

# MEMORANDUM

February 4, 2015

**TO:** Landmarks Board

**FROM:** Lesli Ellis, Comprehensive Planning Manager  
James Hewat, Senior Historic Preservation Planner  
Debra Kalish, Senior Assistant City Attorney  
Marcy Cameron, Historic Preservation Planner  
Angela Smelker, Historic Preservation Intern

**SUBJECT:** Consideration of a Landmark Alteration Certificate application to restore the existing house, demolish a non-historic addition on the contributing house and in its place construct a new addition, and to demolish a non-contributing 846 sq. ft. garage and its place construct a 521 sq. ft. two-car garage, all at 603 Highland Ave. in the Mapleton Hill Historic District, per section 9-11-18 of the Boulder Revised Code 1981 (HIS2014-00345).

## STATISTICS:

1. Site: 603 Highland Ave.
2. Zoning: RL-1 (Residential-Low 1)
3. Lot size: 10,465 sq. ft.
4. Existing House: 5,216 sq. ft.
5. Proposed remodeled house: 4,617 sq. ft.
6. Existing Garage: 846 sq. ft.
7. Proposed Garage: 521 sq. ft.
8. Owner: Beth and Will Bashan
9. Applicant: Christopher Melton
10. Date of Construction: 1890

## STAFF RECOMMENDATION:

If the applicant complies with the conditions listed below, staff considers the proposed restoration of the main house, construction of an addition to the house and demolition of the existing garage on property to make way for a new smaller garage will be generally consistent with the conditions specified in Section 9-11-18, B.R.C. 1981, the *General Design Guidelines*, and the *Mapleton Hill Design*

*Guidelines.* Staff recommends that the Landmarks Board adopt the following motion:

*I move that the Landmarks Board adopt the staff memorandum dated Feb. 4, 2015, as the findings of the board and approve a Landmark Alteration Certificate for the proposed construction and relocation shown on plans dated February 4<sup>th</sup>, 2015, finding that they generally meet the standards for issuance of a Landmark Alteration Certificate in Section 9-11-18, B.R.C. 1981, subject to the following conditions:*

#### **CONDITIONS OF APPROVAL**

1. The applicant shall be responsible for constructing the house and garage in compliance with the approved plans dated February 4<sup>th</sup>, 2015, except as modified by these conditions of approval.
2. The dimension of door opening on the first floor of the east elevation shall not be changed and the existing south door to the east balcony shall be preserved;
3. The new garage shall be reduced in size to a one and one-half car garage that is set back at least two feet from the north face of the historic barn and at least 25 feet shall be maintained between the north wall of the new addition and south wall of the new garage.
4. Prior to submitting a building permit application and final issuance of the Landmark Alteration Certificate, the applicant shall submit revised drawings showing conditions 2 and 3 above have been met, as well as the following, all of which shall be subject to the final review and approval of the Landmarks design review committee: window and door details, wall material details, siding material details, paint colors, roofing material details and details regarding any hardscaping on the property to ensure that the approval is consistent with the *General Design Guidelines* and the *Mapleton Hill Historic District Guidelines* and the intent of this approval.

#### **SUMMARY:**

- The applicant has submitted a Landmark Alteration Certificate request to restore the existing house, remove a rear non-historic addition and construct an addition in its place and to demolish a non-historic garage and construct a new, two-car garage in its place on the property at 603 Highland Ave.

- Because the proposal calls for the demolition of a building in a historic district, review by the full Board is required.
- Staff considers that the 1890 house possesses a high degree of architectural, historic and environmental integrity, and is a contributing building to the Mapleton Hill Historic District.
- Staff considers that the rear addition to the house, constructed in 1978, and the two-car garage on the northwest corner of the property, constructed in 1993, are non-historic and non-contributing to the Mapleton Hill Historic District.
- Staff finds that with the listed conditions, the proposed restoration, demolition and new construction to be generally consistent with the criteria for a Landmark Alteration Certificate as per 9-11-18(a) & (b)(1)-(4) B.R.C. 1981, the *General Design Guidelines* and the *Mapleton Hill Design Guidelines*.
- This recommendation is based upon the understanding that, pursuant to the conditions of approval, the stated conditions will be reviewed and approved by the Landmarks Design Review Committee (LDRC) prior to the issuance of a Landmark Alteration Certificate.

#### PROPERTY HISTORY:

The property is associated with a several prominent Boulder families. Samuel Goldsworthy, a brick mason and contractor, built the house in 1890 and sold the



John L. Griffin, 1899.

property to the John L. Griffin family shortly after construction was complete. Griffin was the principal of Central School for several years, and served two terms as county superintendent of schools. In 1896, Mrs. Griffin, her daughter, and two younger sons left for Palo Alto, California, in order to be near their daughter, who was to attend Stanford University. John and his eldest son, Fred, remained in Boulder until 1907, when they both travelled to Puget Sound to be near the rest of their family.

Corydon W. Sanborn and family, members of the original Greeley Colony, were the next owners. He was a merchant and mill operator in Boulder and served for a time as a member of the state legislature. In 1939, George T. Youmans purchased the property from Bert and Ruth

Dutton, son-in-law and daughter of the Sanborns. The couple operated the Youmans Convalescent Home at this location. By 1956, City Directories show that Fred



Corydon W. Sanborn,  
undated.

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Re: Landmark Alteration Certificate for 603 Highland Ave.

Keele resided in the home and operated the Keele Nursing Home through the 1960s.

In Jane Barker's "76 Historic Homes of Boulder," she states that the Youmans operated the Hermosa Vista Nursing Home at this location for many years and that Tom and Marion Stewart purchased the property in 1966 and sold it to David Pirnacks in 1974.



Figure 1. Location Map, 603 Highland Ave.

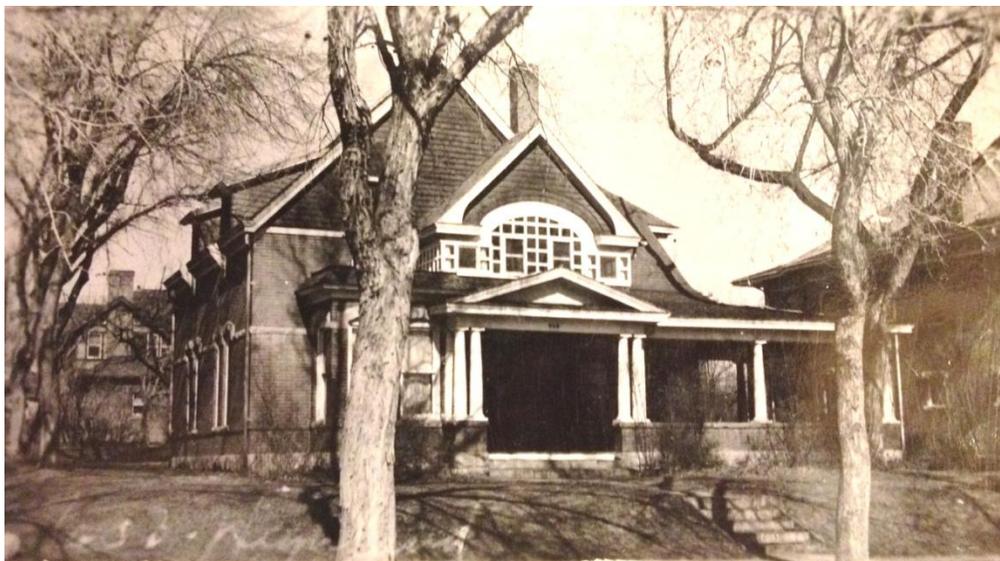


Figure 2. 603 Highland Ave. Tax Assessor Card photograph, c.1929.  
Photograph Courtesy the Carnegie Branch Library for Local History.



*Figure 3. 603 Highland Ave., Facade, 2015.*

When the property was surveyed in 1986, it was determined to be of high architectural significance as the work of a master, of considerable historic significance, and contributing to the Mapleton Hill Historic District. Both the main house and pre-1906 accessory building are considered contributing to the Mapleton Hill Historic District. The non-historic garage, located at the northwest corner of the property, was constructed in 1993, well out of the 1865-1946 period of significance for Mapleton Hill. The previous owners received a Landmark Alteration Certificate for its construction. *See Attachment A: Historic Building Inventory Form.*



*Figure 4. 603 Highland Ave. in Jane Barker's "76 Historic Homes of Boulder", 1976.*

Jane Barker's 1976 book "76 Historic Homes of Boulder," features the Goldsworthy-Youmans House. It notes that "The architectural style suggests an old farm house. A large porch extends across part of the front and side.

