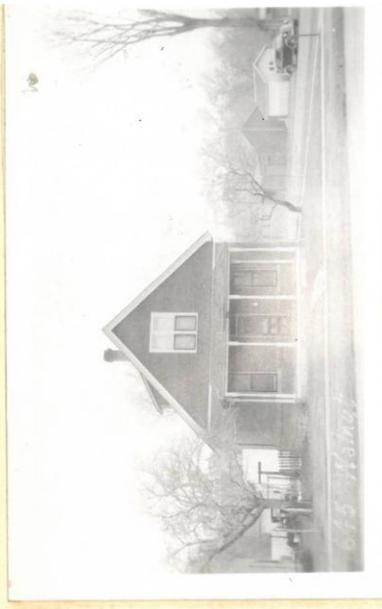
BOULDER COUNTY REAL ESTATE APPRAISAL

OWNER Keith D + Gladys J. Clune CITY Walnut

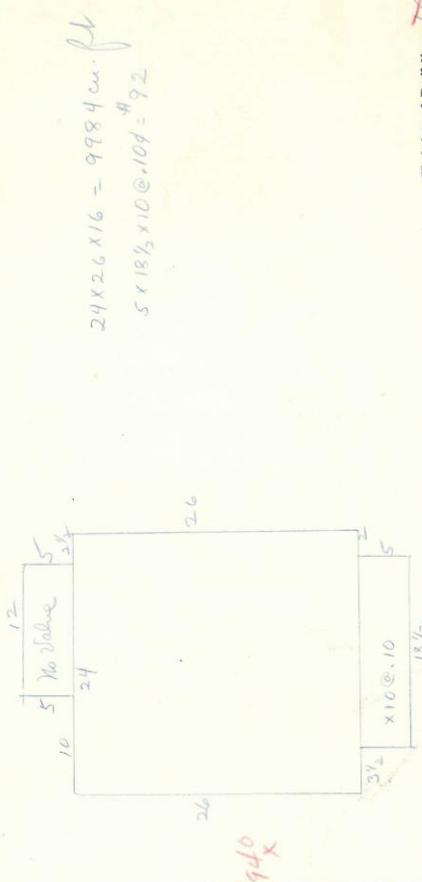
HOUSE No. 645 STREET Walnut

LOTS 245 ft of 12 BLOCK 61 ADDITION 01

Year Constructed 1940 Est. Life in Years _____



BUILDING PLAN



ESTIMATE OF VALUATION

	BLDG. PART A	BLDG. PART B	GARAGE
No. Cubic Feet.....	9984		
Cost per cu. ft. <i>1.2</i>			
Total Cost.....	\$ 11981		
Porches.....			
Garage.....			
Extras.....			
TOTAL.....	\$ 11981	\$ 1870	
----- % Obsolescence -----			
50 % Physical Dep.....	745	950	
Net After Deducting Depreciation.....	\$ 944	\$ 940	
30 % Utility Dep.....	\$ 284		
PRESENT VALUE.....	\$ 660		

DESCRIPTION

Class of Bldg. Construction	Basement	Roof	Heating	Plumbing	Light	Priv. Garage	Barns or Sheds	State of Reps	Local Imps.
19	16	16	16	16	16	16	16	16	16
Char. of Const. <i>1940</i>									
Exterior <i>1940</i>									
Interior Finish <i>1940</i>									
Floors <i>1940</i>									
Stories <i>1940</i>									
Fire Resisting <i>1940</i>									
Foundation <i>1940</i>									

SUMMARY

DESCRIPTION	AMOUNT	YEAR	LAND IMPROVEMENTS	TOTAL
Building Permit	\$	1938	\$	\$
Original Cost, Improvements Only	\$	1939	\$	\$
Additions and Betterments	\$	1940	\$	\$
Owner's Estimate of Present Value	\$	1941	\$	\$
Private Appraisal	\$	1942	\$	\$
Insurance	\$	1943	\$	\$



Tax Assessor Card Photograph, 645 Walnut St., 1949.



View of 600 block of Walnut, c. 1963.

Attachment F: Significance Criteria for Individual Landmarks

SIGNIFICANCE CRITERIA
Individual Landmark
September 1975

On September 6, 1975, the City Council adopted Ordinance #4000 providing procedures for the designation of Landmarks and Historic Districts in the City of Boulder. The purpose of the ordinance is the preservation of the City's permitted cultural, historic, and architectural heritage. The Landmarks Board is permitted by the ordinance to adopt rules and regulations as it deems necessary for its own organization and procedures. The following Significance Criteria have been adopted by the board to help evaluate each potential designation in a consistent and equitable manner.

Historic Significance

The place (building, site, area) should show character, interest or value as part of the development, heritage, or cultural characteristics of the community, state or nation; be the site of a historic, or prehistoric event that had an effect upon society; or exemplify the cultural, political, economic, or social heritage of the community.

Date of Construction: This area of consideration places particular importance on the age of the structure.

Association with Historical Persons or Events: This association could be national, state, or local.

Distinction in the Development of the Community of Boulder: This is most applicable to an institution (religious, educational, civic, etc) or business structure, though in some cases residences might qualify. It stresses the importance of preserving those places which demonstrate the growth during different time spans in the history of Boulder, in order to maintain an awareness of our cultural, economic, social or political heritage.

Recognition by Authorities: If it is recognized by Historic Boulder, Inc. the Boulder Historical Society, local historians (Barker, Crossen, Frink, Gladden, Paddock, Schooland, etc), State Historical Society, The Improvement of Boulder, Colorado by F.L. Olmsted, or others in published form as having historic interest and value.

Other, if applicable.

Architectural Significance

The place should embody those distinguishing characteristics of an architectural type specimen, a good example of the common; be the work of an architect or master builder, known nationally, state-wide, or locally, and perhaps whose work has influenced later development; contain elements of architectural design, detail, materials or craftsmanship which represent a significant innovation; or be a fine example of the uncommon.

Recognized Period/Style: It should exemplify specific elements of an architectural period/style,

i.e.: Victorian, Revival styles, such as described by *Historic American Building Survey Criteria*, Gingerbread Age (Maass), 76 Boulder Homes (Barkar), The History of Architectural Style (Marcus/Wiffin), Architecture in San Francisco (Gebhard et al), History of Architecture (Fletcher), Architecture/Colorado, and any other published source of universal or local analysis of a style.

Architect or Builder of Prominence: A good example of the work of an architect or builder who is recognized for expertise in his field nationally, state-wide, or locally.

Artistic Merit: A skillful integration of design, material, and color which is of excellent visual quality and/or demonstrates superior craftsmanship.

Example of the Uncommon: Elements of architectural design, details, or craftsmanship that are representative of a significant innovation.

Indigenous Qualities: A style or material that is particularly associated with the Boulder area.

Other, if applicable.

Environmental Significance

The place should enhance the variety, interest, and sense of identity of the community by the protection of the unique natural and man-made environment.

Site Characteristics: It should be of high quality in terms of planned or natural vegetation.

Compatibility with Site: Consideration will be given to scale, massing placement, or other qualities of design with respect to its site.

Geographic Importance: Due to its unique location or singular physical characteristics, it represents an established and familiar visual feature of the community.

Environmental Appropriateness: The surroundings are complementary and/or it is situated in a manner particularly suited to its function.

Area Integrity: Places which provide historical, architectural, or environmental importance and continuity of an existing condition, although taken singularly or out of context might not qualify under other criteria.