

Design Advisory Board Agenda

Wednesday, March 9, 2016
1777 West Conference Room
4 – 7 p.m.

The following items will be discussed:

1. Call to Order
2. Approval of [January 27, 2016](#) DAB Minutes
3. [Form-Based Code Pilot](#)
4. [North Boulder Armory](#)
5. Board Matters

For further information on these projects, please contact:

Sam Assefa at 303.441.4277 assefas@bouldercolorado.gov or

For administrative assistance, please contact:

Cindy Spence at 303.441.4464 spencec@bouldercolorado.gov

CITY OF BOULDER
DESIGN ADVISORY BOARD MINUTES
January 27, 2016
1777 Broadway, 1777 West Conference Room

A permanent set of these minutes and a tape recording (maintained for a period of seven years) are retained in Central Records (telephone: 303-441-3043). Minutes and streaming audio are also available on the web at: <http://www.bouldercolorado.gov/>

DAB MEMBERS PRESENT:

Jamison Brown, Chair
Michelle Lee
David McInerney
Jeff Dawson
Jim Baily
Bryan Bowen, Planning Board Ex-Officio Member

DAB MEMBERS ABSENT:

STAFF PRESENT:

Sam Assefa, Senior Urban Designer
Kalani Paho, Urban Designer

BOARD DISCUSSION:

1. Approval of Minutes

The board approved the October 14, 2015 DAB Retreat and the December 9, 2015 DAB minutes.

2. Downtown Urban Design Guidelines (DUDG): Board Review and Recommendation

K. Paho provided a brief summary of the 2016 draft update the DUDG, including the working group's review process. She also explained that additional comments and feedback were provided by individual board members since the conclusion of the working group process and the Joint Boards meeting.

BOARD COMMENTS:

- **B. Bowen** requested that all comments from DAB, Landmarks Board and Planning Board members be included for Planning Board to review at the February 4, 2016 meeting.
- **J. Brown** suggested that the map which highlights the "Interface Zone" should shade out the downtown section more so that the interface zone stands out more. (*Attachment A, Page 24, Figure 13*)
- The board discussed photos of buildings included in the document as examples asking whether some aspects of the buildings design or materials may be contradictory to the guidelines. There was also concern by some board members whether the images would be taken by applicants as acceptable but may be in fact in contradiction. **K. Paho** explained that it was difficult to find buildings that meet all the guidelines, but the intent of the photos included is to highlight certain aspects of the buildings' design or material, and not the entire building. The board agreed that the inclusion of photos was an improvement from having diagrams. **K. Paho** informed the board that

the inclusion of the photos would need to be finalized before February 16, 2016 when the DUDG is presented to City Council.

- **B. Bowen** speculated the Planning Board may have additional comments or suggestions prior to the DUDG going to council, or just accept the work done by the working group. He questioned how additional concerns or questions would be addressed if there were any, and suggested perhaps they could be included as an addendum to the council memo.
- **S. Assefa** suggested packaging the responses from the working group, which comprised of the three boards, and providing the addendum to the Planning Board before they make their recommendation.
- The board agreed that update of the DUDG was a great improvement over the previous document and they want to see it move forward. In addition, it was agreed that placing all the responses and comments into the City Council packet would create a good record of what was discussed and reviewed.
- **B. Bowen** suggested that a motion be made that DAB recommends to City Council the approval of the updated DUDG with instructions to staff to gather comments between now and the City Council meeting of February 16, 2016, with the ability to make minor edits between now and then and to collect the substantive comments for future revisions.

MOTION:

On a motion by **J. Dawson** and seconded by **M. Lee**, the Design Advisory Board voted 5-0 to recommend to City Council the approval of the updated DUDG with instructions to staff to gather comments between now and the City Council meeting of February 16, 2016, with the ability to make revisions to minor edits but to collect the substantive comments for future revisions.

3. Board Matters

- **S. Assefa** updated the board regarding the status of the Form-Base Code Pilot (FBC) and that it is tentatively scheduled for review by Planning Board on February 25, 2016. He suggested presenting a draft FBC for DAB's review and comment at the February meeting.
- **J. Brown** informed the board that he would be attending the next Planning Board meeting on January 28, 2016 to represent DAB for the Reve Project. He asked the board members to review the DAB minutes in which the Reve Project was reviewed and if they have any questions or comments to let **J. Brown** know.
- **S. Assefa** discussed the matter of taking minutes during the review of projects. A summary will be prepared by the Chair of the discussion for the applicant and Planning Board. It would be helpful if the review focuses on the guidelines to assist staff and the overall feel if DAB approved of the project.

APPROVED BY:

Board Chair

DATE

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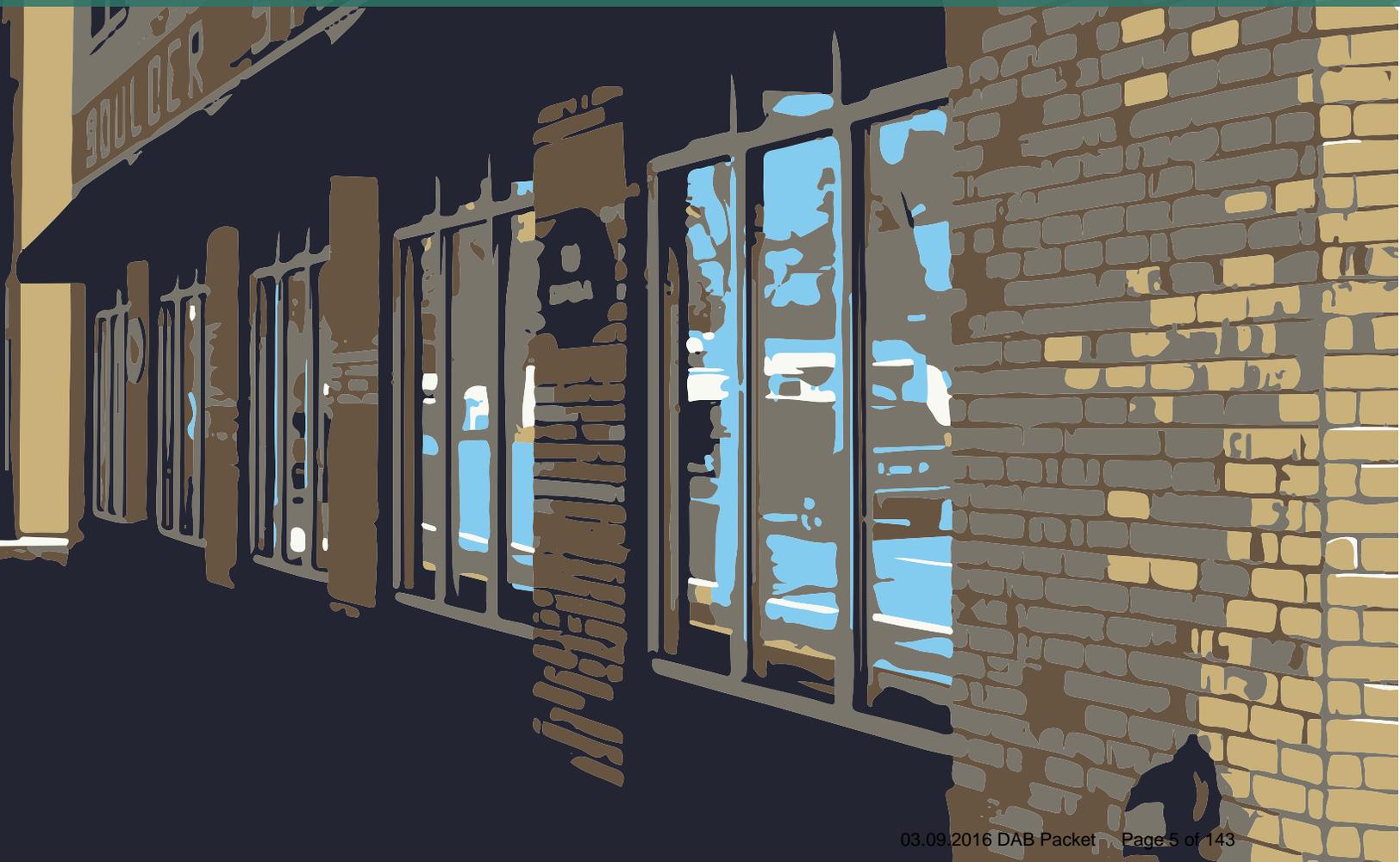


City of Boulder

APPENDIX M:

Special Design Areas

Boulder Junction Phase I



City of Boulder

City Manager

Jane S Brautigam

City Staff

David Driskell, Executive Director of Planning, Housing, & Sustainability

Susan Richstone, Deputy Director, Planning, Housing, & Sustainability

Sam Asseffa, Senior Urban Designer

Charles Ferro, Development Review Manager

Elaine McLaughlin, Senior Planner

Chandler Van Schaack, Planner II

Kalani Pahoia, Urban Designer

Hella Pannewig, City Attorney's Office

David Thompson, Planning & Development Services, Transportation

Kendra Tupper, P.E., LEED AP, Energy Services Manager, City of Boulder

Project Manager

Karl Guiler, Senior Planner/Code Amendment Specialist

City Council

Matthew Appelbaum, Mayor

Macon Cowles

Suzanne Jones, Mayor Pro Tem

George Karakehian

Lisa Morzel

Tim Plass

Andrew Shoemaker

Sam Weaver

Mary D. Young

Planning Board

Aaron Brockett, Chair

Leonard May

John Putnam

John Gerstle

Crystal Gray

Elizabeth Payton

Bryan Bowen

Working Group

Andria Bilich, Transportation Advisory Board (TAB)

Jamison Brown, Boulder Design Advisory Board (DAB)

Jeff Dawson, Boulder Design Advisory Board (DAB)

Crystal Gray, Planning Board

Susan Osborne, Boulder Junction Access District (BJAD), Travel Demand Management Commission

Elizabeth Payton, Planning Board

John Pawlowski, Boulder Junction Access District (BJAD), Travel Demand Management Commission

Zane Selvans, Transportation Advisory Board (TAB)

Memo: Items to Incorporate into Existing Code Sections.....v

Section 9-2 in Existing Code: Design Review Processvi

Section 9-2 in Existing Code: Exceptions.....ix

Overview1

M-1-1. Purpose of Special Design Areas3

M-1-2. Applicability of Special Design Areas.....3

M-1-3. Special Design Area Goals3

M-1-4. Design Review Process & Exceptions4

M-1-5. Organization & Scope.....4

M-1-6. Nonstandard Structures6

M-1-7. Regulating Plans.....8

M-1-8. View Corridors11

M-1-9. Definitions.....12

Public Realm.....15

M-1-10. Public Realm Plans.....16

M-1-11. General Block, Street, & Outdoor Space Layout Requirements.19

M-1-12. Street & Public Way Types20

M-1-13. General Street Requirements25

M-1-14. Streetscape Design Requirements.....25

M-1-15. Outdoor Space Types26

Building Types.....31

M-1-16. General Requirements of Building Types33

M-1-17. Descriptions of Building Types35

M-1-18. Main Street Storefront Building Type36

M-1-19. Commercial Storefront Building Type.....38

M-1-20. General Building Type.....40

M-1-21. Row Building Type.....42

M-1-22. Civic Building Type44

M-1-23. Measurement of Building Type Requirements.....46

M-1-24. Cap Types49

Site & Building Design53

M-1-25. Applicability and Intent of General Design Requirements54

M-1-26. Site Design Requirements54

M-1-27. Facade Materials55

M-1-28. Building Construction Quality.....57

M-1-29. Building Facade Elements.....58

M-1-30. Mechanical Appurtenances.....61

M-1-31. Building Articulation62

M-1-32. Building Massing64

M-1-33. Building Proportions65



Memo: Items to Incorporate into Existing Code Sections

Memo: Items to Incorporate into Existing Code

DRAFT

Section 9-2 in Existing Code: Design Review Process

SECTION 9-2 IN EXISTING CODE: DESIGN REVIEW PROCESS¹

The following process applies to all parcels within the Special Design Areas per Appendix M.

(a) Pre-Application Meeting. A pre-application meeting with the city manager or his/her designees is required a minimum of 30 days prior to submitting an application for the design review & approval process. The purpose is to provide an opportunity for the applicant to ask questions regarding the Special Design Area requirements and for staff to point out potential issues with the design. The following is required:

- (1) A conceptual sketch site plan of sufficient accuracy to be used for discussing the plan's conformance with adopted ordinances, plans, and policies of the city.
- (2) Sketch building elevations or renderings illustrating conceptual designs.
- (3) Proposed land uses and the following for housing: sizes, anticipated sale prices, the percentage of affordable units to be included..
- (4) Other unique site or development aspects to discuss with staff in reference to code and ordinance requirements.

(b) **Design Review Application Requirements.** A person having a demonstrable property interest in land to be included in a development review may file an application for approval on a form provided by the city manager that shall include the following:

- (1) The written consent of the owners of all property to be included in the development;
- (2) An improvement survey of the land;
- (3) All information required in [Section 9-2-X \(b\), below, "Design Review Submittal Requirements,"](#) and [9-2-15, "Use Review," B.R.C. 1981, for the type of review requested;](#)
- (4) A written statement containing the following information:
 - (A) A statement of the current ownership and a legal description of all of the land included in the project;
 - (B) An explanation of the objectives to be achieved by the project, including, without limitation, building descriptions, sketches or

elevations that may be required to describe the objectives;

(C) A development schedule indicating the approximate date when construction of the project or phases of the project can be expected to begin and be completed; and

(D) Copies of any special agreements, conveyances, restrictions or covenants that will govern the use, maintenance and continued protection of the goals of the project and any related parks, recreation areas, playgrounds, outlots or open space.

(5) Any other information that the applicant wishes to submit;

(6) The fee prescribed by Section 4-20-43, "Development Application Fees," B.R.C. 1981, for the type of review requested.

(c) **Design Review Plans and Drawings Submittal Requirements.** ²The following shall be included with any application for the design review and approval process. All drawings shall be drawn to scale and shall include the date of preparation and a graphic scale. All plans shall include a north arrow.

(1) **Context Map.** A context map, drawn to scale, showing the site and an area of not less than a 300-foot radius around the site, including streets, zoning, general location of buildings, sidewalks, and parking areas of abutting properties;

(2) **Site Plan.** A site plan with a north arrow showing the major details of the proposed development, prepared at a scale of not less than one inch equals one hundred feet providing sufficient detail to evaluate the features of the development required by this section. The following may be shown on one or more site plans:

(A) Building Footprints. The location and size of all existing and proposed buildings, structures and improvements with dimensions indicating the distance from lot lines, and the general location of adjacent streets, structures and properties;

(B) Uses. Site and location of existing and proposed uses, including the density and type of uses;

² Several revisions to the submittal requirements were received. Those will be made as the process gets refined. This extensive set of plans and drawings may not be necessary?

¹ This version of the process is intended to be a template for further refinement.

- (C) Public Spaces. The following shall be illustrated on a site plan:
- (i) The areas that are to be conveyed, dedicated or reserved as parks, recreation areas, playgrounds, outlots or open space and as sites for schools and other public buildings;
 - (ii) The areas that are to be conveyed, dedicated or reserved for streets, alley and utility easements;
- (D) Topography. The existing topographic character of the land, showing contours at two-foot intervals and proposed topography, illustrating cut and fill;
- (E) Flood Areas. The areas subject to the one hundred-year flood as defined in chapter 9-16, "Definitions," B.R.C. 1981, and any area of the site that is within a designated space conveyance zone or high hazard zone;
- (F) Utilities. Existing and proposed utilities.
- (3) **Building Elevations.** Building elevations at a scale of one sixteenth inch equals one foot or larger illustrating the following:
- (A) The height of all building roofs;
 - (B) The grade elevations of all ground floors and visible basements;
 - (C) Indication of how elevations and heights are calculated pursuant to the definition of building height Sec. 9-16;
 - (D) Elevations and dimensions of all floor-to-floor heights;
 - (E) Materials and colors for every plane of the building;
 - (F) Roof designs;
 - (G) Building design elements to meet Building Type and Site and Building Design requirements.
- (4) **Building Schematic Floorplans.** Building floorplans shall be included for each floor, illustrating the location of uses, common spaces, and doors and windows.
- (5) **Building Details.** Plans, sections, and elevations illustrating compliance with Site and Building Design requirements.
- (6) **Traffic & Circulation Plan.** A separate site plan at a scale of not less than one inch equals one hundred feet illustrating the internal vehicular, pedestrian, and bicycle circulation systems, transit station locations within 300 feet of the site, on-site transit amenities, off-street vehicular and bicycle parking areas, service areas, loading areas and major points of access to public rights-of-way;
- (7) **Signs & Lighting Plan.** A separate signs & lighting plan at a scale of not less than one inch equals one hundred feet with the location, height and size of proposed signs, lighting and advertising devices. Lighting plan shall illustrate compliance with the Outdoor Lighting requirements of the Dark Skies Ordinance. Refer to 9-9-21(k) Signs.
- (8) **Streetscape/Landscape Plan.** A detailed streetscape and landscape plan, per Section 9-9-12, showing the spacing, sizes, specific types of landscaping materials, quantities of all plants and whether the plant is coniferous or deciduous. All trees with a diameter of six inches and over measured fifty-four inches above the ground on the property or in the landscape setback of any property adjacent to the development shall be shown on the streetscape/landscape plan.
- (9) **Shadow Analysis.** A shadow analysis depicting shadows on December 21, as described in the solar analysis instructions provided by the city manager, and depicting shadows calculated pursuant to Subsection 9-M(d), B.R.C. 1981, for those buildings that affect adjacent properties;
- (10) **Design and Construction Standards Materials.** Materials required by the City of Boulder Design and Construction Standards, including, without limitation, a traffic study, master utility plan, utility report and storm water report and plan for any application that proposes to construct or have an impact on public improvements;
- (11) **Natural Feature Plan.** Plans for preservation of natural features existing on the site or plans for mitigation of adverse impacts to natural features existing on the site from the proposed development and anticipated uses. Natural features include, without limitation, healthy long-lived trees, significant plant communities, ground and surface water, wetlands, riparian areas, drainage areas and habitat for species on the federal Endangered Species List, "Species of Special Concern in Boulder County" designated by Boulder County, or prairie dogs (*Cynomys ludovicianus*) which is a species of local concern.

Memo: Items to Incorporate into Existing Code

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Section 9-2 in Existing Code: Design Review Process

- (12) **Tree Inventory.** A tree inventory prepared by a certified arborist that has a valid contractor license pursuant to chapter 4-28, "Tree Contractor License," B.R.C., shall include the following:
- (A) The location, size, species and general health of all trees with a diameter of six inches and over, measured fifty-four inches above the ground on the property or in the landscape setback of any property adjacent to the development;
 - (B) Existing and proposed topography;
 - (C) Existing and proposed paving and structures;
 - (D) An indication of which trees will be adversely affected and what if any steps will be taken to mitigate the impact on the trees.
- (13) **Additional Submittal Requirements by Request.** The city manager may request additional information to illustrate compliance with the requirements, which may include, but are not limited to:
- (A) A three dimensional, digital model illustrating the surrounding context for view and scale analysis.
 - (B) Detailed design for open space, illustrating paving and site furnishings.
 - (C) Description of travel demand management techniques with an implementation plan, including without limitation, site design, land use, covenants, transit passes, parking restrictions, information or education materials, or programs to reduce single-occupant vehicle trip generation to and from the site.
- (d) **Combined Reviews.** If a development proposal, requires approvals additional to the Design Review, such as 9-2-15, "Use Review," B.R.C. 1981, the following will apply in addition to other requirements of this chapter:
- (1) All applicable fees will be collected as prescribed in Section 4-20-43, "Development Application Fees," B.R.C. 1981.
 - (2) The notice requirements of Subsection 5 of this section shall be met for each individual type of approval required, although such notices may be combined in one document, one posting, and one publication.
 - (3) The approving agency will apply the criteria for each type of approval required.
- (e) **Public Notice of Application.** The city manager shall provide the public notice for a development review application as specified in Section 9-4-3, "Public Notice Requirements," B.R.C. 1981.
- (f) **Notice - Mineral Estate.** The applicant shall notify all owners of a mineral estate as specified in Subsection 9-4-3(e), B.R.C. 1981.
- (g) **Inactive Applications:**
- (1) If, at any point in a development review process, the city manager has notified the applicant that additional or corrected materials are required, and the applicant has not submitted those materials within 60 days after the date of such notification, the application will be considered withdrawn. The city manager may extend the 60-day period if requested by the applicant prior to its expiration and upon the applicant's demonstrating good cause for the additional delay.
 - (2) Any re-submittal of the application after the 60 day deadline will be treated as a new application for purposes of review, scheduling, public notice, and payment of application fees.
- (h) **Decision.** The city manager shall be responsible for approving or denying all Design Review applications based on the provisions of this Appendix M, and any other applicable city code or ordinance.
- (1) **Evaluation.** The city manager shall, after acceptance of the application, review the application for compliance with codes and ordinances. The city manager shall provide the applicant with a written evaluation of the application and whether it meets or does not meet codes and ordinances, and what modifications are required.
 - (2) **Corrections or Changes.** The applicant shall be afforded a maximum of 60 days to make any corrections or changes required by the city manager. If corrections or changes are not submitted in the prescribed time period, the application shall be considered withdrawn.
 - (3) **Approval.** The city manager shall approve the application in whole or in part, with or without modifications and conditions, or deny the application.
 - (4) **Disposition.** The city manager will mail a written disposition of approval or denial with the reasons for denial to the applicant, appeal body and to any person that requested notification of the final decision. A decision not referred

to, appealed to, or called-up by the planning board is final 14 days after the date of approval indicated on the disposition.

- (i) **Appeals.** Following the city manager’s decision, an applicant may make an appeal per the provisions of Section 9-4-4, “Appeals, Call-Ups and Public Hearings,” B.R.C. 1981.
- (j) **Call-Ups.** The planning board may call-up any decision by the city manager pursuant to Section 9-4-4, “Appeals, Call-Ups and Public Hearings,” B.R.C. 1981. The city council may call-up any planning board decision pursuant to Section 9-4-4, “Appeals, Call-Ups and Public Hearings,” B.R.C. 1981.

(k) **Subdivisions.**

- (1) **Project Approved through Design Review.** An approved project may be subdivided under chapter 9-12, “Subdivision,” B.R.C. 1981. The approved design review site plan may substitute for a preliminary plat if it meets the requirements of Section 9-12-6, “Application Requirements for a Preliminary Plat,” B.R.C. 1981. As part of subdivision review, the city manager will consider any conditions of the design review approval and assure that they will be met within the future subdivision.

- (2) **Simultaneous Preliminary Plat Process.** The preliminary plat process may be simultaneous with Design Review process.

(l) **Minor Modifications to Approved Projects.**

- Up to 5 minor changes to any component of a design review project may be approved by the city manager without submittal of a new design review application if such changes still meet the requirements of all city codes and ordinances.
- (1) **Noted as Revisions.** All minor modifications shall be noted, signed, and dated on the approved plans.
 - (2) **Minor Changes.** A minor change shall meet all of the following requirements:
 - (A) The changes does not include any change in frontage or cap type or facade materials.
 - (B) The change does not significantly alter the building footprint, the location of windows and doors, or overall heights by more than 3 feet in dimension.
 - (C) The change does not alter circulation on the site or result in a reduction in quality of approved public spaces.

- (D) The application must meet the requirements of Title 9.

- (3) **Process.** A minor modification to an approved project requires submittal of a minor modification application to the city manager. The city manager shall, after acceptance of the application, review the application for compliance with codes and ordinances. The city manager shall approve the application in whole or in part, with or without modifications and conditions, or deny the application within XX days of acceptance of the application.

SECTION 9-2 IN EXISTING CODE: EXCEPTIONS

The city manager may approve exceptions from the requirements of the Special Design Area. pursuant to the following standards:

- (a) **Application.** The requested exceptions shall be noted on the plans and in the written explanation of the project included with the Design Review application submitted to the city manager.

- (b) **Minor Exception.** Minor exceptions defined throughout Appendix M shall be reviewed and approved, denied, or approved with conditions by the Planning Board.

- (1) **Design Advisory Board.** The Design Advisory Board shall review and make a recommendation for noted exceptions.

- (2) **Standard for Approval.** All minor exceptions shall demonstrate that the exception is consistent with the specific area plan.

- (c) **Major Exceptions.** Exceptions to any Building Type requirement or any Site and Building Design Requirement, not specified as a minor exception, shall be reviewed and approved, denied, or approved with conditions by the Planning Board.

- (1) **Standards for Approval.** The following shall be considered during the review of Major Exceptions:

- (A) **Specific Area Plan.** The exception shall be consistent with the specific area plan.

- (B) **Special Circumstances.** Special circumstances, such as but not limited to the size of lot, shape of lot, existing lot topography or adjacent topography, or existing immovable structures and improvements, that exists on the property.

- (C) **Necessary to Fulfill the Intent.** The granting of the exception is necessary to fulfill the intent

Memo: Items to Incorporate into Existing Code

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Section 9-2 in Existing Code: Design Review Process

of the regulations as stated in M-1. Overview and elsewhere throughout this Appendix M.

- (D) Surrounding Effects. The effect of granting the exception will not negatively impact surrounding properties or the neighborhood and will not limit the ability of other properties to fulfill the regulations.
- (d) **Administrative Exceptions.** During the Design Review Process, the city manager may approve minor exceptions for minimal dimension or percentage amounts as specified:
 - (1) **Building Location.** The location of the building within up to one foot from any minimum setback requirement or build-to-zone width/location.
 - (2) **Impervious Coverage.** Up to a 10-percent increase in total impervious coverage, not to exceed the total amount of permitted impervious plus semi-pervious coverage.
 - (3) **Type A Frontage Lot Line Coverage.** For the Commercial Center Building only, up to 10-percent decrease in Type A Frontage Lot Line Coverage requirements.
 - (4) **Story Height.** Additional height of any floor-to-floor story height up to 2 feet, as long as the overall building height does not exceed the allowable height of all floors at maximum permitted height.
 - (5) **Transparency.** A 2 percent reduction in transparency of a non-Type A frontage facade and/or an increase in blank wall area by 4 square feet on a non-Type A frontage facade.
- (e) **Minor Design Exceptions.** The Planning Board/DAB shall review and make a recommendation to the city manager for the following exceptions:
 - (1) **Alternative Building Materials.** Alternative building materials from the requirements of M-4.A through D, with the exception of the prohibited materials. The applicant shall submit samples and local examples of the material.
 - (2) **Facade Variety Alternative.** A reprieve from the facade variety requirements specified in M-1-31(c). Facade Variety may be approved by the city manager. The Applicant shall submit fully rendered elevations and three-dimensional drawings of all street facades with materials samples for all surfaces to prove the building design fulfills the intent of the overall regulations without achieving this specific regulation.
- (3) **Existing Buildings.** The following exceptions apply to additions to an existing building(s):
 - (A) **Type A Frontage Lot Line Coverage.** The minimum Type A frontage property line coverage may be waived with an existing coverage of at least 60 percent; however, any expansion on the ground story shall contribute to the extension of the front property line coverage.
 - (B) **Build-To Zones/Setbacks.** The requirements for building placement may be waived if the existing building is within 5 feet of any minimum yard requirement or build-to-zone width or location.
 - (C) **Minimum Heights.** The minimum height of the ground story and upper story may be increased or decreased by up to 2 feet for existing stories.
 - (D) **Other Existing Building Exceptions.** Other dimensional requirements may be modified up to 5 feet or 10 percent, whichever is less, unless otherwise modified by this section.
- (4) **Other Minor Design Exceptions.** Other minor design exceptions may be specified throughout this Appendix M.



Overview

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Overview

Section 9-2 in Existing Code: Design Review Process

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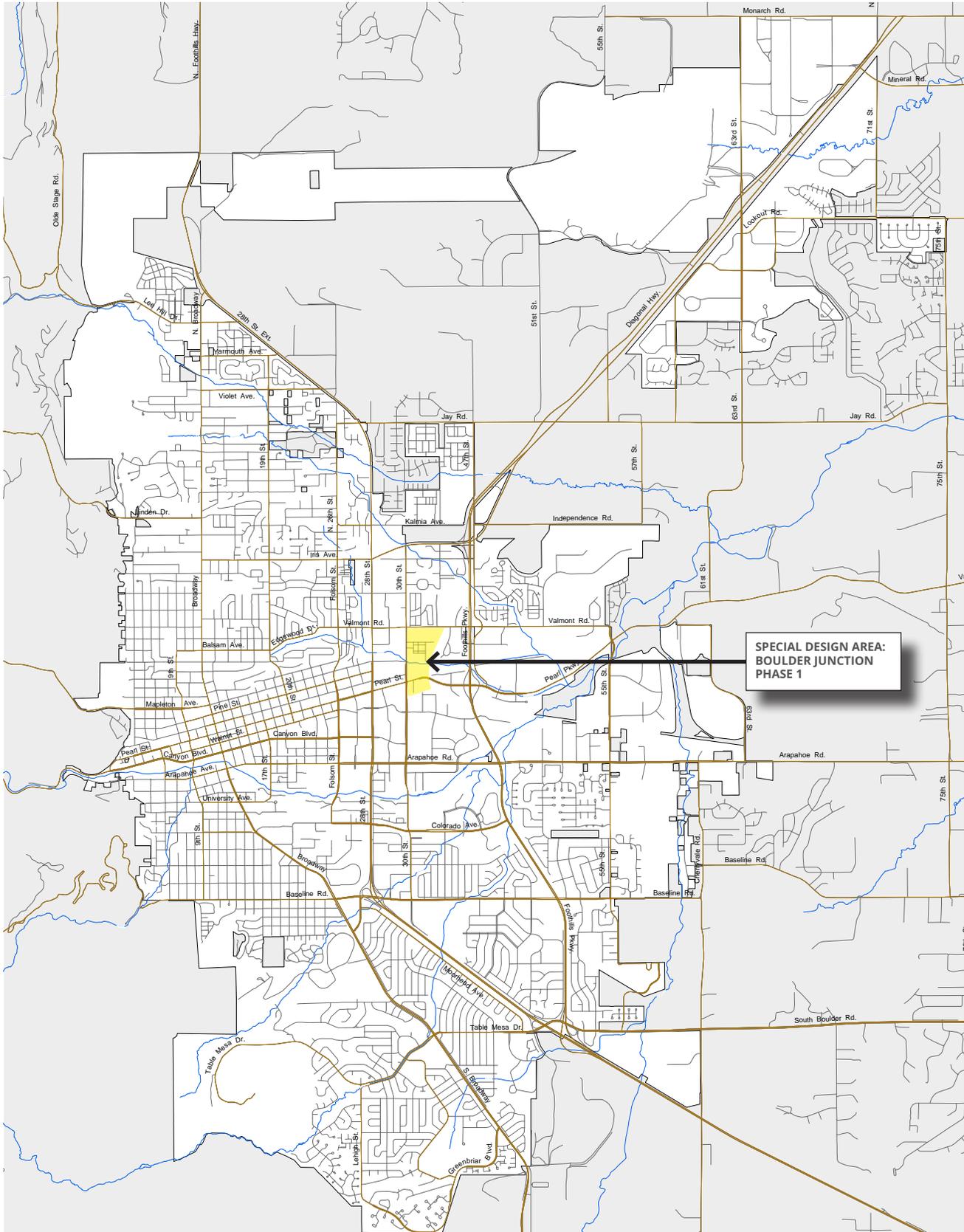


Figure M-1 (1). Location of Special Design Areas

M-1-1. PURPOSE OF SPECIAL DESIGN AREAS

These regulations are established to provide building form and special design requirements for development within the Special Design Areas.

- (a) **Implement the Plans.** The Special Design Area requirements shall implement the desired development defined by the plans for each Special Design Area in addition to the Boulder Valley Comprehensive Plan.
- (b) **Specific to Each Special Design Area.** These requirements set building form and site development requirements to achieve an appropriate form, scale, and intensity specific to each Special Design Area.

M-1-2. APPLICABILITY OF SPECIAL DESIGN AREAS

In addition to the requirements of Sec. 9-1-3, the following applies to the Special Design Areas:

- (a) **Specific Locations.** The specific locations within the City of Boulder, Colorado, where Special Design Area requirements apply are shown on Figure M-1(1). Those locations currently include:
 - Boulder Junction Phase I
- (b) **Compliance Required.** No building, structure or land may be erected, constructed, moved, or altered within a Special Design Area except in conformance with the regulations of this Appendix M.
- (c) **Site Review Approved Developments.** Any development within the Special Design Area that has received a site review approval prior to the adoption of this code is not subject to these requirements.

M-1-3. SPECIAL DESIGN AREA GOALS

The following statements provide the general design intent of the regulations within the Special Design Areas:

- (a) **Boulder's Unique Sense of Place.** Preserve and enhance the community's unique sense of place through creative design that respects historic character, context, and scale, while supporting a more sustainable future by accommodating future populations appropriately, reducing dependence on automobiles and the energy grid, and promoting the community's bicycle and pedestrian culture.
- (b) **Human-Scaled Building Design.** Design to a human scale and promote a safe and vibrant pedestrian experience through the location of building frontages along public streets, plazas, sidewalks and paths, and through the use of building elements, design details and landscape materials that include, without limitation, the location of entrances and windows, human-scaled high-quality materials, and the creation of transparency and activity at the pedestrian level.
- (c) **A Variety of Housing Types.** Assist the general community in producing a variety of housing types, such as multifamily, townhouses, and detached single family units, as well as a variety of lot sizes, number of bedrooms, and sizes of units.
- (d) **Efficient, Adaptable, Sustainable Buildings.** Build buildings to last, with flexible design to allow changes in uses over time. Buildings shall minimize or mitigate energy use; maximize and support on-site renewable energy generation and/or energy management systems; minimize construction waste; mitigate urban heat island effects; and reasonably mitigate or minimize water use and impacts on water quality.
- (e) **Provision of Open Space.** Provide relief from density in the form of accessible, proximate, functionally usable open space, with a balance of active and passive recreation areas, and public and private areas, to meet the needs of anticipated residents, occupants, tenants, employees, and visitors of the property.
- (f) **Support of Multi-Modal Mobility.** Provide safe and convenient connections to support multi-modal mobility and promote alternatives to the automobile through and between properties. Connections shall be accessible to the public within the project, and between the project and the existing and proposed transportation systems, including, without limitation, streets, bikeways,

paseos, and multi-use paths.

M-1-4. DESIGN REVIEW PROCESS & EXCEPTIONS

Refer to Section 9-2, B.R.C. 1981, for the review and exceptions processes for all projects within a Special Design Area.

M-1-5. ORGANIZATION & SCOPE

The following is in addition to sec. 9-1-2 "How to Use this Code" of the Land Use Code and outlines the organization and scope of the regulations included in this Appendix M.

- (a) **Sections Included in this Appendix.** This appendix is organized into the following sections:
- (1) **Sections M-1-1 through M-1-9: Overview.** The overview includes definition of the purpose of the Special Design Areas, how the requirements for the Special Design areas apply, and the separate regulating plans for each location to which the Special Design Area requirements apply.
 - (2) **Sections M-1-10 through M-1-15: Public Realm.** In addition to the requirements of Sec. 9-9-4 Public Improvements, these sections include general street and block layout requirements and minimum outdoor space requirements, applicable to all Special Design Areas, unless otherwise stated. Street Types and Outdoor Space Types are also included in this section to guide the design of streets and other public spaces.
 - (3) **Sections M-1-16 through M-1-24: Building Types.** A range of building types are specified for use in the Special Design Areas. Refer to M-1-7. Regulating Plans to determine which building form applies to the site. The form regulations within this appendix for the specific building types supersedes the form requirements of Table 7-1 of Chapter 9-7, "Form and Bulk Standards," B.R.C. 1981.
 - (4) **Sections M-1-25 through M-1-26: Site and Building Design.** A series of general site and building design requirements are specified for the Special Design Areas and are applicable to all of the building types, unless otherwise stated.
- (b) **Section 9-6: Uses.** For information on allowed uses and uses allowed by conditional or Use Review, refer to Chapter 9-8, "Use Standards," B.R.C. 1981. Distribution of the permitted uses may also be addressed by Building Types.
- (c) **Section 9-7: Form and Bulk Standards.** Form and bulk standards, including such requirements as setback, building height, side yard bulk plane, side wall articulation, and maximum building coverage, specified within Table 7-1 of Chapter 9-7, "Form and Bulk Standards," B.R.C. 1981, are superseded by Building Types in this Appendix M.

- (d) **Section 9-8: Intensity Standards.** With the exception of Sections 9-8-5, "Occupancy of Dwelling Units," B.R.C. 1981, 9-8-6, "Occupancy Equivalencies for Group Residences," and 9-8-7, and "Density and Occupancy of Efficiency Living Units," B.R.C. 1981, the requirements within Chapter 9-8, "Intensity Standards," B.R.C. 1981 are superseded by the requirements of this appendix.
- (e) **Section 9-9: Development Standards.** Portions of Sec. 9-9 are applicable to the Special Design Areas and portions are superseded as follows:
- (1) **Applicable Subsections.** The following subsections are applicable:
 - (A) **9-9-1.** Intent
 - (B) **9-9-2.** General Provisions
 - (C) **9-9-4.** Public Improvements
 - (D) **9-9-6.** Parking Standards
 - (E) **9-9-7.** Sight Triangles
 - (F) **9-9-9.** Loading
 - (G) **9-9-10.** Easements
 - (H) **9-9-12.** Landscape and Screening Standards
 - (I) **9-9-14.** Parking Lot Landscape Standards
 - (J) **9-9-15.** Fences and Walls
 - (K) **9-9-16.** Lighting, Outdoor
 - (L) **9-9-17.** Solar Access
 - (M) **9-9-18.** Trash Storage and Recycling Areas
 - (N) **9-9-19.** Swimming Pools, Spas, and Hot Tubs
 - (O) **9-9-20.** Addressing
 - (P) **9-9-21.** Signs
 - (Q) **9-9-22.** Trip Generation Requirements for the MU-4, RH-6, and RH-7 Zoning Districts.
 - (2) **Other Subsections.** The subsections not listed above in M-1-5(e) apply as follows:
 - (A) **9-9-3.** Building Design is superseded by Sections M-1-16 through M-1-24.
 - (B) **9-9-5.** Site Access Control is generally applicable, but further definition is provided for hierarchy of access location in M-1-26(b) Driveways.
 - (C) **9-9-8.** Reservations, Dedication, and Improvement of Rights-of-Way is generally applicable, but portions are superseded per Public Realm.
 - (D) **9-9-11.** Usable Open Space is superseded by Building Types requirements for site-level open space and M-1-15. Outdoor Space Types.
 - (E) **9-9-13.** Streetscape Design Standards is applicable, but additional requirements are specified in M-1-14. Streetscape Design Requirements.
 - (f) **Subdivisions.** For subdivision requirements, refer to chapter 9-12 "Subdivision," B.R.C. 1981.
 - (g) **Other Codes and Ordinances.** All other codes and ordinance requirements are applicable unless otherwise stated herein

M-1-6. NONSTANDARD STRUCTURES

(a) **Applicability.** The provisions of Chapter 9-10 Nonconformance Standards, B.R.C. 1981 shall be fully applicable to all structures and uses within the Special Design Area, with the exception of the requirements in Subsections 9-10-2 (c) Replacement of Nonstandard Architectural Building Features” and 9-10-3 (a) “Nonstandard Buildings and Structures”, superceded by this section.