**DESCRIPTION:**

The 10,465 sq. ft. lot is located at the southwest corner of 6<sup>th</sup> St. and Highland Ave. The property is bordered by an alley to the north, Highland Avenue to the south and 6<sup>th</sup> Street on the west. Two accessory buildings are located at the rear of the lot. A contributing, two-story, 764 sq. ft. historic barn (constructed prior to 1906) is located at the northeast corner of the property, while a non-contributing, non-historic, 846 sq. ft. garage was constructed at the northwest corner of the property in 1988.

Designed by brick mason and contractor Samuel Goldsworthy in 1890, the main house combines a variety of architectural elements, including asymmetrical massing of steeply pitched gable roofs, a porch with classical detailing that wraps around the southeast corner of the house, a second-story porch that was enclosed in the 1970s, and stone detailing, including arched window lintels and sills.



*Figure 5. Southwest corner of 603 Highland Ave., 2015.*

The south (façade) of the house features a wrap-around porch with classically inspired detailing, including a pediment and paired columns. A wide double-hung window is located east of the front door and two narrower double-hung windows are located at a bay west of the entrance. A finely detailed second story porch is located above the entrance, with a double-hung window to the west and a smaller double-hung window at the gable end. A gable-roofed dormer with a multi-light window is located east of the porch. Two non-historic skylights are located at the peak of the south-facing roof plane, near a louvered gable peak. The lower two-thirds of the building is comprised of brick with stone coursing and the gable ends are sheathed in wood shingles. The entire building is painted blue.



*Figure 6. West elevation, main house, 603 Highland Ave., 2015.*

The west elevation (facing 6<sup>th</sup> St.) is comprised of approximately one-half original construction and one-half non-historic addition. The historic portion of the house features two pairs of double-hung windows with arched lintels above. Two shed dormers (later alterations) are located above each pair. The addition features three vertical casement windows, and four horizontal clerestory windows. A long shed-roof dormer with an off-centered double hung window is located above the clearstory windows.



*Figure 7. Detail of west face of house.*

The post-modern rear addition interprets the architectural language of the original house in a contemporary manner. Details including the stone coursing and arched window opening are continued in the addition. General window proportions and massing are complimentary to the original design but the fenestration and material detailing are executed in a contemporary way. Due to its 1978 construction (well outside of the 1865-1946 period of significance for the Mapleton Hill Historic District), staff considers the addition is to be non-historic.



*Figure 8. North (rear) elevation of 603 Highland Ave., 2015.*

The original north (rear) elevation was significantly modified and obscured by the 1979 addition. A two-story gable portion protrudes at the west portion of the elevation. The stone coursing is continued at the addition with a set of four rectangular windows. Three windows are vertically stacked at the east side of the addition. The top window is arched. The east side of the rear elevation features a non-historic sliding glass door and picture window with sidelights. A shed roof dormer with a double-hung window is located above. The lower portion of the elevation is clad in painted brick, and the upper portion is clad in wood shingle.



*Figure 9. East elevation (facing 6<sup>th</sup> St.) of 603 Highland Ave., 2015.*

The east elevation of the house features a variety of historic and non-historic openings. At the south end, near the wrap-around porch is a double-hung window and door and transom with arched lintels above. Physical evidence suggests that the door opening was originally a window and was modified at some point. The door appears historic, and suggests this was an early alteration. The two columns on this side of the porch are non-historic posts. A second-story balcony is located above the door and window opening. It is accessed from a door on the south elevation. Two double-hung windows and one rectangular window are at this location. The northern portion of the east elevation has been modified. Jane Barker notes that “originally, there was...a large back porch, but that has been incorporated into the kitchen.”<sup>1</sup> Physical evidence suggests the rear portion of the east wall had brick piers and brick knee walls with a stone course. This is consistent with the description in Barker’s book. In 1978, a rear addition was constructed. At this time, the rear porch was enclosed with brick and rectangular window openings. A small bump out is located near the rear of this elevation. The second story addition is clad in wood shingles and features two double-hung windows. A gable is centrally located at the peak of the hipped roof.

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<sup>1</sup> Barker, Jane. 76 Historic Homes of Boulder. Pg 96-97.



*Figure 10. North elevation of c.1900 contributing barn, 2015.*

The historic barn, located at the northeast corner of the property, has a gable roof with standing metal seam roofing. A small intersecting gable roof is located over an upper level vertical board door on the north side. A second pedestrian door is located at the northwest corner of the building. The building is sheathed in board and batten siding and wood trim. A pedestrian door and a vertical board sliding door and track is located on the north (alley) side and three, vertical board doors are located on the south side. The building is currently used for storage.



*Figure 11. Northwest corner of non-historic garage, 2015.*

With a footprint of 660 sq. ft., the 1988 workshop/garage is located approximately 5 ft. west of the historic barn. A wide, 19 ft. garage door is located on the north elevation. The applicant indicates that while the door can accommodate two cars, the building's location on the rear property line does not allow for adequate backing distance and that the property owners can only store one car in the garage. The building is sheathed in board and batten siding. Architecturally, the building references the historic barn in form, massing and materiality, but would likely not meet the current design guidelines, as it is not subordinate to the historic buildings on the property with its mass creating a tunnel-like effect along the alley. In 2010, a Landmark Alteration Certificate was approved for the installation of solar panels on the garage.



*Figure 12. Fence along west property line, 2015.*

A stockade cedar fence, thought to have been erected in 1978, extends approximately 85 ft. along the west property line, from the rear of the house to the garage. The fence measure approximately 7 ft. in height with no spacing between slats. A second fence is located between the accessory buildings.

#### **REMOVAL OF EXISTING WEST & PROPOSED ADDITION**

The application proposes to remove the two-story, 1,450 sq. ft. non-historic addition (constructed in 1978) and on the same footprint, construct a 1,306 sq. ft., two-story addition. Due to the proposed flat roof on the new addition, it is shown to be approximately 10' lower than the existing gable roof addition.



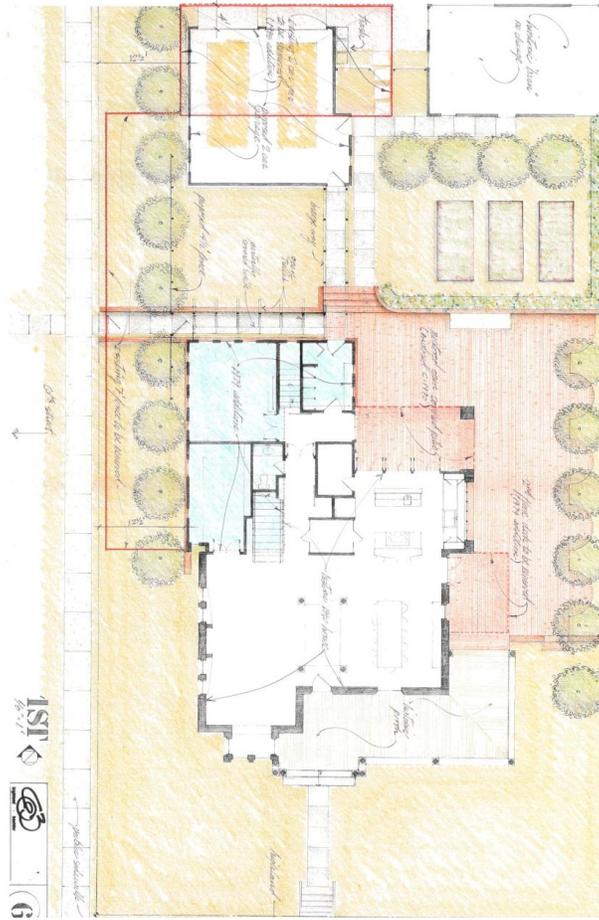


Figure 14. Proposed Site Plan. Not to scale.

Plans show the new two-story addition to feature flat roof, wood shingle siding double-hung and fixed casement windows and a slightly cantilevered second-story at the north end. The existing addition is highly visible from both Highland Ave. and 6<sup>th</sup> St. and the proposed addition will also have high visibility from these public ways.



*Figure 15. Existing west Elevation of main house*



*Figure 16. Proposed East Elevation*

The west elevation of the house shows the lowered addition to take design cues from the character of the existing house in a simplified, somewhat abstracted manner. It is shown to be fenestrated with two slightly over-scaled double-hung windows and a series of casement windows. The portion of the addition that connects the main mass of the addition to the existing house is inset to clearly distinguish between old and new construction.



*Figure 17. Existing North (rear) Elevation*

The proposed north (rear) elevation of the addition is shown to feature a single, full light door, three flanking double hung windows and a single casement window on the first floor with two double- hung windows on the 2<sup>nd</sup> floor. Plans also show the existing north wall of the main house to be remodeled from a picture window and set of French doors to three sets of single light French doors.



*Figure 18. Proposed North Elevation*



*Figure 19. Existing East Elevation*

The east elevation of the proposed addition is shown to be sided in wood shingle and feature two casement windows first floor and a single double-hung window on the upper-story wall. Changes to the east face of the main house include restoring the first floor porch, replacement and widening of a first floor door and changing a window opening to a French door to provide access to the second story balcony.

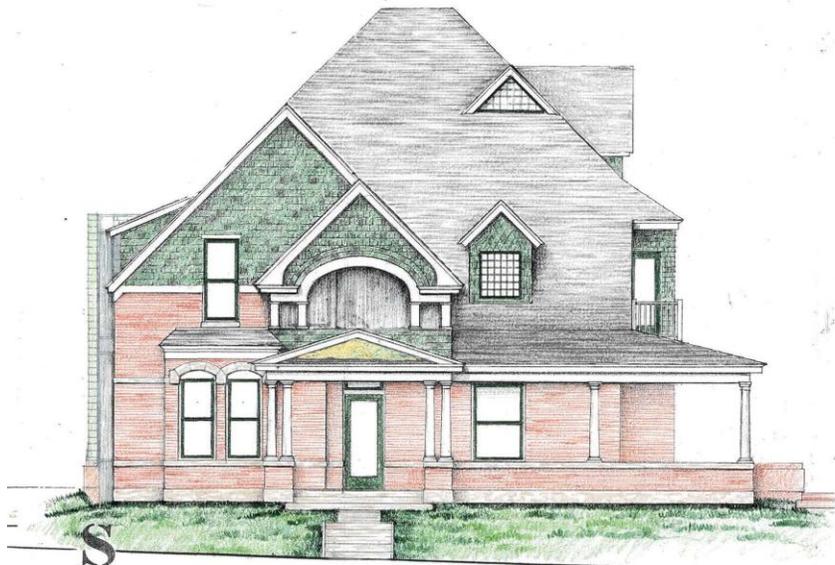


*Figure 20. Proposed East Elevation*



*Figure 21. Existing South Elevation (façade)*

Plans show the second story open porch (now enclosed) on the south face (façade) of the house to be restored based upon the Tax Assessor photograph and the non-historic window on the gable removed. In addition, drawings show the removal of the skylights on the south facing hip roof portion of the house. The existing single light door at the east balcony is shown to be preserved. Finally, plans call for the removal of paint from the brick. A section of paint has been removed at the west side of the house.



*Figure 22. Proposed South Elevation (façade)*

### PROPOSED DEMOLITION OF NON-HISTORIC GARAGE AND FENCE AND CONSTRUCTION OF NEW TWO-CAR GARAGE AND FENCE

The applicant proposes to demolish the existing 846 sq. ft. non-historic two-story, two-car garage and replace it with a 521 sq. ft. one-story, two-car garage in approximately the same location.

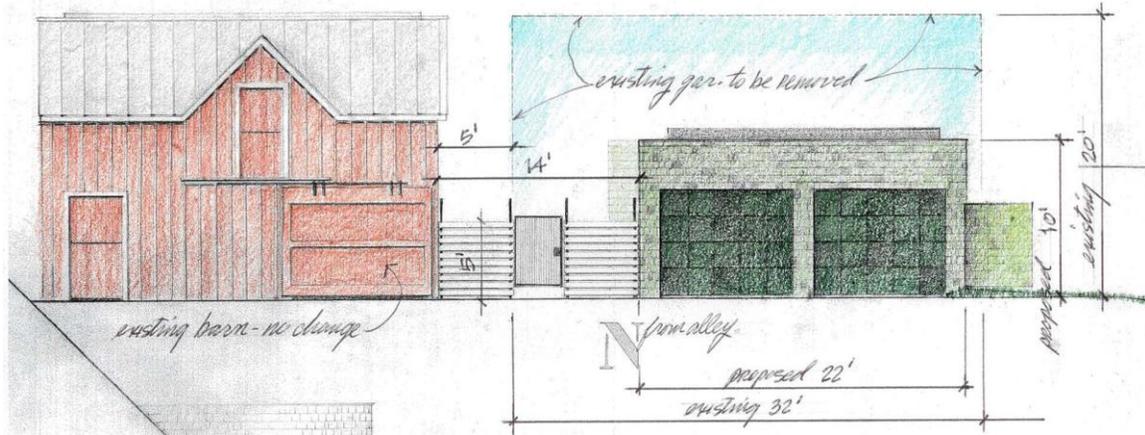


Figure 23. Proposed North Elevation, New Garage at right.

The west wall of the new garage is shown to be located 12 ½ ft. from the west property line and 4 ft. from the north (alley) property line). Plans show a 14 ft. space between the historic barn and the proposed garage where 5 ft. now exists. The proposed garage is shown to be linked to the proposed addition on the main house by way of an open breezeway.



Figure 24. Proposed West Elevation, New Garage at left

In elevation, the proposed garage is shown to be approximately 11 ft. in height where the existing garage is 20 ft. in height. Stylistically, the proposed garage relates to the proposed addition to the historic house with a flat roof. Offset wall planes, casement windows and wood shingle siding.

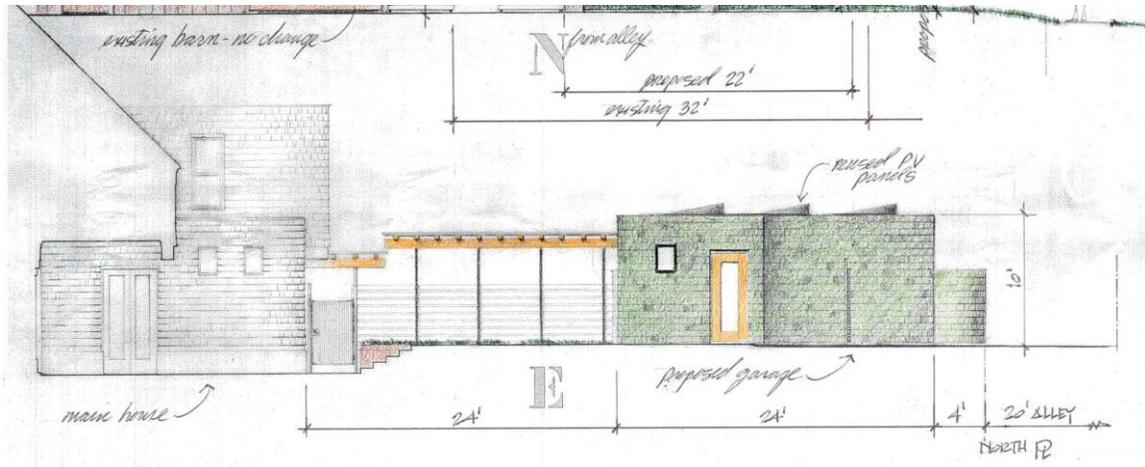


Figure 25. Proposed East Elevation, Garage.

The south elevation is shown to have a single-light pedestrian door with a bracket roof above the entrance. The east elevation is shown to have a pedestrian door and a small casement window. A 6 ft. wall is shown to wrap the north and west elevations of the garage, extending 4 ft. from the west wall. Photovoltaic panels are shown to be located on the roof of the garage.



Figure 26. Proposed South Elevation, Garage.

A fence is shown to be located along the west property line, extending from the wall of the proposed garage to the rear of the proposed addition, terminating at a gate and continuing approximately 10 ft. south from the southwest corner of the addition. The wood fence is shown to be set back 12 ft. from the sidewalk and measure 4 ½ ft. in height with 2" black steel pipe and the rails measuring 2" by 6" with 1" spacing. The fence is shown to be painted white.