(b) **Purpose & Scope.** Adoption of the Special Design Area requirements may create nonstandard buildings. The purpose of the following is to allow these nonstandard buildings to be changed and upgraded without requiring their elimination, if the change would not substantially adversely affect the surrounding area and the if the change would not increase the degree of nonconformity with the regulations.

(c) Expansions and Renovations to Nonstandard Structures.

- (1) **Expansions.** Any expansion greater than 60 percent in floor area square footage, including multiple expansions over a 5 year period, shall meet all requirements of this Appendix M: Special Design Area.
- (2) **General Design Requirements.** The applicable requirements of Site & Building Design shall be met for any facade being revised or renovated under any of the following circumstances:
 - (A) New exterior facades as a result of expansion of additional floor area;
 - (B) Renovation resulting in the replacement of 30 percent or more of the exterior facade material;
 - (C) Renovation or addition of 30 percent or more of the windows on any exterior facade;
 - (D) Renovation or addition to any door or balcony located on any exterior facade.
- (3) **Facade Requirements.** If the facade exists or will be constructed within the required build-to zone of these regulations, the Facade Requirements, not including the Cap Types, of the applicable building type shall be met if any one of the following is included in the renovation or expansion:
 - (A) New exterior facades as a result of expansion of additional floor area.
 - (B) Installation of two or more additional doors or a change in location of two or more doors.

- (C) Expansion or change in location of 30 percent of window area.
 - (D) Replacement of 30 percent or more of facade materials with a different facade material.
- (4) **Roof Renovation.** The Cap Type Requirements of the applicable building type shall be met if renovation of the shape or style of more than 60 percent of the roof occurs, and if 30 percent of the facade exists within the build-to zone of the applicable building type.
 - (5) **Exceptions.** The following exceptions may be approved for additions to existing buildings through a administrative exception.
 - (A) **Criteria.** The intent behind allowing these exceptions is to encourage realistic renovations to existing buildings within the area and increased compliance with the regulations without requiring full reconstruction of the buildings.
 - (B) **Type A Frontage Lot Line Coverage.** The minimum Type A frontage property line coverage may be waived with an existing coverage of at least 60 percent; however, any expansion on the ground story shall contribute to the extension of the front property line coverage.
 - (C) **Build-To Zones/Setbacks.** The requirements for build-to zones and setbacks may be waived if the existing building is within 5 feet of any minimum yard requirement or build-to zone width or location.
 - (D) **Minimum Heights.** The minimum height of the ground story and upper story may be increased or decreased by up to 2 feet for existing stories.
 - (E) **Other Existing Building Exceptions.** Other dimensional requirements may be modified up to 5 feet or 10 percent, whichever is less, unless otherwise modified by this section.

M-1-7. REGULATING PLANS

The regulating plan provides the framework of the regulations that apply to each parcel in each area.

(a) **Boulder Junction Phase I Regulating Plan.** Refer to Figure M-1 (2). Regulating Plan: Boulder Junction Phase I. The regulating plan specifies the following:

- (1) **New Streets and Alleys.** The location of required new streets and alleys (per the Transit Village Area Plan) is specified to implement walkable blocks and the requirements of the area plan. Refer to Public Realm for street and alley requirements.
- (2) **New Pedestrian & Bicycle Ways.** The location of required new paseos and new multi-use path locations are specified to implement a high level of walkability and bike-ability consistent with the goals of the area plan. Refer to M-1-12. Street & Public Way Types for paseo and multi-use path requirements. Additional paseos may be provided for any sites.
- (3) **Permitted Building Types.** The locations for building types are shown.
 - (A) Refer to Building Types for requirements of building types.
 - (B) The Civic building type (refer to M-1-22) is permitted in all locations, but limited to specific uses.
 - (C) Special height requirements for the General Building are located on the regulating map and set in M-1-20. General Building Type.
- (4) **Required Storefront.** In addition to locations specified for storefront buildings (Main Street and Commercial Storefronts), portions of the Type A Frontage of some General Buildings are required to have storefronts. These locations are shown on Figure M-1 (2). Regulating Plan: Boulder Junction Phase I. The locations shown are at key intersections or adjacent to public space and are regulated by M-1-20. General Building Type.
- (5) **Type A and Type B Streets.** Type A and B Street define how the buildings are required to relate to the street and how access is located. Type A and Type B Frontages are shown on the regulating plan and referenced in the building types (Sections M-1-16 through M-1-24). Refer to M-1-16. General Requirements of Building Types for definition and further explanation.
- (6) **Required Outdoor Space Locations.** The general location for additional open spaces is shown to achieve a distribution of small Outdoor Space Types within 1/8th of a mile of all building entrances. Refer to M-1-15. Outdoor Space Types for additional information.
- (7) **Terminated Vistas.** When a street terminates or curves at a parcel as designated on Figure M-1 (2), the site design or building shall include a feature to terminate the view from the street. The parcel shall include one of the following:
 - (A) If the parcel is open space, any Outdoor Space Type (refer to M-1-15) shall be utilized and a vertical element shall terminate the view. Acceptable vertical elements include, but are not limited to, a stand or grid of trees, a sculpture, a gazebo or other public structure, or a fountain.
 - (B) If the parcel is not utilized as open space, the facade of a building, whether fronting a Type A street or not, shall terminate the view. The building facade shall be **treated as a Type A frontage with the exception of the entrance requirements and shall incorporate one of the following** a treatment to terminate the view **such as, without limitation,** a tower, cupola, bay, or courtyard.
 - (C) In no case, shall a parking structure, surface parking lot, or side or rear facade terminate a vista.
 - (D) **Where key street termini are noted on the regulating plan, a tower is required.** Refer to M-1-24. Cap Types.

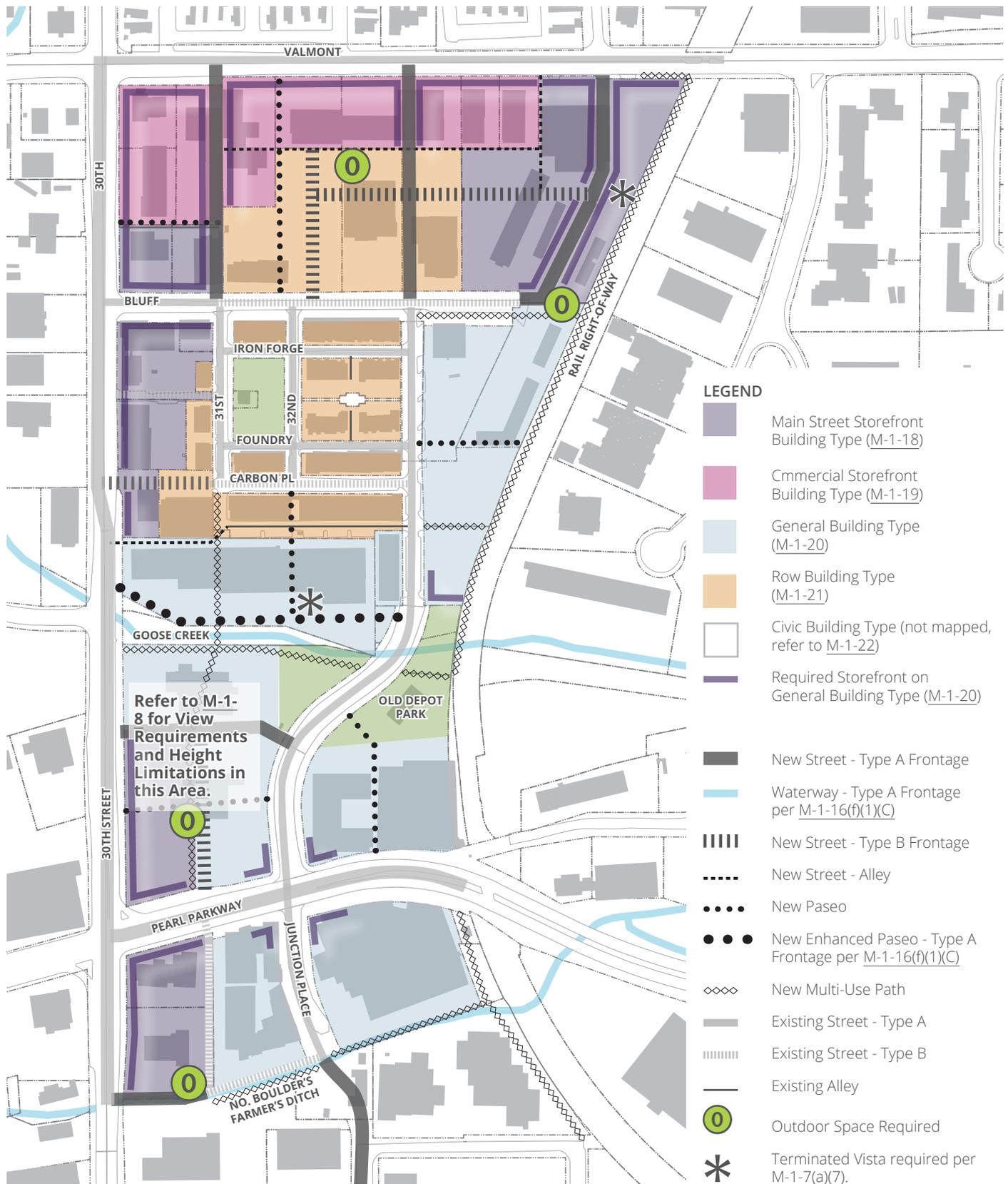
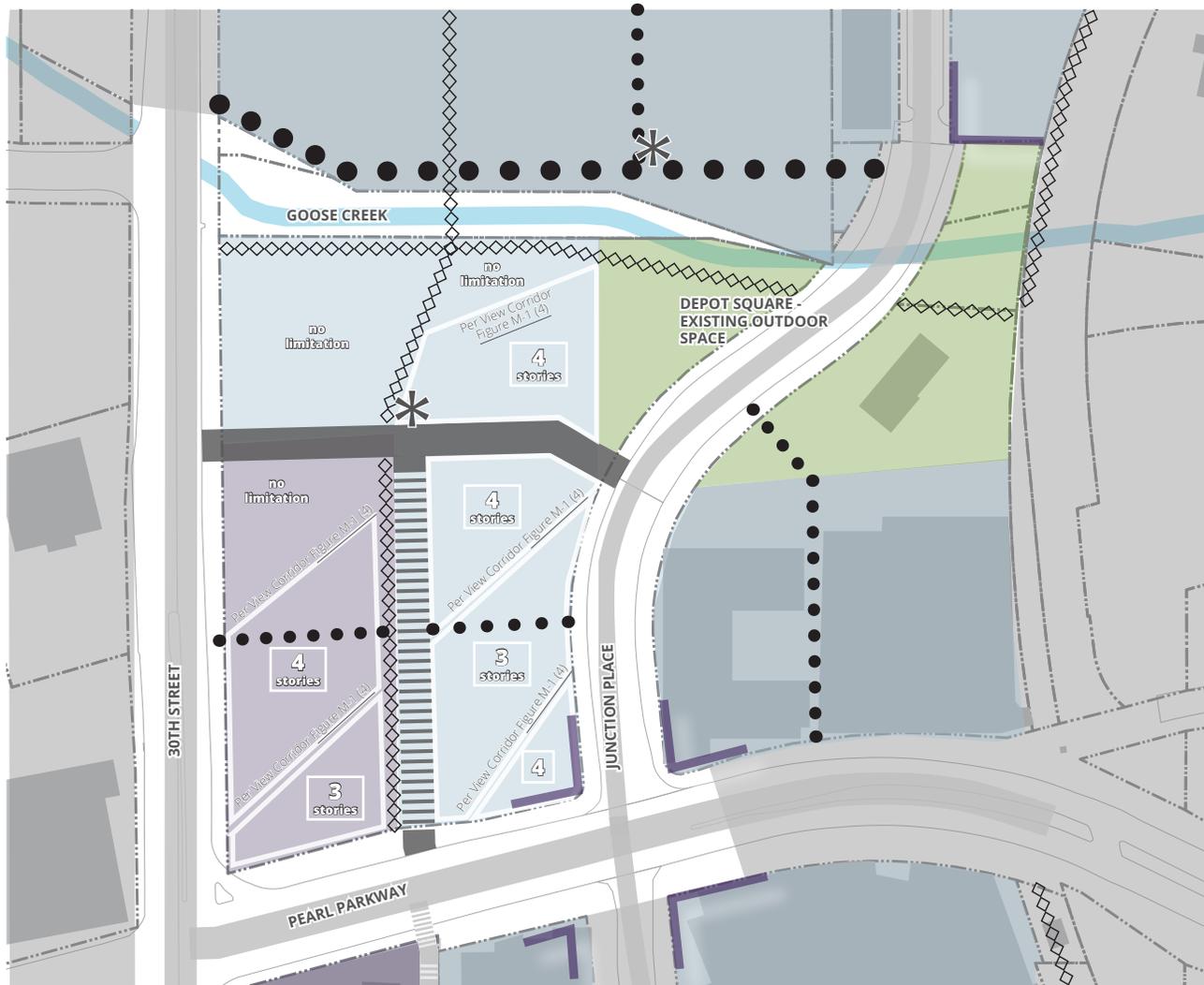


Figure M-1 (2). Regulating Plan: Boulder Junction Phase I



LEGEND

-  Main Street Storefront Building Type (M-1-18)
-  General Building Type (M-1-20)
-  Civic Building Type (not mapped, refer to M-1-22)
-  Required Storefront on General Building Type (M-1-20)
-  Maximum Height permitted in locations
-  Street Terminus required per M-1-7(a)(7).

-  New Street - Type A Frontage
-  Waterway - Type A Frontage
-  New Street - Type B Frontage
-  New Street - Alley
-  New Paseo
-  New Enhanced Paseo
-  New Multi-Use Path
-  Existing Street - Type A
-  Existing Street - Type B

Figure M-1 (3). Regulating Plan Inset: SE Corner of Boulder Junction Phase I

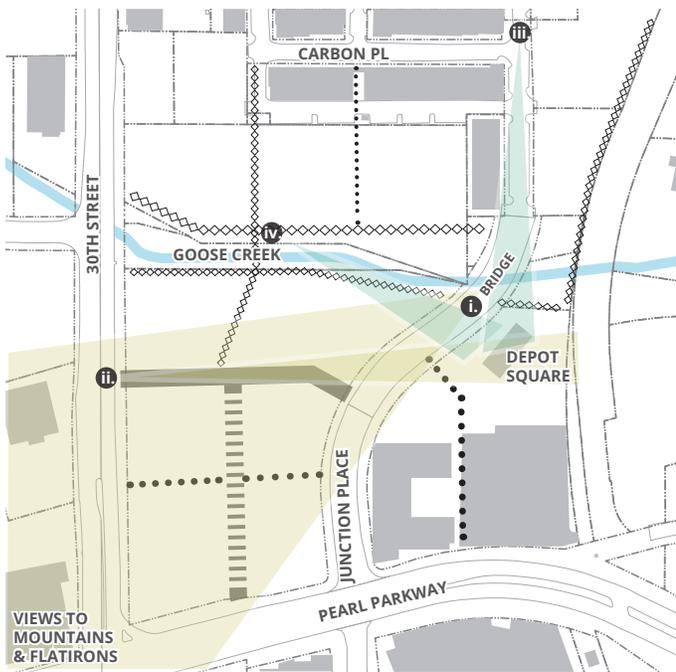


Figure M-1 (4). View Corridors to Retain

M-1-8. VIEW CORRIDORS

(a) **Boulder Junction Phase I.** Refer to Figure M-1 (3) and Figure M-1 (4) for view corridors through specific sites in Boulder Junction Phase I.

- (1) **Intent to Preserve Views.** The intent of the following requirements is to preserve the following views, also illustrated on Figure M-1 (4):
 - (A) From the southernmost point of the Depot Square bridge through the site to the Flatirons and west to tops of mountains as shown in yellow on Figure M-1 (4).
 - (B) From 30th Street down the new east-west street between Goose Creek and Pearl

- (C) Parkway to the old Depot Building in Depot Square as shown in yellow on Figure M-1 (4).
 - (D) From Junction Place north of the Depot Square bridge, south to the old Depot Building in Depot Square as shown in light blue on Figure M-1 (4).
 - (E) From the north side of Goose Creek at approximately the intersection between the north-south multi-use path and the east-west Enhanced Paseo, to the old Depot Building in Depot Square as shown in light blue on Figure M-1 (4).
- (2) **Height Limitations.** Building heights shall be limited on the sites affected by the preserved view corridors and further refined during the documentation process as follows:
- (A) Maximum building heights are shown in stories on Figure M-1 (3). Refer to Building Types for floor-to-floor heights for stories.
 - (B) Specific location of view corridors limits, and heights required to preserve those views, shall be further refined by the documentation, required in Subsection E.1.c, below.
 - (C) Upon review of documentation submitted, the city manager may require additional limitation up to 50 feet in any direction horizontally of the limits shown.
 - (D) Roof top mechanicals, utilities, and appurtenances shall not be located within the limited view corridors.
 - (E) **Roof decks are encouraged in the locations of the view corridors and are permitted on all roofs provided they do not exceed any overall building height limitations and they do not inhibit the views established by the view**

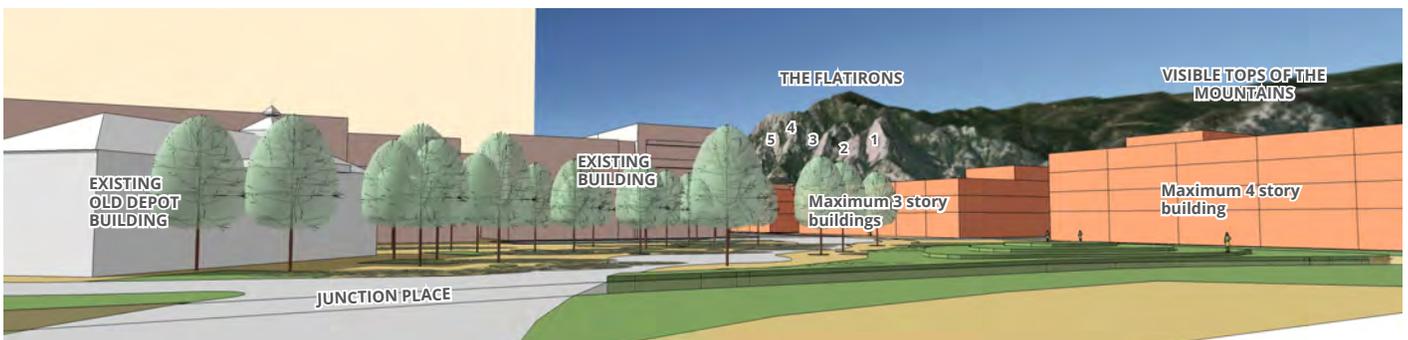


Figure M-1 (5). Example Documentation of Preserved Views from Junction Place Bridge

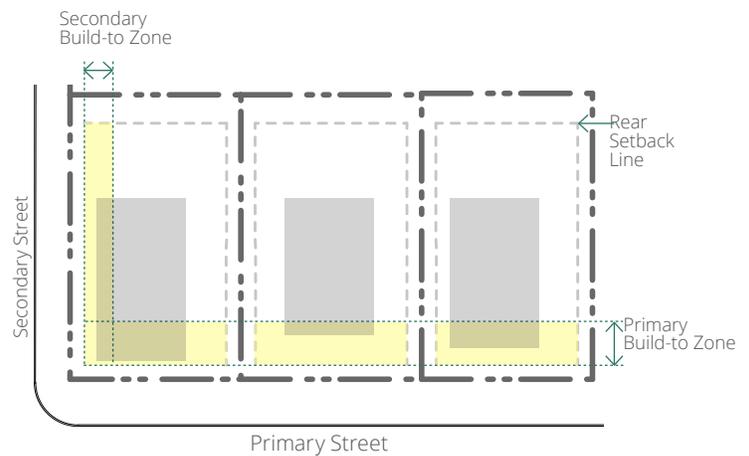
corridors. Roof deck structures to be included in building modeling.

- (3) **Documentation Required.** Documentation shall be submitted with the Design Review application as follows.
 - (A) Plan illustrating location of mountain range, notation of Flatirons 1 through 5, location of building footprints with heights noted, location of streets, and location of outdoor space.
 - (B) Three-dimensional, geographically accurate digital site and proposed building model illustrating the views noted as well as any additional views preserved through the site, and photographically depicting the mountains in their accurate geographic locations. Refer to Figure M-1 (5). Example Documentation of Preserved Views from Junction Place Bridge.

M-1-9. DEFINITIONS

For the purposes of this document, the following terms shall have the following meanings:

- (a) **Balcony.** A platform that projects from a facade of a building above grade and is enclosed by a parapet or railing. Does not include false balconies, sometimes referred to as juliet balconies or balconets, consisting of a railing across a door with no outdoor platform.
- (b) **Build-to Zone.** An area in which the facade of



BUILD-TO ZONES ALONG FRONTAGE LINE

A build-to zone indicates a zone or area in which the facade of a building must be located. The use of a build-to zone allows control over building placement, while the range provides some flexibility. This method provides more predictability in building placement.



SETBACK LINES ALONG FRONTAGE LINE

A setback line indicates the closest a building may be placed to a property line, but is silent on where behind that line a building may be placed.

Figure M-1 (6). Build-to Zone & Setback Lines

a building shall be placed; it may or may not be located directly adjacent to a lot line. The zone dictates the minimum and maximum distance a structure may be placed from a lot line. Refer to Figure M-1 (6). Build-to Zone & Setback Lines. Figure M-1 (7). Facade Definition.

(c) Expression Line. An architectural feature consisting of a decorative, three-dimensional, linear element, horizontal or vertical, protruding or indented at least 2 inches from the exterior facade of a building typically utilized to delineate the top or bottom of floors or stories of a building or divide a facade into smaller sections.

Vertical elements may include a column, pilaster, or other continuous vertical ornamentation. Horizontal elements may include a cornice, belt course, molding, string courses, canopy, balcony, or other continuous horizontal ornamentation and projections.

(d) Facade. For the purposes of this appendix, facade refers to all facades that would be included in an drawing elevation of the building as well as any facades connecting those facades. Refer to Figure M-1 (7). Facade Definition.

- (e) Frontage, Type A.** A frontage along a Type A Street that receives priority over other frontages in terms of locating principal entrances, prioritizing facade design elements, and incorporating design requirements associated with pedestrian orientation.
- (f) Frontage, Type B.** A frontage along a Type B Street that allows for a lower level of facade treatment as well as permits locations for garage and parking lot driveway entrances.
- (g) Impervious Site Coverage.** The percentage of a lot developed with principal or accessory structures and other impervious surfaces, such as driveways, sidewalks, and patios.
- (h) Occupied Building Space.** Interior building space regularly occupied by the building users. It does not include storage areas, utility space, vehicle service areas, or parking.
- (i) Paseo.** A pathway designed for use by pedestrians, located mid-block, allowing pedestrian movement through the block from one street to another without traveling along the block's perimeter.
- (j) Porch.** For the purposes of this Chapter, a porch is a roofed, raised structure at the entrance to the

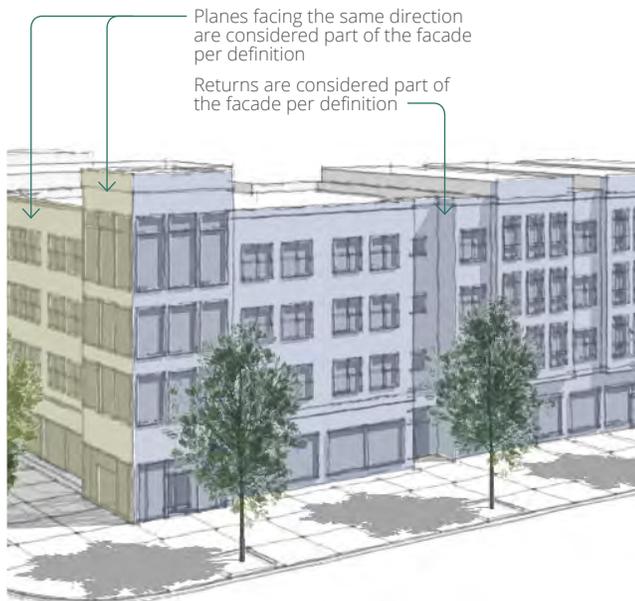


Figure M-1 (7). Facade Definition.



Figure M-1 (8). Example of a Porch.

Definitions

building, and a transition between the interior of the building and the exterior yard or adjacent sidewalk. Refer to [Figure M-1 \(8\)](#). Example of a [Porch](#).

- (k) **Semi-Pervious Surface.** Also referred to as semi-pervious material. A material that allows for at least 40% absorption of water into the ground or plant material, such as pervious pavers, permeable asphalt and concrete, or green roofs.
- (l) **Stoop.** A platform entranceway at the door to a building, providing a transition between the interior of the building and the sidewalk outside the building. The stoop may be elevated or at grade, and may be covered by a canopy or awning. Refer to [Figure M-1 \(9\)](#). Example of a [Stoop](#).
- (m) **Story, Ground.** Also referred to as ground floor. The first floor of a building that is level to or elevated above the finished grade on the front and corner facades, excluding basements or cellars.
- (n) **Story, Half.** A story either in the base of the building, partially below grade and partially above grade, or a story fully within the roof structure with transparency facing the street.
- (o) **Story, Upper.** Also referred to as upper floor. The

floors located above the ground story of a building.

- (p) **Street, Type A.** A street designated on the Regulating Plan that receives priority over other streets in terms of setting front lot lines and locating building entrances. Refer to [Figure M-1\(2\)](#) Regulating Plan for mapped location of Type A streets.
- (q) **Street, Type B.** A street designated on the Regulating Plan that receives lower priority than Type A Street in terms of building frontage and facade requirements allows for a lower level of facade treatment as well as permits locations for garage and parking lot driveways entrances. Refer to [Figure M-1\(2\)](#) Regulating Plan for mapped location of Type B streets.
- (r) **Transparency.** The measurement of the percentage of a facade that has highly transparent, low reflectance windows with minimum 55 percent transmittance factor and a reflectance factor of not greater than 0.25
- (s) **Visible Basement.** A half story partially below grade and partially exposed above with required transparency on the street facade.
- (t) **Way, Public.** Public ways, for the purposes of this Appendix M, include streets, paseos, and multi-use paths. Alleys are not included in the requirements for public ways.
- (u) **Yard, Parking.** A yard extending from the rear building facade to the rear lot line between the side yards or, on a corner lot, between the street adjacent side and side yards. Parking yards are fully screened from Type A streets by the building and do not extend to any side lot line or street lot line.



Figure M-1 (9). Example of a [Stoop](#)



Public Realm



M-1-10. PUBLIC REALM PLANS

Public realm plans build upon the framework established by the regulating plans for locations within the Special Design Area and focus on the street, paseo, multi-use path, and outdoor space requirements for the specific area. The requirements of the public realm plan are applicable to each parcel within the Special Design Area.

(a) Boulder Junction Phase I Public Realm Plan.

Refer to [Figure M-2 \(1\)](#) for the Public Realm Plan established for Boulder Junction Phase I. The public realm plan is provided to illustrate the requirements of the Transit Village Area Plan (TVAP), Chapter 4 Transportation Connections. The public realm plan illustrates the following:

- (1) **Intent.** The location of required new streets, alleys, paths, and paseos, is specified to implement walkable, bikeable blocks and the requirements of the Transit Village Area Plan (TVAP), specifically Chapter 4 Transportation Connections.
 - (2) **Required Public Ways.** All public ways, including streets, alleys, paseos, and multi-use paths, shall be constructed on the parcels shown unless otherwise stated in this subsection.
 - (A) **Additional Public Ways.** Additional public ways of the types specified may be included.
 - (B) **Elimination.** Public ways shall not be eliminated, unless through a Major Exception (Sec. 9-2).
 - (C) **Alternatives.** Alternative street layouts may be requested through a Minor Design Exception process (refer to Sec. 9-2) and the amendment process defined by the Transit Village Area Plan (TVAP), Chapter 4 Transportation Connections.
 - (3) **Orientation of Public Ways.** New public ways shall be generally oriented as shown, but may curve or angle in between end points.
 - (A) Paseos and multi-use paths may curve, jog, or angle within a 10 foot offset in either direction from the location shown.
 - (4) **Shared Frontage on Public Ways.** New public ways shown on the edge of parcels shall be located on the parcels as shown on [Figure M-2 \(1\)](#). [Public Realm Plan: Boulder Junction Phase I](#).
 - (A) **New Street or Alley.** The edge of the right-of-way or easement for the new public way shall be located within 5 feet of the parcel line and shall be designed to allow utilization by the adjacent parcel, as shown by the shared frontage symbol on [Figure M-2 \(1\)](#). [Public Realm Plan: Boulder Junction Phase I](#).
 - (B) **Paseos or Multi-Use Paths.** The paseo or multi-use path shall be constructed to allow frontage on the adjacent parcels as illustrated by the shared frontage symbol.
 - (C) **Straddling the Parcel Line.** The location of the new public way may straddle the parcel line if coordinated in writing with the adjacent parcel owner. The full street shall be constructed at the time of any development approval unless a half street or otherwise is approved through a Minor Design Exception.
- (5) **Flexible Locations of Public Ways.** Public ways shown wholly within a development site, to be developed on both sides within the same development, may be located per the following:
 - (A) **New Street or Alley.** New streets or alleys may be located within 50 feet of the location shown. Relocated streets and alleys shall have either a building or Outdoor Space Type on both sides. Where shown connecting to an existing street, that end point shall be maintained.
 - (B) **New Paseo or Multi-Use Path.** Paseos and multi-use paths shall be developed on the parcel shown within 20 feet of the location shown.
 - (6) **Public Way Types.** Refer to Section [M-1-12](#). [Street & Public Way Types](#) for public way type requirements.
 - (A) New streets shall utilize either the Base Street, Residential Collector Street, or Shared Street types.
 - (B) The Shared Street shall be limited to no more than one block in length in the area and requires approval of Public Works and [\[TVAP\]](#) for use.
 - (C) Refer to Section [M-1-12](#) for the required components to the Paseo Type, Enhanced Paseos, and Multi-Use Path.
 - (7) **Right-of-Way Expansion.** The City requires additional right-of-way for Valmont, Pearl, and 30th Streets for specific planned improvements to those existing streets, including but not limited to on-street bicycle lanes and on-street parking per the Transit Village Area Plan

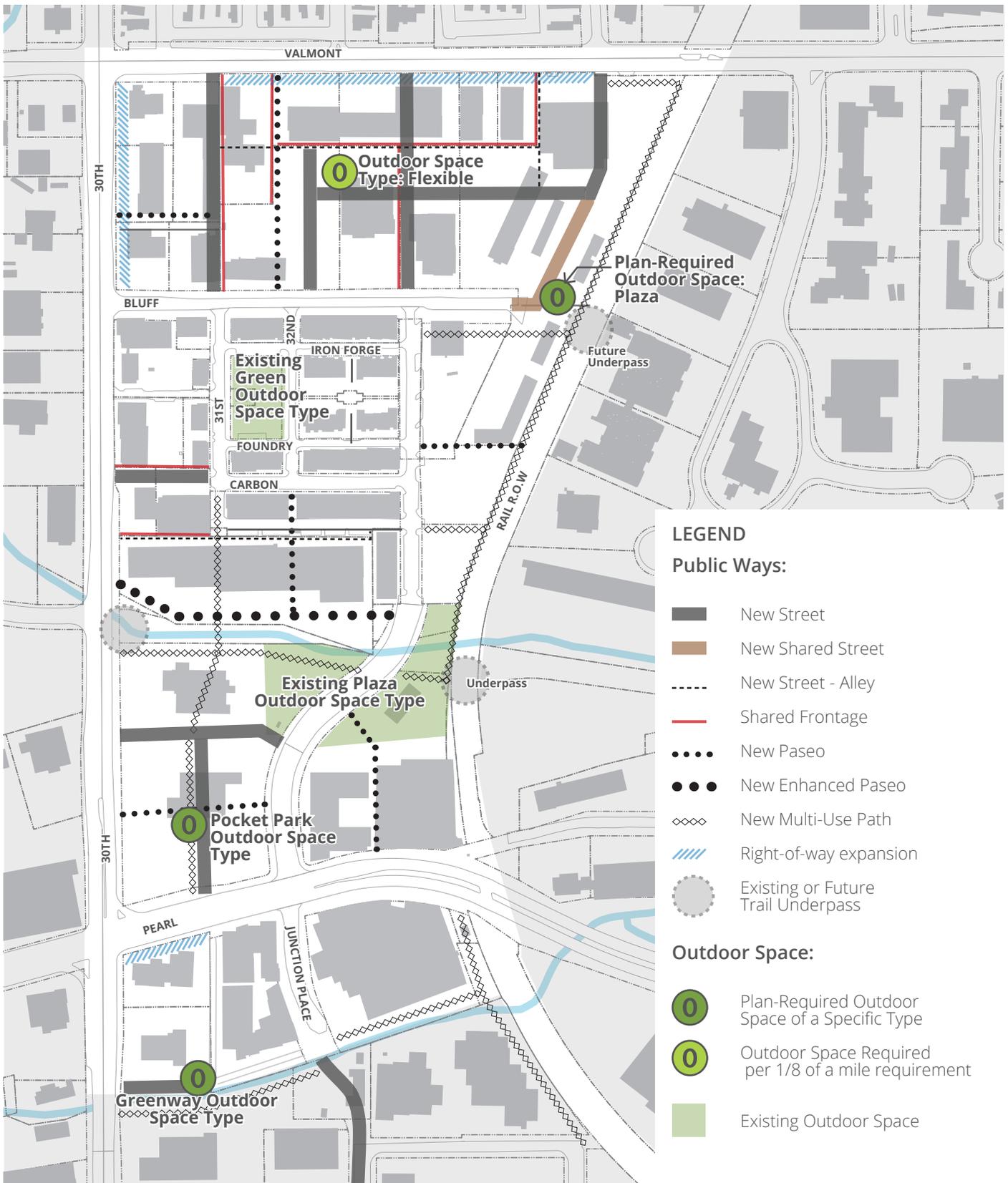


Figure M-2 (1). Public Realm Plan: Boulder Junction Phase I

(TVAP), to be coordinated at the required Pre-Application Meeting.

- (8) **Outdoor Space.** Locations for Outdoor Space Types are shown on the Public Realm Plan as follows:
 - (A) **Plan-Required Outdoor Space.** Locations for outdoor space defined in the area plan are required per the Transit Village Area Plan, with requirements defined by the specific Outdoor Space Type.
 - (B) **Underpass Open Space.** Open space shall be provided to accommodate any future underpass. Minimum size shall be long enough to provide for the transition grades and wide enough to allow for additional landscaping and paving area. Minimum size to be coordinated with the city manager, but shall not be less than 200 feet by 35 feet.
 - (C) **Outdoor Space within 1/8 Mile.** One Outdoor Space Type is required within 1/8 of a mile of all public entrances into buildings.
 - (1) Existing open space may fulfill the requirement.

- (2) Refer to the Outdoor Space Types defined in Section M-1-15. Outdoor Space Types. Utilize the type required on the Public Realm Plan. If specified as flexible, utilize a type that will result in a mix of outdoor spaces in the vicinity of the development.

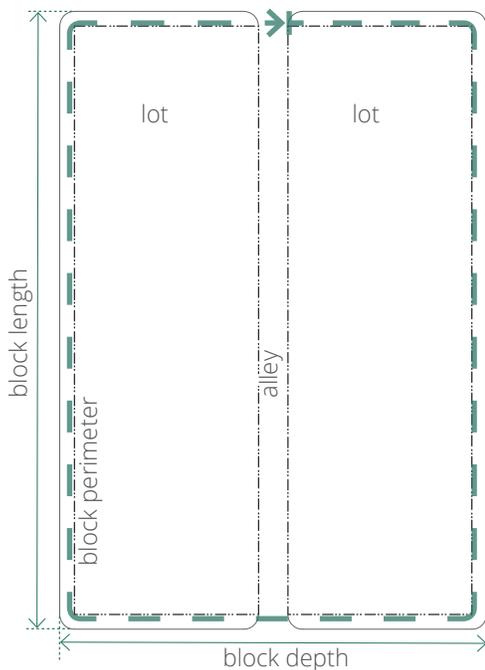


Figure M-2 (2). Typical Block Elements

M-1-11. GENERAL BLOCK, STREET, & OUTDOOR SPACE LAYOUT REQUIREMENTS.

Refer to Title 9, Chapter 12 for Subdivision requirements and the Design and Construction Standards manual. The following establishes additional requirements for block and street layout within the Special Design Area with the goal of creating an interconnecting system of multi-modal public ways.

- (a) **Block Configurations.** Refer to the Public Realm Plan for required block configurations. For areas without a Public Realm Plan, the following configuration requirements apply to all projects within the Special Design Area over 3 acres in size.
- (1) **Maximum Block Perimeter.** Block perimeter shall be less than 1,200 feet, except with an approved **minor design exception** due to natural features or other already existing site constraints, such as the rail corridor.
 - (2) **Block Depth.** Blocks shall typically be two lots or buildings deep to provide fronts of buildings on at least two block faces. Blocks consisting of more than 60 percent open space may be shallower. Blocks may also include an alley. Blocks may include existing lots within an adjacent development.
 - (3) **Type A Streets.** Type A streets shall be located along at least two of the block frontages, preferably on the longest block faces. Refer to Section M-1-7 for explanation of Type A Streets.
 - (4) **Connections to Adjacent Properties.** Development sites shall connect to adjacent development sites along a public right-of-way, with a minimum of one public way intersecting or abutting the project boundary per every 800 feet of perimeter project boundary.
- (b) **Outdoor Space Requirement.** Incorporate Outdoor Space Types into the street and block layout per specific area requirements noted on the Public Realm plan and general public space requirements specified in Section M-1-15. Outdoor Space Types.

M-1-12. STREET & PUBLIC WAY TYPES

- (a) **Applicability.** The following street types are permitted for new streets and public ways. For existing streets, the minimum streetscape area is required. If additional space is required, right-of-way shall be dedicated to fulfill the streetscape requirement.
- (b) **Illustrations.** The graphics provided here illustrate the preferred configuration of each street type.
- (c) **Requirements.** During the Pre-Application Conference required pursuant to Section 9-2-X, B.R.C. 1981, the city manager may require additional right-of-way, pavement width, or additional street elements depending on unique site locations and characteristics.

(d) **Base Street Type.** The Base Street Type is a public street for neighborhood or local level through-traffic requiring a two way, dedicated lane system. Refer to Figure M-2 (3). Base Street. Refer to Design and Construction Manual for Base Street Type requirements with the following additions/exceptions:

- (1) **On-Street Parking.** On-street parking is required on at least one side of all streets.
- (2) **Mixed-Use Streetscape.** The minimum dimension for streetscapes along non-residential ground stories is 16 feet, with a clear sidewalk area of 8 feet.
- (3) **Reduced Minimum Pavement.** When only one lane of on-street parking is utilized, the minimum pavement width is 28 feet and the minimum right-of-way width is 54 feet.

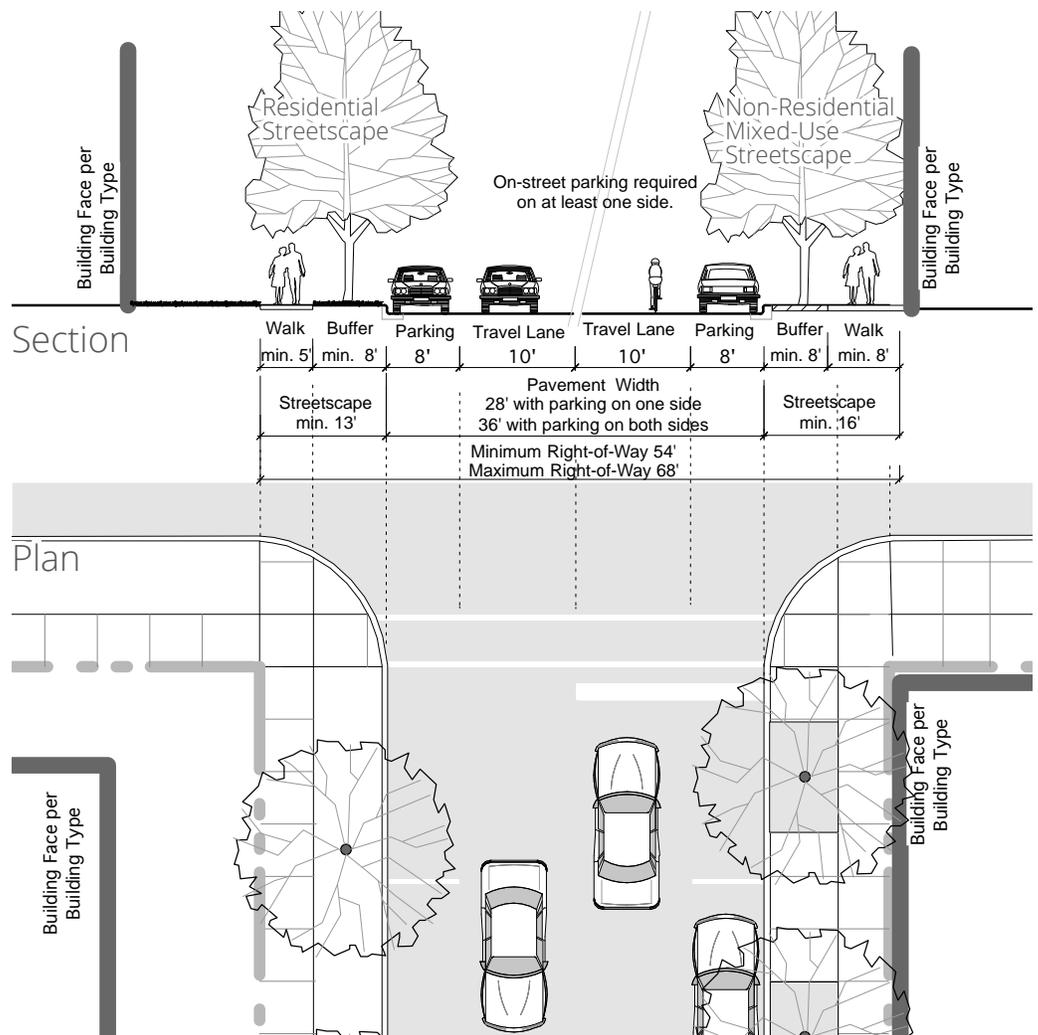


Figure M-2 (3). Base Street

(e) **Residential Collector Street Type.** The Residential Collector Street Type is public street for neighborhood locations with lower traffic volumes, allowing a yield street in lieu of separate lanes. Refer to Figure M-2 (4). Residential Collector Street.

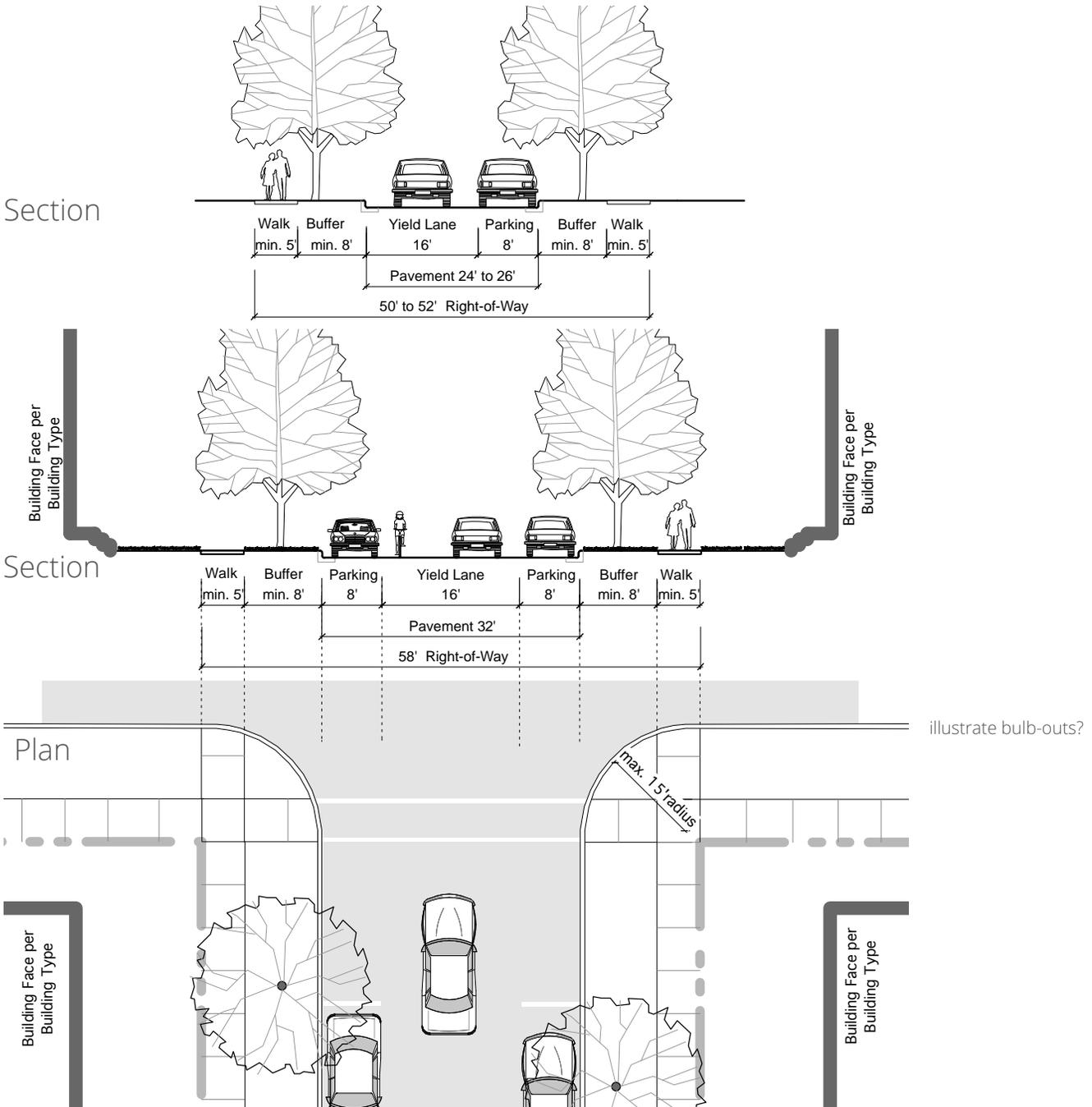
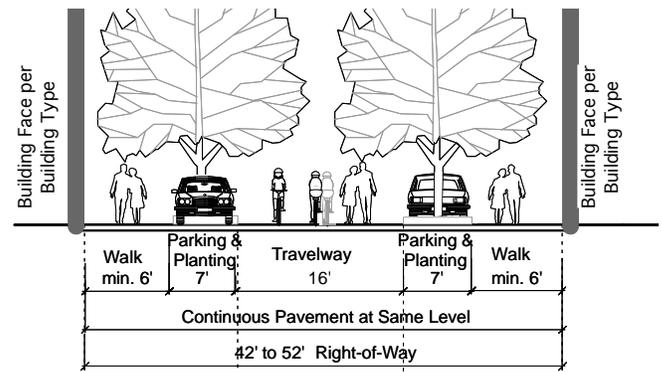
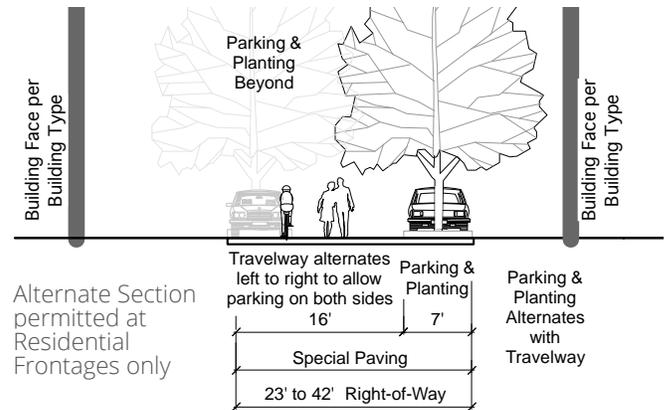


Figure M-2 (4). Residential Collector Street

(f) **Shared Street.** The Shared Street is a private shared street, designed to allow vehicles, pedestrians, and bicycles to circulate with equal priority at a slow pace. The shared street shall have a public access easement across the entire right-of-way. Refer to Figure M-2 (5). Shared Street.

SHARED STREET	
Permitted Adjacent to building types	All; limited to no more than one block length
Right-of-way Width	42' to 52'; residential only 23' to 42'; private r.o.w. with public access easement
Travel Lanes	One yield lane; 1- or 2-way; maximum 16' in width
Allowable Turn Lanes	None permitted
Parking Lanes	Parallel; 7' to 8' wide; incorporated into street design
Pavement, Curbs	Special paving design required to define shared spaces; roll curbs required between walks and shared travelway for sight-impaired pedestrians; barrier curbs not permitted except for tree/landscape areas
Bicycle Facilities	Shared on street
Pedestrian Facilities	Minimum 6' wide clear separate sidewalk area required, integrated into design of street; none required on alternate for residential frontages
Street Buffer (refer to Section M-1-14, Streetscape Design Requirements.)	Streetscape required, integrated with street design



Section

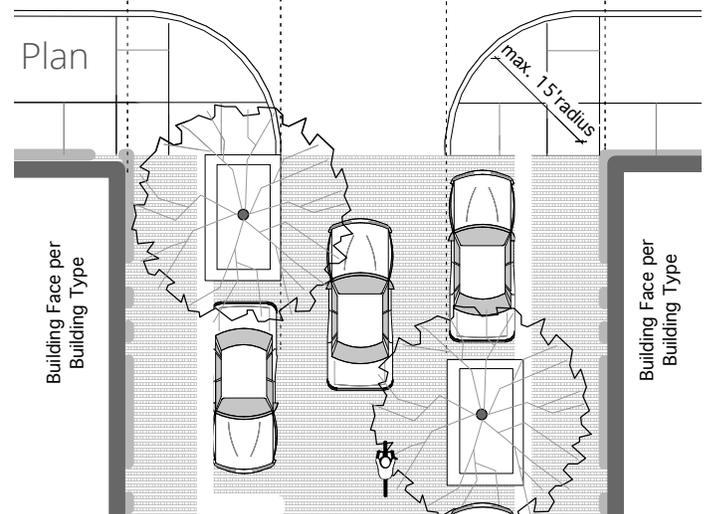


Figure M-2 (5). Shared Street

(g) **Paseo.** The paseo is a private way provided for new walkways between buildings as designated in area plans. Paseos required by the Public Realm plan shall have a public access easement across the

entire required right-of-way. Refer to [Figure M-2 \(6\). Paseo.](#)

PASEO	
Permitted Adjacent to building types	All
Easement	Required full width of space; publicly accessible. Narrow Paseo is permitted only for open air Paseo and when one adjacent building is 2 stories or less.
Minimum & Maximum Width	Narrow Paseo: Minimum 9', maximum 12' Wide Paseo: minimum 12', maximum 20'
Pedestrian Facilities	Narrow Paseo: minimum 8' average wide sidewalk, special paving Wide Paseo: minimum 8' wide sidewalk
Lighting	Pedestrian-scaled lighting required

Landscape Requirements	Narrow Paseo: shall include at least one of the following: vines, espaliers, perennials, or groundcover Wide Paseo: shall include at least one of the following: ornamental or shade trees (1 per 50' of length); shrubs, perennials, or groundcover (or combination) covering at least 30% of the space
Special Requirements	Paseos required by Public Realm Plan shall be open to the sky, with the exception of cloth canopies or trellises, and special detailing to include art (sculpture, murals, or other installation approved by the city manager), specialty lighting such as catenary or string lights, and at least one site furnishing such as, without limitation, overhead or wall trellis or benches or tables/chairs.

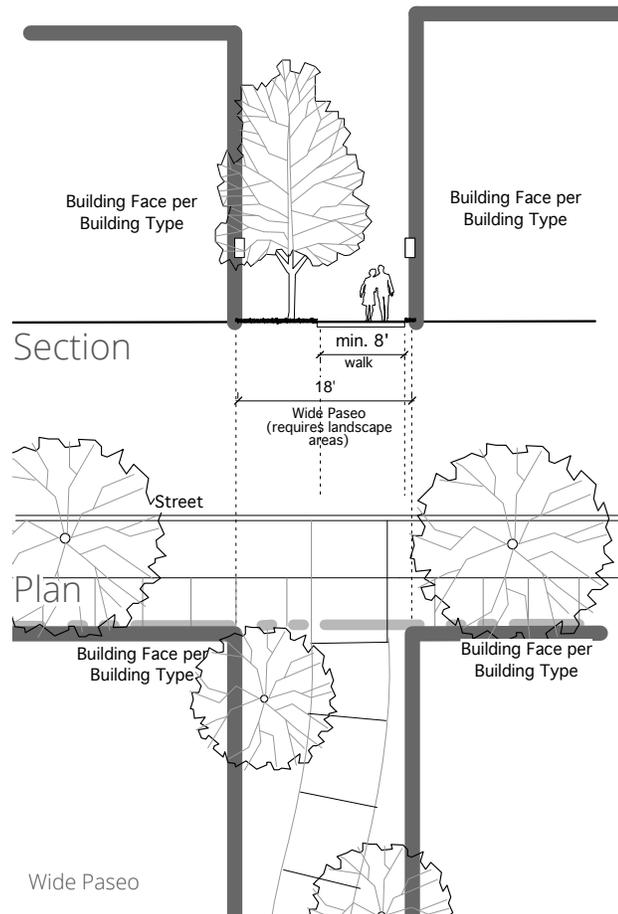
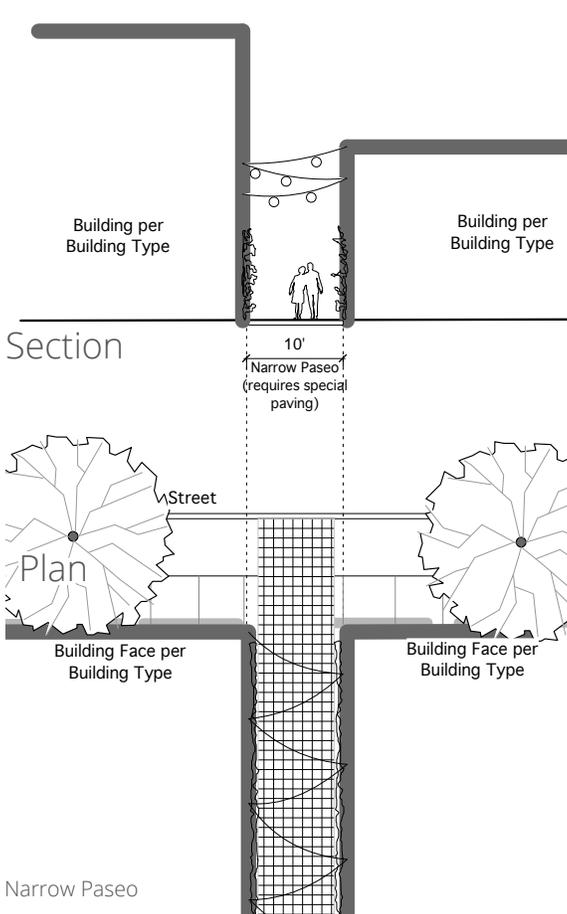


Figure M-2 (6). Paseo

(h) **Enhanced Paseo.** The enhanced paseo incorporates a wider easement space to allow for pausing spaces as well as a wider buffer from adjacent buildings. Refer to [Figure M-2 \(7\). Enhanced Paseo.](#)

(i) **Multi-Use Path.** The multi-use path accommodates pedestrians and bicycles. Refer to the city's Design and Construction Standards manual and/or the Greenways Design Guideline for the requirements for multi-use paths.

(j) **Alley.** Alleys shall be provided through blocks to access parking, to service buildings, and to pick up refuse/recycling and are not considered public ways. Refer to [Design and Construction Standards 2.06](#) for Base Alleys in Mixed-Use Locations.

ENHANCED PASEO	
Permitted Adjacent to Building Types	All; Required locations per M-1-7, Regulating Plans
Easement Width	Required minimum 25' width; public access easement required
Multi-Use Path/ Sidewalk	minimum 10' wide path way required, accommodating both pedestrians and slow bicyclists, consisting of at least 50% concrete pavers, stone, brick paving, or crushed granite
Landscape Requirements	Minimum 8' landscape area along lot line at Goose Creek Street trees required per streetscape design standards, Sec. 9-9-13.
Lighting Requirements	Pedestrian-scaled fixtures required
Special Requirements	Seating area/overlooks required at a minimum of one per 200 feet of creek frontage. Seating area/overlooks to include special paving details utilizing at least 30% brick, stone, or concrete pavers. Terraced retaining walls, maximum height of 36" (ideally 18" for seating) shall be used to transition significant grades.

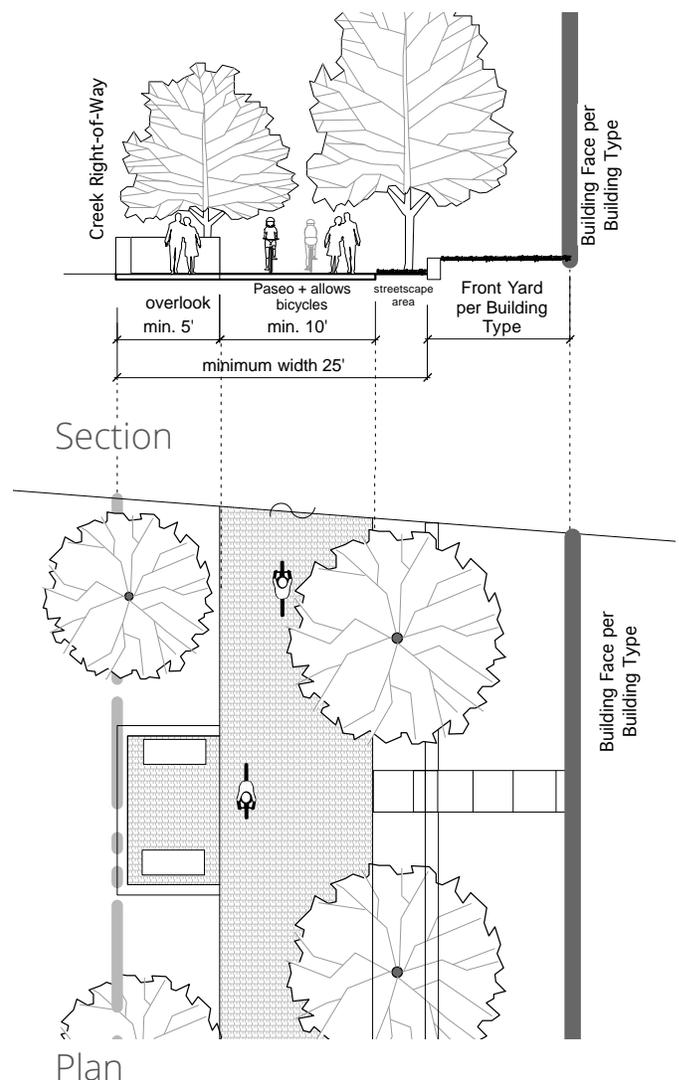


Figure M-2 (7). Enhanced Paseo

M-1-13. GENERAL STREET REQUIREMENTS

Refer to Title 8 of the Land Use Code for street requirements. Refer to the Design and Construction Standards for technical information.

- (a) **Public Use.** ~~All streets shall be available for public use at all times. Gated streets and streets posted as private are not permitted.~~
- (b) **Intersection Design.** The following applies to all new intersections and existing intersections with a new street connection.
- (1) **Crossing Distances.** Typical crosswalks shall not extend over 38 feet without a landscape median, bulb-outs and/or other pedestrian refuge to mitigate the effects of vehicular traffic on crossing and increase pedestrian safety and comfort.
 - (2) **Bulb-outs.** To shorten pedestrian crossing distances and where parking or space is available, bulb-outs shall be utilized at all intersections, unless otherwise determined by the Department of Public Works.
 - (3) **Sight Triangle Area.** ~~Sight triangle area is formed at a corner intersection of two public rights-of-way, a right-of-way and driveway, or a right-of-way and alley. Two sides are 15 feet, measured along the right-of-way line of the streets, of the alley, and the edge of the driveway. The third side is a line connecting the two sides. This triangular area is significant for the determination of sight distance requirements for right angle intersections only. Site triangles shall be determined by 9-9-7.~~
 - (A) **Minor Exception.** The sight triangle requirements may be modified through a minor exception approved by the city manager, if accepted engineering practice would indicate that a modified visibility distance, either greater or lesser, would be acceptable or necessary for the safety of pedestrians, motorists, and bicyclists.

M-1-14. STREETScape DESIGN REQUIREMENTS

A consistent streetscape design shall be submitted for approval for all street frontages within the development.

- (a) **Applicability.** The following applies to all new and existing streets and shared streets, new enhanced paseo locations, and new paseos, unless otherwise determined by the city manager.
- (b) **Streetscape Area.** The streetscape of any existing or new street occupies the full pedestrian realm including the pedestrian facilities area and the street buffer as noted on the street type or similar area of an existing street. For shared streets, enhanced paseos, and paseos, streetscape occupies the entire right-of-way or easement.
- (c) **Standard Specifications.** Streetscape, at a minimum, shall meet any standards specified by the city for sidewalk, curb, access, and buffer area construction.
- (d) **Design Submittal.** At a minimum, the streetscape design submittal shall include the following:
- (A) **Street Trees.** Street trees shall be placed in the street buffer area between the sidewalk and curb per Sections 9-9-12 and 9-9-13.
 - (B) **Pavement Design.** Pavement design for streets and sidewalks shall specify materials and patterns. The minimum sidewalk widths required by the street type plus the extension of the sidewalk to the back of curb, and any extension to storefronts shall be included.
 - (C) **Street Furnishings.** Benches and/or seatwalls, planters, planter fences, tree grates, tree guards, and trash receptacles shall be specified and quantities and locations listed for each street. For each block face for streets and shared streets, a minimum of 2 benches and one trash receptacle is required. Minimum required furnishings for other public ways shall be submitted. Tree grates may be required per 9-9-13.
 - (D) **Bicycle Racks.** Bicycle racks shall be supplied to meet the minimum bicycle parking requirements of the blockface uses per 9-9-6 (g) for required bicycle parking spaces. If rear bicycle parking is utilized, a minimum of 50 percent of the required ground floor use bicycle parking shall be supplied within the streetscape.

- (E) **Landscape Design.** Ground plane vegetation shall be designated for any landscape bed areas, planter areas, and open tree wells.
- (F) **Lighting.** Pedestrian and vehicular lighting shall be specified and locations and quantities noted. All lighting shall meet any technical requirements of the city and Section 9-9-16, including the Dark Skies ordinance. Cut sheets and samples shall be submitted.
- (G) **Identity Elements.** Any other elements designed to establish the identity of the street, such as pavement markers or artwork, shall be included in the streetscape design submittal. These elements may be subject to review and approval based upon Section 9-9-21. "Signs", B.R.C., 1981, and other city codes and ordinances.

(e) Streetscape Design Continuation.

The approved streetscape design may be utilized by the city for the extension of any street outside the development to provide continuity.

M-1-15. OUTDOOR SPACE TYPES

The following design requirements apply to all outdoor space developed within the Special Design Area, unless otherwise stated.

- (a) **Outdoor Space Types.** All required outdoor space provided within the Special Design Area shall comply with one of the Outdoor Space Types defined by Subsections M-1-15(k) through (o).
- (b) **Access.** All required outdoor space shall provide public access from a pedestrian route associated with a vehicular right-of-way and/or adjacent building entrances/exits.
- (c) **Easement Required.** ~~Outdoor Space Types shall be designated by easement allowing public access.~~
- (d) **Fencing.** Outdoor Space Types may incorporate fencing provided that the following requirements are met.
 - (1) **Height.** Fencing shall be a maximum height of 48 inches, unless approved by the city manager for such circumstances as proximity to railroad right-of-way and use around swimming pools, ball fields, and ball courts.
 - (2) **Level of Opacity.** Fence opacity shall be no greater than 60 percent.
 - (3) **Type.** Chain-link fencing is not permitted along any street frontage, with the exception of dedicated sports field or court fencing approved by the city manager.
 - (4) **Spacing of Openings.** Openings or gates shall be provided on every street frontage at a minimum of one per every 100 feet of frontage.

- (e) **Open Water Body.** All open water bodies, such as lakes, ponds, pools, creeks, and streams, within a Outdoor Space Type shall be located at least 20 feet from a property line to allow for pedestrian and bicycle access as well as a landscape area surrounding the water body.
- (f) **Parking Requirements.** Parking shall not be required for any Outdoor Space Type, unless a use other than open space is determined by the city manager.
- (g) **Continuity.** New outdoor space shall connect to abutting, or proximate existing or planned trail right-of-way or open space.
- (h) **Measuring Size.**
 - (1) **Size.** The size of the outdoor space is measured to include all landscape and hardscape areas associated directly with the outdoor space.
 - (2) **Minimum Dimension.** The minimum length or width of the Outdoor Space Type, as measured along the longest two straight lines intersecting at a right angle defining the maximum length and width of the lot. Refer to [Figure M-2 \(8\)](#). [Measuring Minimum Dimensions](#).
 - (3) **Minimum Percentage of Street Frontage Required.** A minimum percentage of the outdoor space perimeter, as measured along the outer edge of the space, shall be located directly adjacent to a street. This requirement provides access and visibility to the outdoor space.
- (i) **Improvements.** As noted in the specific

requirements for each Outdoor Space Type, the following types of site improvements and structures may be permitted.

- (1) **Designated Sports Fields Permitted.** Sports fields or ball courts designated for one or more particular sports including, but not limited to, baseball fields, softball fields, soccer fields, basketball courts, football fields, and tennis courts are permitted.
- (2) **Playgrounds Permitted or Required.** Playgrounds include a defined area with play structures and equipment typically for children under 12 years of age, such as slides, swings, climbing structures, and skate parks. Where required, playgrounds, including soft surfacing and structures, shall be a minimum of **1800 square feet** in total area.
- (3) **Fully Enclosed Structures Permitted.** Fully enclosed structures may include such uses as small cafes, kiosks, community centers, and restrooms.
- (4) **Maximum Area.** For some Outdoor Space Types, fully enclosed structures are permitted, but limited to a maximum building coverage as a percentage of the outdoor space area.
- (5) **Semi-Enclosed Structures.** Open-air structures, such as gazebos, are permitted in all Outdoor Space Types.
- (6) **Maximum Impervious and Semi-Pervious Surface Permitted.** The amounts of impervious and semi-pervious coverage are provided separately for each type to allow an additional amount of semi-pervious surface, such as permeable paving, above the impervious surfaces permitted, including, but not limited to, sidewalks, paths, and structures as permitted.
- (7) **Maximum Percentage of Open Water Body.** The maximum amount of area within a type that may be covered by an open water body, including, but not limited to, ponds, lakes, and pools.
- (j) **Stormwater in Outdoor Space Types.** Stormwater management practices, such as storage and retention facilities, may be integrated into the Outdoor Space Types and utilized to meet stormwater requirements for surrounding parcels.
 - (1) **Stormwater Features.** Stormwater features in outdoor space may be designed as formal or natural amenities with additional uses other than stormwater management, such as an



Figure M-2 (8). Measuring Minimum Dimensions

amphitheater, sports field, or a pond or pool as part of the landscape design.

- (2) **Fencing.** Stormwater features shall not be fenced and shall not impede public use of the land they occupy.
- (3) **Walls.** Retaining walls over 2.5 feet in height are not permitted in any outdoor space accommodating stormwater. Exposed concrete is not permitted; all concrete shall be faced with stone or brick.
- (4) **Structures.** All inlets, pipes, overflows, outfalls, and other structures required for the facility shall be incorporated into a landscape design and as unobtrusive as feasible. Exposed concrete is not permitted; all concrete shall be faced with stone or brick.
- (5) **Qualified Professional.** A qualified landscape architect, shall be utilized to design the space for use by people, incorporating the stormwater features into the design.



(k) Plaza.

The intent of the plaza is to provide a formal Outdoor Space Type of medium scale to serve as a gathering place for civic, social, and commercial purposes. The Plaza may contain a greater amount of impervious coverage than any other Outdoor Space Type. Special features, such as fountains and public art installations, are encouraged.

PLAZA REQUIREMENTS

Dimensions	
Minimum Size	0.10 acres
Maximum Size	1 acres
Minimum Dimension	80 feet
Minimum Percentage of Street or Public Way Frontage Required	25%
Improvements	
Designated Sports Fields	Not permitted
Playgrounds	Not permitted
Fully Enclosed Structures	Permitted; may cover maximum 5% of plaza area
Maximum Impervious Surface + Semi-Pervious Surface	60%+ 20%
Maximum Percentage of Open Water	30%



(l) Green.

The intent of the green is to provide informal, medium scale active or passive recreation for building occupants and visitors within walking distance, mainly fronted by streets.

(m) Commons.

The intent of the commons is to provide an informal, small to medium scale space for active or passive recreation for a limited area. Commons are typically internal to a block and tend to serve adjacent building occupants.

GREEN REQUIREMENTS

Dimensions	
Minimum Size	0.25 acres
Maximum Size	2 acres
Minimum Dimension	45 feet
Minimum Percentage of Street or Public Way Frontage Required	100% for greens less than 1.25 acres; 50% for greens 1.25 or more acres in size
Improvements	
Designated Sports Fields	Not permitted
Playgrounds	Permitted
Fully Enclosed Structures	Not permitted
Maximum Impervious Surface + Semi-Pervious Surface	20% + 15%
Maximum Percentage of Open Water	30%

COMMONS REQUIREMENTS

Dimensions	
Minimum Size	0.25 acres
Maximum Size	1.5 acres
Minimum Dimension	45 feet
Minimum Percentage of Street or Public Way Frontage Required	0%; requires a minimum of two access points (minimum 20 feet wide)
Improvements	
Designated Sports Fields	Not permitted
Playgrounds	Permitted
Fully Enclosed Structures	Not permitted
Maximum Impervious Surface + Semi-Pervious Surface	30% + 10%
Maximum Percentage of Open Water	30%



(n) Pocket Park.

The intent of the pocket park is to provide small scale, primarily landscaped active or passive recreation and gathering space for neighborhood residents within walking distance.

(o) Park/Greenway.

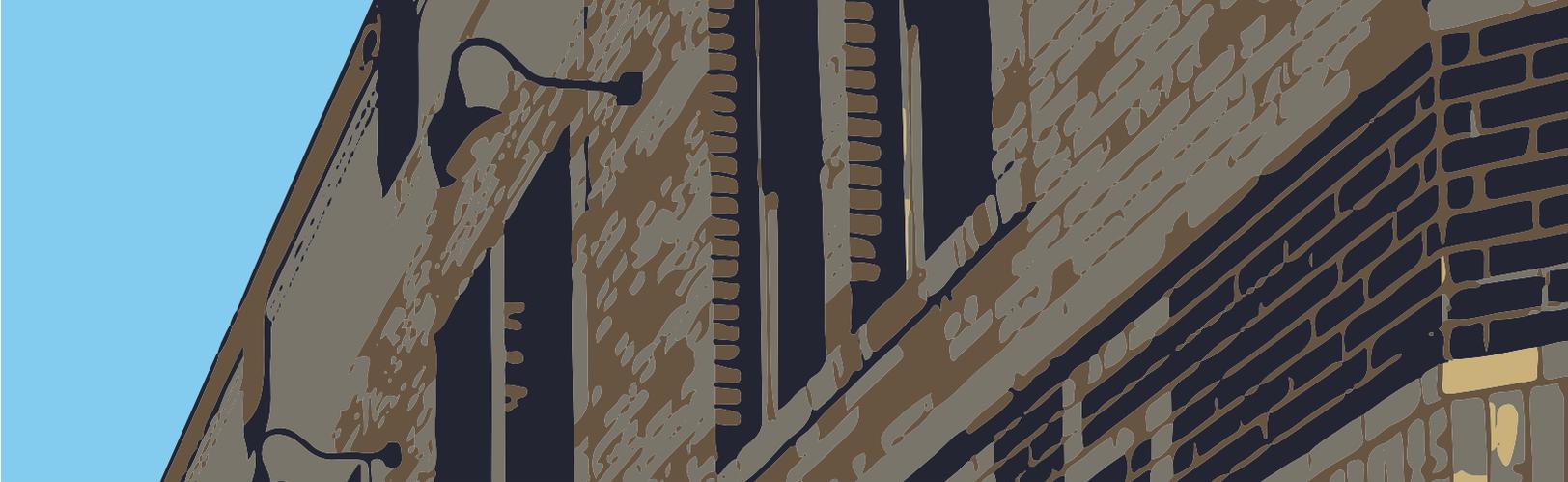
The intent of the park/Greenway is to provide informal active and passive large-scale recreational amenities to local residents and the greater region. Parks have primarily natural plantings and are frequently created around an existing natural feature such as a water body or stands of trees.

POCKET PARK REQUIREMENTS

Dimensions	
Minimum Size	.10 acres
Maximum Size	1
Minimum Dimension	None
Minimum Percentage of Street Frontage Required	30%
Improvements	
Designated Sports Fields	Not permitted
Playgrounds	Required
Fully Enclosed Structures	Not permitted
Maximum Impervious Surface + Semi-Pervious Surface	30% + 10%
Maximum Percentage of Open Water	30%

PARK/GREENWAY REQUIREMENTS

Dimensions	
Minimum Size	2 acres
Maximum Size	None
Minimum Dimension	30 feet; minimum average width of 80 feet
Minimum Percentage of Street Frontage Required	30% for parks less than 5 acres; 20% for parks 5 or more acres in size
Improvements	
Designated Sports Fields	Permitted
Playgrounds	Permitted
Fully Enclosed Structures	Permitted in parks 5 acres or larger in size
Maximum Impervious Surface + Semi-Pervious Surface	20% + 10%
Maximum Percentage of Open Water	30%



Building Types



M-1-16. GENERAL REQUIREMENTS OF BUILDING TYPES

This section specifies the building form regulations associated with each allowable building type, as permitted by Regulating Plan per Section M-1-7 superceding Chapter 9-7 Form and Bulk Standards and Chapter 9-8 Intensity Standards.

- (a) **Uses in Building Types.** Uses shall be consistent with the provisions of Chapter 9-6 Use Standards. Each building type can house a mix of uses depending on the district in which it is located. Some building types have additional limitations on permitted uses as located within the building.
- (b) **General Site & Building Design Requirements.** All buildings shall comply with the site design and building design requirements of Section Site & Building Design.
- (c) **Multiple Principal Structures.** Multiple structures may be constructed on all lots and parcels. All structures shall meet the requirements of permitted building type(s), including but not limited to the build-to zone requirements.
- (d) **Permanent Structures.** All buildings constructed shall be constructed permanently, unless otherwise allowed as a temporary use in Chapter 9-6 Use Standards.
- (e) **Build to the Corner.** On corners, a building or

structure shall be located at the intersection of the two build-to zones as shown on Figure M-3 (1).