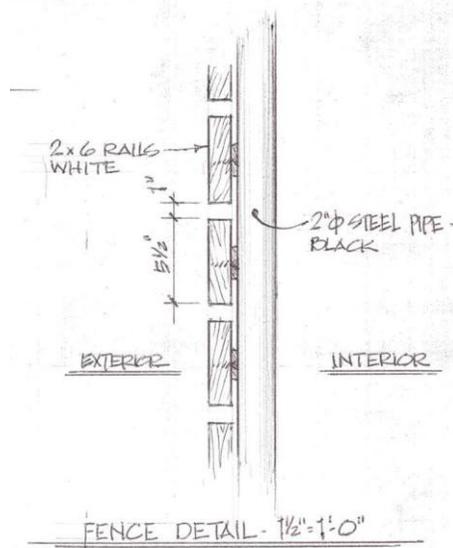


Figure 27. Proposed fence detail.

### **CRITERIA FOR THE BOARD'S DECISION**

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Subsections 9-11-18(b) and (c), B.R.C. 1981, sets forth the standards the Landmarks Board must apply when reviewing a request for a Landmark Alteration Certificate.

(b) Neither the Landmarks Board nor the City Council shall approve a Landmark Alteration Certificate unless it meets the following conditions:

- (1) The proposed work preserves, enhances, or restores and does not damage or destroy the exterior architectural features of the landmark or the subject property within an historic district;
- (2) The proposed work does not adversely affect the special character or special historic, architectural, or aesthetic interest or value of the landmark and its site or the district;
- (3) The architectural style, arrangement, texture, color, arrangement of color, and materials used on existing and proposed constructions are compatible with the character of the existing landmark and its site or the historic district;
- (4) With respect to a proposal to demolish a building in an historic district, the proposed new construction to replace the building meets the requirements of paragraphs (b)(2) and (3) above.

(c) In determining whether to approve a Landmark Alteration Certificate, the

Landmarks Board shall consider the economic feasibility of alternatives, incorporation of energy-efficient design, and enhanced access for the disabled.

## **ANALYSIS**

*1. Does the proposed application preserve, enhance, or restore, and not damage or destroy the exterior architectural features of the landmark or the subject property within an historic district?*

Staff considers that the rear addition to the house and the two-car garage, constructed in 1978 and 1988 respectively, to be non-contributing elements to the property and, as such, their removal is appropriate. Staff finds that, provided the listed conditions are met, the proposed alterations to the property including restoration of lost features based upon historic photographs, an addition at the northeast side of the historic house, and construction of a new, smaller garage will preserve the historic character of the property and the immediate streetscape and be consistent with the *General Design Guidelines* and the *Mapleton Hill Historic District Guidelines* (see Design Guidelines Analysis section).

*2. Does the proposed application adversely affect the special character or special historic, architectural, or aesthetic interest or value of the district?*

Staff finds that, provided the listed conditions are met, the proposed application will not adversely affect the special character or special historic, architectural, or aesthetic interest or value of the landmark property as it will be generally compatible with the *General Design Guidelines* and the *Mapleton Hill Design Guidelines* in terms of mass, scale, height, design and color (see Design Guidelines Analysis section).

*3. Is the architectural style, arrangement, texture, color, arrangement of color, and materials used on existing and proposed structures compatible with the character of the historic district?*

Staff finds that, provided the listed conditions are met, the proposed addition, relocation of the existing garage, and construction of a new garage will be generally compatible with the architectural form, arrangement, texture, color, arrangement of color, and materials used on the proposed building and will be generally compatible with the character of the historic district in terms of mass, scale, height, setback, and design (see Design Guidelines Analysis section).

4. Does the proposal to demolish the building within the Mapleton Hill Historic District and the proposed new construction to replace the proposed demolished building meet the requirements of paragraphs 9-11-18(b)(2), 9-11-18(b)(3) and 9-11-18(b)(4) of this section?

Demolition of a non-contributing building and construction of a smaller, more compatible garage as proposed is consistent with these requirements.

**DESIGN GUIDELINES ANALYSIS:**

The Historic Preservation Ordinance sets forth the standards the Landmarks Board must apply when reviewing a request for a Landmark Alteration Certificate. The Board has adopted the *General Design Guidelines* and the Mapleton Hill Historic District Design Guidelines to help interpret the historic preservation ordinance. The following is an analysis of the proposed new construction with respect to relevant guidelines. Design guidelines are intended to be used as an aid to appropriate design and not as a checklist of items for compliance.

The following is an analysis of the proposal’s compliance with the appropriate sections of the *General Design Guidelines*.

**GENERAL DESIGN GUIDELINES**

| 2 Site Design |   |  |                  |
|---------------|---|--|------------------|
|               | Guideline   | Analysis   | Meets Guideline? |
|               | <i>Site design includes a variety of character-defining elements of our historic districts and building. Individual structures are located within a framework of streets and public spaces that set the context for the neighborhood. How structures occupy their site, in terms of alignment, orientation, and spacing, creates much of the context of the neighborhood.</i> |  |                  |
| .1            | <i>Locate structures within the range of alignments as seen traditionally in the area, maintaining traditional setbacks at the front, side and rear of the property</i>   | The footprint and square footage of buildings on the property in proposal shows a reduction of floor area from current 5,216 sq. ft. to 4,617 sq. ft. as a result of reducing size of new garage, addition and restoring porch areas to historic house. Plan appears to maintain traditional setbacks found in | <b>Yes</b>       |

|     |  |  |              |
|-----|--|--|--------------|
|     |  | Mapleton Hill.   |              |
| .2  | <i>Building proportions should respect traditional patterns in the district</i>  | Proportions of existing buildings are larger than those found on similar properties in the district. Proposed reduction of approximately 600 sq. ft. of floor area will bring proportions and patterns of building more into line with historic character of the district.   | <b>Maybe</b> |
| .7  | <i>Preserve a backyard area between the house and the garage, maintaining the general proportion of built mass to open space found within the area</i> | Proposal shows floor area reduction on property from .49 to .43. Distance between house and existing non-historic garage is 30 ft. Distance between proposed garage and house shown reduced to 20 ft. and buildings linked by breezeway. Space between historic and proposed garage increased from 5 ft. to 14 ft. Consider reducing length of new garage and eliminate breezeway. Review at the Ldrc. | <b>Maybe</b> |
| 2.2 | <i>Preserve street trees whenever possible</i>   | Three existing trees are shown to be maintained at the front and side of the proposed house. Little detail provided as to what other vegetation will be maintained – review details including hardscaping plan at the Ldrc.  | <b>Maybe</b> |

|            |   |   |                         |
|------------|---|---|-------------------------|
| <b>4.1</b> | <b>Protection of Historic Structures and Sites</b>  |   |                         |
|            | <i>The primary concern of the Landmarks Board in reviewing additions to historic structures is the protection of the existing structure and the character of the site and district.</i> |   |                         |
|            | <b>Guideline</b>  | <b>Analysis</b>   | <b>Meets Guideline?</b> |
| .1         | <i>Construct new additions so that there is a least possible loss of</i>  | Addition is proposed at rear of contributing house and incorporates | Yes                     |

|  |   |   |                         |
|--|---|---|-------------------------|
|  | <i>historic fabric and so that the character-defining features of the historic building are not destroyed, damaged or destroyed</i>   | the existing ell at the back of the house as a clear connection between old and new. Proposed new addition will not remove more original material than has already been lost.   |                         |
| .2   | <i>New additions should be constructed so that they may be removed in the future without damaging the historic structure.</i>   | The design utilizes the existing ell at the rear of the house; addition could be removed with minimal damage to the existing building.  | Yes                     |
| .3   | <i>It is not appropriate to construct an addition that will detract from the overall historic character of the principal building and/or the site, or if it will require the removal of significant building elements or site features.</i> | The proposed design takes cues from the materiality, form and fenestration of the historic house in abstracted manner. Proposed addition will be significantly smaller in mass, scale and simpler in detailing than existing addition.  | Yes                     |
| <b>4.2 Distinction from Historic Structures</b>  |   |   |                         |
| <i>All additions should be discernible from the historic structure. When the original design is duplicated the historic evolution of the building becomes unclear. Instead, additional should be compatible with the historic architecture but clearly recognizable as new construction.</i> |   |   |                         |
|  | <b>Guideline</b>  | <b>Analysis</b>   | <b>Meets Guideline?</b> |
| .1   | <i>Distinguish an addition from the historic structure, but maintain visual continuity between the two. One common method is to step the addition back and/or set it in slightly from the historic structure.</i>                           | Proposed addition takes design cues from the existing house, creating a visual continuity between the two through simple forms and detailing. Inset connection between the addition and existing house will help differentiate between old and new, and subtle change in materiality will help distinguish between the two sections of the house. Review details at Ldrc. | Yes                     |
| .2   | <i>Do not directly copy historic elements. Instead, interpret historic elements in simpler ways in the addition.</i>  | In form, the addition respects the historic house, and does not seek to replicate historic elements. Steps have been taken to further develop a visual continuity between the existing house by simplifying form, fenestration, and   | Yes                     |

|            |   |   |                         |
|------------|---|---|-------------------------|
|            |   | refining materiality. Review details at Ldrc.   |                         |
| .3         | <i>Additions should be simpler in detail than the original structure. An addition that exhibits a more ornate style or implies an earlier period of architecture than that of the original is inappropriate.</i>  | Proposed addition simpler in fenestration and detailing than historic house. Review details at Ldrc.  | Yes                     |
| .4         | <i>The architectural styles of additions should not imitate the historic style but must be compatible with it. Contemporary style additions are possible, but require the utmost attention to these guidelines to be successful. The use of two distinct historic styles, such as adding Tudor-style half-timbering to a Classic Cottage, is inappropriate.</i>   | Proposed addition is generally compatible employing a modern vocabulary of mass, form and fenestration that refers to the historic house in form, proportion and materiality. to the style of the historic  | Yes                     |
| <b>4.3</b> | <b>Compatibility with Historic Buildings</b>  |   |                         |
|            | <i>Introducing new construction that contrasts sharply with an existing historic structure or site detracts from the visual continuity that marks our historic districts. While additions should be distinguishable from the historic structure, they must not contrast so sharply as to detract from the original building and/or the site. Additions should never overwhelm historic structures or the site, in mass, scale or detailing.</i> |   |                         |
|            | <b>Guideline</b>  | <b>Analysis</b>   | <b>Meets Guideline?</b> |
| .1         | <i>An addition should be subordinate to the historic building, limited in size and scale so that it does not diminish or visually overpower the building.</i>   | Proposed addition will have high public visibility by virtue of its corner location, the lowered two-story addition will be sub-ordinate to the main house in terms of mass, scale and height. Approximate square footage of historic house 2,600 sq. ft., 1979 addition to be removed 1,450 sq. ft.; proposed addition 1,300 sq. ft. | Yes                     |
| .2         | <i>Design an addition to be compatible with the historic building in mass, scale, materials and color. For elevations visible from public streets, the</i>  | Relationship of solids to voids on the east and west elevations of the proposed addition are abstracted but proportional to forms as well as amount of solids to void as found on   | Yes                     |

|    |   |  |     |
|----|---|--|-----|
|    | <i>relationship of solids to voids in the exterior walls should also be compatible.</i> | the existing house.  |     |
| .4 | <i>Reflect the original symmetry or asymmetry of the historic building.</i>             | Symmetry of original house is generally reflected in fenestration addition Fenestration has been simplified to follow same relationship in somewhat abstracted manner. | Yes |
| .5 | <i>Preserve the vertical and horizontal proportion of a building's mass.</i>            | The horizontal form of house will not be adversely affected by the proposed addition.  | Yes |

|            |   |   |                         |
|------------|---|---|-------------------------|
| <b>4.4</b> | <b>Compatibility with Historic Site and Setting</b>   |   |                         |
|            | <i>Additions should be designed and located so that significant site features, including mature trees, are not lost or obscured. The size of the addition should not overpower the site or dramatically alter its historic character.</i> |   |                         |
|            | <b>Guideline</b>  | <b>Analysis</b>   | <b>Meets Guideline?</b> |
| .1         | <i>Design new additions so that the overall character of the site, site topography, character-defining site features and trees are retained.</i>  | Character of large (10,647 sq. ft.) lot will not be affected by proposed addition and significant site features are not proposed for removal. Proposed addition will not expand from existing addition footprint.                     | Yes                     |
| .2         | <i>Locate new additions on an inconspicuous elevation of the historic building, generally the rear one. Locating an addition to the front of a structure is inappropriate because it obscures the historic facade of a building.</i>      | Addition is at the rear of the historic house and will have high public visibility, though proposed addition will have significantly less impact on historic house and will not obscure character defining features of that building. | Yes                     |
| .3         | <i>Respect the established orientation of the original building and typical alignments in the area.</i>   | Addition does not affect historic orientation and alignments of the building along the streetscape.   | Yes                     |
| .4         | <i>Preserve a backyard area between the house and the garage, maintaining the general proportion</i>  | Proposed construction of a two car garage will take the place of the existing garage; addition and new  | Yes                     |

|            |   |   |                         |
|------------|---|---|-------------------------|
|            | <i>of built mass to open space found within the area. See Guideline 2.1.1.</i>  | garage will not significantly affect the general proportion of built mass to open space.  |                         |
| <b>4.5</b> | <b>Key Building Elements</b>  |   |                         |
|            | <i>Roofs, porches, dormers, windows and doors are some of the most important character-defining elements of any building. As such, they require extra attention to assure that they compliment the historic architecture. In addition to the guidelines below, refer also to Section 3.0 Alterations for related suggestions.</i> |   |                         |
|            | <b>Guideline</b>  | <b>Analysis</b>   | <b>Meets Guideline?</b> |
| .1         | <i>Maintain the dominant roofline and orientation of the roof form to the street.</i>   | Roofline of proposed addition will be approximately 10 ft. lower than existing addition to be removed. Proposed flat on addition will not affect the orientation of the dominant roofline on the house. | Yes                     |
| .2         | <i>Rooflines on additions should be lower than and secondary to the roofline of the original building.</i>  | Roofline of addition is shown to be slightly lower than roof of existing house, and will be secondary to the roofline of the original house.  | Yes                     |
| .3         | <i>The existing roof form, pitch, eave depth, and materials should be used for all additions.</i>   | The flat roof differs from that of the hipped and gable forms on the main house, but is considerably lower than and subservient to these roofs.   | Maybe                   |
| .5         | <i>Maintain the proportion, general style, and symmetry or asymmetry of the existing window patterns.</i>   | Fenestration on addition references double hung and casement windows found on main house. Generally maintains the patterns and proportion of solids to void on main house.                              | Yes                     |
| .6         | <i>Use window shapes that are found on the historic building. Do not introduce odd-shaped windows such as octagonal, triangular, or diamond-shaped</i>  | Windows and doors on addition generally reflect those on main house. Review details of fenestration at Ldrc.  | Yes                     |

**MAPLETON HILL DESIGN GUIDELINES –MAJOR EXTERIOR  
 RENOVATION, ADDITIONS AND SECOND STORIES, T.**

|           |  |   |                         |
|-----------|--|---|-------------------------|
| <b>F.</b> | <b>Massing</b>   |   |                         |
|           | <i>While the specific details of the historic architectural styles of Mapleton Hill vary considerably, the most significant and identifiable feature of a building is its massing. Buildings of Italianate styling are square and vertical. Bungalows are low and rectangular, while Queen Anne styling is asymmetrical with many projections and details. Replication of stylistic detailing is not encouraged or necessary, however, the form which defines the building, should be respected.</i> |   |                         |
|           | <b>Guideline</b>   | <b>Analysis</b>   | <b>Meets Guideline?</b> |
| 1.        | <i>Any addition to a building should preserve the existing symmetry or asymmetry.</i>  | The proposed addition will generally not impact the asymmetry of the main house.  | Yes                     |
| 2.        | <i>The vertical or horizontal proportion of a building's mass should be preserved.</i>   | The addition will not impact the building's mass though will be highly visible from the west.                           | Yes                     |
| <b>T.</b> | <b>Major Exterior Renovation, Additions and Second Stories.</b>  |   |                         |
|           | <i>Large additions and additional stories to a building frequently change the character of the structure. The diversity that characterizes the historic district is a result of the variety in the sizes of buildings and the differing architectural styles. A design response that respects this diversity is most appropriate.</i>  |   |                         |
|           | <b>Guideline</b>   | <b>Analysis</b>   | <b>Meets Guideline?</b> |
| .4        | <i>New additions should be designed and constructed so that the character-defining features of the historic building are not radically changed, obscured, damaged or destroyed in the process of rehabilitation.</i>   | Addition proposed at rear of historic building; no character defining features of existing house will be affected.      | Yes                     |
| .5        | <i>New design and construction should always be differentiated from older portions of a building; however, the addition should respect the existing roof forms, and building scale and massing.</i>  | Proposed addition is distinct from house in form, detailing and materiality. Flat roof differs from that on main house. | Maybe                   |