- (f) **Type A & B Frontages.** A hierarchy of frontages is established for the Special Design Areas. Frontages include streets, paths, waterways, and other public ways. Refer to M-1-18 through M-1-22 Building Types for requirements along these frontages.
 - (1) **Type A Frontage Description.** Type A Frontages define the fronts of lots and buildings, locate the principal entrance on the building, require the highest level of facade treatment, and establish restrictions on locations for parking and garage driveways and entrances.
 - (A) **Type A Street Frontages.** Regulating plans designate street frontages to be treated as Type A.
 - (B) **Outdoor Space Types.** Lots containing or abutting a Outdoor Space Type shall treat frontages abutting the public space as Type A Frontages.
 - (C) **Specific Type A Frontages.** Public ways other than streets and alleys (such as but not limited to paseos, multi-use paths, waterways, busways, rail lines) to be treated as Type A Frontages are as follows:
 - (1) **Boulder Junction Phase I.** Goose Creek, the North Boulder Farmer’s Ditch, and all

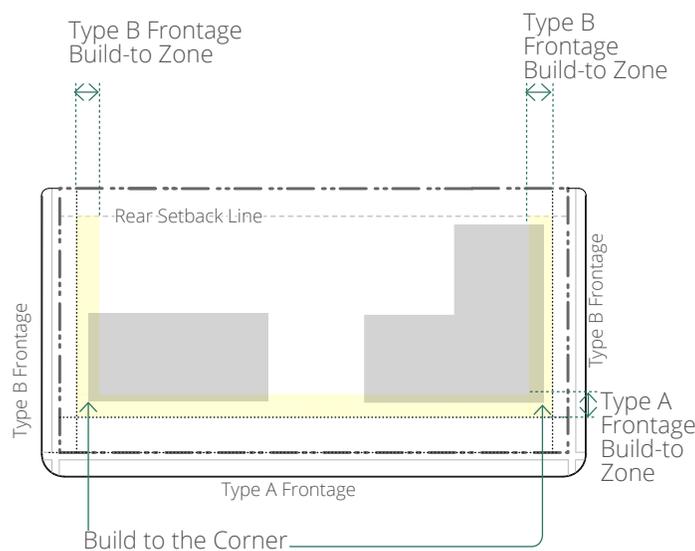


Figure M-3 (1). Build-to Corner and Build-to Zones

enhanced paseos (refer to M-1-12. Street & Public Way Types) shall be treated as a Type A Frontage.

- (D) **Corners.** At corners of buildings on public ways, Type A Frontages shall be continued around the corner along the public way for a minimum of 30 feet.
- (E) **Multiple Type A Frontages and No Type B Frontage.** If multiple Type A Frontages and no Type B Frontage exists, the city manager may approve one Type A Frontage to be treated as Type B Frontage for the building type requirements. The city manager shall base the decision on the following:
 - (1) Orientation of other parcels along the street, including fronts of buildings and locations of other vehicular access, are more consistent with Type B requirements.
 - (2) The street classification of the street is a more focused on traffic movement than pedestrian orientation.
 - (3) The area plan prioritizes the street lower than other Type A Frontages.
- (2) **Type B Frontages Description.** Type B Frontages allow for a lower level of facade treatment in the building type requirements as well as permit locations for garage and parking lot driveways entrances. Type B Frontages may always be treated at the higher level of a Type A Frontage.
 - (A) **Type B Street Frontages.** Regulating Plans designate street frontages to be treated as Type B Frontage.
 - (B) **Other Public Ways.** All public ways other than streets or alleys (including but not limited to paseos, multi-use paths, waterways, busways, rail lines) shall be treated as Type B Frontages unless otherwise stated; however, vehicular access, and recycling/refuse/loading access is not permitted off these public ways.
- (g) **Yard Definition.** Yard is defined in Section 9-16-1, General Definitions, B.R.C. 1981. For the purposes of the Special Design Area, further definition is required as follows:
 - (1) **Side and Rear Yards Abut Other Lots, an Alley, or a Rail Right-of-Way.** In the Special Design Area, only yards abutting a lot, an alley, or a rail right-of-way at the lot line, and not a street or waterway or other Type A or B frontage, are considered side or rear yards.
 - (2) **All Lots may not have a Side or Rear Yard.** Parcels that occupy a full block have no side or rear yard, unless an alley is constructed through the parcel defining two rear yards.
 - (3) **Front Yards, Street Adjacent Yards, and Side equals Front Yards.** Front Yards, Street Adjacent Yards, and Side equals Front Yards are now addressed through the use of Type A and Type B Frontages.
 - (4) **Parking Yard.** Parking yard has been defined (refer to M-1-9. Definitions) to accommodate parking, loading, and mechanicals.
- (h) **Administrative Exceptions.** The city manager may approve exceptions to the building type requirements for the following. Refer to XXXX Administrative Exceptions for process.
 - (1) **Intent.** The intent behind these exceptions is to allow minor levels of flexibility to the building type requirements while still fulfilling the intent of the requirements.
 - (2) **Permitted Exceptions.** The following exceptions may be approved:
 - (A) **Building Location.** The location of the building within up to one foot from any minimum setback requirement or build-to zone width/location.
 - (B) **Impervious Coverage.** Up to a 10 percent increase in total impervious coverage, not to exceed the total amount of permitted impervious plus semi-pervious coverage.
 - (C) **Type A Frontage Lot Line Coverage.** For the Commercial Center Building only, up to 10 percent decrease in Type A Frontage Lot Line Coverage requirements.
 - (D) **Story Height.** Additional height of any floor-to-floor story height up to 2 feet, as long as the overall building height does not exceed the allowable height of all floors at maximum permitted height.
 - (E) **Transparency.** A 2 percent reduction in transparency of a non-Type A frontage facade and/or an increase in blank wall area by 4 square feet on a non-Type A frontage facade.

M-1-17. DESCRIPTIONS OF BUILDING TYPES

The following building types are established for development within Special Design Area. Refer to [M-1-7. Regulating Plans](#) for the locations of building types in the Special Design Area.

- (a) **Main Street Storefront Description.** The Main Street Storefront building type is a highly pedestrian-oriented, mixed-use building. Ground story storefront is required along all Type A streets with only personal service, retail, dining, and entertainment uses to provide activity. Upper story uses are highly flexible. Parking is in the rear or off-site. Refer to Section [M-1-18.](#) for requirements.
- (b) **Commercial Storefront Description.** The Commercial Storefront building type permits single use buildings and more parking locations, but still addresses pedestrian orientation with buildings built up to the sidewalk and storefront glass requirements. This building type allows a broader variety of commercial, retail, and industrial uses on the ground story, including vehicle-related uses. Refer to Section [M-1-19.](#) for requirements.
- (c) **General Building Description.** The General building type is a basic building that serves as urban fabric, built along the sidewalk connecting the more commercial spaces and open spaces. This building can accommodate a wide range of uses, from residential to office to industrial. It differs from the storefront by its lower requirement for ground story glass and allowance for an above-sidewalk level ground floor elevation. Refer to Section [M-1-20.](#) for requirements.
- (d) **Row Building Description.** The Row building type is similar to the General building, but is smaller in scale. The ground story is required to be divided into different units each with separate entrances. Townhouses, rowhouses, live-work units, incubator space, or small width industrial or craftsman spaces fit well into this building type. Refer to [M-1-21.](#) for requirements.
- (e) **Civic Building Description.** The Civic building type is the most flexible building, meant to allow for more iconic designs within the urban fabric of the area. This building type is limited to specific public and institutional uses, such as governmental facilities, religious assemblies, schools, colleges, and universities, as well as parks and recreation uses, museums, and live theaters. Refer to Section [M-1-22.](#) for requirements.

M-1-18. MAIN STREET STOREFRONT BUILDING TYPE

Refer to M-1-7 Regulating Plans for the locations of buildings in the Special Design Area.

		BOULDER JUNCTION PHASE I	REFERENCES/ADDITIONAL REQUIREMENTS
BUILDING SITING Refer to Figure M-3 (2).			
1	Minimum Type A Frontage Build-to Zone Coverage	90% required	One courtyard, maximum of 30% of facade width or 30 feet wide, whichever is less, may count towards Type A Frontage build-to zone coverage.
2	Type A Frontage Build-to Zone	0' to 5' from minimum streetscape, see note right	Minimum 16' non-residential streetscape from back of curb is required adjacent per Section M-1-12. Street & Public Way Types for Connector. Build-to zone measurement is from the edge of minimum streetscape.
3	Type B Frontage Build-to Zone	0' to 5' from minimum streetscape, see note right	
4	Minimum Side Setback	5'; 0' required at Paseo or Multi-Use Path	Refer to Section M-1-12. Street & Public Way Types for Paseo and Multi-Use Path required easement widths.
5	Minimum Rear Setback	10'; minimum 25' if no alley; 0' required at Paseo or Multi-Use Path	Refer to Section M-1-12. Street & Public Way Types for Paseo and Multi-Use Path required easement widths.
6	Maximum Building Length along any Public Way	150'	Refer to Section M-1-32 for Building Massing Requirements.
7	Maximum Site Impervious Coverage Additional Semi-Pervious Coverage	70% 25%	Refer to Chapter 9-16, Definitions, B.R.C., 1981, for semi-pervious coverage.
8	Surface or Accessory Parking, Refuse & Recycling, Utilities, & Loading Location	Parking yard only	Refer to Section 9-9-12, B.R.C., 1981, for screening requirements.
9	Permitted Driveway Access Locations Permitted Garage Entrance Location	Alley Rear facade only; if no rear facade, Type B Frontage street is permitted	Refer to Subsection M-1-26(b). Driveways for sites without alley access and a hierarchy of permitted driveway locations.
HEIGHT Refer to Figure M-3 (3).			
10	Overall: Minimum Height Maximum Height	2 stories 5 stories up to 55', unless otherwise required by M-1-7. Regulating Plans and/or M-1-8. View Corridors	Refer to Subsections M-1-23(c) Measuring Height and M-1-32 for Building Massing requirements. Subsection M-1-24(f) Tower allows additional height in a limited footprint.
11	Ground Story: Minimum Height Maximum Height	14' 22'	Stories are measured floor to floor. Refer to Subsection M-1-23(d) for explanation of measurement.
12	Upper Stories: Minimum Height Maximum Height	9' 12'	Stories are measured floor to floor. Refer to Subsection M-1-23(d) for explanation of measurement.

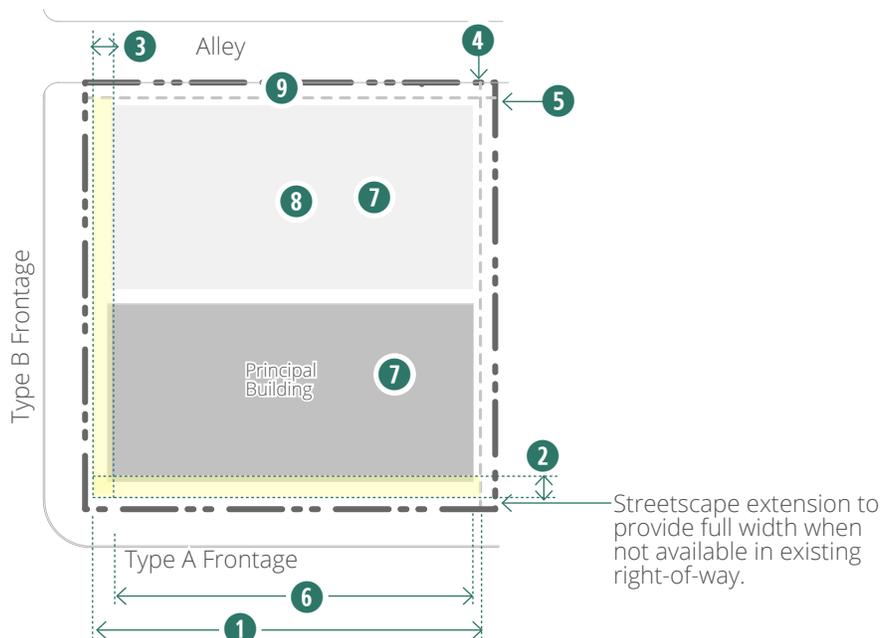


Figure M-3 (2). Storefront Building: Building Siting

BOULDER JUNCTION PHASE I		REFERENCES/ADDITIONAL REQUIREMENTS
USES Refer to Figure M-3 (3) .		
13 Type A Frontage Ground Story	Only dining & entertainment, personal service, retail uses consistent with Chapter 9-6	Refer to Chapter 9-6, B.R.C., 1981, for permitted uses per zoning district and definition of uses.
14 Type B Frontage & All Upper Stories	All uses consistent with Chapter 9-6	
15 Required Occupied Building Space	Minimum 20' deep on all full height floors, not including basement, from any street facade.	Refer to Section M-1-9. Definitions for Occupied Building Space.
16 Parking within Building	Permitted fully in any basement and in rear of all other stories. Prohibited where occupied space is required.	Refer to Occupied Building Space requirement above.
FACADE & CAP REQUIREMENTS Refer to Figure M-3 (4) .		
17 Type A Frontage Ground Story Facade Transparency	Minimum 75% measured between 2' and 10' for average grade of adjacent sidewalk	Note that Subsection M-1-16(f) requires this treatment to turn corners. Refer to Subsection M-1-23(e) for information on measuring transparency.
18 Required Transparency on All Street, Courtyard, & Public Way Facades	Minimum 20%, measured per story of all stories, including blank wall limitations defined in M-1-23(e).	Refer to Subsection M-1-23(e) for information on measuring transparency.
19 Entrance Location & Number	Principal entrance required on Type A frontage facade; entrances required a minimum of one per every 60' of building facade	Refer to Section M-1-23(f) for information on measuring entrance location.
20 Entryway Configuration	Recessed between 3' and 8'; maximum 8' wide, from the portion of the Type A frontage facade closest to the street	Refer to Subsection M-1-29(f) for Principal Entryway requirements.
21 Entrance/Ground Story Elevation Grade	80% of entrances and the ground story shall be within 1.5' of adjacent sidewalk elevation	
22 Ground Story Vertical Facade Divisions	One minimum 2" deep expression line per every 30' of facade width	Refer to Section M-1-9. Definitions for Expression Line.
23 Horizontal Facade Divisions	One minimum 2" deep expression line within 3' of the top of the ground story and the bottom of any 5th story	
24 Permitted Cap Types	Parapet, Pitched, Flat; <i>No more than 2 Towers permitted within 15' of any Type A or Type B frontage facade;</i> <i>2 additional Towers permitted beyond the facades</i>	Refer to Section M-1-24 for Cap Types, including Towers ; and other cap requirements.

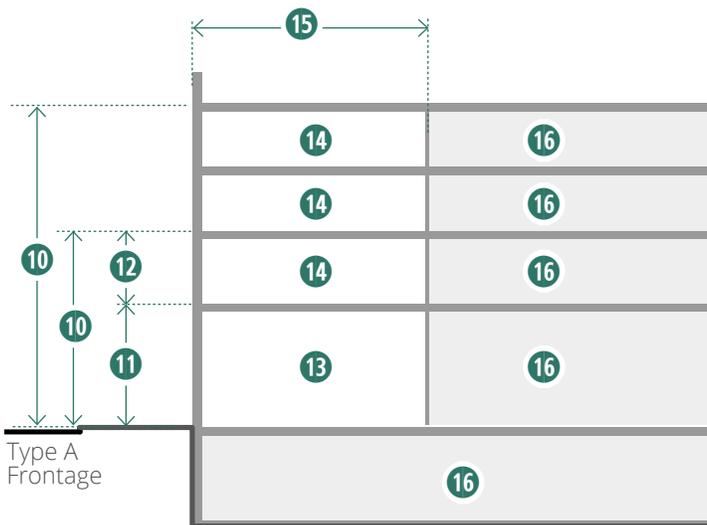


Figure M-3 (3). Storefront Building Section: Height & Use Requirements

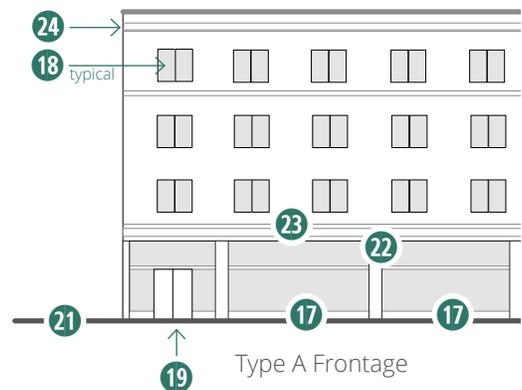


Figure M-3 (4). Storefront Building Elevation: Facade Design Requirements

M-1-19. COMMERCIAL STOREFRONT BUILDING TYPE

Refer to M-1-7 Regulating Plans for the locations of buildings in the Special Design Area.

		BOULDER JUNCTION PHASE I	REFERENCES/ ADDITIONAL REQUIREMENTS
BUILDING SITING Refer to Figure M-3 (2).			
1	Minimum Type A Frontage Build-to Zone Coverage	60% required	.
2	Type A Frontage Build-to Zone	12' to 20' along Valmont and 30th Street; 0' to 10' along new streets	Refer to Section M-1-23(b), for build-to zone; measurement is from the property line.
3	Type B Frontage Build-to Zone	0' to 10'	
4	Minimum Side Setback	5'; 0' required at Paseo or Multi-Use Path	
5	Minimum Rear Setback	15'; 25' required if no alley; 0' required at Paseo or Multi-Use Path	Refer to Sections M-1-12, Street & Public Way Types for Paseo and Multi-Use Path required easement widths.
6	Maximum Building Length along any Public Way	90'	Refer to Section M-1-32 for Building Massing Requirements.
7	Maximum Site Impervious Coverage Additional Semi-Pervious Coverage	70% 25%	Refer to Section M-1-9, Definitions for semi-pervious coverage.
8	Surface or Accessory Parking & Loading Location Refuse & Recycling, Utilities Location	Parking yard & interior side yard Parking yard only	Refer to Section 9-9-12, B.R.C., 1981, for screening requirements.
9	Permitted Driveway Access Locations Permitted Garage Entrance Location	Alley Rear facade preferred, Interior side facade permitted, one permitted on Type B Frontage facade	

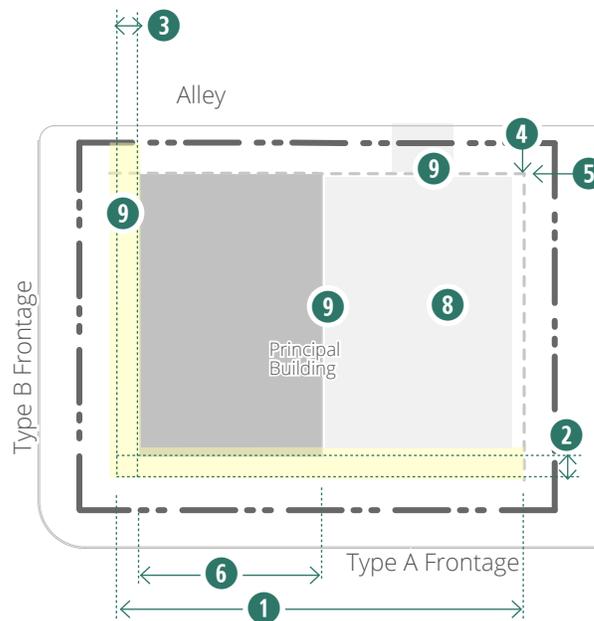


Figure M-3 (5). Commercial Storefront Building Plan: Building Siting Requirements

BOULDER JUNCTION PHASE I

**REFERENCES/
ADDITIONAL REQUIREMENTS**

HEIGHT Refer to Figure M-3 (3).			REFERENCES/ ADDITIONAL REQUIREMENTS
10 Overall:	Minimum Height Maximum Height	1 story 3 stories up to 35'	Refer to Subsections M-1-23(c) Measuring Height and M-1-32 for Building Massing requirements. Subsection M-1-24(f) Tower allows additional height in a limited footprint.
11 Ground Story:	Minimum Height Maximum Height	12' 18'	Stories are measured floor to floor. Refer to Subsection M-1-23(d) for explanation of measurement.
12 Upper Stories:	Minimum Height Maximum Height	9' 14'	Stories are measured floor to floor. Refer to Subsection M-1-23(d) for explanation of measurement.
USES Refer to Figure M-3 (3).			
13 All Frontages & Stories		All uses consistent with Chapter 9-6	Refer to Chapter 9-6, B.R.C., 1981, for permitted uses per zoning district and definition of uses..
15 Required Occupied Building Space		Minimum 20' deep on all full height floors from any street facade	Refer to Section M-1-9. Definitions for Occupied Building Space.
16 Parking within Building		Permitted fully in any basement and in rear of all other stories. Prohibited where occupied space is required.	Refer to Occupied Building Space requirement above.
FACADE & CAP REQUIREMENTS Refer to Figure M-3 (4).			
17 Type A Frontage Ground Story Facade Transparency		Minimum 55% measured between 2' and 8' for average grade of adjacent sidewalk.	Note that Subsection M-1-16(f) requires this treatment to turn corners. Refer to Subsection M-1-23(e) for information on measuring transparency.
18 Required Transparency on All Street, Courtyards, & Public Way Facades		Minimum 15%, measured per story of all stories, including blank wall limitations defined in M-1-23(e).	Refer to Subsection M-1-23(e) for information on measuring transparency.
19 Entrance Location & Number		Principal entrance required on Type A frontage facade; entrances required a minimum of one per every 50' of building facade	Refer to Section M-1-23(f) for information on measuring entrance location.
20 Entrance Configuration		Recessed between 3' and 8', maximum 8' wide, from the portion of the Type A frontage facade closest to the street	Refer to Subsection M-1-29(f) for Principal Entryway requirements.
21 Entrance/Ground Story Elevation Grade		80% of entrances and the ground story shall be within 1.5' of adjacent sidewalk elevation	
22 Ground Story Vertical Facade Divisions		One minimum 2" deep expression line per every 30' of facade width	
23 Horizontal Facade Divisions		One minimum 2" deep expression line within 3' of the top of the ground story	Refer to Section M-1-9. Definitions for Expression Line.
24 Permitted Cap Types		Parapet, Pitched, Flat; one Tower permitted per building.	Refer to Section M-1-24 for Cap Types, including Towers, and other cap requirements.

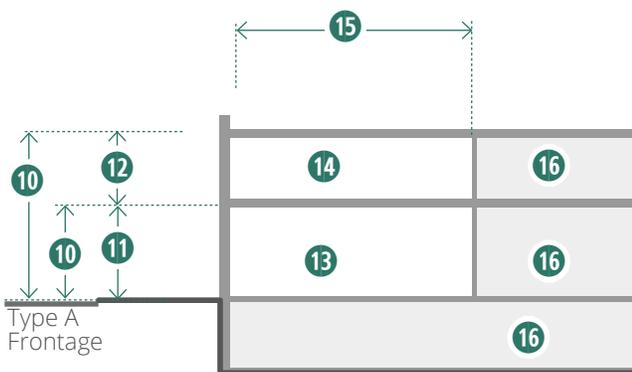


Figure M-3 (6). Commercial Storefront Building Section: Height & Use Requirements

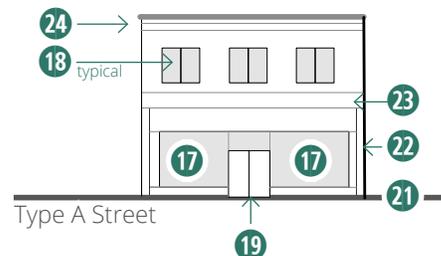


Figure M-3 (7). Storefront Building Elevation: Facade Design Requirements

M-1-20. GENERAL BUILDING TYPE

Refer to M-1-7 Regulating Plans for the locations of buildings in the Special Design Area.

		BOULDER JUNCTION PHASE I	REFERENCES/ ADDITIONAL REQUIREMENTS
BUILDING SITING Refer to FIGURE M-3 (8) .			
1	Minimum Type A Frontage Build-to Zone Coverage	90% required	One courtyard, maximum of 30% of facade width or 30 feet wide, whichever is less, may count towards Type A Frontage build-to zone coverage.
2	Type A Frontage Build-to Zone	5' to 10' from minimum streetscape, see note right	Minimum 16' and 13' wide streetscape area from back of curb is required adjacent to non-residential and residential ground story uses, respectively, per M-1-12. Street & Public Way Types; build-to zone measurement is from the edge of minimum streetscape.
3	Type B Frontage Build-to Zone	5' to 10' from minimum streetscape, see note right	
4	Minimum Side Setback	5'; 0' required at Paseo or Multi-Use Path	Refer to Section M-1-12. Street & Public Way Types for Paseo and Multi-Use Path required easement widths.
5	Minimum Rear Setback	10'; 25' required if no alley; 0' required at Paseo or Multi-Use Path	Refer to Section M-1-12. Street & Public Way Types for Paseo and Multi-Use Path required easement widths.
6	Maximum Building Length along any Public Way	150'	Refer to Section M-1-32 for Building Massing Requirements.
7	Maximum Site Impervious Coverage Additional Semi-Pervious Coverage	65% 25%	Refer to Section M-1-9. Definitions for semi-pervious coverage.
8	Surface or Accessory Parking, Refuse & Recycling, Utilities, & Loading Location	Parking yard only	Refer to Section 9-9-12, B.R.C., 1981, for screening requirements.
9	Permitted Driveway Access Locations Permitted Garage Entrance Location	Alley Rear facade only; if no rear facade, Type B Frontage street is permitted	Refer to Subsection M-1-26(b). Driveways for sites without alley access and a hierarchy of permitted driveway locations.
HEIGHT Refer to FIGURE M-3 (9) .			
10	Overall: Minimum Height Maximum Height	2 stories 5 stories up to 55' unless otherwise required by M-1-7. Regulating Plans and/or M-1-8. View Corridors	Refer to Subsections M-1-23(c) Measuring Height and M-1-32 for Building Massing requirements. Subsection M-1-24(f) Tower allows additional height in a limited footprint.
11	All Stories: Minimum Height Maximum Height	9' 18'	Stories are measured floor to floor. Refer to Subsection M-1-23(d) for explanation of measurement.

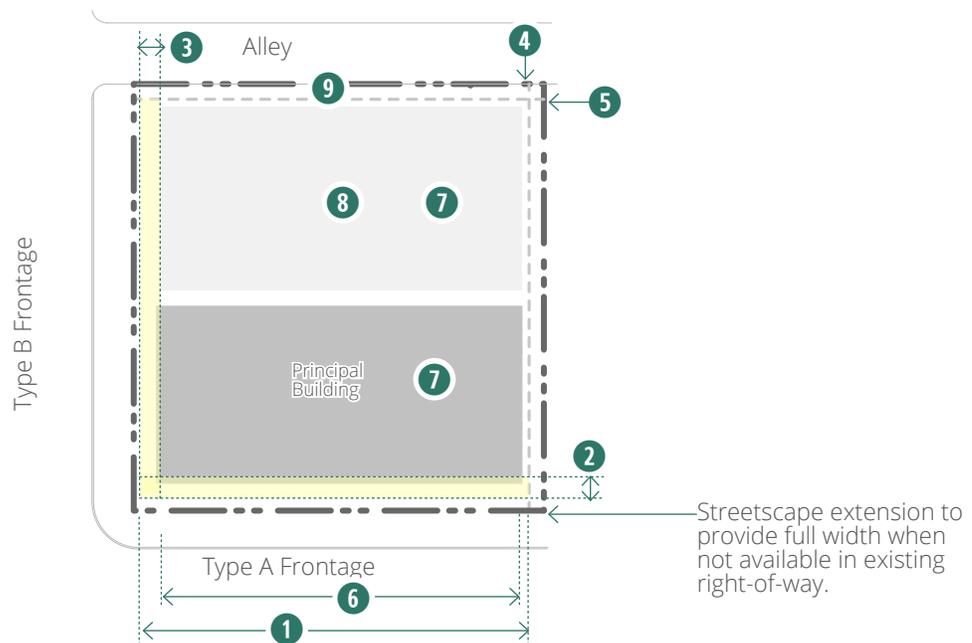


Figure M-3 (8). General Building: Building Siting

BOULDER JUNCTION PHASE I		REFERENCES/ ADDITIONAL REQUIREMENTS
USES Refer to FIGURE M-3 (9) .		
13 Type A Frontage Ground Story	Where Storefront is required per M-4.D Regulating Plan: limited to dining & entertainment, personal service, retail uses consistent with Chapter 9-6	Refer to Chapter 9-6, B.R.C., 1981, for permitted uses per zoning district and definition of uses.
14 All Frontages & Stories	All uses consistent with Chapter 9-6	
15 Required Occupied Building Space	Minimum 20' deep on all full height floors from any street facade	Refer to Section M-1-9. Definitions for Occupied Building Space.
16 Parking within Building	Permitted fully in any basement and in rear of all other stories. Prohibited where occupied space is required.	Refer to Occupied Building Space requirement above.
FACADE & CAP REQUIREMENTS Refer to FIGURE M-3 (10) .		
17 Type A Frontage Ground Story Facade Transparency	Where Storefront is required per M-1-7. Regulating Plans, minimum 75% required between 2' and 10' of facade, minimum of 60 feet along facade from building corner.	Note that Subsection M-1-16(f) requires this treatment to turn corners. Refer to Subsection M-1-23(e) for information on measuring transparency.
18 Required Transparency on All Street, Courtyard, & Public Way Facades	Minimum 20%, measured per story of all stories, including blank wall limitations defined in M-1-23(e).	Refer to Subsection M-1-23(e) for information on measuring transparency.
19 Entrance Location & Number	Principal entrance required on Type A frontage facade: entrances required a minimum of one per ground story residential unit and/or one per every 50' of building facade for other uses. Where Storefront is required per M-1-7. Regulating Plans, one entrance per 60 feet of storefront area.	Refer to Section M-1-23(f) for information on measuring entrance location.
20 Entrance Configuration	Entry doors shall be off a stoop, minimum 6' wide and 3' deep. Where Storefront is required per M-1-7. Regulating Plans, recessed between 3' and 8', maximum 8' wide, from the portion of the Type A frontage facade closest to street.	Refer to Section M-1-9. Definitions for Stoop and Porch. Refer to Subsection M-1-29(f) for Principal Entryway requirements.
21 Entrance/Ground Story Elevation Grade	80% of entrances and the ground story shall be within 30" of adjacent street sidewalk average elevation OR between 30" and 5' with visible basement (transparency required)	Exception: Entrances along Goose Creek frontage shall be located in reference to the elevation of 30th Street, Carbon Place, and/or Junction Place, whichever is closest.
22 Ground Story Vertical Facade Divisions	One minimum 2" deep expression line per every 60' of facade width	Refer to Section M-1-9. Definitions for Expression Line.
23 Horizontal Facade Divisions	One minimum 2" deep expression line within 3' of the top of the ground story and the bottom of any 5th story	
24 Permitted Cap Types	Parapet, Pitched, Flat; No more than 2 Towers permitted within 15' of any Type A or Type B frontage facade; 2 additional Towers permitted beyond the facades.	Refer to Section M-1-24 for Cap Types- including Towers; and other cap requirements.

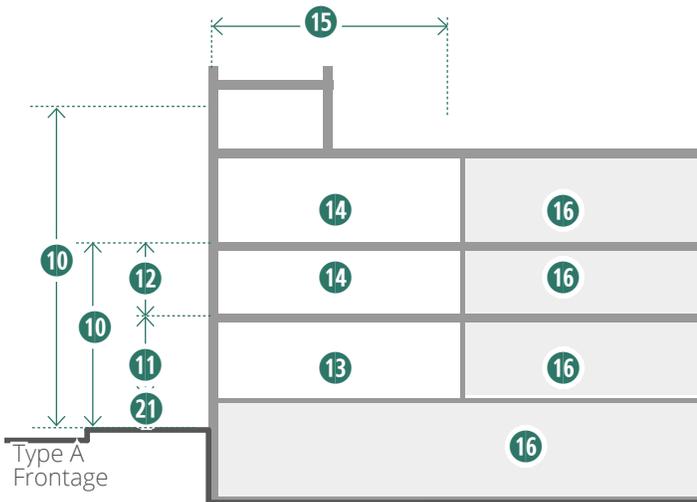


Figure M-3 (9). General Building: Height & Use Requirements

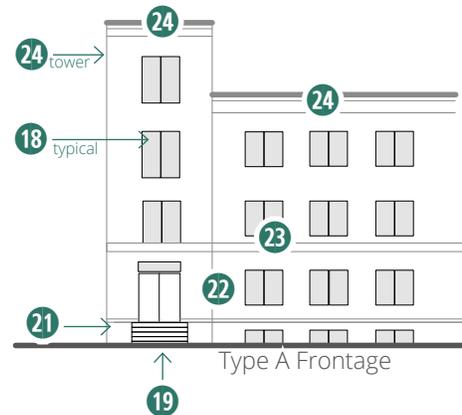


Figure M-3 (10). General Building: Facade Design Requirements

M-1-21. ROW BUILDING TYPE

Refer to M-1-7 Regulating Plans for the locations of buildings in the Special Design Area.

		BOULDER JUNCTION PHASE I	REFERENCES/ADDITIONAL REQUIREMENTS
BUILDING SITING Refer to FIGURE M-3 (11) .			For the purposes of the Row Building, a building consists of multiple vertical units.
1	Minimum Type A Frontage Build-to Zone Coverage	80% required	Each unit shall have a facade located within the build-to zone, except 1 of every 3 units may front a courtyard or Outdoor Space Type. Courtyards, maximum 30 feet wide, may count towards Type A Frontage build-to zone coverage.
2	Type A Frontage Build-to Zone	5' to 15' from minimum streetscape, see note right	Minimum 16' and 13' wide streetscape area from back of curb is required adjacent to non-residential and residential ground story uses, respectively, per M-1-12, Street & Public Way Types; build-to zone measurement is from the edge of minimum streetscape.
3	Type B Frontage Build-to Zone	5' to 15' from minimum streetscape, see note right	
4	Minimum Side Setback	7.5'; 0' required at Paseo or Multi-Use Path	Refer to Sections M-1-12, Street & Public Way Types for Paseo and Multi-Use Path required easement widths.
5	Minimum Rear Setback	20'; 30' if no alley; 5' for detached garage	Refer to Sections M-1-12, Street & Public Way Types for Paseo and Multi-Use Path required easement widths.
6	Maximum Building Length Space between Buildings	Maximum 6 units or 120', whichever is less. Paseo or multi-use path is required between buildings.	Refer to Sections M-1-12, Street & Public Way Types for Paseo and Multi-Use Path required easement widths; Refer to Section M-1-32 for Building Massing Requirements.
7	Maximum Site Impervious Coverage Additional Semi-Pervious Coverage	60% 20%	Refer to Section M-1-9, Definitions for semi-pervious coverage.
8	Minimum Yard Area	Minimum 225 square feet rear yard required for each unit not fronting a courtyard or Outdoor Space Type.	Minimum yard area shall meet the standards of one of the applicable types of useable open space specified in Subsection 9-9-11(e), B.R.C., 1981.
9	Surface or Accessory Parking, Refuse & Recycling, Utilities, & Loading Location	Parking yard only	Refer to Section 9-9-12, B.R.C., 1981, for screening requirements.
10	Permitted Driveway Access Locations Permitted Garage Entrance Location	Alley Rear facade only; if no rear facade, one shared entrance off a Type B Frontage street is permitted.	Refer to Subsection M-1-26(b). Driveways for sites without alley access and a hierarchy of permitted driveway locations.

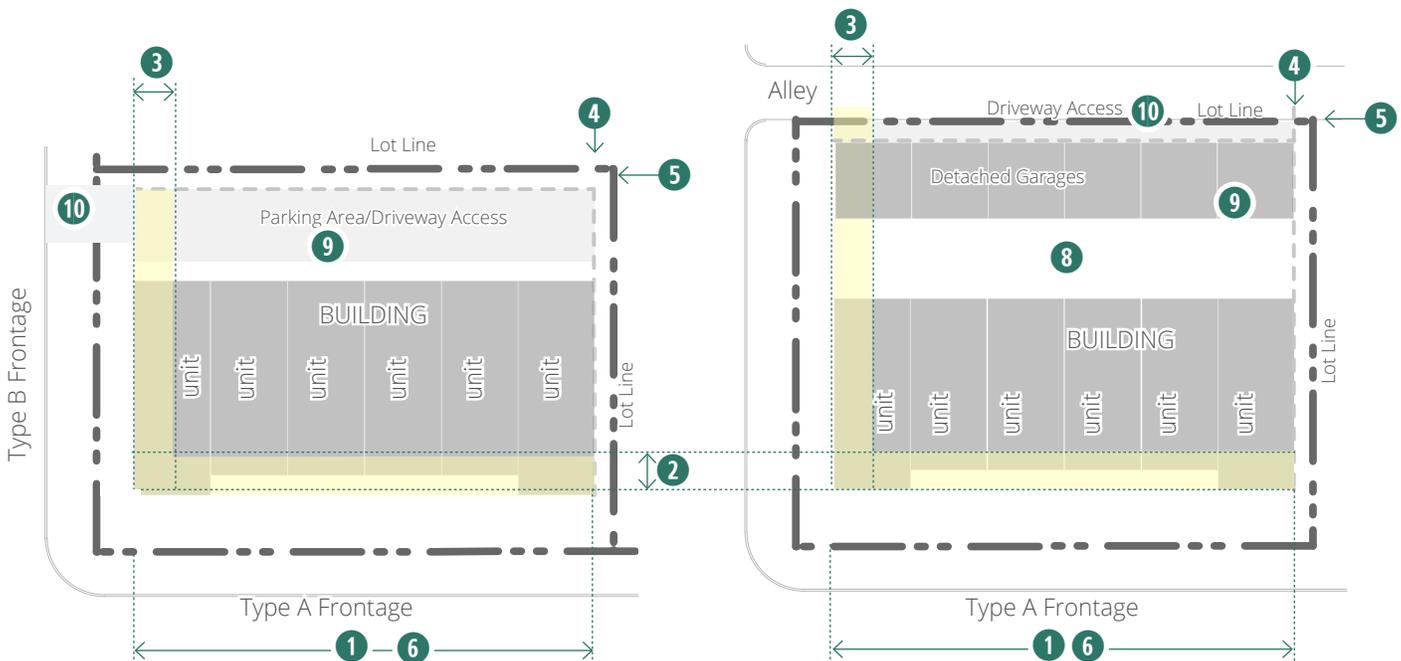


Figure M-3 (11). Row Building: Building Siting

BOULDER JUNCTION PHASE I

REFERENCES/ADDITIONAL REQUIREMENTS

HEIGHT Refer to FIGURE M-3 (12).		
11 Overall: Minimum Height Maximum Height	2 stories 3.5 stories, maximum 35'	Refer to Subsections M-1-23(c) Measuring Height and M-1-32 for Building Massing requirements. Subsection M-1-24(f) Tower allows additional height in a limited footprint.
12 All Stories: Minimum Height Maximum Height	9' 16'	Stories are measured floor to floor. Refer to Subsection M-1-23(d) for explanation of measurement.
USES Refer to FIGURE M-3 (12).		
14 All Frontages & Stories	All uses consistent with Chapter 9-6	Refer to Chapter 9-6, B.R.C., 1981, for permitted uses per zoning district and definition of uses.
15 Required Occupied Building Space	Minimum 20' deep on all full height floors from any Type A street facade	Refer to Section M-1-9. Definitions for Occupied Building Space.
16 Parking within Building	Permitted fully in any basement and in rear of ground story. Prohibited where occupied space is required.	Refer to Occupied Building Space requirement above.
FACADE & CAP REQUIREMENTS Refer to FIGURE M-3 (13).		
18 Required Transparency on All Street, Courtyards, & Public Way Facades	Minimum 20%, measured per story of all stories, including blank wall limitations defined in M-1-23(e).	Refer to Subsection M-1-23(e) for information on measuring transparency.
19 Entrance Location & Number	One entrance required per unit on the Type A frontage facade except 1 of every 3 units may front a courtyard or Outdoor Space Type; minimum of one principal entrance per 30' of facade.	Refer to Section M-1-23(f) for information on measuring entrance location.
20 Entrance Configuration	Entry doors shall be off a stoop, minimum 4' wide and 3' deep, OR a porch, minimum 8' wide & 5' deep. No more than 2 entry doors may be located off each stoop or porch.	Refer to Section M-1-9. Definitions for Stoop and Porch. Refer to Subsection M-1-29(f) for Principal Entryway requirements.
21 Entrance/Ground Story Elevation Grade on Type A Frontage Facade	All Type A frontage facade entrances and the ground story shall be within 30" of adjacent street sidewalk average elevation OR between 30" and 5' with visible basement (transparency required)	
22 Ground Story Vertical Facade Divisions	One minimum 2" deep expression line per every 60' of facade width or every 2 units, whichever is less	Refer to Section M-1-9. Definitions for Expression Line.
23 Horizontal Facade Divisions	One minimum 2" deep expression line within 3' of any Visible Basement	
24 Permitted Cap Types	Parapet, Pitched, Flat; One tower is permitted per building.	Refer to Section M-1-24 for Cap Types, including Towers, and other cap requirements.