**General Design Guidelines**

|                                 |  |   |                         |
|---------------------------------|--|---|-------------------------|
| <b>7.</b>                       | <b>GARAGES &amp; OTHER ACCESSORY STRUCTURES</b>  |   |                         |
| <b>7.1</b>                      | <b>Existing Historic Accessory Structures</b>  |   |                         |
|                                 | <i>A primary concern of the Landmarks Board in reviewing proposed changes in historic districts is the protection of existing historic accessory structures and the character of the site and district.</i>  |   |                         |
|                                 | <b>Guideline</b>   | <b>Analysis</b>   | <b>Meets Guideline?</b> |
| .1                              | <i>Retain and preserve garages and accessory buildings that contribute to the overall character of the site or district.</i>   | The c.1900 contributing accessory building is proposed to be retained. The 1993 garage is considered non-contributing.  | <b>Yes</b>              |
| .2                              | <i>Retain and preserve the character-defining materials, features, and details of historic garages and accessory buildings, including roofs, materials, windows, and doors.</i>  | No exterior changes to the existing accessory building are shown.   | <b>Yes</b>              |
| <b>7.2</b>                      | <b>New Accessory Buildings</b>   |   |                         |
|                                 | <i>New accessory buildings should follow the character and pattern of historic accessory buildings. While they should take design cues from the primary buildings, they must be subordinate in size, massing, and detailing. Alley buildings should maintain a scale that is pleasant to walk along and comfortable for pedestrians.</i> |   |                         |
| <b>Location and Orientation</b> |  |   |                         |
| .1                              | <i>It is inappropriate to introduce a new garage or accessory building if doing so will detract from the overall historic character of the principal building, and the site, or if it will require removal of a significant historic building element or site feature, such as a mature tree.</i>  | With its flat roof the proposed two-car garage is shown to relate to the proposed addition to the main house. Construction does not appear to result in loss of historic character defining features of the property. | <b>Yes</b>              |
| .2                              | <i>New garages and accessory buildings should generally be located at the rear of the lot, respecting the traditional relationship of such buildings to the primary structure and the site.</i>  | Proposed new garage is shown to be located at the rear of the property, but connected to the main house by way of a breezeway. Consider removing breezeway element – review at Ldrc.                                  | <b>Maybe</b>            |
| .3                              | <i>Maintain adequate spacing between accessory buildings so alleys do not</i>  | Currently, distance between accessory buildings is 5 ft. Proposed   | <b>Maybe</b>            |

|                                |   |  |              |
|--------------------------------|---|--|--------------|
|                                | <i>evolve into tunnel-like passageways.</i>   | distance will be 14 ft. Lower height of proposed building and increased distance between the buildings will result in reduction of tunnel-like effect at alley. Consider reducing footprint of new garage and/or setting face of the new building back from north face of historic accessory building to further mitigate. Review at Ldrc.   |              |
| .4                             | <i>Preserve a backyard area between the house and the accessory buildings, maintaining the general proportion of built mass to open space found within the area.</i>        | Construction of proposed two-car garage will slightly increase the footprint of buildings on the property and proportion of built mass to open space of the property or streetscape. Distance between existing garage and house approximately 30 ft.; Distance between proposed garage and house is 20 ft. Consider reducing size of new garage to one-car garage. Review at Ldrc. | <b>No</b>    |
| <b>Mass and Scale</b>          |   |  |              |
| .5                             | <i>New accessory buildings should take design cues from the primary building on the property, but be subordinate to it in terms of size and massing.</i>                    | Proposed design relates to proposed flat roof addition to house. Proposed garage is subordinate to house and historic accessory in terms of mass and height.   | <b>Maybe</b> |
| .6                             | <i>New garages for single-family residences should generally be one story tall and shelter no more than two cars. In some cases, a two-car garage may be inappropriate.</i> | Proposed two-car garage is shown to be 11 ft. high. Consider reducing to one-car and utilizing existing accessory building to house one-car to be more consistent with .4 above. Review at Ldrc.   | <b>Maybe</b> |
| .7                             | <i>Roof form and pitch should be complementary to the primary structure.</i>  | Flat roof relates to proposed addition to house.   | <b>Maybe</b> |
| <b>Materials and Detailing</b> |   |  |              |
| .8                             | <i>Accessory structures should be simpler in design and detail than the primary</i>   | As shown, garage is simpler than main house in design, material, and   | <b>Yes</b>   |

|     |  |  |              |
|-----|--|--|--------------|
|     | <i>building.</i>   | <i>detailing.</i>  |              |
| .9  | <i>Materials for new garages and accessory structures should be compatible with those found on the primary structure and in the district. Vinyl siding and prefabricated structures are inappropriate.</i>                   | Proposed materials will be compatible with main house and character of historic district. Review details at Ldrc.  | <b>Yes</b>   |
| .10 | <i>Windows, like all elements of accessory structures, should be simpler in detailing and smaller in scale than similar elements on primary structures.</i>  | Proposed design of windows and doors compatible in terms of window type, size and detailing with similar elements on the primary building. Review details at Ldrc. | <b>Yes</b>   |
| .12 | <i>Garage doors should be consistent with the historic scale and materials of traditional accessory structures. Wood is the most appropriate material and two smaller doors may be more appropriate than one large door.</i> | Garage doors appear to be consistent in terms of scale and materials. Review final details at Ldrc.  | <b>Maybe</b> |
| .13 | <i>It is inappropriate to introduce features or details to a garage or an accessory building in an attempt to create a false historic appearance.</i>  | Proposed design does not attempt to recreate a false historic appearance.  | <b>Yes</b>   |

**Mapleton Hill Historic District Guidelines**

|           |  |   |                         |
|-----------|--|---|-------------------------|
| <b>D.</b> | <b>ALLEYS, EASEMENTS and ACCESSWAYS</b>  |   |                         |
|           | <i>Alleys are a strong visual element of the district, and have much variety of scale and detail. They play an important role in the development patterns that give the more visible areas their character. Alleys provide access to rear parking and garages. They have a varied edge quality, with buildings both on the property lines and set back. The size and quality of these accessory buildings varies considerably. Careful consideration should be given to changes in traditional uses.</i> |   |                         |
|           | <b>Guideline</b>   | <b>Analysis</b>   | <b>Meets Guideline?</b> |
| 1.        | <i>The use of alleys to provide access to the rear of properties should be preserved.</i>  | Access to garage appears to have been historically taken from alley. Sliding door appears to allow for accommodation of one car. New garage is shown to take access from alley. | <b>Yes</b>              |

|  |  |  |              |
|--|--|--|--------------|
|  |  |  |              |
| 3.   | <i>Buildings such as garages, sheds, etc. which contribute to this variety should be retained in their original form whenever possible.</i>  | Contributing accessory building is to be retained.   | <b>Yes</b>   |
| <b>O. FENCES</b>   |  |  |              |
| <i>Traditionally, the appearance of a house has been more important than privacy from the streets, so fences were open, for example, made of wrought iron or wood pickets. Solid wood fences are not traditional and were not used at the fronts of houses, and the present-day addition of such a fence interrupts the strong visual element created by uniform building alignment.</i> |  |  |              |
| .1   | <i>Low fences are encouraged.</i>  | Fence along west (side) of property is shown to be 4', 6" in height (replacing existing 7' fence) and rear fence along alley to height of 5'.        | <b>Maybe</b> |
| .2   | <i>Although not typically found within front yards, if used, a durable material in an open design should be used for front fences. Painted iron or steel, or painted wood pickets are appropriate and might be used in conjunction with low masonry walls. There are types of wire fencing which are historic and would be encouraged. Low shrub hedges are also appropriate. Vertical board, stockade, chain link fences and heavy brick posts are generally inappropriate.</i> | While contemporary, staff does not consider the horizontal slat wood fence will not detract from the non-contributing primary house. Review at Ldrc. | <b>Yes</b>   |
| .3   | <i>Fences without spaces between slats can alter the character of a building site and of the streetscape and alleyscape because the historic architectural elements that contribute to the pattern of spacing, setbacks, scale, details and materials of the historic district are blocked from view.</i><br><i>a. Solid or tight fences are not appropriate</i><br><i>b. Every effort should be made to allow visual penetration in the design of fences visible from the</i>   | Verify spacing between horizontal slats to allow for some degree of openness. Review at Ldrc.  | <b>Yes</b>   |