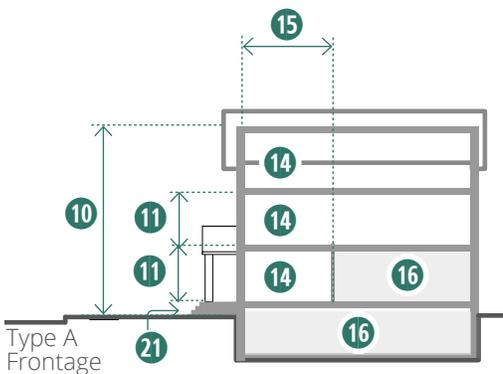


Figure M-3 (12). Row Building: Height & Use Requirements



Figure M-3 (13). Row Building: Facade Design Requirements

M-1-22. CIVIC BUILDING TYPE

The Civic building type is not mapped on the Regulating Plans, but is permitted in any location, limited by the permitted uses inside. Refer to M-1-7 Regulating Plans.

		BOULDER JUNCTION PHASE I	REFERENCES/ ADDITIONAL REQUIREMENTS
BUILDING SITING Refer to FIGURE M-3 (14) .			
1	Minimum Type A Frontage Coverage	none required	.
2	Type A Frontage Minimum Setback	20'	Minimum 16' wide streetscape area is required adjacent.
3	Type B Frontage Minimum Setback	15'	
4	Minimum Side Setback	15'; 0' required at Paseo or Multi-Use Path	Refer to Sections M-1-12, <i>Street & Public Way Types</i> for Paseo and Multi-Use Path required easement widths.
5	Minimum Rear Setback	15'; 0' required at Paseo or Multi-Use Path	Refer to Sections M-1-12, <i>Street & Public Way Types</i> for Paseo and Multi-Use Path required easement widths.
6	Maximum Building Length	None required	Refer to Section M-1-32 for Building Massing Requirements.
7	Maximum Site Impervious Coverage Additional Semi-Pervious Coverage	50% 20%	Refer to Section M-1-9, <i>Definitions</i> for semi-pervious coverage.
8	Surface or Accessory Parking, Refuse & Recycling, Utilities, & Loading Location	Parking yard only	Refer to Section 9-9-12, B.R.C., 1981, for screening requirements.
9	Permitted Driveway Access Locations Permitted Garage Entrance Location	Alley Rear facade only; if no rear facade, Type B Frontage street is permitted	Refer to Subsection M-1-26(b). Driveways for sites without alley access and a hierarchy of permitted driveway locations.
HEIGHT Refer to FIGURE M-3 (15) .			
10	Overall: Minimum Height Maximum Height	1 stories 5 stories up to 55'	Refer to Subsections M-1-23(c) <i>Measuring Height</i> and M-1-32 for Building Massing requirements. Subsection M-1-24(f) <i>Tower</i> allows additional height in a limited footprint.
11	All Stories: Minimum Height Maximum Height	9' 18'; 24' on single story building	Stories are measured floor to floor. Refer to Subsection M-1-23(d) for explanation of measurement.

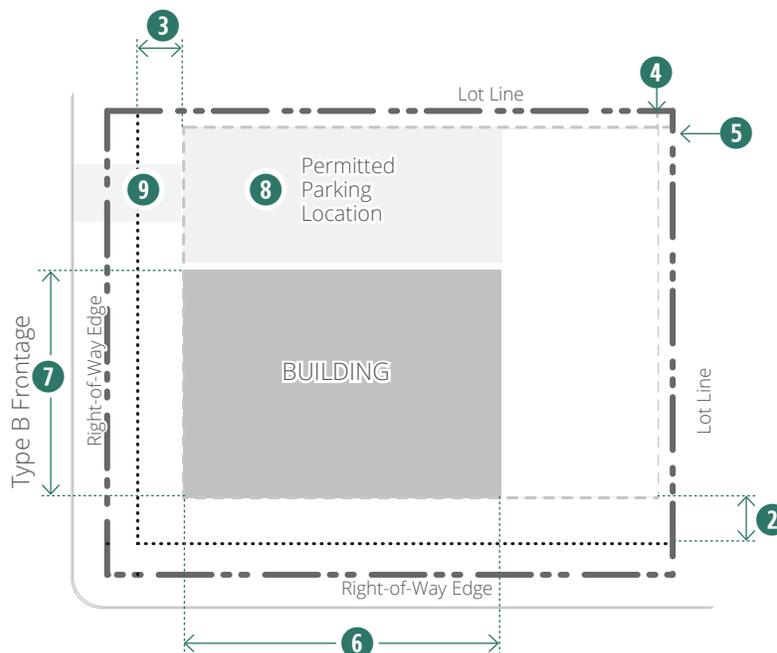


Figure M-3 (14). Civic Building: Building Siting

BOULDER JUNCTION PHASE I		REFERENCES/ ADDITIONAL REQUIREMENTS
USES Refer to FIGURE M-3 (15).		
14 All Frontages & Stories	Limited to museum, theater, governmental facilities, religious assemblies, transportation stations, park & recreation uses, public schools consistent with Chapter 9-6	Refer to Chapter 9-6, B.R.C., 1981, for permitted uses per zoning district and definition of uses.
15 Required Occupied Building Space	Minimum 20' deep on all full height floors from any street facade	Refer to Section M-1-9. Definitions for Occupied Building Space.
16 Parking within Building	Permitted fully in any basement and in rear of all other stories. Prohibited where occupied space is required.	Refer to Occupied Building Space requirement above.
FACADE & CAP REQUIREMENTS Refer to FIGURE M-3 (16).		
18 Required Transparency on All Street, Courtyards, & Public Way Facades	Minimum 15%, measured per story of all stories.	Refer to Subsection M-1-23(e) for information on measuring transparency.
19 Entrance Location & Number	Principal entrance required on Type A frontage facade	Refer to Section M-1-23(f) for information on measuring entrance location.
20 Entrance Configuration	No requirement other than principal entryway requirements per M-4	Refer to Subsection M-1-29(f) for Principal Entryway requirements.
21 Entrance/Ground Story Elevation Grade	80% of entrances and the ground story shall be within 30" of adjacent street sidewalk average elevation OR between 30" and 5' with visible basement (transparency required)	Exception: Entrances along Goose Creek frontage shall be located in reference to 30th Street, Carbon Place, and/or Junction Place, whichever is closest.
22 Ground Story Vertical Facade Divisions	No requirement	Refer to Section M-1-9. Definitions for Expression Line.
23 Horizontal Facade Divisions	No requirement	
24 Permitted Cap Types	Parapet, Pitched, Flat, other with minor design exception; No more than 2 Towers permitted within 15' of any Type A or Type B frontage facade; 2 additional Towers permitted beyond the facades	Refer to Section M-1-24 for Cap Types, including Towers, and other cap requirements.

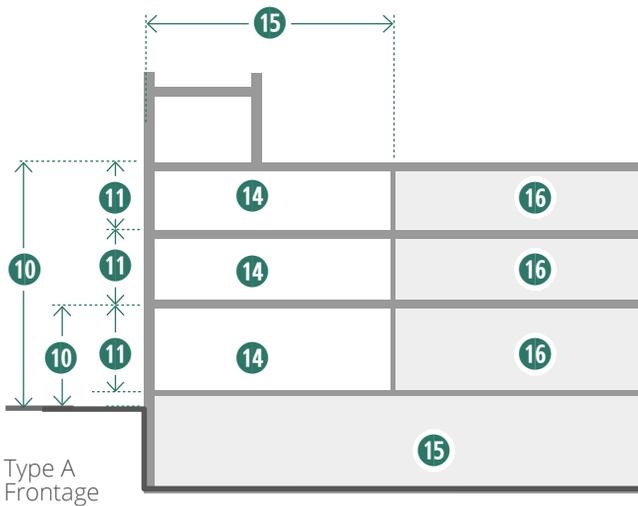


Figure M-3 (15). Civic Building: Height & Use Requirements

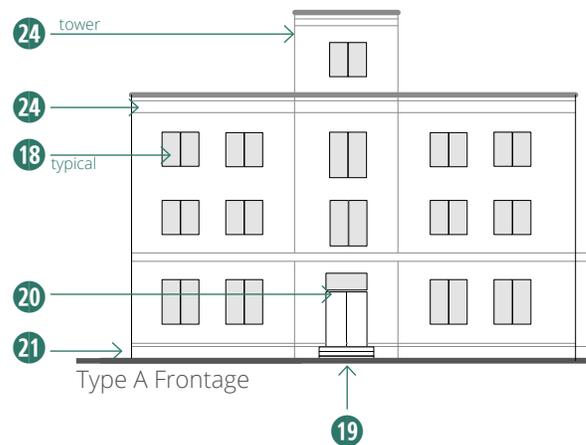


Figure M-3 (16). Civic Building: Facade Design Requirements

M-1-23. MEASUREMENT OF BUILDING TYPE REQUIREMENTS

The standards outlined in the tables in Sections M-3.C through G, applicable to each building type, shall be measured and calculated consistent with the provisions of the following:

(a) Minimum Type A Frontage Lot Line Coverage.

The minimum percentage of building facade along the Type A Frontage of a lot is measured as follows:

- (1) **Measurement.** The minimum front lot line coverage shall, at a minimum, equal the width of the principal structures (as measured within the build-to zone along the frontage edge), divided by the length of the frontage parallel to the property line following the street minus setbacks. Refer to Figure M-3 (17). Minimum Type A Frontage Coverage.
- (2) **Courtyards.** For some building types, courtyards located along the facade in the build-to zone count towards the minimum coverage. Refer to Building Type requirements.

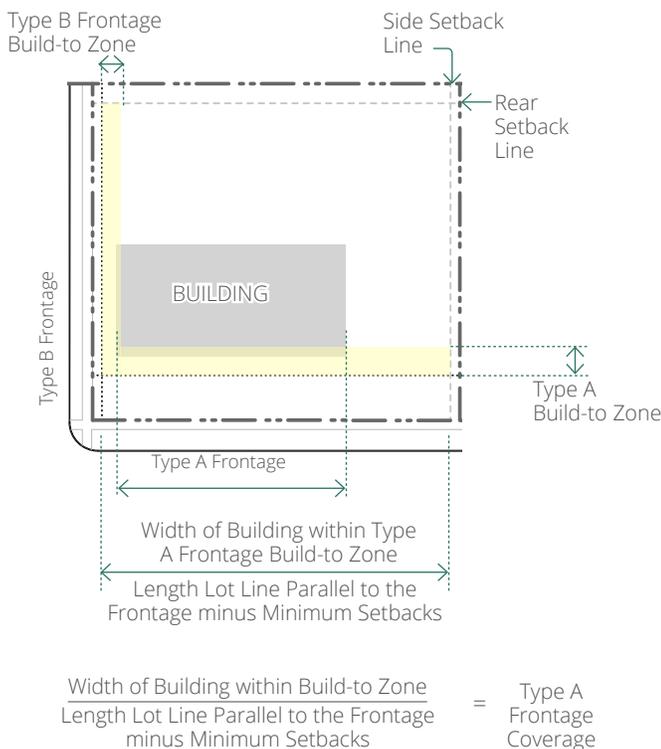


Figure M-3 (17). Minimum Type A Frontage Coverage

- (3) **Outdoor Space Type.** Open spaces per Outdoor Space Type requirements are exempt from minimum Type A frontage lot line coverage.
- (b) **Build-to Zone.** The build-to zone shall be calculated and measured as follows. Refer to Figure M-3 (18). Build-to Zones.
 - (1) **Measurement.** The build-to zone for all frontages is measured from the property line parallel to the frontage, unless additional streetscape area is required per Section M-1-12. Street & Public Way Types.
 - (2) **Additional Streetscape Area.** When additional streetscape area is required per Section M-1-12. Street & Public Way Types, the build-to zone is measured from the edge of the required streetscape onto the site.
 - (3) **Encroachments.** Awnings, architectural projections, balconies, and building mounted signage may extend beyond the build-to zone into any yard area, but shall not extend into the street right-of-way unless approved with a revocable permit or lease, as applicable.

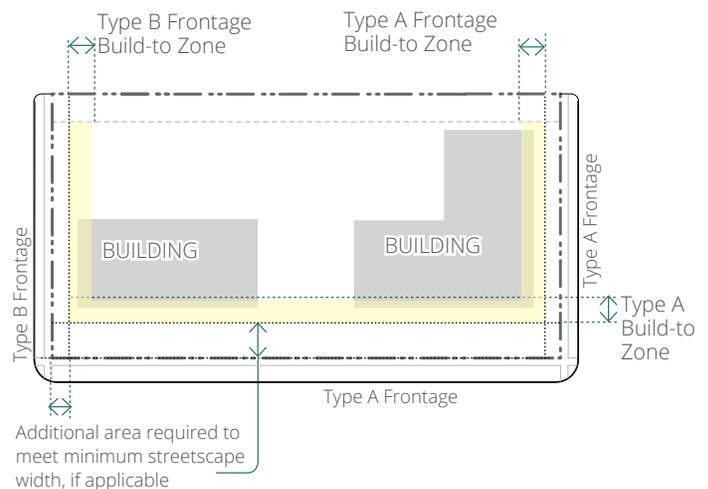


Figure M-3 (18). Build-to Zones

(c) Overall Minimum and Maximum Height. (Refer to Figure M-3 (19). Measuring Stories with Floor-to-Floor Height).

- (1) **Minimum Overall Height.** Each building type requires a minimum number of stories. The building must meet the minimum required height along all Type A frontage facades and measured a minimum of 30 feet deep into the building.
- (2) **Maximum Overall Height.** Maximum heights are specified both in number of stories and overall dimension. This requirement applies to the entire building.
 - (A) **Towers.** Where specifically allowed in the building type tables, Sections M-3.C through G, towers may exceed the overall maximum height of the building type per Section M-1-24. Cap Types; however, towers shall not exceed the maximum height per the City Charter and Land Use Code.
 - (B) **Cap Type.** Where specified in Section M-1-24. Cap Types, certain cap types may allow additional height.

- (C) **Maximum Heights per the City Charter and Land Use Code.** Refer to Sec. 84 of the city charter for information on measuring overall maximum height, section 9-8-5, "Building Height," B.R.C. 1981, and the definitions of "Height" within chapter 9-16, "Definition," B.R.C. 1981.

- (D) **View Corridors.** Refer to M-1-7. Regulating Plans and M-1-8. View Corridors for locations where maximum heights may be restricted due to preservation of certain view corridors.

- (3) **Two Half Stories.** Refer to chapter 9-16, B.R.C. 1981, for definition of a half story. A building incorporating both a half story within the roof and a visible basement shall count the height of the two half stories as one full story.

(d) Minimum & Maximum Height per Story. Each story is measured with a range of permitted floor-to-floor heights. Refer to Figure M-3 (19). Measuring Stories with Floor-to-Floor Height.

- (1) **Measurement.** Floor height shall be measured in feet between the floor of a story to the floor of the story above it. Minimum and maximum floor-to-floor heights are required to be met along facades, a minimum of 80 percent of each story.
- (2) **Single Story Buildings & Top Floor Measurement.** For single story buildings and the uppermost story of a multiple story building, the range of allowable floor-to-floor height shall be one foot less than that required per building type. The measurement shall be from the floor of the story to the ceiling.
- (3) **Mezzanines.** Mezzanines may be included within the floor-to-floor height of any story, included in the calculation of stories. Mezzanines occupying more than 30 percent of the floor area below and extending above the story's allowable floor-to-floor height shall count as an additional story, including articulation of the story per Section M-1-31. Building Articulation.
- (4) **Taller Spaces.** Spaces exceeding the allowable floor-to-floor heights of the building type are not permitted on Type A Frontage facades. These spaces are unlimited on interior lots and Type B Frontage facades.

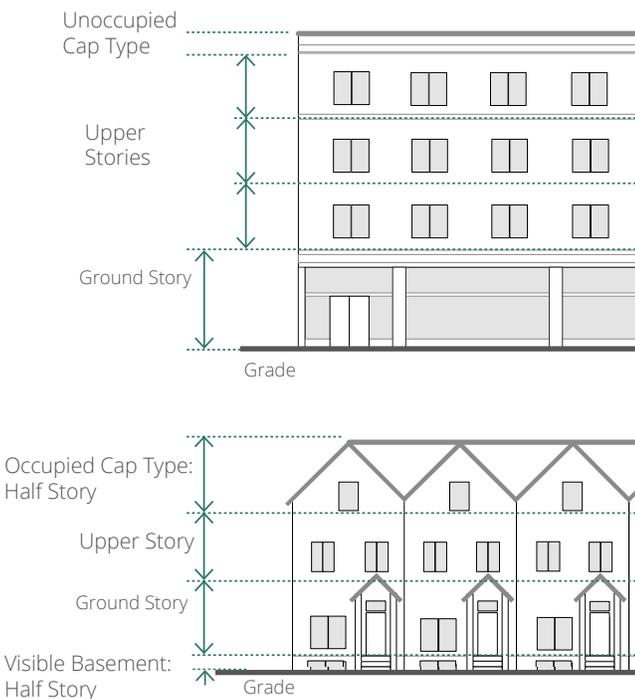


Figure M-3 (19). Measuring Stories with Floor-to-Floor Height

(e) Minimum Required Transparency. Per the requirements of each building type, a minimum amount of transparency is required on all stories of street, courtyard, and public way facades.

(1) **Measurement.** Minimum facade transparency is measured from floor-to-floor of each story separately, except for required minimum ground story transparency (refer to Subsection M-1-23(e)(4), below). Refer to [Figure M-3 \(20\). Measuring Minimum Facade Transparency](#). Transparency, defined in chapter 9-16 “Definitions”, B.R.C. 1981, includes windows and any glass in doors that is highly transparent with low reflectance. The measurement may include the frame, mullions, and muntins, but shall not include trim or casing.

(2) **Blank Wall Segments.** No rectangular area greater than 30% of the story’s facade, as measured floor to floor, shall be without transparency. And, no horizontal segment of a story’s facade greater than 15 feet in width shall be without transparency. Refer to [Figure M-3 \(21\). Measuring Blank Wall Limitations](#).

(3) **Exception.** When the facade of any story is located less than 6 feet from another parallel building facade, no minimum transparency is required for that story.

(4) **Minimum Ground Story Transparency.** When required by the building type tables, Sections M-3.C through G, ground story transparency shall be measured between 2 feet and either 8 or 10 feet, as specified per building type, from the average grade at the base of the facade. Minimum ground story transparency supersedes the overall minimum transparency required for the building type.

(5) **Tall Stories.** Stories that are 18 feet or taller in height shall include additional transparency as follows. Refer to [Figure M-3 \(22\). Transparency on Tall Stories](#).

(A) **Separate Ground Story Transparency Required.** When a separate minimum ground story transparency is required per the building types requirements (Sections M-3.C through G), the facade design shall fulfill that requirement in addition to a minimum of 25 percent transparency for the remainder of the ground story.

(B) **No Separate Ground Story Transparency Required.** When no separate ground story transparency is required per the building

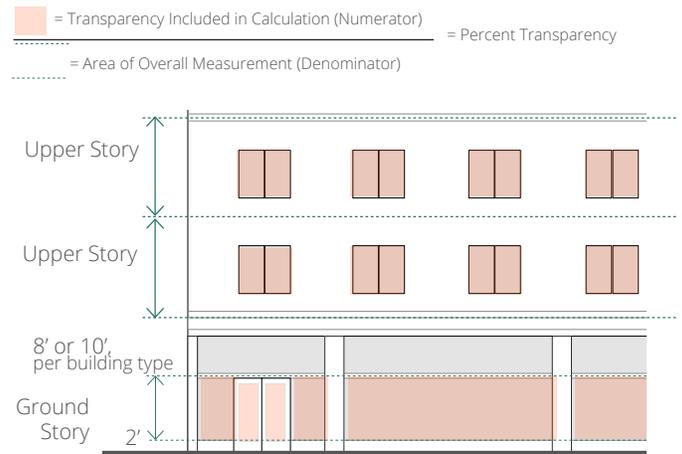


Figure M-3 (20). Measuring Minimum Facade Transparency

Examples of rectangular areas measured per story on a building facade, meeting the blank wall limitation requirement

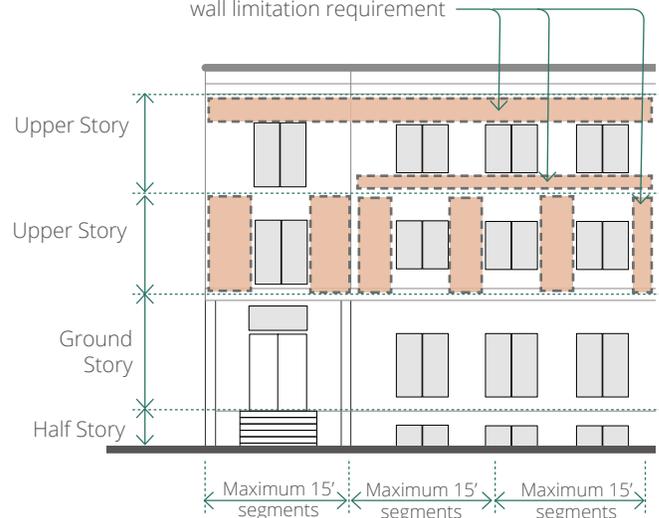


Figure M-3 (21). Measuring Blank Wall Limitations

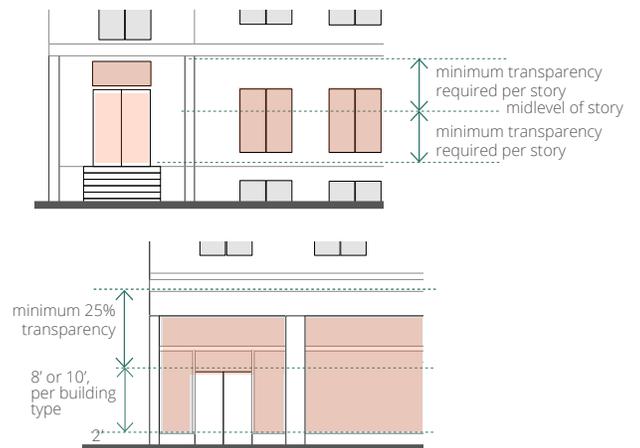


Figure M-3 (22). Transparency on Tall Stories

types requirements (Sections M-3.C through G), the story shall be treated as two separate stories, dividing in half horizontally, with the minimum transparency per story applied to each half.

- (6) **Half Stories.** All half stories located within roof structure and visible basements are required to meet the minimum required transparency.

(f) Minimum Number of Required Entrances.

The number of entrances is required along Type A frontages, spaced per the building type requirements. For each increment of facade, one entrance is required. Refer to Figure M-3 (23). Number of Required Entrances

M-1-24. CAP TYPES

The major components of any roof shall meet the requirements of one of the cap types permitted for the building type. Roofs for bay or bow windows, porches, canopies, and dormers are not required to meet a cap type.

- (a) **Roof Terraces and Decks.** The following cap types address the permanent roof of the building and are not intended to preclude the incorporation of any roof terraces or roof decks, which are highly encouraged.

- (b) **Other Cap Types.** Special cap designs may be submitted for a minor design exception during the design review process with the following requirements:

- (1) ~~The building shall warrant a separate status from the fabric of surrounding buildings, with a correspondence between the form of the cap and the meaning of the building use, such as a dome for a planetarium or a unique roof for a civic building type.~~
- (2) The cap type shall not create additional occupiable space beyond that permitted by the building type.
- (3) The shape of the roof shall be different from those defined in this section M-3.I. Cap Types, such as a dome, spire, or vault, and not a gabled roof, hipped roof, butterfly roof, gambrel roof, mansard roof, roof with parapet, flat roof.

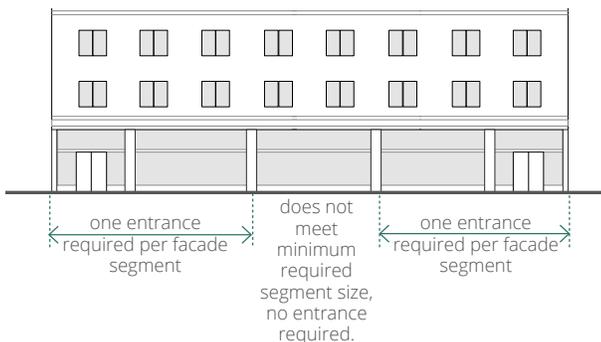


Figure M-3 (23). Number of Required Entrances

(c) **Pitched Cap Type.** The pitched cap type has a sloped or pitched roof. Slope is measured with the vertical rise divided by the horizontal span or run as shown in [Figure M-3 \(24\)](#). Examples of Pitched Cap Type.

- (1) **Pitch Measure.** The roof shall not be sloped less than a 4:12 (rise:run) or more than 14:12. Slopes less than 4:12 are permitted to occur on second story or higher roofs.
- (2) **Configurations.**
 - (A) Hipped, gabled, and combination of hips and gables with or without dormers are permitted.
 - (B) Butterfly (inverted gable roof) and shed roofs are permitted **with a maximum height of 8 feet, inclusive of any overhang.**
 - (C) Gambrel and mansard roofs are not permitted.
- (3) **Parallel Ridge Line.** A gabled end or perpendicular ridge line shall occur at least every 100 feet of roof when the ridge line runs parallel to the front lot line. (Refer to [Figure M-3 \(24\)](#). Examples of Pitched Cap Type).
- (4) **Roof Height.** Roofs without occupied building space and/or dormers shall have a maximum height on Type A and Type B Frontage facades equal to no more than 1.5 times the upper story floor to floor height utilized on the building.
- (5) **Occupied Building Space.** Occupied building space may be incorporated within the pitched cap type. If occupied, the space counts as a half story.
- (6) **Rooftop Appurtenances.** Any rooftop appurtenances shall be recessed within the pitched roof with no visibility on any street elevation drawing. Refer to Sec. 9-7-7 for additional requirements.

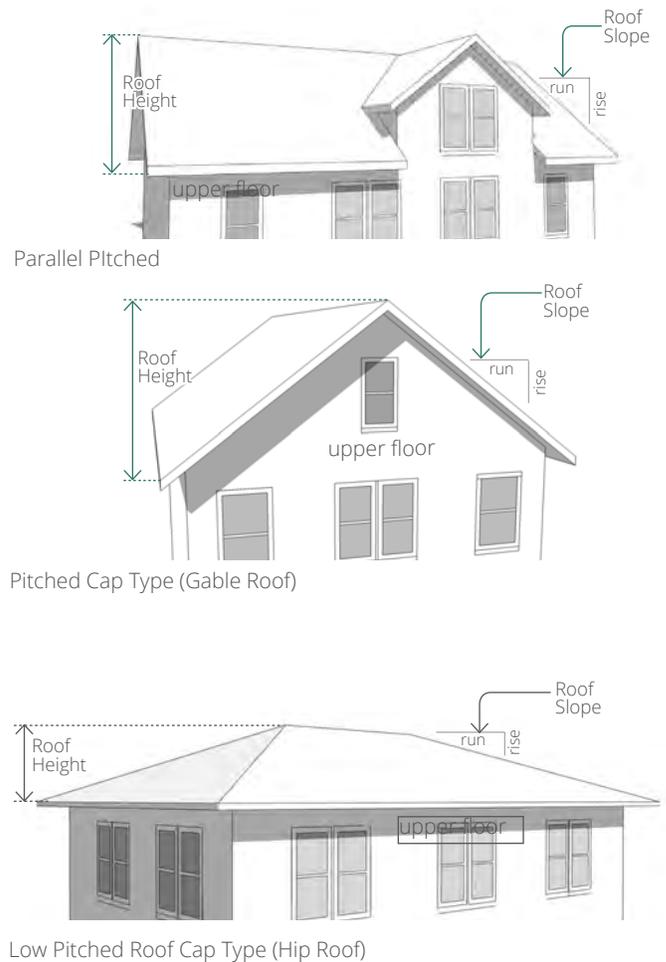


Figure M-3 (24). Examples of Pitched Cap Type

(d) Parapet Cap Type. A parapet is a low wall projecting above a building's roof along the perimeter of the building as shown in [Figure M-3 \(25\)](#). Example of a Parapet Cap Type.

- (1) **Parapet Height.** Parapet height is measured from the top of the upper story to the top of the parapet.
 - (A) **General Parapet Heights.** Minimum parapet height is 2 feet with a maximum height of 6 feet.
 - (B) **Parapets Exceeding 55 foot Height.** The city manager may approve a parapet causing the building height to exceed the maximum permitted height pursuant to Section 9-7-7, B.R.C., 1981.
- (2) **Horizontal Expression Lines.** A minimum 2" deep expression line, extending a minimum of 80 percent of the facade width, shall define the parapet from the upper stories of the building and shall also define the top of the cap.
- (3) **Occupied Building Space.** No building shall have occupied space behind a parapet cap.
- (4) **Rooftop Appurtenances.** Any rooftop appurtenances shall be located towards the rear or interior of the parapet roof. The parapet shall screen the mechanicals from the sidewalk across the street **and from any adjacent open space** within the permitted overall heights of the building and parapet. Refer to Sec. 9-7-7 for additional requirements.

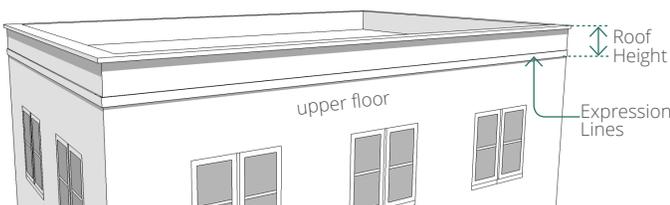


Figure M-3 (25). Example of a Parapet Cap Type

(e) Flat Cap Type. The flat cap type has a visually flat roof with overhanging eaves as shown in [Figure M-3 \(26\)](#). Example of a Flat Cap Type.

- (1) **Configuration.** The roof shall have no visible slope from the street and eaves are required on all Type A and Type B Frontage facades.
- (2) **Eave Depth.** Eave depth is measured from the building facade to the outside edge of the eave. Eaves shall have a depth of at least 14 inches.
- (3) **Eave Thickness.** Eaves shall be a minimum of 6 inches thick. Eave thickness is measured at the **midpoint outside edge of the eave depth**, from the bottom of the eave to the top of the eave. **The measurement may be taken from a structural support of the eave to the top of the eave, provided the structural support occurs at least 4 feet on center.**
- (4) **Interrupting Vertical Walls.** Vertical walls may interrupt the eave and extend above the top of the eave with no discernible cap with the following requirements:
 - (A) No more than one-third of the front facade shall consist of an interrupting vertical wall.
 - (B) Vertical walls shall extend no more than 6 feet above the top of the eave. Refer to [M-5.F. Building Proportions](#).
- (5) **Occupied Building Space.** No building shall have occupied space behind a flat cap.
- (6) **Rooftop Appurtenances.** **If the interrupting vertical wall is utilized, any rooftop appurtenances shall be located behind the vertical wall with no visibility on any street elevation drawing. If no interrupting vertical wall is utilized, rooftop appurtenances shall be located such that the mechanicals are not visible from the sidewalk across the street or from any adjacent open space.** Refer to Sec. 9-7-7 for additional requirements.

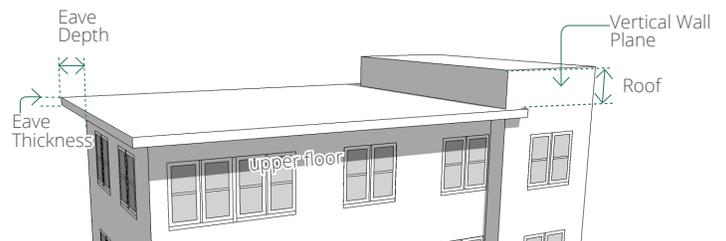


Figure M-3 (26). Example of a Flat Cap Type

(f) **Towers.** A tower is a vertical element, polygonal (simple), rectilinear or cylindrical in plan that shall be used with other cap types. Refer to Figure M-3 (27). Example of a Tower.

- (1) **Quantity.** If permitted, the number of towers permitted on each building type is specified in the building type tables (M-3.C through G) under "cap types." Towers may be located anywhere on the building. Tower locations include the following:
 - (A) **Towers close to the facade.** When specified per building type, the number of towers permitted close to the facade are associated with the facade design and will be visible from the street.
 - (B) **Additional Towers.** When specified per building type, additional functional towers, located beyond the facade a minimum of 15 feet and spaced a minimum of 30 feet apart, may be permitted, utilities, or provide locations for viewing the mountains or other scenery.
 - (C) **Flexible Location.** If permitted without any location limitations, the number of permitted towers may be located anywhere on the building.
- (2) **Tower Height.** The maximum tower height, measured from the top of the parapet or eave to the top of the tower shaft not including the cap, shall be the equivalent of the height of one upper floor of the building to which the tower is applied. In no case shall the tower exceed the maximum allowable building height defined.
- (3) **Additional Height.** Towers may add a single story of additional height beyond the maximum height allowed per building type provided the following standards are met:
 - (A) **Maximum Building Height of 35 feet.** For buildings where the maximum height is limited to 35 feet, the tower is permitted to exceed that height by one story plus the height of the cap, not to exceed 55 feet.
 - (B) **Maximum Building Height of 55 feet.** For buildings where the maximum height is 55 feet (per the city charter), the tower is permitted to exceed that height by 18' with a pitched cap and 14' with a parapet or flat cap. Occupied building space is not

~~permitted in this tower.~~

- (4) **Tower Width.** The maximum tower width along all facades shall be one-third the width of the front facade or 30 feet, whichever is less. Refer to Section M-5.F. Building Proportions.
- (5) **Tower Spacing.** Where more than one tower is permitted per building, Towers shall be spaced from other towers no less than 60 feet, but no less than 120 feet along a Type A or Type B Frontage facade.
- (6) **Transparency.** Towers that meet the minimum floor-to-floor to height of the building type shall meet the minimum transparency requirements of the building.
- (7) **Horizontal Expression Lines.** An minimum 2" deep expression line is required ~~between the 4th and 5th stories of any tower and~~ at the cap of the tower.
- (8) **Occupied Building Space.** Towers with minimum floor to floor heights required by the building type shall be occupied space, and may contain any of the uses allowed in upper stories of the building type to which it is attached, ~~with the exception of towers exceeding height limits per Subsection M-1-24(f).~~
- (9) **Rooftop Appurtenances.** No rooftop appurtenances are permitted on tower roofs.
- (10) **Tower Cap.** The tower shall be capped by a cap permitted on the building per the building type.

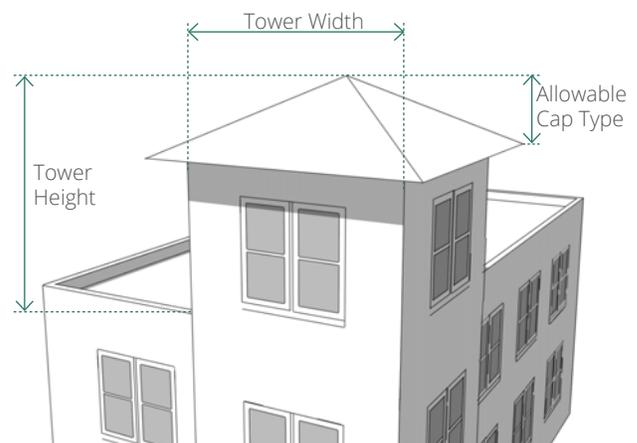


Figure M-3 (27). Example of a Tower

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Site & Building Design

M-1-25. APPLICABILITY AND INTENT OF GENERAL DESIGN REQUIREMENTS

- (a) **Applicability.** The following outlines general design requirements applicable to all building sites and facades within the Special Design Area.
- (b) **Intent.** The intent of the requirements in Sections M-1-26 through M-1-33, is to address each building's design, elicit high quality buildings, enhance the pedestrian experience, maintain an appropriate scale, and implement the vision for the area as defined in current plans.

All buildings are intended to be articulated in a simple, honest manner at human-scaled dimensions.

- (1) **Simple.** Simple means the buildings shall be organized and easy to understand and comprehend, through the use of repetition, regularity, and clear hierarchy.
- (2) **Honest.** Honest means the buildings shall clearly articulate their structure and function through the use of real, ideally natural materials. Entrances, stories, and potentially technology should be apparent in the design.
- (3) **Human-Scaled.** Human-scaled means the buildings shall be scaled to proportions comfortable to people. A more fine-grained design approach shall be used, particularly on the ground story where people walk adjacent to the building.

M-1-26. SITE DESIGN REQUIREMENTS

- (a) **Treatment of Build-to Zones, Yards, & Setbacks.** All build-to zones not occupied by building, all minimum setbacks, and all yards shall be treated as follows:
 - (1) **Vehicular Areas.** Surface parking lots, driveways, mechanicals, refuse/recycling areas, and loading spaces are not permitted within any build-to zone or minimum setback.
 - (2) **Driveways.** Driveways may cross perpendicularly through build-to zones and setbacks, when permitted per Subsection M-1-26(b) Driveways, below, or to connect to a parking lot on abutting lots.
 - (3) **Site Open Space Areas.** Build-to zones, setbacks, and yards, with the exception of parking, driveways, loading facilities, mechanicals, and refuse/recycling spaces, shall meet the standards of one of the applicable

types of useable open space specified in Sec. 9-9-11(e), and meeting Sec. 9-9-11(a) Purpose of Open Space.

- (b) **Driveways.** Location of vehicular driveway access is regulated for each Type A and Type B Frontage in Section M-1-7. Regulating Plans. The following supercedes Sec. 9-9-5 (c) Site Access Control.
 - (1) **Hierarchy for Access Location.**¹ All buildings shall meet the following as shown in Figure M-4 (1). Driveway Locations by Frontage Type. The following hierarchy applies:
 - (A) **Alleys or Lanes.** Access from an adjacent alley or lane is unlimited. Construction of new alleys is required per Section M-1-7 Regulating Plans.
 - (B) **Type B Frontage Access.** If no alley exists, one driveway entrance may be constructed every 400 linear feet of street frontage or 2 total drive entrances, whichever is less, on each Type B Frontage street.
 - (C) **Type A Street.** If no alley or Type B street exists, one driveway access is permitted on a local Type A street, base street or residential collector street (refer to Subsections M-1-12 (d) and (e) respectively).

¹ Incorporates 9-9-5 (d) specific statements regarding the Transit Village access, related to the plan: Site Access in the Transit Village: In the area that is a part of the Transit Village that is shown on Appendix G of Title 9, "Land Use Regulation," B.R.C. 1981, all properties that request a development approval that includes any additional residential units or the addition of any nonresidential floor area shall take primary vehicular access off of a street that is consistent with the approved Transit Village Connection Plan and that is not a street that is classified as minor arterial or above on the Transportation Master Plan. Secondary vehicular access on a street that is classified as minor arterial or above may be approved if it meets all of the requirements of this section.

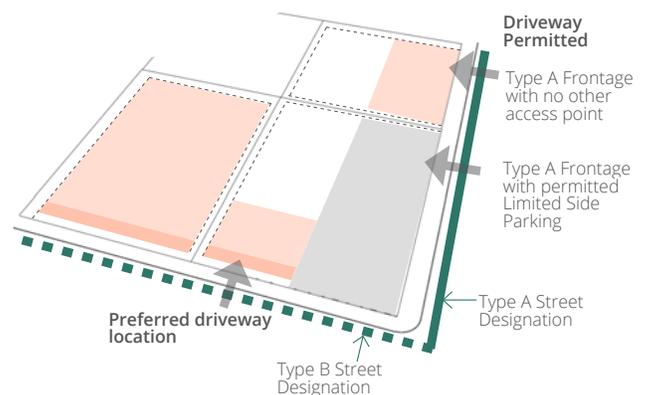


Figure M-4 (1). Driveway Locations by Frontage Type

- (D) **Two Type A Streets.** If two Type A streets abut the lot and no other access option exists, the access shall be located off the Type A street determined by the city manager. The city manager shall consider the orientation of other parcels along the street, locations of other vehicular access, the street classification of the street, and considerations in the area plan.
- (E) **Type A Minor Arterial or Above.** New driveways off minor arterials or above are not permitted, unless other access is not available. The city manager may permit a second driveway as a minor exception to provide access off a minor arterial or above, based on recommendations from a traffic study.
- (2) **Shared Driveways.** Shared driveways are encouraged for all adjacent developments.
- (3) **Side Parking off Type A Street.** When side parking with the drive located perpendicular to the street centerline is utilized as permitted by the building type, one driveway is permitted off the Type A street. This driveway counts towards entrances permitted by above (Subsection M-1-26(b)(1)). The sidewalk paving shall extend across the driveway, signaling priority to the pedestrian.
- (4) **Inter-Lot Drives.** When two or more surface parking lots are located adjacent to each other, the parking lots shall be connected with a drive perpendicularly crossing the side and/or rear setback.
- (5) **Driveway Width.** Driveways shall be no greater than 24 feet in width at the right-of-way line. Driveways wider than 20 feet shall include landscaped, pedestrian refuge islands with a walk area to reduce the crossing to no more than 22 feet.

M-1-27. FACADE MATERIALS

- (a) **Intent.** The intent of the following requirements is to require well-tested, high quality, durable, **weather-resistant, exterior grade**, preferably natural materials intended for the majority of finished surfaces, while permitting a wider range of materials for details. Further, the regulations are intended to limit the number of materials to promote simpler, clearly articulated facades.
- (b) **Major Materials.** A minimum of 80 percent of each facade, not including window and door areas, shall be constructed of major materials.
 - (1) **Simplicity of Surface Materials.** A minimum of 60 percent of each facade, not including window and door areas, shall be faced of a **single** major material, with the exception of architectural metal panel systems.
 - (2) **Permitted Major Materials.** The following are acceptable major facade materials. Refer to Figure M-4 (2). Acceptable Materials and Figure M-4 (3). Unacceptable Major Materials.
 - (A) Stone
 - (B) Brick
 - (C) **Wood**
 - (D) **Architectural metal panel systems**
 - (3) **Prohibited Major Materials.** The following materials are not permitted for use as major materials.
 - (A) ~~Exposed, unfinished concrete~~
 - (B) Synthetic stucco (EIFS)
 - (C) **Acrylic co-polymer finish coat on stucco**
 - (D) **Unfinished or untreated wood**
 - (E) **Glass block**
 - (F) Vinyl siding
 - (G) **Plastic, including high-density polyethylene, polyvinyl chloride (PVC), and polycarbonate, panels**
 - (H) **Fiberglass and acrylic panels**
 - (4) **Limited Use Major Materials.** The following materials are prohibited except consistent with the following:
 - (A) **Economy Bricks.** Brick types larger than 3 inches in height are permitted as major materials on rear, alley, and rail corridor facades.

Facade Materials

- (B) **Fiber Cement Board.** Fiber cement building materials lap siding or shingles (such as James Hardie materials or similar) are permitted on the Row building type.
 - (C) **Wood Lap Siding and Shingles.** Painted wood lap siding and wood shingles are permitted on the Row building type.
 - (D) **Cement-Based Stucco.** Cement-based, hard coat stucco is permitted on all stories above the ground story, and on ground story facades facing rear yards, alleys, or the rail corridor. On the ground story, permitted major materials (per M-1-27(b), above) shall turn the corner of the ground story facade no less than 30 feet along the adjacent facade.
 - (E) **Concrete Masonry Units (CMU).** Burnished, glazed, or honed concrete masonry units (CMU) or block are permitted as major materials on facades facing rear, alley, and the rail corridor. Major materials shall turn the corner of the ground story facade no less than 30 feet along the adjacent facade.
- (c) **Minor Materials.** Minor materials are limited to trim, details, and other accent areas that combine to 20 percent or less of the total surface of each facade.

- (1) **Major Materials.** All permitted major materials may serve as minor facade materials.
- (2) **Permitted Minor Materials.** Permitted minor materials include the following:
 - (A) Fiber cement and wood trim pieces
 - (B) Metal for beams, lintels, trim, exposed structure, and other ornamentation
 - (C) Split-faced, burnished, glazed, or honed concrete masonry units (CMU) or block for columns, trim, and details, and no surfaces except storefront knee walls.
 - (D) Split-face, honed, or glazed concrete masonry units with a height less than 4.5 inches for surfaces less than 10 percent of the facade surface
 - (E) Cast stone concrete elements
 - (F) Vinyl for window trim and soffits
 - (G) Glass curtain wall
 - (H) One- or 3-Coat Cement-Based Stucco for surfaces
 - (I) Terra cotta or ceramic tiles or panels
- (3) **Limited Use Minor Materials.** The following materials are permitted as minor surface materials on upper floor facades only:



Brick with Metal Details

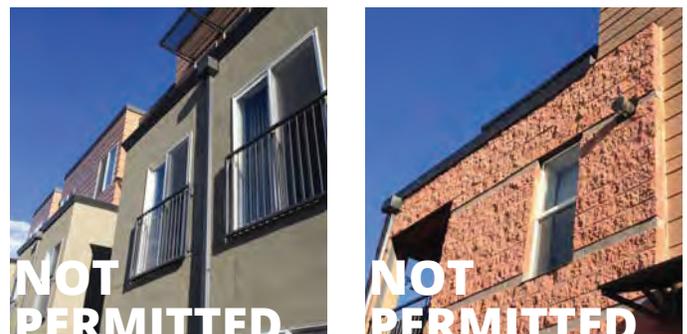
Architectural Metal Panels



Wood with Metal Details

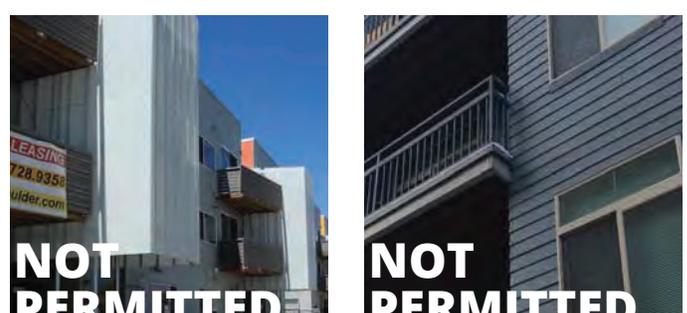
Cut Stone

Figure M-4 (2). Acceptable Materials



Synthetic Stucco

Concrete Masonry Units



Plastic Panels

Vinyl Siding

Figure M-4 (3). Unacceptable Major Materials

- (A) **Fiber Cement Board.** Fiber cement building materials lap siding or shingles (such as James Hardie materials or similar).
- (4) **Prohibited Minor Materials.** The following materials are prohibited for use as minor materials:
 - (A) Synthetic stucco or exterior insulation and finishing systems (EIFS)
 - (B) Synthetic stucco decorative elements, with the exception of drainage assemblies
- (d) **Other Materials with Approval.** Other high quality materials, not listed, may be requested with a **minor design exception** during the design review approval process. Samples and examples of successful, high quality local installations shall be provided by the applicant. **The materials shall be proven to be durable, high quality, and appropriately scaled for the application.**
- (e) **Color.** Dominant building colors shall be from a historic palette from any major paint manufacturer. Other colors may be utilized for details and accents, but shall not exceed a total area larger than 10 percent of the facade surface area.

M-1-28. BUILDING CONSTRUCTION QUALITY

- (a) **Intent.** The intent of the building construction quality requirements is to advance the quality of the construction of new buildings.
- (b) **Transition in Material.** Changes in surface materials shall meet the following standards.
 - (1) **Corners.** Changes in major facade materials (refer to Section M-4.B) shall occur only at concave or interior corners.
 - (2) **Same Surface.** Transitions in surface materials that occur on the same surface shall include one of the following:
 - (A) A trim piece covering the transition.
 - (B) A change in plane of **at least 2 inches**, where the more detailed material is elevated above the less detailed material; e.g. brick is more detailed with joints and stucco is less detailed as a constant surface.
 - (3) **Expression or Shadow Lines on Surfaces.** Materials that have significant thickness may be used to create shadow or expression lines on surfaces. For example, cast stone pieces may be offset to create a shadow line, where the actual convex corner of the piece is used to create the corner of the detail.

Conversely, materials that have less thickness shall not be used in such a manner as to insinuate thickness. For example, stucco shall not be formed to create a pilaster on the surface.
 - (4) **Window/Door & Surface Transitions.** Windows and doors shall transition to facade surface materials other than glass with a trim piece a minimum of 3 inches in width.
- (c) **Appropriate Grade of Materials.** Commercial quality doors, windows, and hardware shall be used on all building types with the exception of the Row building type.
- (d) **Applique Materials.** Materials with thickness less than 2.5 inches are not permitted to cantilever or extend beyond their structural support. These materials shall be used only in a surface application.
- (e) **Stucco Installation.** Stucco, when permitted, shall be of the highest installation quality, meeting the following criteria:
 - (1) Contractor Submittal. The contractor utilized for installing the stucco shall have a minimum of 5

years experience with a minimum of at least 30 projects. Projects shall be high quality, meeting the requirements of this Subsection M-1-28(e). Contractor name, address, experience level (years and number of projects), and examples of installations within the last 5 years shall be submitted with the Design Review application.

- (2) **Jointing.** All stucco joints shall be aligned along the facade in the pattern shown on the elevations submitted for the design approval. Joints shall also align with the locations of windows and doors and other changes in material.
- (3) **Stucco Finish.** The finish coat shall be portland cement based plaster and not an acrylic or synthetic finish.

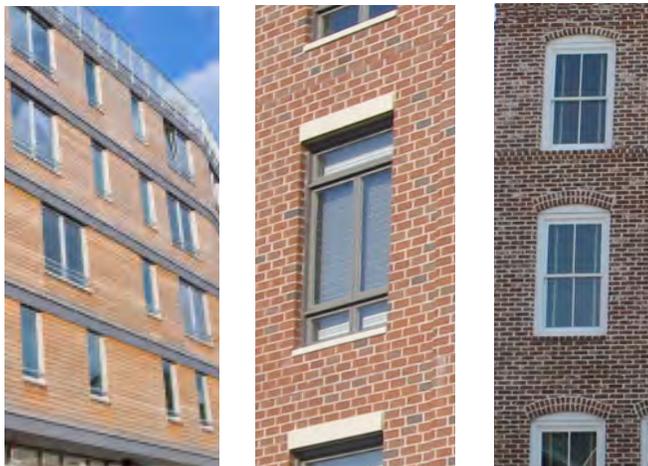


Figure M-4 (4). Vertically Oriented Windows with Expressed Lintels

M-1-29. BUILDING FACADE ELEMENTS

- (a) **Windows.** Windows on all buildings shall be constructed per the following requirements as shown in Figure M-4 (4). Vertically Oriented Windows with Expressed Lintels. The following requirements apply to all buildings in the Special Design Areas.
- (1) **Amount.** Percent of transparency is required per building type.
 - (2) **Recessed.** On all buildings, all windows, with the exception of ground story storefront systems, shall be recessed with the glass a minimum of 2 inches back from the facade surface material or adjacent trim.
 - (3) **Vertically Oriented.** All windows shall be vertically oriented with the following exceptions:
 - (A) **Flat Cap Type.** When the flat cap type (refer to Section M-3."M-1-24. Cap Types" on page 49) is utilized, horizontally oriented windows are permitted for 30 percent of the total transparency area of each story above the ground story.
 - (B) **Rear & Side Facades.** On rear and side facades, up to 50 percent of the total transparency area of each story may include horizontally oriented windows.
 - (C) **Exception.** Horizontally oriented windows may be requested through the **minor design exception** process when the transparency for each story is exceeded by 40 percent or more, the height of at least 75 percent of the windows is a minimum of 5 feet, and the windows are located no more than 3 feet above the interior floor level.
 - (4) **Visibility through Glass.** Reflective glass and glass block are prohibited on street facades. Refer to 9-16 Definitions for permitted reflectance of window and door glass.
 - (5) **Operable Windows.** ~~A minimum of 50 percent of the windows on each story of each facade shall be operable.²~~
 - (6) **Expressed Lintels.** Lintels shall be expressed above all windows and doors, whether by a change in brick coursing or a separate element.

² Intent is to provide ready access to outside air and a human connection to the outdoors, but this requirement conflicts with energy code requirements. Could require mechanism to turn off system with open windows. Is it worth requiring?

(b) Awnings, Canopies, & Light Shelves. Refer to Figure M-4 (5). Examples of Permitted Awnings.

- (1) **Encroachment.** Awnings, canopies, and light shelves shall not extend into the street right-of-way unless approved with a revocable permit or lease, as applicable.
- (2) **Attached Awnings & Canopies.** Awnings and canopies that are attached to the building and removeable shall meet the following:
 - (A) **Material.** All awnings and canopies shall be canvas or metal. Plastic awnings are prohibited.
 - (B) **Solar Panels.** Solar awnings or canopies are permitted.
 - (C) **Shapes.** Waterfall or convex, dome, and elongated dome awnings are prohibited.
 - (D) **Lighting.** Backlit awnings are prohibited.
 - (E) **Structures.** Frames shall be metal and shall be wall mounted. Support poles are prohibited unless utilized for outdoor eating areas over 8 feet in depth.
 - (F) **Multiple Awnings on the Facade.** When more than one awning is mounted on a facade, the awning types and colors shall be coordinated by matching the color, shape, material, or other element.



Metal Awning



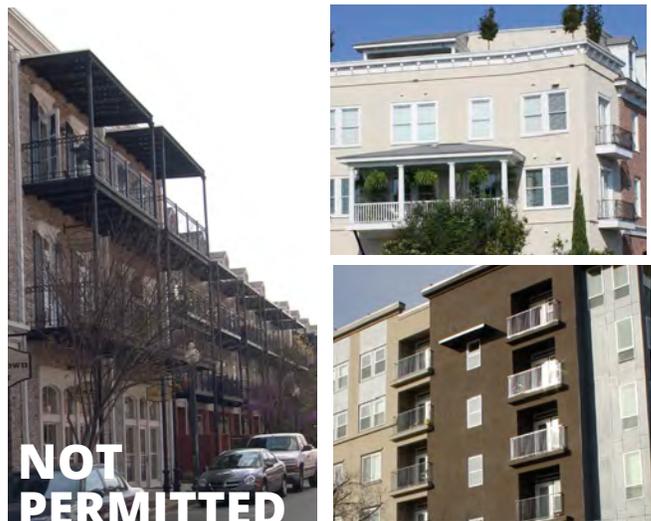
Canvas Awning

Figure M-4 (5). Examples of Permitted Awnings.

- (3) **Canopies & Light Shelves.** Permanent canopies, projections, or overhangs used as architectural features, light shelves, or shading devices are permitted, subject to materials permitted pursuant to M-1-27. Facade Materials.
- (4) **Signs.** All signs on awnings and canopies are subject to the requirement of Section 9-9-21. "Signs", B.R.C., 1981
- (5) **Clearance.** All portions of any awning, canopy, or light shelf shall provide at least 8 feet of clearance over any walkway and shall not extend over any driveway.

(c) Balconies. The installation or construction of balconies on street facades is encouraged, but not required. Refer to Figure M-4 (6). Examples of Balconies.

- (1) **Applicability.** These provisions apply to locations where balconies are incorporated into the facade design facing any street or public way.
- (2) **Definition.** Balconies include any roofed or unroofed platform that projects from the wall of



Balconies: Covers More than 40 Percent of Facade

Balconies Appropriately Attached to or Incorporated into Facade.

Figure M-4 (6). Examples of Balconies.

a building above grade and is enclosed only by a parapet or railing.

- (3) Exception: False Balconies. These regulations do not apply to false balconies, sometimes referred to as Juliet balconies or balconets, which are permitted. False balconies consist of a rail and door, and any outdoor platform is less than 18 inches in depth.
 - (4) **Size.** Balconies shall be a minimum of 4 feet deep and 5 feet wide.
 - (5) **Integrated Design.** Balconies shall be integral to the design of the facade. ~~Balconies on stepped-back stories may be independently secured, extending from the facade.~~
 - (A) Balconies attached to or hung from the facade shall not support more than 2 levels of balconies.
 - (B) Balconies with support posts, poles, or columns to the ground shall not include more than 2 levels of balconies.
 - (6) **Platform.** The balcony platform shall have significant thickness to appear structurally sound, a minimum of 3 inches. The underside of the balcony, as visible from any public way, shall be finished.
 - (7) **Facade Coverage.** A maximum of 40 percent of the Type A and Type B Frontage facades, calculated separately for each facade, may be covered by balconies. The balcony area is calculated by drawing a rectangle around the platform/floor of balcony, any columns or indentions, and any ceiling/roof/upper balcony.
- (d) **Shutters.** If included in the design, shutters on any facing facade, whether functional or not, shall meet the following requirements:
- (1) **Size.** All shutters shall be sized for the windows, so that if the shutters were to be closed, they would not be too small for complete coverage of the window.
 - (2) **Materials.** Shutters shall be wood, metal, or fiber cement. Vinyl shutters are prohibited. Other “engineered” woods may be submitted for a minor design exception during the design review process with an approved sample and examples of high quality local installations, installed a minimum of 5 years earlier and showing no degradation or wear of the material.
- (e) ~~Security Grills. Security grills shall be located completely within the interior of the building with-~~



Figure M-4 (7). Examples of Defined Principal Entryway.

~~the window glass on the exterior. Grills shall be fully retractable with the housing located above the window on the interior of the building, not visible from the street. Exterior bars are prohibited on any window.~~

- (f) **Principal Entryway.** Refer to Figure M-4 (7). Examples of Defined Principal Entryway. Principal entrances to buildings or units shall be clearly delineated through one or more of the following:
 - (1) **Cap or Canopy.** The entryway shall be covered by a cap or canopy differentiating it from the overall building cap.
 - (2) **Porch.** The entryway shall be through a porch.
 - (3) **Sidelights and Transom.** Sidelights and/or transom windows shall be included around the entryway.
 - (4) **Extended Articulation.** The entryway shall be included in a separate bay of the building extended up at least two stories.
 - (5) **Other Design Options.** The city manager may approve different design options through a minor exception during design review if the design adds emphasis, draws attention to the entryway, and the above requirements are not feasible.

M-1-30. MECHANICAL APPURTENANCES.

Mechanical appurtenances shall be located to create the least visual impact.

- (a) **Rooftop Mechanical Equipment.** The visual impact of rooftop mechanical equipment, including, without limitation, vents, ventilators, skylights, antennas, and excluding solar and wind energy systems, shall be minimized.
 - (1) Rooftop mechanical equipment shall be located using one of the following methods.
 - (A) Locate all equipment within the building.
 - (B) Incorporate equipment into the roof design per Section M-1-24. Cap Types.
 - (C) Locate the equipment in a penthouse consistent with the building design, colors, and materials, and set a minimum of 20 feet from any Type A or B frontage facade. Refer to Section M-3.1(f). Towers
 - (2) The requirements of section 9-7-7 shall be met.
- (b) **Mechanical Appurtenances on Facades.** Mechanical appurtenances, such as but not limited to dryer vents, gas meters, and air conditioners, shall be located as follows:
 - (1) **Facade.** All mechanical appurtenances required to be exposed on an exterior facade shall be located on a non-Type A frontage facade.
 - (2) **Alignment.** Multiple mechanical appurtenances shall be organized on the facade in a regular pattern, aligned, and illustrated on the drawing elevations submitted for approvals.
 - (3) **Material Coordination.** To the extent practicable, mechanical appurtenances shall be located on a surface material that limits their visibility. For example, dark colored vents will be more visible on light colored stucco than a textured, darker surface such as brick.
- (c) **Mechanical Appurtenances on Other Horizontal Surfaces.** Mechanical appurtenances located on the ground, decks, or horizontal surfaces other than the roof, such as but not

limited to electrical equipment and air conditioners, shall be located as follows:

- (1) All mechanical appurtenances may be located in the parking yard or Type B street yard.
- (2) Mechanical appurtenances may be located in a side yard, provided the side yard does not contain a paseo.
- (3) All appurtenances shall be screened from any public way with landscape, fences, and/or walls consistent with the building design, colors, and materials.
- (4) The city manager may approve appurtenances located on a Type A street or on a paseo through a minor design exception, if the following conditions are met:
 - (A) No other feasible option is available for the equipment.
 - (B) The appurtenance is fully screened with a wall and the wall does not prevent the facade from fulfilling any transparency requirements.

M-1-31. BUILDING ARTICULATION

Articulated buildings include clearly differentiated, components, using surface materials, expression lines, and separate patterns or configurations.

(a) Base, Middle, Top. Layering the components of the building provides a sense of order and stability to buildings. The following intent statements support the requirements specified in Section Building Types and Section Site & Building Design. All buildings are meant to include a clearly articulated base, middle, and top as discussed in the following. Refer to [Figure M-4 \(8\). Illustration of Base, Middle, and Cap.](#)

- (A) **Base.** The base of a building shall be differentiated from the upper stories per the requirements of Section Building Types.
 - (1) For mixed-use and non-residential buildings, the base is meant to establish an active ground story along the street, providing a public face (such as retail, service, or restaurant USES) for activities that occur within a building.
 - (2) For residential buildings, the base may be offset in height to separate the ground story from the sidewalk elevation as permitted by the building type regulations, Section M-3. More public spaces, such as lobbies, community rooms, workout rooms, should be located on the ground story as transition space between the public and the private residences.
- (B) **Middle.** The middle section of a building is meant to be occupied by people and shall be highly transparent to provide eyes on the street. Balconies and terraces in the middle section of the building further this intent.
- (C) **Top.** The top of the building shall cap the building, clearly reading as the end of the building and completing the design, as required by Section [M-3."M-1-24. Cap Types"](#) on page 49.

(b) Articulation of Stories. Stories shall be clearly readable and articulated on all street, paseo, and multi-use path facades utilizing the following.

- (1) **Fenestration.** Fenestration or window placement shall be organized by stories. Minimum transparency is required per story per building type (refer to Section Building Types [M-1-18](#) through [M-1-22](#)). Refer to section

M-1-23(e) for requirements for measuring transparency.

- (2) **Expression Lines.** Horizontal expression lines and/or lintels may be used to delineate stories. Minimum expression lines are required per building type (refer to Section Building Types M-1-18 through M-1-22).
 - (3) **Mezzanines.** Mezzanines designed with a separate floor to floor height and story shall be articulated on the facade as a separate story.
 - (4) **Taller Spaces.** Refer to Subsection M-1-23(e) (4) for transparency requirements on tall stories, over 18 feet in floor to floor height. Transparency is required for that additional height and shall articulate the
- (c) Building Facade Variety.** All buildings 120 feet in width or greater along any Type A or B Frontage shall fulfill the following requirements:
- (1) **Increments.** Each Type A or B Frontage facade shall be varied in segments less than or equal to 90 feet.
 - (2) **Requirements.** Each facade segment shall vary by the type of dominant material, or color, scale, or orientation of that material, and at least two of the following:
 - (A) The proportion of recesses and projections.
 - (B) The location of the entrance and window placement, unless storefronts are utilized

- (C) Roof type, plane, or material, unless otherwise stated in the building type requirements
- (D) Building heights

(3) **Exception.** A reprieve from these requirements may be approved by the city manager. The Applicant shall submit fully rendered elevations and 3-dimensional drawings of all street facades with materials samples for all surfaces to prove the building design fulfills the intent of the overall regulations without achieving this specific regulation.

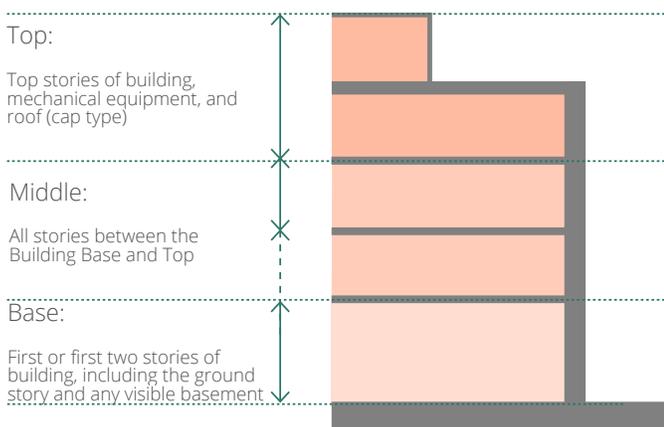


Figure M-4 (8). Illustration of Base, Middle, and Cap

M-1-32. BUILDING MASSING

(a) **Intent.** The goals of the building massing standards are to ensure an appropriate perceived scale of buildings from the public ways -- breaking up large buildings in a simple way, to ensure a human-scaled place, and to provide a high level of permeability to all blocks.

(b) **Multiple Buildings on One Site.** When more than one building is located on one development site and **For any building over 40 feet in height not utilizing a pitched cap on at least 60% of the roof, the following applies:**

(1) **Varied Building Heights.** A minimum of 30 percent of the total footprint of all buildings combined on the site shall be at least one story lower than the tallest portion of the building footprint, not including towers.

(A) **Along Type A Frontages.** The lower height shall occur along the Type A frontage.

(B) **Stepped-Back Facade.** The requirement for varied building heights, in Subsection M-1-32(b)(1), above, shall not be met by a linear stepping-back of the facade along the top story, but shall constitute a change in massing of the building.

(2) **Terraces & Pitched Roofs.** Roof areas on lower portions of buildings are **encouraged** to be used for roof terraces, located to maximize mountain views, and/or for pitched cap types per Subsection M-3.l(c) Pitched Cap Type to increase the variety of caps in the area.

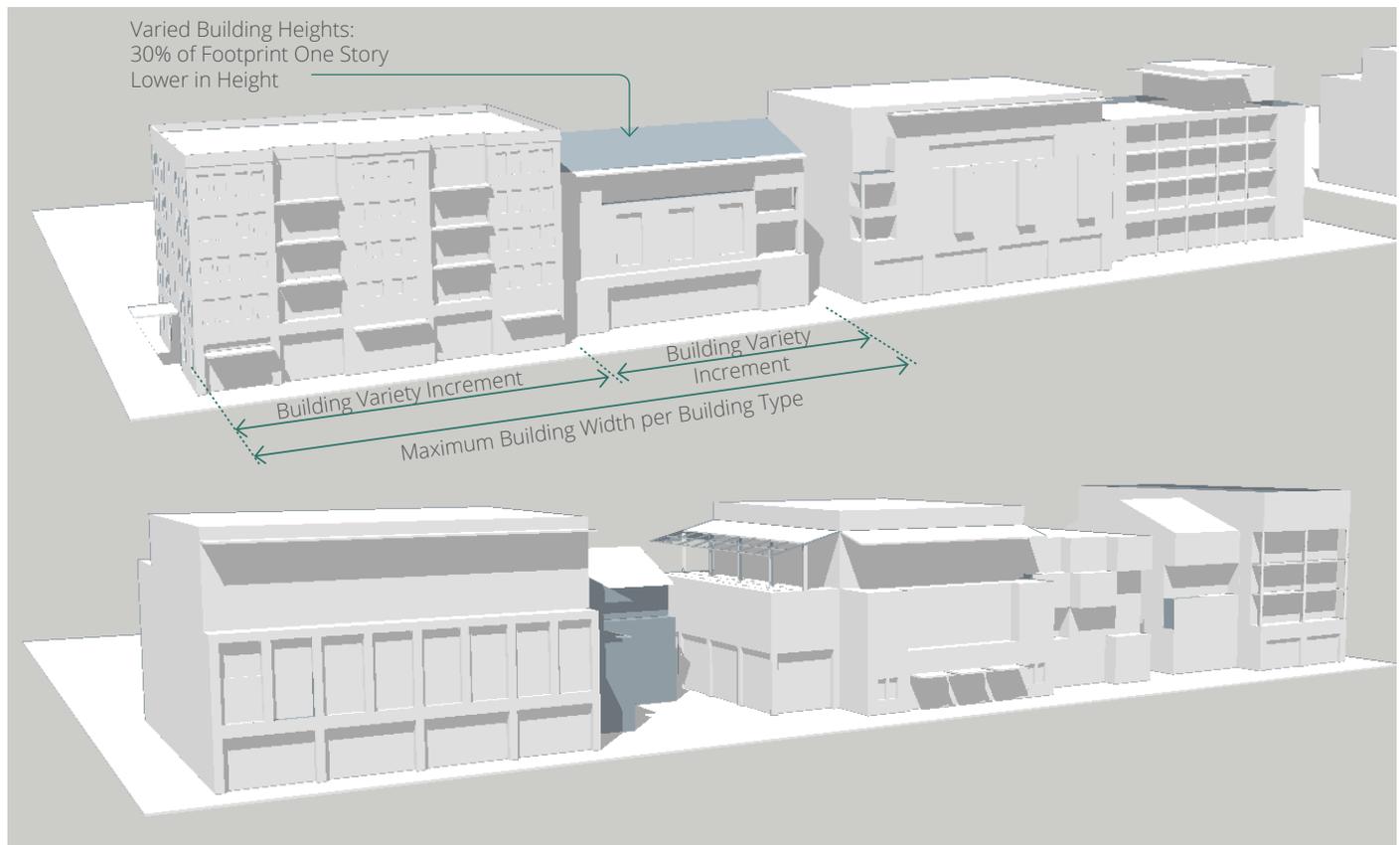


Figure M-4 (9). Illustrations of Building Massing and Articulation

M-1-33. BUILDING PROPORTIONS

All building designs shall include the aesthetically pleasing proportion of the golden ratio consistent with the following standards:

- (a) **Historical Use of the Golden Ratio.** The golden ratio is a proportioning metric used throughout history to achieve what has been considered “divine” (as in the divine proportion) or visually pleasing proportions. The ratio is frequently found in art and architecture, as well as in nature.
- (b) **Definition of the Golden Rectangle.** The golden rectangle uses the golden ratio, where the sides of the rectangle divided into a square and the remaining rectangle fulfill the metric. Refer to Figure M-4 (11), below.

Mathematically, the ratio is found by dividing a line into two parts so that the longest part divided by the smallest part is equal to the whole length divided by the longer part, written as $b/a = (b + a)/b$. Numerically, the ratio is approximately

1:1.6180339887.

- (c) **Demonstrate Use of Golden Ratio.** All projects are required to submit a diagram or series of diagrams demonstrating the use of the golden ratio in the design of the building, including the massing of the building and the design of the facade. Use of the golden ratio may include massing of building segments, windows, divisions of the facade, and overall height to width of the building. The preferred method of use is through the massing proportions and organization of facade components. Refer to Figure M-4 (10) for examples of demonstrated use of the golden ratio.

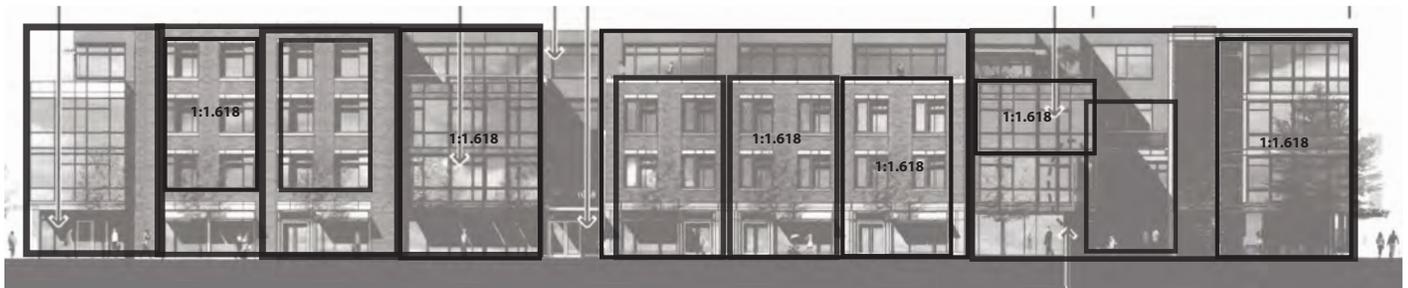


Figure M-4 (10). Example of Documentation of Use of the Golden Ratio in the Building Design

What is the Golden Ratio (AKA the Divine Proportion)?

Two objects are in the golden ratio if their ratio is the same as the ratio of their sum to the larger of the two quantities. For example, a golden rectangle with longer side *a* and shorter side *b*, when placed adjacent to a square with sides of length *a*, will produce a similar golden rectangle with longer side *a + b* and shorter side *a*. This illustrates the relationship:

$$\frac{a+b}{a} = \frac{a}{b} = 1.6180\dots$$

1.618
Golden Rectangle=
1:1.618

The Golden Ratio is intimately related to the Fibonacci spiral, which is an approximation of the golden spiral created by drawing circular arcs connecting the opposite corners of squares in the Fibonacci tiling. The golden ratio appears in some patterns in nature, including the spiral arrangement of leaves and other plant parts.

Figure M-4 (11). Description of the Golden Ratio



BOULDER DESIGN ADVISORY BOARD APPLICATION

Date of Application 2- 24-2016 **Address of Property for Review** 4750 Broadway
Applicant's Name The Mulhern Group **Phone** 303-297-3334
Address 1730 Blake St, Suite 435, Denver, Co 80202
Relationship to Project (e.g.: architect, contractor, etc.) Architect
Owner's Name and Address Bruce Dierking **Phone** (303) 447-0450

Project Description

200 dwelling units (182 apartments and 18 townhomes) and approx. 8,400 SF of retail and re-modeling of the existing Armory Mess Hall of 9,400 SF into clubhouse, leasing and resident common spaces, all conforming largely to the existing zoning of MU-1 and RMX-2.

Lot Size 589' x 632'; 8.54 Ac
Total Existing Bldg. Sq Ft. 9,400 SF
Existing Bldg Height 36'-1" per Boulder ht meas.

Proposed Additional Bldg. Sq. Ft. approx 150,000 SF
Proposed Bldg. Height 35'-0" max allowable height

Submission Deadlines

The Boulder Design Advisory Board generally meets on the second Wednesday of every month. The deadline for submitting your application is 4 p.m. on the last Wednesday of the month, two weeks prior to the meeting date that you wish to attend. Come in person to the Planning and Development Services Center, 1739 Broadway, third floor, to submit your application and materials to a Project Specialist.

Please see the attached "Submission Requirements" sheet for guidance on what we need.

What to Bring to Your Review

At the time of the meeting, please bring at least one set of rendered drawings and material samples.