|          |  |   |                                  |
|----------|--|---|----------------------------------|
|          | <i>street or alley. The visual impact of solid wood fencing at the rear of a lot is that the alley becomes a visual tunnel, and much of the irregularity and variation that make the essential character of an alley are changed.</i>  |   |                                  |
| .4       | <i>Fences on the rear portion of corner lots should have some degree of spacing along the public right-of-way unless the fence is set back far enough to avoid a fortress effect.</i>  | 4', 6" fence with open spacing between boards will provide adequate openness. Review details at Ldrc. | <b>Yes</b>                       |
| .5       | <i>Fences across the front of a house should be low (36" or less). When connecting fencing to a taller side or rear yard fence, a section which gradually increases in height should be included.</i>  | N/A   | N/A                              |
| .6       | <i>Raw wood (unfinished or unpainted) fences are inappropriate in the historic district. Fences should be either painted or coated with an opaque stain.</i>   | Fence is specified to painted white.  | <b>Yes</b>                       |
| .7       | <i>The finish side of the fence should face toward the street or sidewalk.</i>   | This detail unclear from plans. Confirm at Ldrc.  | <b>Maybe</b>                     |
| .8       | <i>Fences should have a regular pattern.</i>   | Fences shown to have a regular pattern.   | <b>Yes</b>                       |
| <b>P</b> | <b>GARAGES, CARPORTS AND ACCESSORY STRUCTURES</b>  |   |                                  |
|          | <i>A variety of accessory buildings has been adapted for use as garages in the Mapleton Hill Historic District. Whether carriage houses or sheds, these structures have certain similarities. They are plain and utilitarian and are located at the rear of the property on the alley. Materials and building elements are varied.</i> |   |                                  |
|          | <b>Guideline</b>   | <b>Analysis</b>   | <b>Meets<br/>Guideline<br/>?</b> |

|    |  |  |            |
|----|--|--|------------|
| .1 | <i>If an existing structure is to be used as a garage the historic character of the building should be respected. As few changes as possible should be made.</i> | No exterior changes to the accessory building are shown. | <b>Yes</b> |
|----|--|--|------------|

Section 4 of the *General Design Guidelines* states that additions to historic buildings should be “compatible with, but discernible from, the historic architecture” and continues, “conversely, when design elements contrast too strongly with the original building, the addition will appear visually incompatible.” The *Mapleton Hill Design Guidelines* recommend that, “new designs incorporate elements that contribute to the character of the district, such as overall mass, rooflines, windows, porches, front entries etc. However, innovative ways of incorporating such elements and modern expressions of detailing are strongly encouraged.” While not designated a district in 1978 when the existing addition was built, consideration was given to making the addition compatible, yet distinct.

The current proposal presents a design that references the historic building, but in a clearly contemporary way. In terms of form, the most contrasting element of the design is the flat roof, which is employed in an attempt to reduce the real and perceived mass of the addition from its current configuration. Likewise the slightly offset second story module would seem not to relate to the historic house, but is actually an abstraction of asymmetrical forms found, particularly on the east face of the house. Rafter tails beneath the second level of the slightly cantilevered second story of the proposed addition are found on the supporting the roof above the balcony on the east elevation of the historic house.

In terms of fenestration, the proposed addition expresses traditional window elements by incorporating three slightly over scaled double hung sash with the same proportions as those found on the historic house. Materially, the addition references the second and third stories of the historic house with use of painted wood shingle. While clearly modern, the addition is a thoughtful, understated counterpoint to the complex asymmetry and detailing found on the main. Staff considers that it generally meets the design guidelines, but that details of windows, doors and materiality should be reviewed by the Landmarks design review committee.

The proposed restoration of the historic building also appears generally consistent with the design guidelines and staff commends the effort being made.

However, staff recommends that the first floor doorway on the (secondary) east face not be widened and that the existing south door to the east balcony be maintained.

Pending the review of some design details by the Landmark Design Review Committee, staff considers the proposed construction of an addition to be generally consistent with the Historic Preservation Ordinance, Section 4 of the *General Design Guidelines* and Sections F and T of the *Mapleton Hill Design Guidelines*.

Plans for the construction of a smaller accessory building in place of the existing 834 sq. ft. non-contributing garage appear generally in keeping with the design guidelines, however, staff considers that further reducing the footprint to a one-car garage would be more appropriate. The current proposal will actually increase the footprint of building on the property and will likely require a variance from the Board of Zoning Adjustment. Staff recommends that the garage should be reduced in size to a one and one-half garage, that the north wall should be set back at least two feet from the north wall of the historic accessory building, that the distance between house and the garage be increased to a least 25', and that the proposed breezeway be eliminated from the design. While the applicant prefers single a two-car garage, staff consider that the historic barn can likely accommodate a vehicle.

Provided these conditions are met staff considers issuance of a Landmark Alteration Certificate for the proposed restoration of the main house, addition to the house, and construction of a new garage to be generally consistent with the Historic Preservation Ordinance, the *General Design Guidelines*, and the *Mapleton Hill Historic District Guidelines*. As such, staff finds the application meets the standards in Section 9-11-18(a)&(b)(1)-(4) B.R.C.

**FINDINGS:**

Provided the conditions outlined in the staff recommendation are met, staff recommends that the Landmarks Board approve the application and adopt the following findings:

1. The proposed new construction will meet the standards in Section 9-11-18 of the Boulder Revised Code 1981.
2. The proposed construction will not have an adverse effect on the value of the landmark property, as it will be generally compatible in terms of

mass, scale, or orientation with other buildings in the district.

3. In terms of mass, scale, and orientation, the proposal will be generally consistent with Section 9-11-18(a) & (b)(1)-(4) B.R.C.1981, the *General Design Guidelines*, and the *Mapleton Hill Historic District Design Guidelines*.

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**ATTACHMENTS:**

- A: Tax Assessors Card
- B: Historic Building Inventory Record
- C: Current Photographs
- D: Statement from Applicant
- E: Plans and Elevations





Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for 603 Highland Ave.



Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for 603 Highland Ave.

**Attachment B: Historic Building Inventory Form**

**Attachment C: Current Photographs**



*603 Highland, South Elevation, 2015.*



*603 Highland, West Elevation, 2015.*

Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for 603 Highland Ave.



*603 Highland, North Elevation, 2015.*



*603 Highland, East Elevation, detail, 2015.*

Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for 603 Highland Ave.



*603 Highland, East Elevation, detail, 2015.*



*603 Highland, View facing east along alley, 2015.*

Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for 603 Highland Ave.



*603 Highland, View facing west along alley, 2015.*

**Attachment D: Statement from Applicant**

603 Highland Restoration/Remodel/Addition

In 1890, Sam Goldsworthy, a master builder and mason, began construction of his own house at 603 Highland. There is no record of an architect, yet the eclectic house bears an intuitive sense of composition outside the formality of style. Mr. Goldsworthy was showing off his craft and eye and the result was personal and unique.

However, the house was sold a year or so after completion, and the subsequent lineage of owners each modified and added to the original. In 1979 a large and ill conceived two story structure was added to the northwest corner, and the entire project was painted, masonry and all. Nine years later a large structure, roughly imitating the existing historic "barn" in mass and scale, was added as a garage.

As architect, I have been retained to rectify the abuses. The clients' program requires the retention of the added living space, and the replacement of the dysfunctional 1979 garage.

The unique and personal character of Mr. Goldsworthy's original effort does not beg imitation. Rather, the addition should act as a foil to the elaborate composition. [1] We chose to reduce the apparent mass of the additions by articulating the side walls, simplifying the forms and relating the composition more strongly to the landscape than the original structure. Beginning at the north end of the property, with the new garage as the low element, the massing of the additions increases in height, peaking with the high-pitched roof of the original, which quickly drops down to the horizontal porch facing Highland. Mr. Goldsworthy skillfully and intuitively played the horizontal against the vertical. We

have attempted to follow suit in the composition of the additions and their relationship to the original house.

The siding for the additions is the same wood shingle pattern as is used compositionally in the masonry house. We chose a palette of greens to compliment the darker green of the early siding, at the same time reinforcing the relationship of the addition to the landscape. The composition of garage, fence, and remodeled addition reflects the intent of the guidelines in terms of material, massing, proportions, fenestration, and percentage of openings to wall space relative to the original.

Stripping the 1979 paint from Mr. Goldsworthy's masonry was obvious. We restored the open second floor porch above the entry (previously enclosed), restored the fenestration, removed the skylights and replaced missing columns at the front porch, returning the highland façade to its original detail.

At some point, the exterior ground level porch at the rear yard was enclosed to enlarge a kitchen. [2] Our design returns this space to a covered patio. At ground level on the east and rear elevations, bays between masonry piers were bricked in and various mismatched windows were added. [3] We have restored the masonry framework and infilled with fenestration to accommodate the design program and reflect the proportions and scale of the historic windows. All original windows and exterior doors will be retained and restored. More recent windows in original openings, which do not reflect the detail and quality of the old windows, will be replaced. At some point, the second floor balcony on the east façade was replaced by a large ground supported deck. [4] We have removed this deck and restored the bracketed balcony.

The 1988 garage addition is zero.lot.line on the 20 foot alley, and measures 17 feet deep by 32.5 feet long; it's ridge at 20 feet. [5] This structure was sited 5 feet from the historic "barn" to the east. Though this garage was designed as a two car garage with a single 18 foot wide overhead door, the 17 foot depth does not allow for straight-in parking and the zero.lot.line siting does not provide adequate back out distance (24 feet required by code). This configuration produces, effectively, a large one-car garage. We propose a replacement garage set in 4 feet from the alley, providing the required back-out distance. This structure is one storey and separated from the historic "barn" by 14 feet. The alley façade of the proposed garage is 220 square feet as opposed to 575 square feet for the existing two storey structure. These modifications combine to produce a more open "alley-scape".

Currently, a solid cedar fence rises 7 feet from the edge of the 6<sup>th</sup> Street sidewalk and has a total length of 85 feet. [6] The rough-sawn cedar fence has no aesthetic relationship to the project. We chose to move the fence 10 feet back from the sidewalk reduce its length to 36 feet, its height to 4.5 feet, and space the solid elements of the fence 1 inch apart. This design composes with the building additions, provides a degree of rear yard privacy and is 1/3 the area of the existing fence. By siting the fence in this way, we are creating a 10 to 12 foot wide by 100 foot long landscaped buffer along the 6<sup>th</sup> street sidewalk. In traditional neighborhoods large front porches and open lawns related to the neighborhood and helped generate a sense of community, as is the case here. The rear yards were kept private, whether fenced or landscaped. This is clearly a persistent desire of Mapleton Hills residents. [7]

Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for 603 Highland Ave.

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In summary our intentions with this project are three fold: to accommodate the clients' design program, to restore the historic elements as closely a possible to their original grandeur and to provide a background of simple compatible, and complimentary additions. It is our feeling that this project improves the current situation, makes generous offerings to the neighborhood, and accommodates the Landmark guidelines.

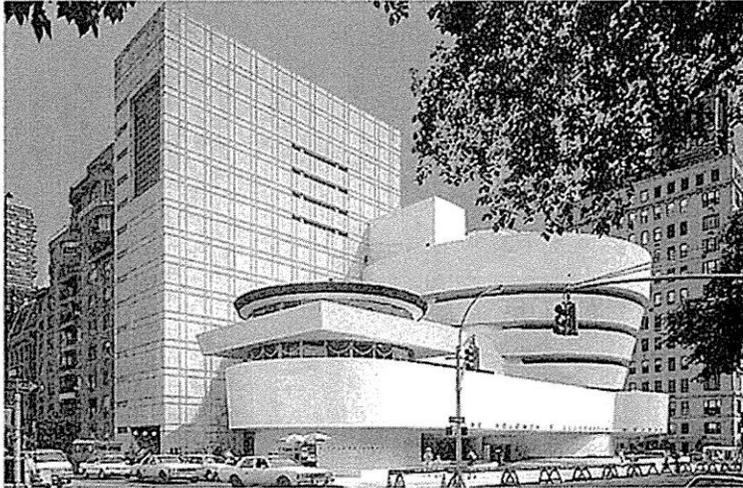
Thank you.



Christopher Melton

Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for 603 Highland Ave.

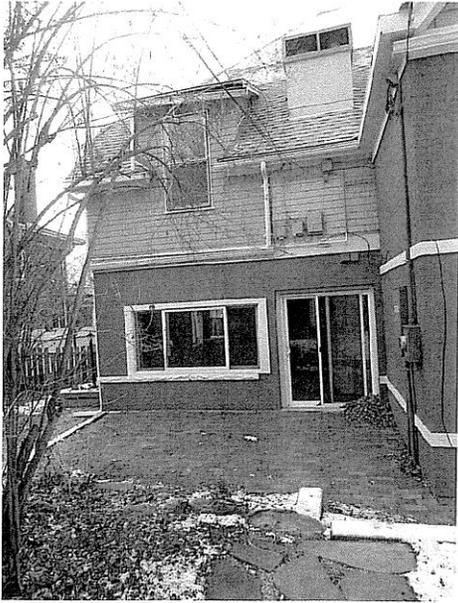
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Gwathmey-Siegle Architects did not attempt to compete with Mr. Wright's expression. Rather they produced a backdrop with a non-directional grid which related to the generic city grid. The four horizontal slits are a subtle nod to the Guggenheim composition.

①

1



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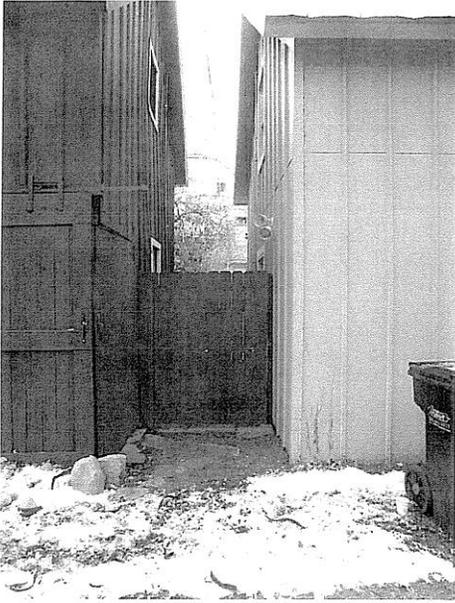


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4

Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for 603 Highland Ave.



5

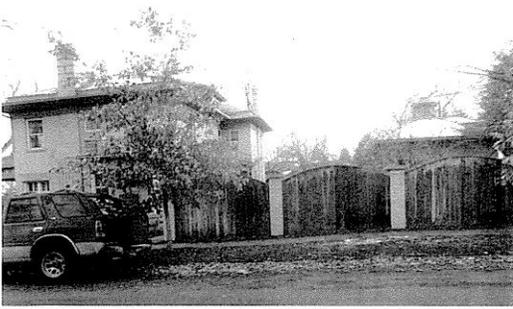


Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for 603 Highland Ave.

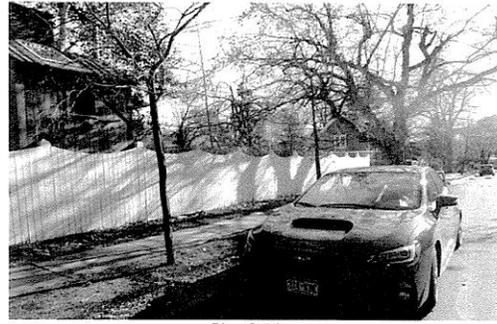


6

Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for 603 Highland Ave.



Pine & 8th



Pine & 5th



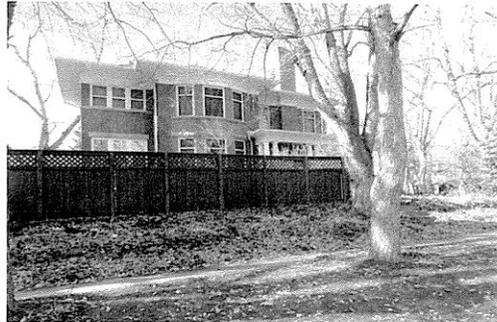
Spruce & 6th



Maxwell & 6th



Mountain View & 5th



Mapleton & 6th



Pine & 5th



Mapleton & 6th





Proposed Elevations – Addition