Committee Comments about the Proposal:

For submittal questions or project-content questions, please contact Sam Assefa, at 303-441-4277, assefas@bouldercolorado.gov. For administrative questions about BDAB, please contact Melinda Melton, 303-441-3215, meltonm@bouldercolorado.gov. You can also visit the [Boulder Design Advisory Board \(BDAB\)](#) website for more detailed information.



City of Boulder Planning and Development Services

1739 Broadway, third floor • PO Box 791 • Boulder, CO 80306

Phone: 303-441-1880 • Fax: 303-441-3241 • Web: boulderplandevlop.net

BDAB Application Submission Requirements

Application requirements for design review will vary depending upon the complexity and scale of the project to be reviewed, and the specific requirements of the reviewing body. In general, the applicant should provide the appropriate architectural drawings, sketches, and photographs of existing buildings and their sites to allow the reviewing body to fully understand the nature and scope of the exterior changes and any significant design issues.

For BDAB, four (4) paper copies and all electronic files on a CD or thumb drive. Copies of all relevant information listed below must be submitted *to a project specialist* in the Planning and Development Services Center no later than 4 p.m. on the last Wednesday of the month, two weeks prior to the BDAB meeting. *[Please DO NOT send a courier; a representative from your organization needs to bring the plans to the project specialist in person so the specialist can check that submission requirements have been met, which prevents problems with the application.]* Applications should be well organized and contain sufficient information to allow reviewers to fully understand the proposed building design or alteration, including relevant urban design information such as how the project fits within its surrounding context, and how it relates to adjacent buildings and properties.

At a minimum, BDAB applications should include the following information:

- A map illustrating the location of the project as well as photographs of the project site and the surrounding area.
- A site plan in a clear graphic style should be presented in the context of the city blocks surrounding the project. Site boundaries and dimensions should be clearly marked and special issues such as floodplain, shadows, land restrictions and the existing site conditions need to be highlighted.
- All relevant floor plans, building sections, and exterior elevations should be illustrated at a scale sufficient to fully understand the proposed design.
- Provide exterior wall elevations in color showing material and color selections.

Additional information that may be required for BDAB:

The following additional information may be required if the proposal modifies the permitted “by-right” building height, or if the project is of significant complexity that the two dimensional drawings described above do not fully illustrate the design issues:

- A simple mass model if the project is of significant size and complexity, showing the surrounding context.
- Color perspective sketches illustrating the proposed project and its surroundings, from street level, to present the project from the pedestrian’s viewpoint.
- An analysis of the shadow impact of the proposed project is important, especially for projects on the south side of downtown streets.

<https://bouldercolorado.gov/boards-commissions/bdab>

PROJECT DIRECTORY

DEVELOPER / APPLICANT:
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P: 303-494-9138
CAROL ADAMS



SITE REVIEW SUBMITTAL ARMORY COMMUNITY



SITE VICINITY MAP

DRAWING INDEX

SECTION 01 - NARRATIVE

- A1.01 COVER SHEET

SECTION 02 - EXISTING CONTEXT

- A2.01 VICINITY MAP AND CONTEXT
- A2.02 SITE PHOTOS
- A2.03 ZONING & LAND-USE & TRANSPORTATION MAPS

SECTION 03 - PLANNING INFLUENCES

- A3.01 ALLOWED ZONING INTENSITY PLAN
- A3.02 SETBACKS AND RESTRICTIONS PLAN
- A3.03 MULTI-MODAL PLAN

SECTION 04 - OVERALL PLANS AND ELEVATIONS

- A4.01 OVERALL SITE PLAN
- A4.03 OVERALL STREET ELEVATIONS
- A4.04 OVERALL STREET ELEVATIONS
- A4.05 OVERALL STREET ELEVATIONS
- A4.06 OVERALL STREET ELEVATIONS
- A4.06 OVERALL STREET ELEVATIONS
- A4.07 OVERALL STREET ELEVATIONS
- A4.08 OVERALL STREET ELEVATIONS
- A4.09 OVERALL STREET ELEVATIONS
- A4.10 OVERALL STREET ELEVATIONS
- A4.11 SITE SECTIONS
- A4.12 RENDERINGS
- A4.13 RENDERINGS

SECTION 05 - BLOCK BY BLOCK PLANS AND ELEVATIONS

- A5.01 BLOCK 1 PARKING LEVEL PLAN
- A5.02 BLOCK 1 GROUND FLOOR PLAN
- A5.03 BLOCK 1 SECOND FLOOR PLAN
- A5.04 BLOCK 1 ROOF PLAN
- A5.05 BLOCK 1 ARMORY BUILDING E PLAN
- A5.06 BLOCK 1 ELEVATIONS
- A5.07 BLOCK 1 ELEVATIONS
- A5.08 BLOCK 2 GROUND FLOOR PLAN
- A5.09 BLOCK 2 SECOND FLOOR PLAN
- A5.10 BLOCK 2 ROOF PLAN
- A5.11 BLOCK 2 ELEVATIONS
- A5.12 BLOCK 2 ELEVATIONS
- A5.13 BLOCK 3 GROUND FLOOR PLAN
- A5.14 BLOCK 3 SECOND FLOOR PLAN
- A5.15 BLOCK 3 ROOF PLAN
- A5.16 BLOCK 3 ELEVATIONS
- A5.17 BLOCK 3 ELEVATIONS
- A5.18 BLOCK 4 GROUND FLOOR PLAN
- A5.19 BLOCK 4 SECOND FLOOR PLAN
- A5.20 BLOCK 4 ROOF PLAN
- A5.21 BLOCK 4 ELEVATIONS
- A5.22 BLOCK 4 ELEVATIONS
- A5.23 SHADOW STUDIES
- A5.24 SHADOW STUDIES

LANDSCAPE

- L1.0 OVERALL LANDSCAPE PLAN
- L1.1 BLOCK 1 LANDSCAPE PLAN
- L1.2 BLOCK 2 LANDSCAPE PLAN
- L1.3 BLOCK 3 LANDSCAPE PLAN
- L1.4 BLOCK 4 LANDSCAPE PLAN
- L2.0 PLANT SCHEDULE
- L3.0 DETAILS
- L4.0 OPEN SPACE AND COMPLIANCE

CIVIL

- C1.0 PRELIMINARY OVERALL GRADING AND DRAINAGE PLAN
- C1.1 PRELIMINARY BLOCK 1 GRADING AND DRAINAGE PLAN
- C1.2 PRELIMINARY BLOCK 2 GRADING AND DRAINAGE PLAN
- C1.3 PRELIMINARY BLOCK 3 GRADING AND DRAINAGE PLAN
- C1.4 PRELIMINARY BLOCK 4 GRADING AND DRAINAGE PLAN



DEVELOPER:

ARMORY LAND INVESTORS, LLC

ARCHITECT:

THE MULHERN GROUP, LTD.
ARCHITECTURE • PLANNING • INTERIORS

CONSULTANT:

LUR2015-00012
 BDAB SUBMISSION
ARMORY COMMUNITY
 BOULDER, COLORADO

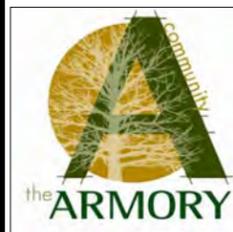
DATE:	REVISION:
02-24-16	BDAB SUBMISSION

SHEET NAME:

COVER SHEET

SHEET NUMBER:

A-1.01



DEVELOPER:
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ARCHITECTURE • PLANNING • INTERIORS

CONSULTANT:

LUR2015-00012
BDAB SUBMISSION

ARMORY COMMUNITY
BOULDER, COLORADO

DATE:	REVISION:
02-24-16	BDAB SUBMISSION

SHEET NAME:
VICINITY MAP AND CONTEXT

SHEET NUMBER:

A-2.01

BOULDER HOUSING PARTNERS
"HOUSING FIRST" FOR CHRONICALLY HOMELESS
HOLIDAY INN EXPRESS
TIRE STOP
RETAIL & RESTAURANTS



VICINITY MAP

OFFICE / WAREHOUSE



1325 LEE HILL



SINGLE-FAMILY RESIDENTIAL



MULTI-FAMILY RESIDENTIAL



MULTI-FAMILY RESIDENTIAL

CRESCENT PARK

1 SURROUNDING CONTEXT

LOOKING NORTH PARALLEL TO BROADWAY TO THE BOULDER HOUSING PARTNERS BLDG. BEYOND



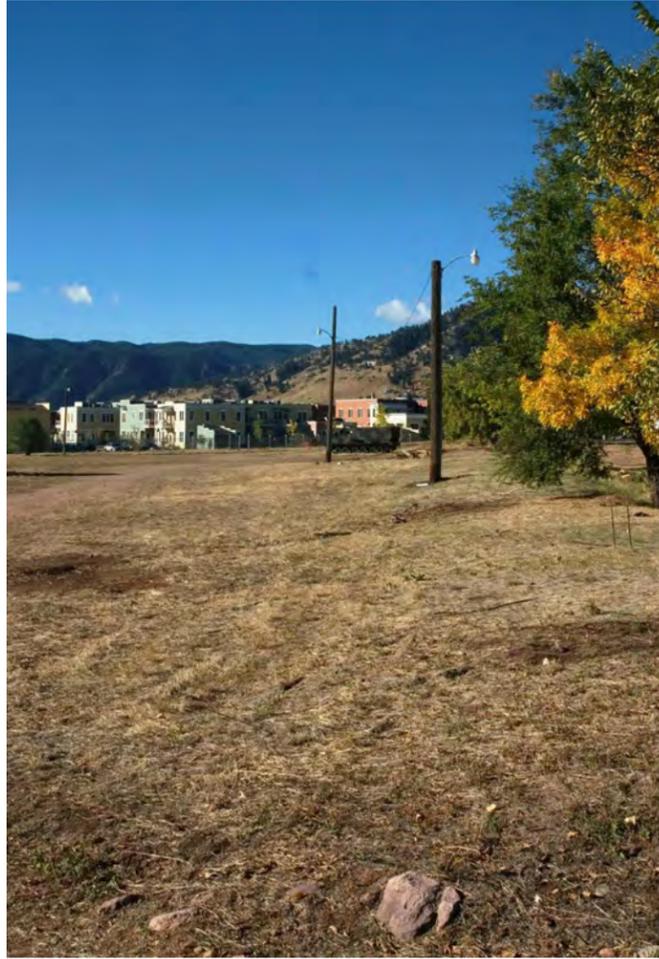
VIEW EAST FROM CORNER OF LEE HILL DRIVE AND BROADWAY TOWARDS ARMORY MESS HALL



VIEW NORTH OF THE ARMORY MESS HALL BUILDING AND SITE



VIEW SOUTHWEST ACROSS THE SITE



VIEW NORTHWEST OF ARMORY BUILDING FROM 14TH STREET



VIEW WEST FROM 14TH STREET



VIEW EAST FROM BROADWAY ALONG SOUTHERN PROPERTY LINE



ARMORY MESS HALL BUILDING WEST ELEVATION



DEVELOPER:

ARMORY LAND INVESTORS, LLC

ARCHITECT:

THE MULHERN GROUP, LTD.
ARCHITECTURE • PLANNING • INTERIORS

CONSULTANT:

LUR2015-00012
BDAB SUBMISSION
ARMORY COMMUNITY
BOULDER, COLORADO

DATE:	REVISION:
02-24-16	BDAB SUBMISSION

SHEET NAME:

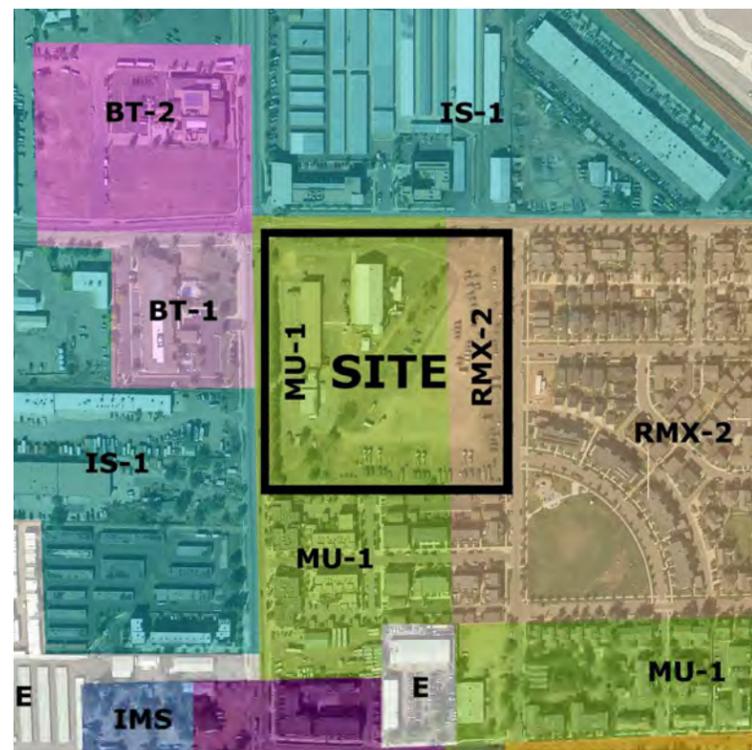
SITE PHOTOS

SHEET NUMBER:

A-2.02

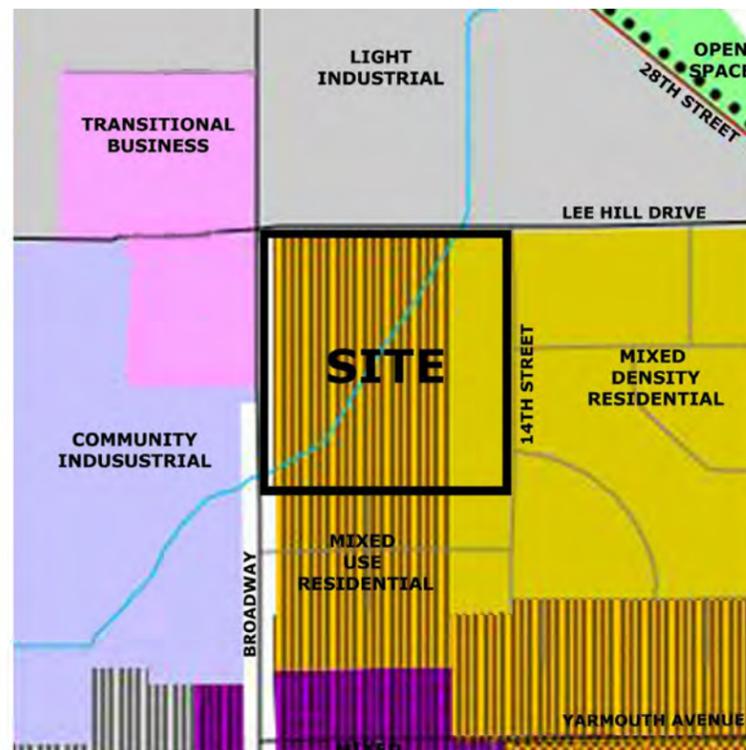
1 SITE PHOTOS OF EXISTING CONDITIONS

ZONING MAP



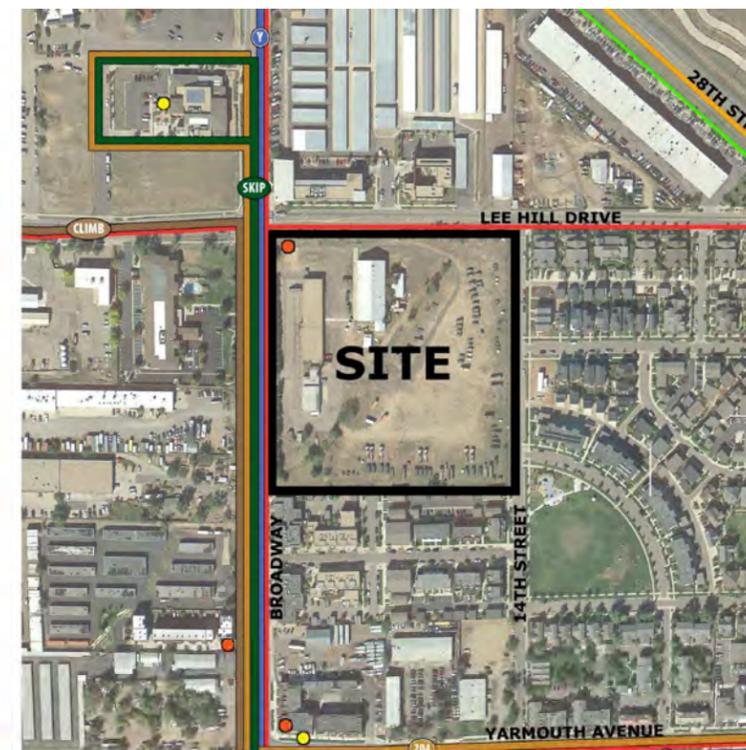
- MH: MOBILE HOME
- RL-2: RESIDENTIAL LOW-2
- RM-1: RESIDENTIAL - MEDIUM-1
- RMX-2: RESIDENTIAL - MIXED-1
- BMS: BUSINESS - MAIN STREET
- BT-1: BUSINESS - TRANSITIONAL -1
- BT-2: BUSINESS - TRANSITIONAL-2
- MU-1: MIXED-USE 1
- MU-2: MIXED-USE 2
- IMS: INDUSTRIAL - MIXED SERVICES
- IS-1: INDUSTRIAL - SERVICE 1
- IS-2: INDUSTRIAL - SERVICE 2
- P: PUBLIC
- E: ENCLAVE

LAND-USE MAP



- VERY LOW DENSITY RESIDENTIAL
- LOW DENSITY RESIDENTIAL
- MANUFACTURED HOUSING
- MEDIUM DENSITY RESIDENTIAL
- MIXED DENSITY RESIDENTIAL
- HIGH DENSITY RESIDENTIAL
- COMMUNITY BUSINESS
- GENERAL BUSINESS
- SERVICE COMMERCIAL
- TRANSITIONAL BUSINESS
- REGIONAL BUSINESS
- COMMUNITY INDUSTRIAL
- GENERAL INDUSTRIAL
- LIGHT INDUSTRIAL
- PERFORMANCE INDUSTRIAL
- MIXED USE BUSINESS
- MIXED USE INDUSTRIAL
- MIXED USE RESIDENTIAL
- OPEN SPACE, ACQUIRED
- OPEN SPACE, DEVELOPMENT RIGHTS
- OPEN SPACE, OTHER
- AGRICULTURAL
- PARK, URBAN AND OTHER
- PUBLIC
- ENVIRONMENTAL PRESERVATION

TRANSPORTATION MAP



- BICYCLE/PEDESTRIAN PATHS:
 - PAVED SHOULDER
 - ON STREET BIKE LANE
 - DESIGNATED BIKE ROUTE
 - MULTI-USE PATH
 - BIKE SHOP
- BUS ROUTES:
 - SKIP
 - CLIMB
 - Y
 - 204
 - BUS STOP
 - REGIONAL BUS STOP

DEVELOPER:

ARMORY LAND INVESTORS, LLC

ARCHITECT:

THE MULHERN GROUP, LTD.
ARCHITECTURE • PLANNING • INTERIORS

CONSULTANT:

LUR2015-00012
 SITE REVIEW SUBMITTAL
ARMORY COMMUNITY
 BOULDER, COLORADO

DATE:	REVISION:

SHEET NAME:
ZONING / LAND-USE /
TRANSPORTATION MAPS

SHEET NUMBER:

A-2.03

1 REFERENCED DOCUMENTS



DEVELOPER:
ARMORY LAND INVESTORS, LLC

ARCHITECT:
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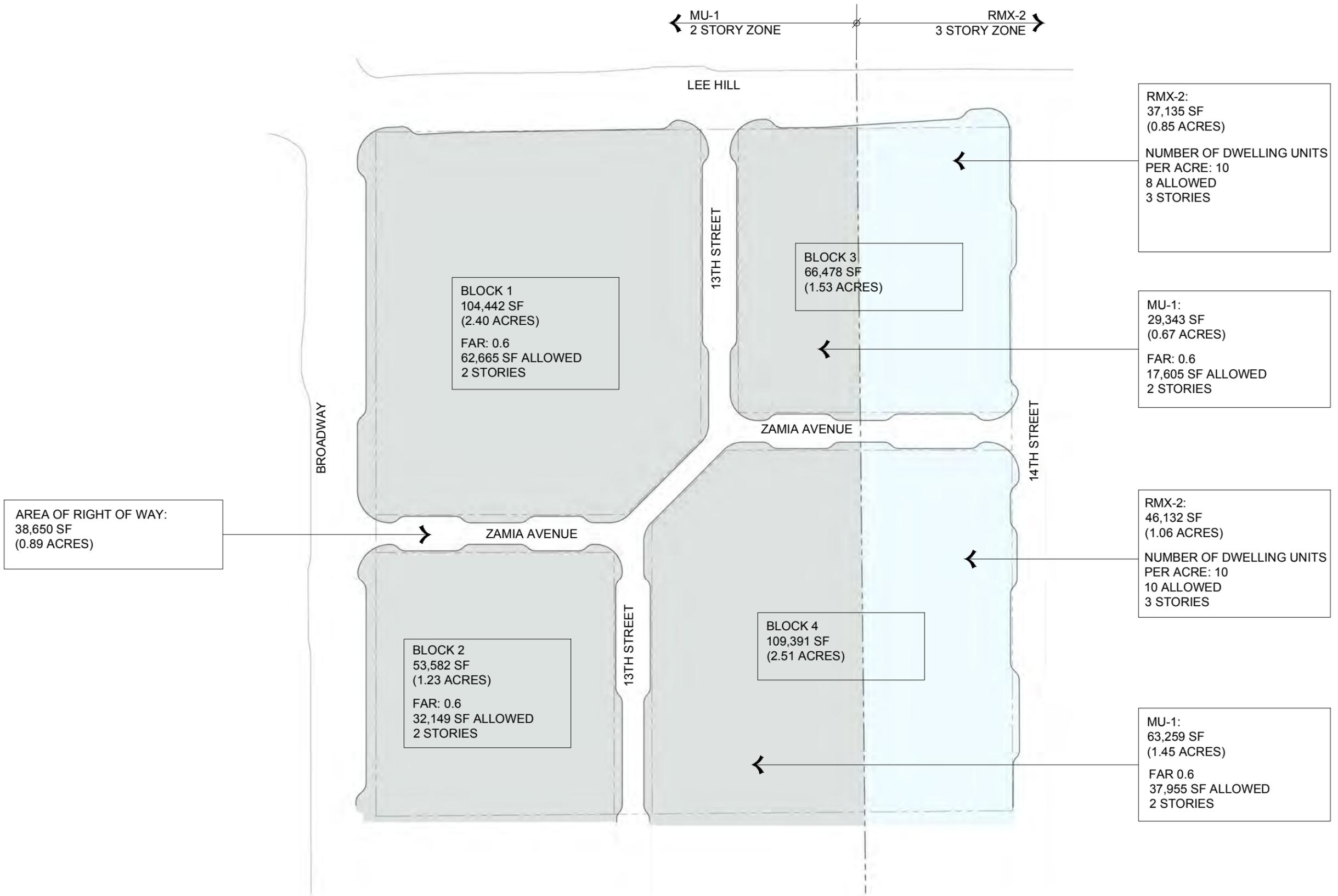
CONSULTANT:

LUR2015 - 00012
SITE REVIEW SUBMITTAL
ARMORY COMMUNITY
 BOULDER, COLORADO

DATE:	REVISION:
02-02-2015	SITE REVIEW SUBMITTAL 1
04-20-2015	SITE REVIEW SUBMITTAL 2
02-01-2016	SITE REVIEW SUBMITTAL 3

SHEET NAME:
ALLOWED ZONING INTENSITY PLAN

SHEET NUMBER:
A-3.01



RMX-2:
37,135 SF (0.85 ACRES)
NUMBER OF DWELLING UNITS PER ACRE: 10
8 ALLOWED
3 STORIES

MU-1:
29,343 SF (0.67 ACRES)
FAR: 0.6
17,605 SF ALLOWED
2 STORIES

RMX-2:
46,132 SF (1.06 ACRES)
NUMBER OF DWELLING UNITS PER ACRE: 10
10 ALLOWED
3 STORIES

MU-1:
63,259 SF (1.45 ACRES)
FAR 0.6
37,955 SF ALLOWED
2 STORIES



DEVELOPER:
ARMORY LAND INVESTORS, LLC

ARCHITECT:
THE MULHERN GROUP, LTD.
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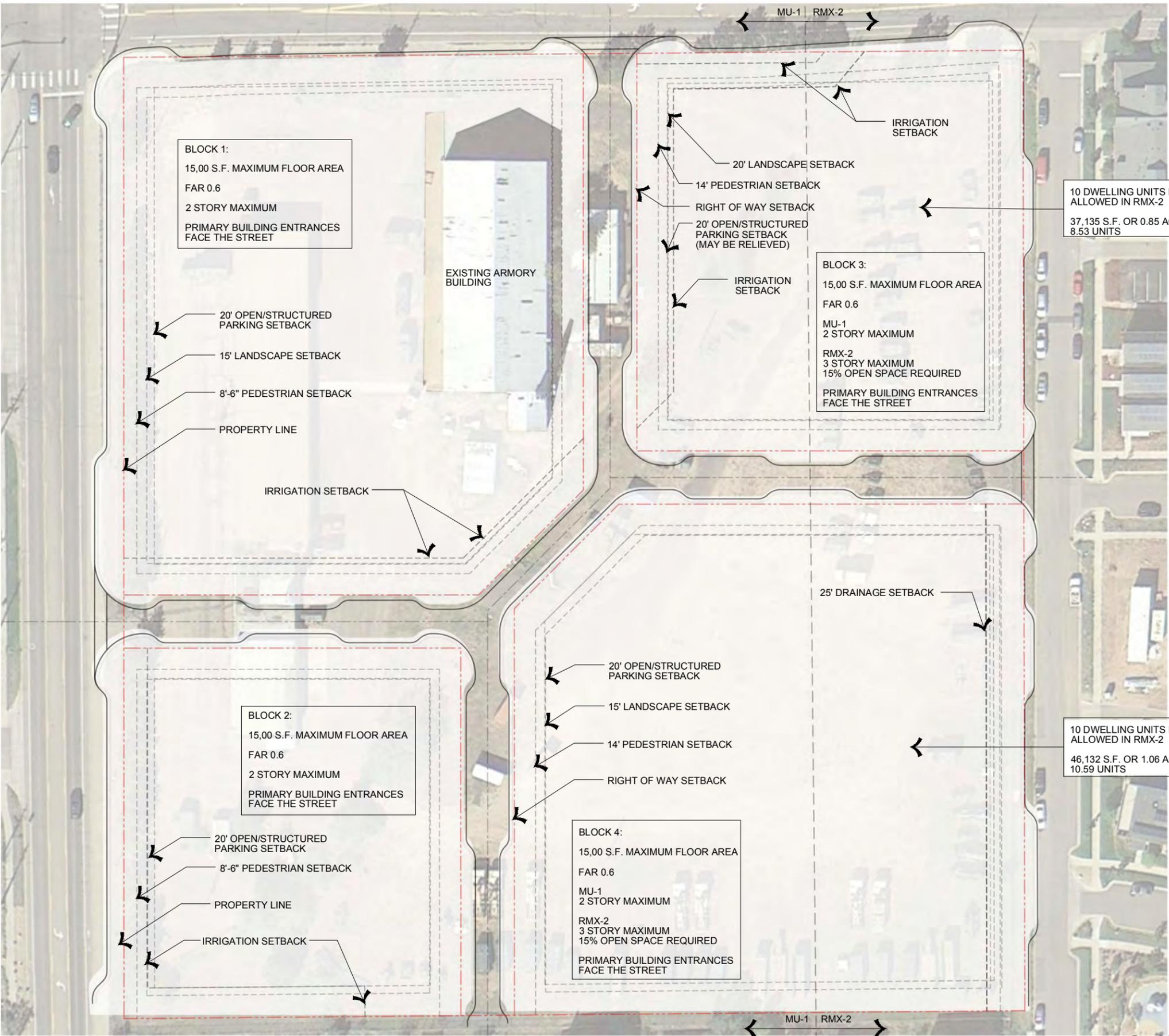
CONSULTANT:

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SITE REVIEW SUBMITTAL
ARMORY COMMUNITY
 BOULDER, COLORADO

DATE:	REVISION:
02-02-2015	SITE REVIEW SUBMITTAL 1
04-20-2015	SITE REVIEW SUBMITTAL 2
02-01-2016	SITE REVIEW SUBMITTAL 3

SHEET NAME:
SETBACKS & RESTRICTIONS PLAN

SHEET NUMBER:
A-3.02



10 DWELLING UNITS PER ACRE ALLOWED IN RMX-2
 37,135 S.F. OR 0.85 ACRES X 10
 8.53 UNITS

10 DWELLING UNITS PER ACRE ALLOWED IN RMX-2
 46,132 S.F. OR 1.06 ACRES X 10
 10.59 UNITS



1

SETBACKS AND RESTRICTIONS

1" = 30'-0"



DEVELOPER:
ARMORY LAND INVESTORS, LLC

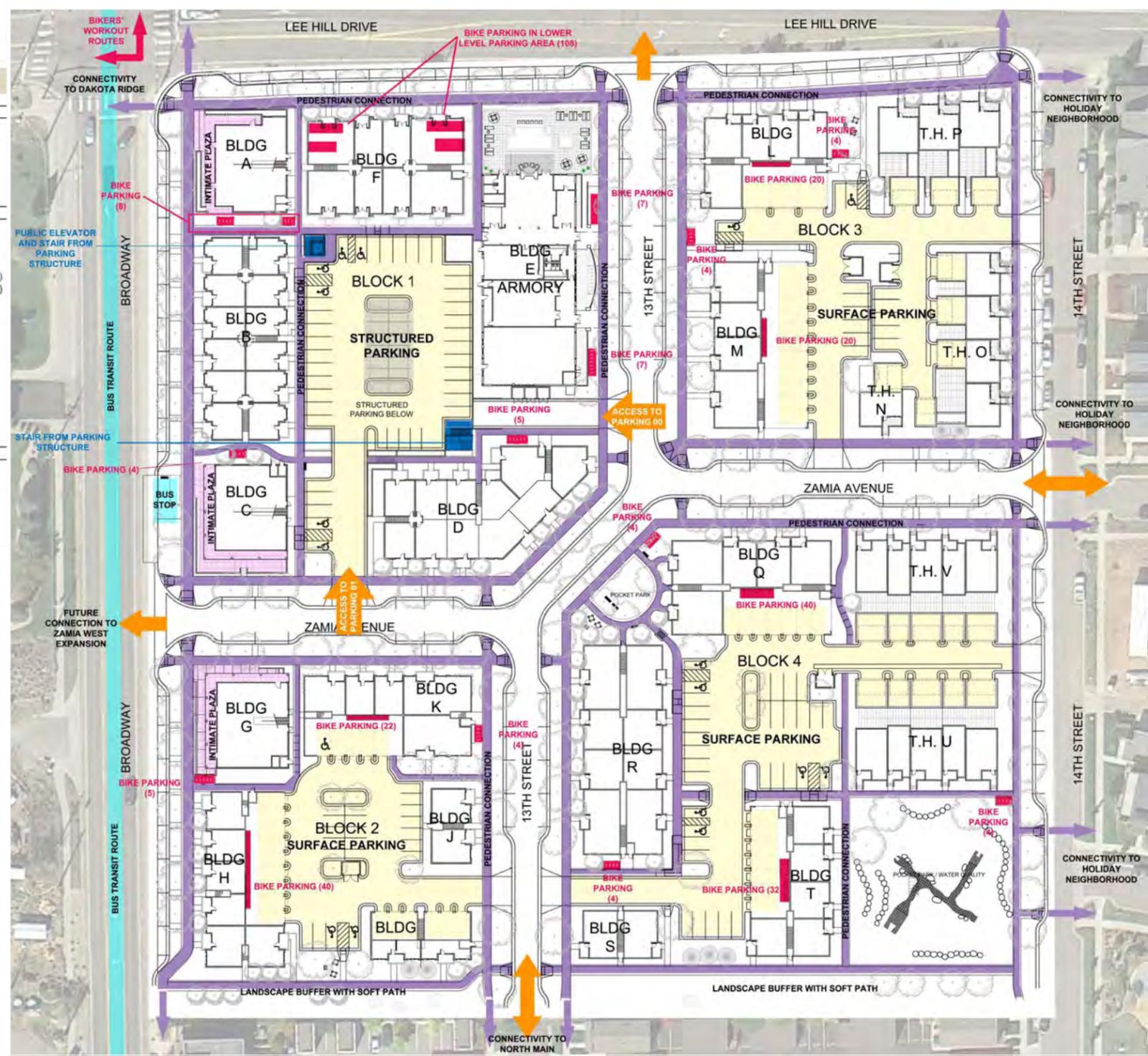
ARCHITECT:
THE MULHERN GROUP, LTD.
ARCHITECTURE+PLANNING+INTERIORS

CONSULTANT:

Boulder Armory

Bicycle Parking Analysis
January 13, 2016

Section Reference	Description	Zone District or Use Type	Requirement	Provided by Plan	Compliance	Notes or Variance Requested
Code Requirement						
Table 9-8	Bicycle Parking	All	75% Covered 25% Uncovered			
	DU's w/o Private Garage	2 per DU				
	DU's with Private Garage		No Requirement			
	Restaurants or Retail	1 per 750 SF Min 4	25% Covered 75% Uncovered			
Calculated Requirements per Plan						
Location/Type	DU's X Req/mt = Total	75% Long-Term (Covered)	25% Short Term (Uncovered)			
Residential						
Block 1	70 X 2 = 140	105	35			
Block 2	41 X 2 = 82	62	20			
Block 3	25 X 2 = 50	38	12			
Block 4	46 X 2 = 92	69	23	MU-1 District Only (RMX-2 Zone District has Private Garages)		
Residential Sub-Total	364	274	90			
Non-Residential (Retail or Restaurant)						
Block 1 Retail/Restaurant						
Building A	2,800 SF ÷ 750 SF = 4	1	3			
Building C	2,800 SF ÷ 750 SF = 4	1	3			
Block 2 Retail/Restaurant						
Building G	2,800 SF ÷ 750 SF = 4	1	3			
Non-Residential Sub-Total	12	3	9			
Total	376	277	99			
Location	75% Long-Term (Covered)	25% Short Term (Uncovered)	Yes	No		
Block 1	108	60	Yes			
Block 2	62	24	Yes			
Block 3	40	16	Yes			
Block 4	72	24	Yes			
Total	406	282	124	Yes		



BIKE RACK TYPE A



BIKE RACK TYPE B

LUR2015-00012

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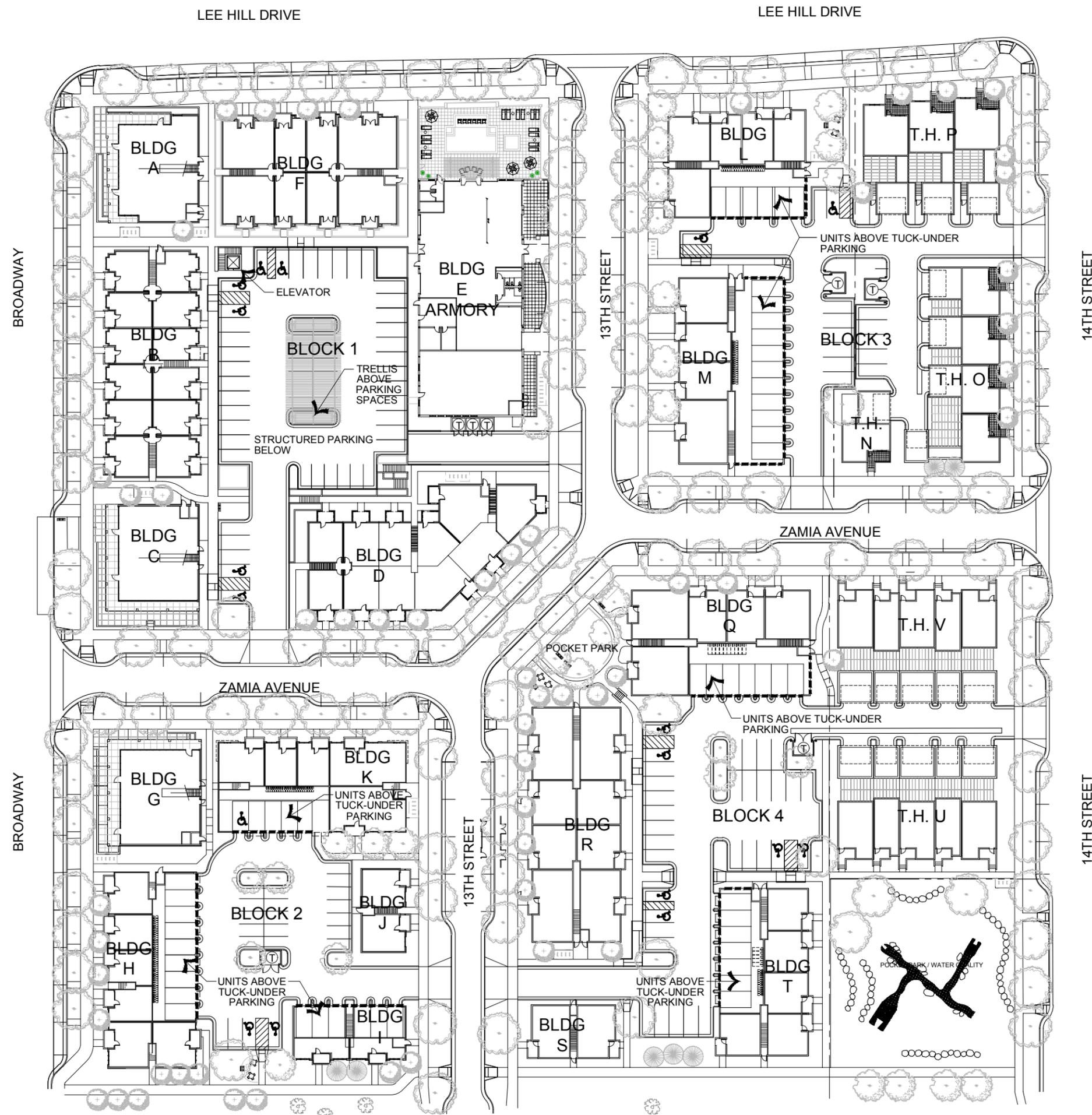
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BOULDER, COLORADO

DATE:	REVISION:
02-24-16	BDAB SUBMISSION

SHEET NAME:
MULTI-MODAL PLAN

SHEET NUMBER:
A-3.03



NOTE:
 BUILDINGS N, O, P, U & V IN THE
 RMX-2 ZONE DISTRICT ARE FOR
 SALE TOWNHOMES / ROW HOUSES



DEVELOPER:
 ARMORY LAND INVESTORS, LLC

ARCHITECT:
 THE MULHERN GROUP, LTD.
 ARCHITECTURE • PLANNING • INTERIORS

CONSULTANT:

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ARMORY COMMUNITY
 BOULDER, COLORADO

DATE:	REVISION:
02-24-16	BDAB SUBMISSION

SHEET NAME:
 OVERALL SITE PLAN

SHEET NUMBER:



DEVELOPER:
ARMORY LAND INVESTORS, LLC

ARCHITECT:
THE MULHERN GROUP, LTD.
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CONSULTANT:

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ARMORY COMMUNITY
BOULDER, COLORADO

DATE: 02-24-16	REVISION: BDAB SUBMISSION
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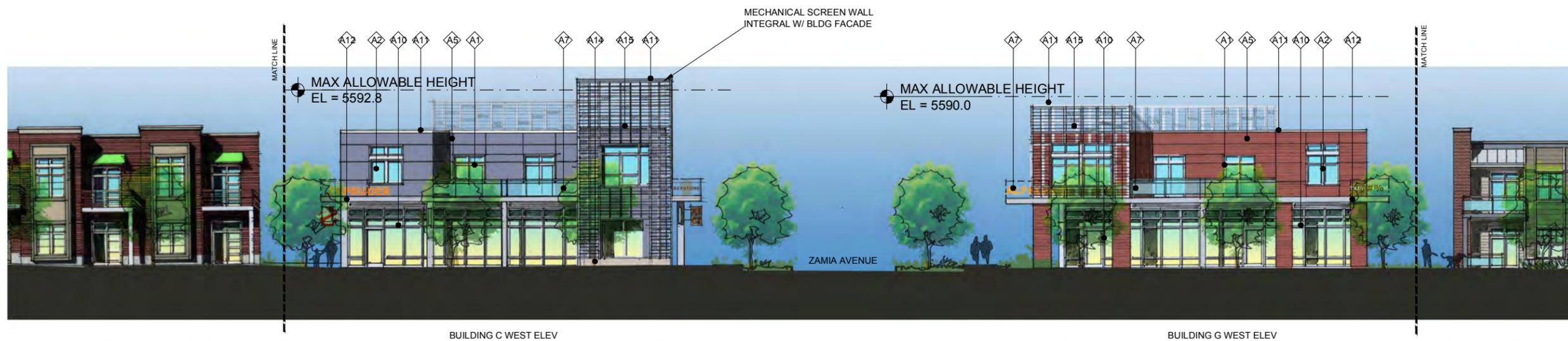
SHEET NAME:
OVERALL STREET ELEVATIONS

SHEET NUMBER:

A-4.03



1 WEST ELEVATION - BUILDINGS A & B
3/32" = 1'-0"
BLOCK 1 - BROADWAY STREETSCAPE



2 WEST ELEVATION - BUILDINGS C & G
3/32" = 1'-0"
BLOCK 1 & BLOCK 2 - BROADWAY STREETSCAPE



3 WEST ELEVATION - BUILDING H
3/32" = 1'-0"
BLOCK 2 - BROADWAY STREETSCAPE

MASTER MATERIAL LIST	
A1 - NEW VINYL DOOR/WINDOW ASSEMBLY	A16 - FABRIC AWNING
A2 - NEW VINYL WINDOW ASSEMBLY	A17 - TBD.
A3 - STANDING SEAM METAL ROOF	A18 - TBD.
A4 - COMPOSITE SIDING	
A5 - COMPOSITE PANEL SYSTEM	
A6 - DECK WITH METAL RAILING	
A7 - DECK WITH GLASS RAILING	
A8 - ALUMINUM STOREFRONT	
A9 - METAL FASCIA PANEL	
A10 - STOREFRONT SYSTEM	
A11 - PREFINISHED METAL COPING	
A12 - PAINTED STEEL CHANNEL	
A13 - STUCCO	
A14 - MASONRY	
A15 - METAL SCREEN OVER STUCCO	



TOWNHOUSE P

BUILDING L

4 NORTH ELEVATION - TOWNHOUSE P & BUILDING L
 3/32" = 1'-0" BLOCK 3 - LEE HILL STREETScape



ARMORY

BUILDING F

BUILDING A

5 NORTH ELEVATION - BUILDINGS A, F, & ARMORY
 3/32" = 1'-0" BLOCK 1 - LEE HILL STREETScape

MASTER MATERIAL LIST	
A1 - NEW VINYL DOOR/WINDOW ASSEMBLY	A16 - FABRIC AWNING
A2 - NEW VINYL WINDOW ASSEMBLY	A17 - METAL CLAD WINDOWS
A3 - STANDING SEAM METAL ROOF	A18 - METAL CLAD FRENCH DOORS
A4 - COMPOSITE SIDING	
A5 - COMPOSITE PANEL SYSTEM	
A6 - DECK WITH METAL RAILING	
A7 - DECK WITH GLASS RAILING	
A8 - ALUMINUM STOREFRONT	
A9 - METAL FASCIA PANEL	
A10 - STOREFRONT SYSTEM	
A11 - PREFINISHED METAL COPING	
A12 - PAINTED STEEL CHANNEL	
A13 - STUCCO	
A14 - MASONRY	
A15 - METAL SCREEN OVER STUCCO	



DEVELOPER:
 ARMORY LAND INVESTORS, LLC

ARCHITECT:
 THE MULHERN GROUP, LTD.
 ARCHITECTURE • PLANNING • INTERIORS

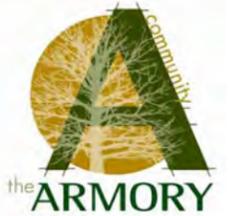
CONSULTANT:

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 BDAB SUBMISSION
ARMORY COMMUNITY
 BOULDER, COLORADO

DATE:	REVISION:
02-24-16	BDAB SUBMISSION

SHEET NAME:
 OVERALL STREET ELEVATIONS

SHEET NUMBER:
A-4.04



DEVELOPER:
ARMORY LAND INVESTORS, LLC

ARCHITECT:
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CONSULTANT:

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BDAB SUBMISSION
ARMORY COMMUNITY
BOULDER, COLORADO

DATE:	REVISION:
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SHEET NAME:
OVERALL STREET ELEVATIONS

SHEET NUMBER:
A-4.05



BUILDING T

TOWNHOUSE U

6 EAST ELEVATION - BUILDING T & TOWNHOUSE U
3/32" = 1'-0" BLOCK 4 - 14TH ST. STREETSCAPE

- O1 - MAX ALLOWABLE HEIGHT
EL = 5581.1
- O2 - MAX ALLOWABLE HEIGHT
EL = 5580.7
- O3 - MAX ALLOWABLE HEIGHT
EL = 5580.1
- O4 - MAX ALLOWABLE HEIGHT
EL = 5579.2



TOWNHOUSE V

TOWNHOUSE O

7 EAST ELEVATION - TOWNHOUSES V & O
3/32" = 1'-0" BLOCKS 3 & 4 - 14TH ST. STREETSCAPE

EXISTING ADJACENT WAREHOUSE



TOWNHOUSE P

8 EAST ELEVATION - TOWNHOUSE P
3/32" = 1'-0" BLOCK 3 - 14TH ST. STREETSCAPE

MASTER MATERIAL LIST

- | | |
|-------------------------------------|-------------------------------|
| A1 - NEW VINYL DOOR/WINDOW ASSEMBLY | A16 - FABRIC AWNING |
| A2 - NEW VINYL WINDOW ASSEMBLY | A17 - METAL CLAD WINDOWS |
| A3 - STANDING SEAM METAL ROOF | A18 - METAL CLAD FRENCH DOORS |
| A4 - COMPOSITE SIDING | |
| A5 - COMPOSITE PANEL SYSTEM | |
| A6 - DECK WITH METAL RAILING | |
| A7 - DECK WITH GLASS RAILING | |
| A8 - ALUMINUM STOREFRONT | |
| A9 - METAL FASCIA PANEL | |
| A10 - STOREFRONT SYSTEM | |
| A11 - PREFINISHED METAL COPING | |
| A12 - PAINTED STEEL CHANNEL | |
| A13 - STUCCO | |
| A14 - MASONRY | |
| A15 - METAL SCREEN OVER STUCCO | |



DEVELOPER:
ARMORY LAND INVESTORS, LLC

ARCHITECT:
THE MULHERN GROUP, LTD.
ARCHITECTURE • PLANNING • INTERIORS

CONSULTANT:

LUR2015-00012
 BDAB SUBMISSION
ARMORY COMMUNITY
 BOULDER, COLORADO



BUILDING H

BUILDING I

9 SOUTH ELEVATION - BUILDINGS H & I
9/32" = 1'-0" BLOCK 2



BUILDING S

BUILDING T

TOWNHOUSE U - BEYOND

10 SOUTH ELEVATION - BUILDINGS S & T; TOWNHOUSE U BEYOND
9/32" = 1'-0" BLOCK 4

MASTER MATERIAL LIST	
A1 - NEW VINYL DOOR/WINDOW ASSEMBLY	A16 - FABRIC AWNING
A2 - NEW VINYL WINDOW ASSEMBLY	A17 - METAL CLAD WINDOWS
A3 - STANDING SEAM METAL ROOF	A18 - METAL CLAD FRENCH DOORS
A4 - COMPOSITE SIDING	
A5 - COMPOSITE PANEL SYSTEM	
A6 - DECK WITH METAL RAILING	
A7 - DECK WITH GLASS RAILING	
A8 - ALUMINUM STOREFRONT	
A9 - METAL FASCIA PANEL	
A10 - STOREFRONT SYSTEM	
A11 - PREFINISHED METAL COPING	
A12 - PAINTED STEEL CHANNEL	
A13 - STUCCO	
A14 - MASONRY	
A15 - METAL SCREEN OVER STUCCO	

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02-24-16	BDAB SUBMISSION

SHEET NAME:
OVERALL STREET ELEVATIONS

SHEET NUMBER:

A-4.06



DEVELOPER:

ARMORY LAND INVESTORS, LLC

ARCHITECT:

THE MULHERN GROUP, LTD.
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CONSULTANT:



11 EAST ELEVATION - BUILDINGS I ; J & K
3/32" = 1'-0"
BLOCK 2



12 EAST ELEVATION - BUILDINGS D & E
3/32" = 1'-0"
BLOCK 1

MASTER MATERIAL LIST	
A1 - NEW VINYL DOOR/WINDOW ASSEMBLY	A16 - FABRIC AWNING
A2 - NEW VINYL WINDOW ASSEMBLY	A17 - METAL CLAD WINDOWS
A3 - STANDING SEAM METAL ROOF	A18 - METAL CLAD FRENCH DOORS
A4 - COMPOSITE SIDING	
A5 - COMPOSITE PANEL SYSTEM	
A6 - DECK WITH METAL RAILING	
A7 - DECK WITH GLASS RAILING	
A8 - ALUMINUM STOREFRONT	
A9 - METAL FASCIA PANEL	
A10 - STOREFRONT SYSTEM	
A11 - PREFINISHED METAL COPING	
A12 - PAINTED STEEL CHANNEL	
A13 - STUCCO	
A14 - MASONRY	
A15 - METAL SCREEN OVER STUCCO	

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ARMORY COMMUNITY
BOULDER, COLORADO

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02-24-16	BDAB SUBMISSION

SHEET NAME:
OVERALL STREET ELEVATIONS

SHEET NUMBER:

A-4.07

- V1 - MAX ALLOWABLE HEIGHT
EL = 5578.6
- V2 - MAX ALLOWABLE HEIGHT
EL = 5578.3
- V3 - MAX ALLOWABLE HEIGHT
EL = 5577.6
- V4 - MAX ALLOWABLE HEIGHT
EL = 5577.3
- V5 - MAX ALLOWABLE HEIGHT
EL = 5575.9



TOWNHOUSE V

BUILDING Q

BUILDING R
BEYOND

13 NORTH ELEVATION - TOWNHOUSE V & BUILDING Q
3/32" = 1'-0" BLOCK 4



BUILDING K

BUILDING G

14 NORTH ELEVATION - BUILDINGS K & G
3/32" = 1'-0" BLOCK 2

MASTER MATERIAL LIST

- | | |
|-------------------------------------|-------------------------------|
| A1 - NEW VINYL DOOR/WINDOW ASSEMBLY | A16 - FABRIC AWNING |
| A2 - NEW VINYL WINDOW ASSEMBLY | A17 - METAL CLAD WINDOWS |
| A3 - STANDING SEAM METAL ROOF | A18 - METAL CLAD FRENCH DOORS |
| A4 - COMPOSITE SIDING | |
| A5 - COMPOSITE PANEL SYSTEM | |
| A6 - DECK WITH METAL RAILING | |
| A7 - DECK WITH GLASS RAILING | |
| A8 - ALUMINUM STOREFRONT | |
| A9 - METAL FASCIA PANEL | |
| A10 - STOREFRONT SYSTEM | |
| A11 - PREFINISHED METAL COPING | |
| A12 - PAINTED STEEL CHANNEL | |
| A13 - STUCCO | |
| A14 - MASONRY | |
| A15 - METAL SCREEN OVER STUCCO | |



DEVELOPER:

ARMORY LAND INVESTORS, LLC

ARCHITECT:

THE MULHERN GROUP, LTD.
ARCHITECTURE • PLANNING • INTERIORS

CONSULTANT:

LUR2015-00012

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BOULDER, COLORADO

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SHEET NAME:
OVERALL STREET ELEVATIONS

SHEET NUMBER:

A-4.08



DEVELOPER:

ARMORY LAND INVESTORS, LLC

ARCHITECT:

THE MULHERN GROUP, LTD.
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CONSULTANT:



15 SOUTH ELEVATION - BUILDINGS C & D
3/32" = 1'-0"
BLOCK 1 - ZAMIA STREETSCAPE



16 SOUTH ELEVATION - BUILDINGS M, N, & O
3/32" = 1'-0"
BLOCK 3 - ZAMIA STREETSCAPE

MASTER MATERIAL LIST

- | | |
|-------------------------------------|---------------------|
| A1 - NEW VINYL DOOR/WINDOW ASSEMBLY | A16 - FABRIC AWNING |
| A2 - NEW VINYL WINDOW ASSEMBLY | A17 - TBD. |
| A3 - STANDING SEAM METAL ROOF | A18 - TBD. |
| A4 - COMPOSITE SIDING | |
| A5 - COMPOSITE PANEL SYSTEM | |
| A6 - DECK WITH METAL RAILING | |
| A7 - DECK WITH GLASS RAILING | |
| A8 - ALUMINUM STOREFRONT | |
| A9 - METAL FASCIA PANEL | |
| A10 - STOREFRONT SYSTEM | |
| A11 - PREFINISHED METAL COPING | |
| A12 - PAINTED STEEL CHANNEL | |
| A13 - STUCCO | |
| A14 - MASONRY | |
| A15 - METAL SCREEN OVER STUCCO | |

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BOULDER, COLORADO

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OVERALL STREET ELEVATIONS

SHEET NUMBER:

A-4.09



DEVELOPER:

ARMORY LAND INVESTORS, LLC

ARCHITECT:

THE MULHERN GROUP, LTD.
ARCHITECTURE • PLANNING • INTERIORS

CONSULTANT:



BUILDING L

BUILDING M

15 WEST ELEVATION - BUILDINGS L & M

3/32" = 1'-0" BLOCK 3 - 13TH STREETSCAPE



BUILDING Q

BUILDING R

16 WEST ELEVATION - BUILDINGS Q & R

3/32" = 1'-0" BLOCK 4 - 13TH STREETSCAPE



BUILDING S

16 SOUTH ELEVATION - BUILDINGS S

3/32" = 1'-0" BLOCK 4 - 13TH STREETSCAPE

MASTER MATERIAL LIST	
A1 - NEW VINYL DOOR/WINDOW ASSEMBLY	A16 - FABRIC AWNING
A2 - NEW VINYL WINDOW ASSEMBLY	A17 - TBD.
A3 - STANDING SEAM METAL ROOF	A18 - TBD.
A4 - COMPOSITE SIDING (Fiber cement??)	
A5 - COMPOSITE PANEL SYSTEM	
A6 - DECK WITH METAL RAILING	
A7 - DECK WITH GLASS RAILING	
A8 - ALUMINUM STOREFRONT	
A9 - METAL FASCIA PANEL???	
A10 - STOREFRONT SYSTEM	
A11 - PREFINISHED METAL COPING	
A12 - PAINTED STEEL CHANNEL	
A13 - STUCCO	
A14 - MASONRY	
A15 - METAL SCREEN OVER STUCCO???	

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BOULDER, COLORADO

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OVERALL STREET ELEVATIONS

SHEET NUMBER:

A-4.10



DEVELOPER:
ARMORY LAND INVESTORS, LLC

ARCHITECT:
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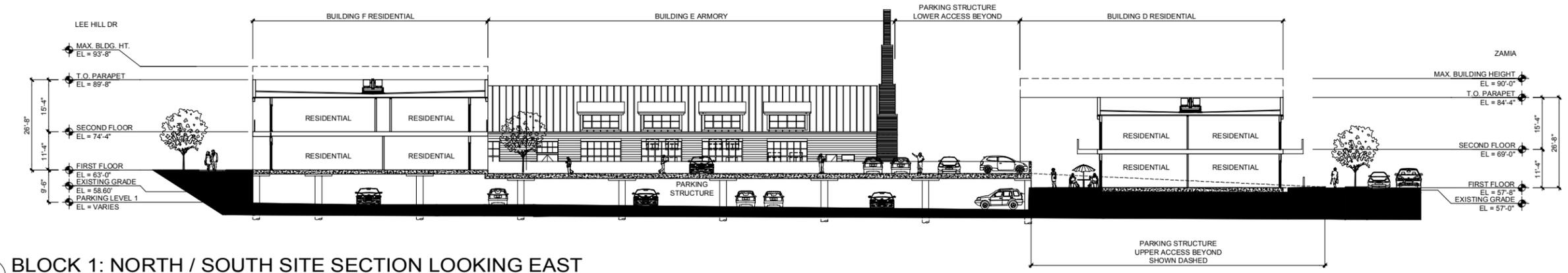
CONSULTANT:

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ARMORY COMMUNITY
BOULDER, COLORADO

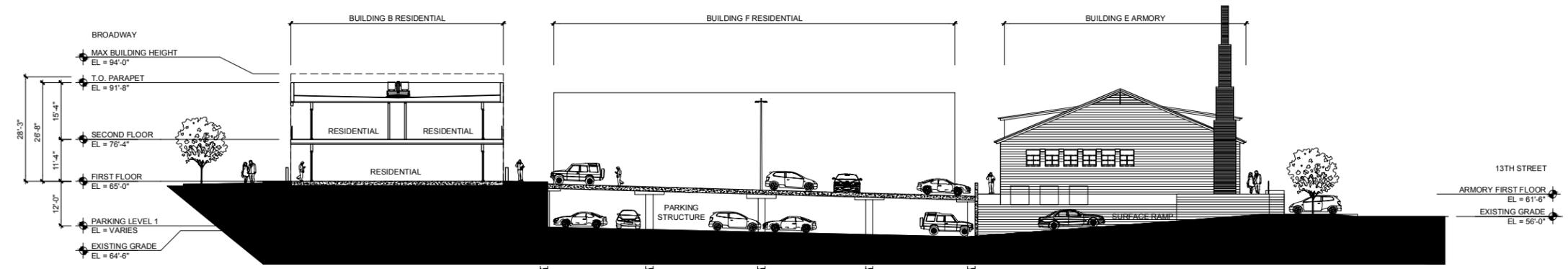
DATE:	REVISION:
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SHEET NAME:
SITE SECTIONS

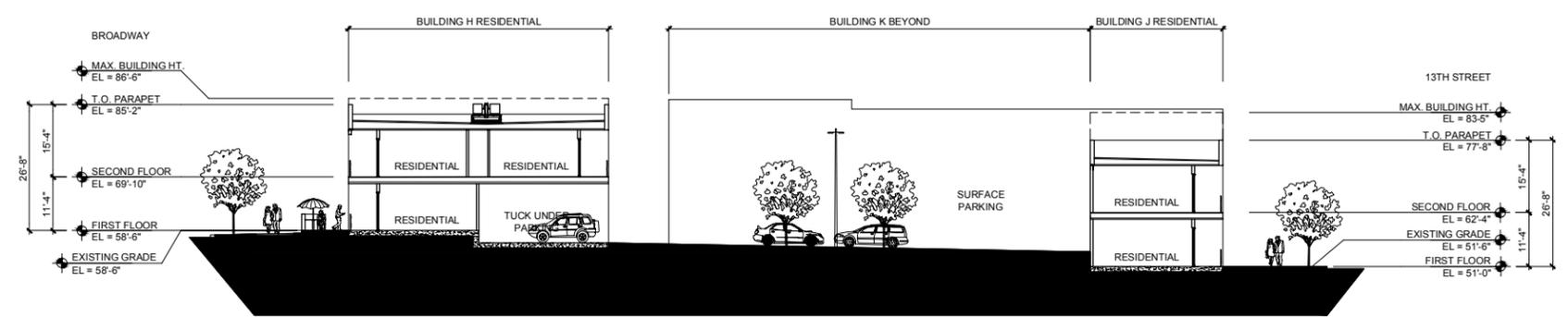
SHEET NUMBER:
A-4.11



1 BLOCK 1: NORTH / SOUTH SITE SECTION LOOKING EAST
1/16" = 1'-0"



2 BLOCK 1: EAST / WEST SITE SECTION LOOKING NORTH
1/16" = 1'-0"



3 BLOCK 2: EAST / WEST SITE SECTION LOOKING NORTH
1/16" = 1'-0"



2 VIEW FROM CORNER OF BROADWAY AND ZAMIA LOOKING NORTHEAST TOWARD BLOCK 1 MIXED-USE
3/32" = 1'-0"



1 VIEW FROM BROADWAY AND LEE HILL
3/32" = 1'-0"



DEVELOPER:
 ARMORY LAND INVESTORS, LLC

ARCHITECT:
 THE MULHERN GROUP, LTD.
 ARCHITECTURE • PLANNING • INTERIORS

CONSULTANT:

LUR2015-00012
 BDAB SUBMISSION
ARMORY COMMUNITY
 BOULDER, COLORADO

DATE:	REVISION:
02-24-16	BDAB SUBMISSION

SHEET NAME:
 SITE RENDERINGS

SHEET NUMBER:
A-4.12



2 VIEW FROM ZAMIA AVENUE LOOKING SOUTHWEST TOWARD BLOCK 3 & 4 PUBLIC SPACE WITH BLOCK 2 IN THE BACKGROUND



1 VIEW FROM ZAMIA AVENUE LOOKING NORTHEAST TOWARD BLOCK 3 & 4 PUBLIC SPACE



DEVELOPER:
ARMORY LAND INVESTORS, LLC

ARCHITECT:
THE MULHERN GROUP, LTD.
ARCHITECTURE • PLANNING • INTERIORS

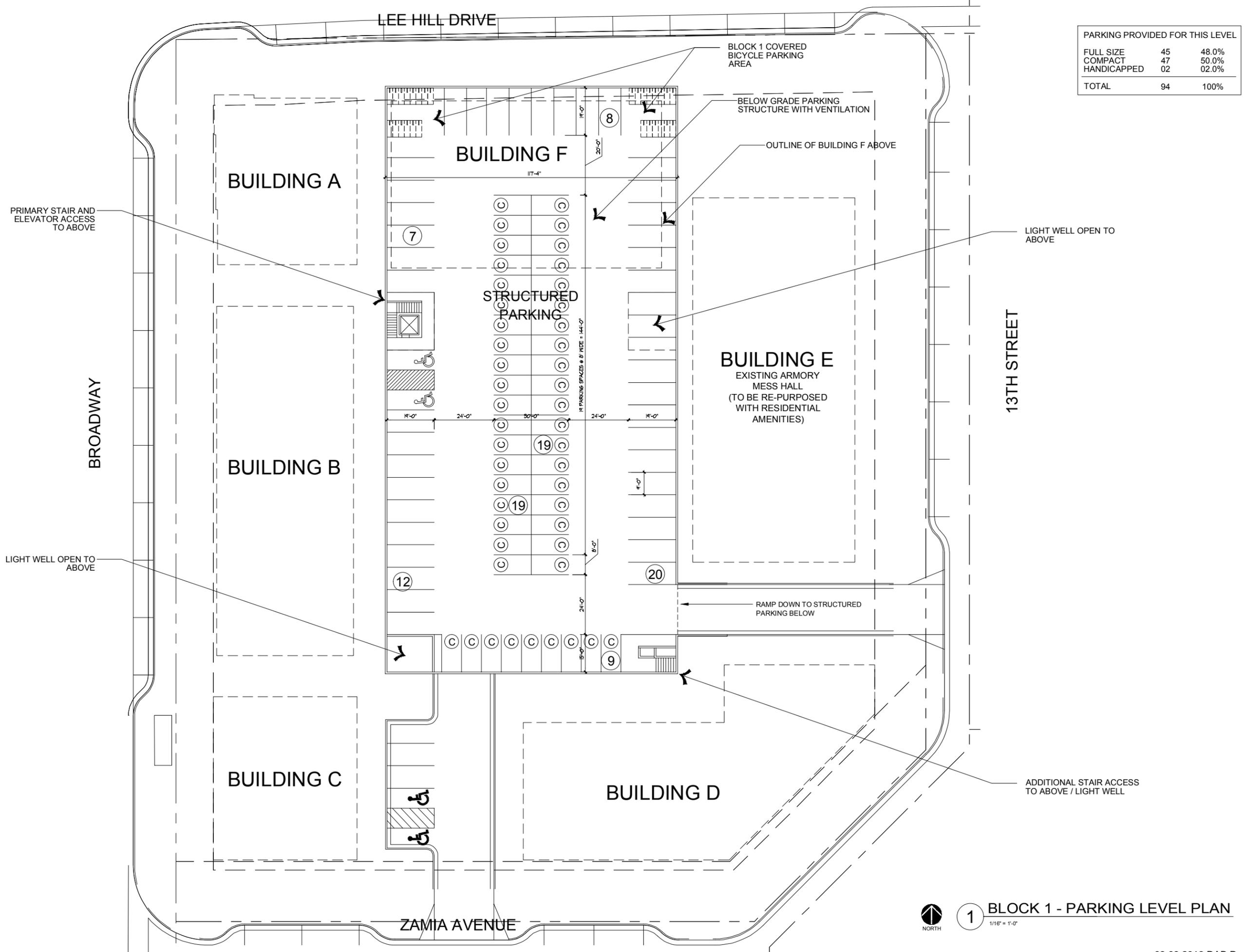
CONSULTANT:

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BDAB SUBMISSION
ARMORY COMMUNITY
BOULDER, COLORADO

DATE:	REVISION:
02-24-16	BDAB SUBMISSION

SHEET NAME:
SITE RENDERINGS

SHEET NUMBER:
A-4.13



PARKING PROVIDED FOR THIS LEVEL		
FULL SIZE	45	48.0%
COMPACT	47	50.0%
HANDICAPPED	02	02.0%
TOTAL	94	100%



DEVELOPER:
ARMORY LAND INVESTORS, LLC

ARCHITECT:
THE MULHERN GROUP, LTD.
ARCHITECTURE • PLANNING • INTERIORS

CONSULTANT:

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ARMORY COMMUNITY
BOULDER, COLORADO

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SHEET NAME:
PARKING LEVEL PLAN
BLOCK 1

SHEET NUMBER:

A-5.01



1

BLOCK 1 - PARKING LEVEL PLAN
1/16" = 1'-0"

BUILDINGS A AND C ARE MIXED-USE BUILDINGS WITH RETAIL/RESTAURANT AT THE LOWER LEVEL AND RESIDENTIAL UNITS ABOVE

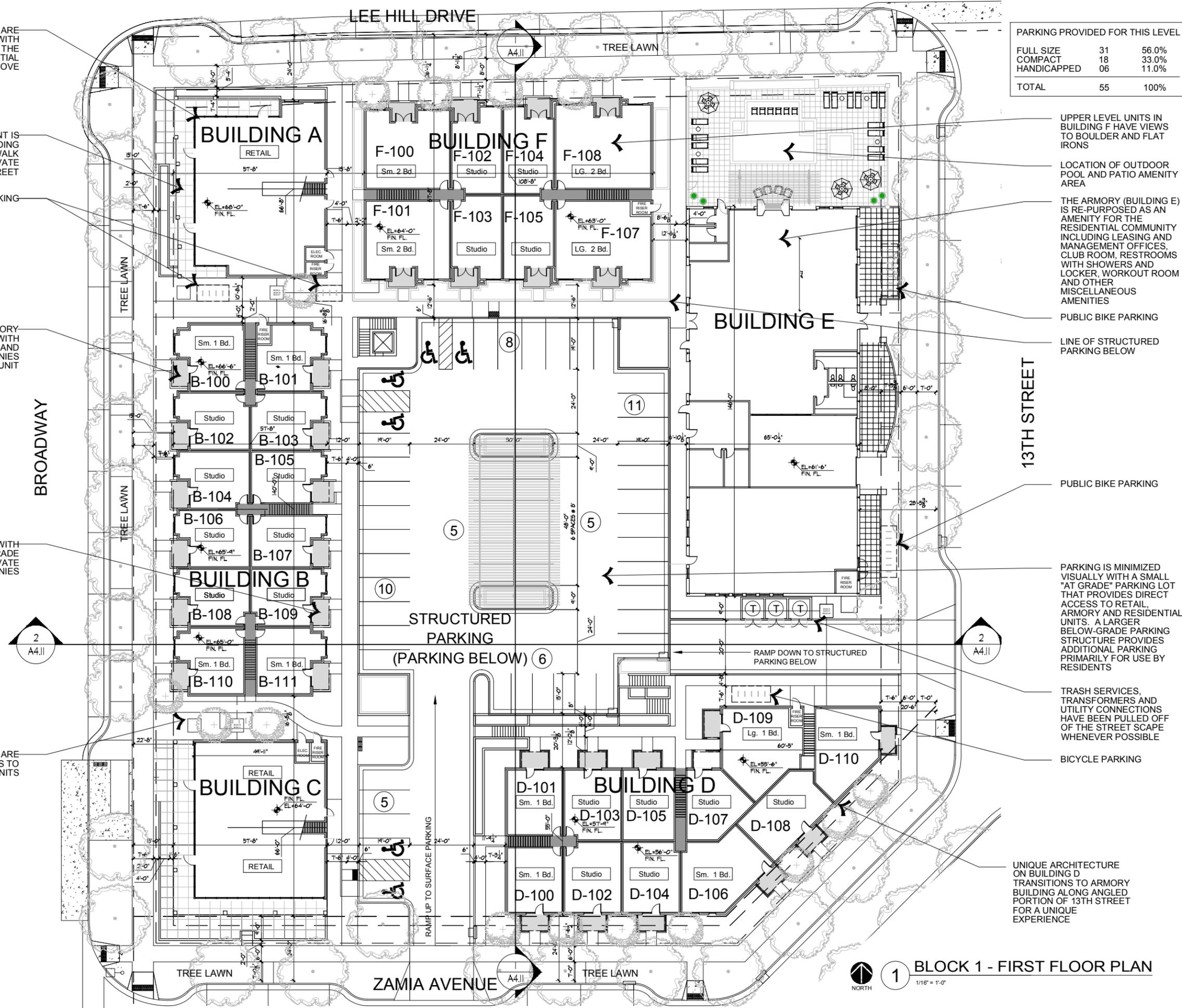
BUILDING A STOREFRONT IS RECESSED FROM BUILDING FRONT TO PRODE SIDEWALK OUTDOOR PATIOS TO ACTIVATE THE STREET

PUBLIC BIKE PARKING

BUILDING B IS A TWO STORY RESIDENTIAL BUILDING WITH ENTRANCES ON THE STREET AND PRIVATE PATIOS AND BALCONIES FOR EACH UNIT

FOUR-SIDED ARCHITECTURE WITH INTERIOR FACING AT-GRADE ENTRANCES WITH PRIVATE PATIOS AND BALCONIES

PEDESTRIAN PASEOS ARE ACTIVATED WITH ENTRANCES TO UPPER LEVEL RESIDENTIAL UNITS



PARKING PROVIDED FOR THIS LEVEL

FULL SIZE	31	56.0%
COMPACT	18	33.0%
HANDICAPPED	06	11.0%
TOTAL	55	100%

UPPER LEVEL UNITS IN BUILDING F HAVE VIEWS TO BOULDER AND FLAT IRONS

LOCATION OF OUTDOOR POOL AND PATIO AMENITY AREA

THE ARMORY (BUILDING E) IS RE-PURPOSED AS AN AMENITY FOR THE RESIDENTIAL COMMUNITY INCLUDING LEASING AND MANAGEMENT OFFICES, CLUB ROOM, RESTROOMS WITH SHOWERS AND LOCKER, WORKOUT ROOM AND OTHER MISCELLANEOUS AMENITIES

PUBLIC BIKE PARKING

LINE OF STRUCTURED PARKING BELOW

PUBLIC BIKE PARKING

PARKING IS MINIMIZED VISUALLY WITH A SMALL "AT GRADE" PARKING LOT THAT PROVIDES DIRECT ACCESS TO RETAIL, ARMORY AND RESIDENTIAL UNITS. A LARGER BELOW-GRADE PARKING STRUCTURE PROVIDES ADDITIONAL PARKING PRIMARILY FOR USE BY RESIDENTS

TRASH SERVICES, TRANSFORMERS AND UTILITY CONNECTIONS HAVE BEEN PULLED OFF OF THE STREET SCAPE WHENEVER POSSIBLE

BICYCLE PARKING

UNIQUE ARCHITECTURE ON BUILDING D TRANSITIONS TO ARMORY BUILDING ALONG ANGLED PORTION OF 13TH STREET FOR A UNIQUE EXPERIENCE



DEVELOPER:
ARMORY LAND INVESTORS, LLC

ARCHITECT:
THE MULHERN GROUP, LTD.
ARCHITECTURE • PLANNING • INTERIORS

CONSULTANT:

LUR2015-00012
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BOULDER, COLORADO

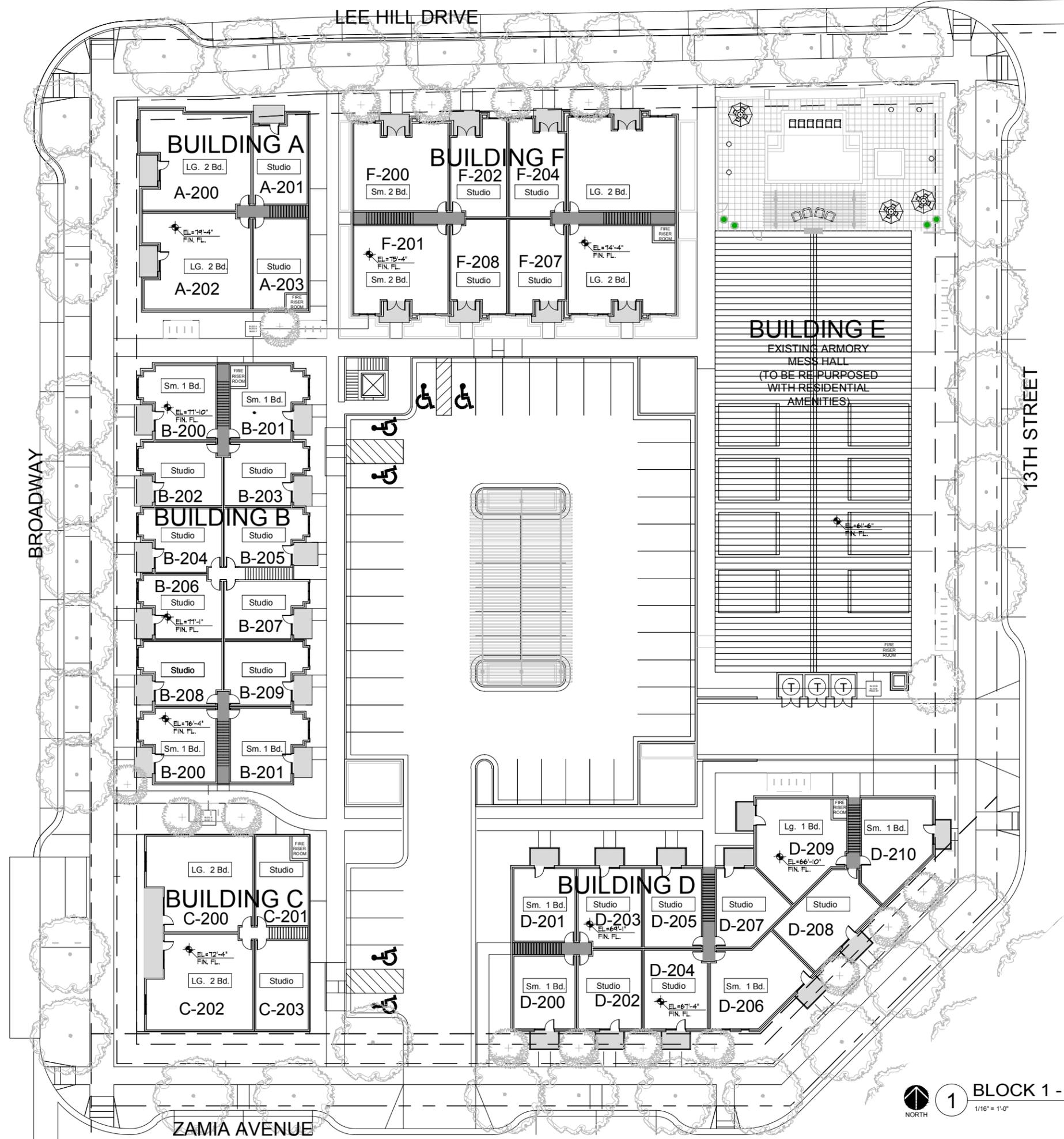
DATE:	REVISION:
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SHEET NAME:
FIRST FLOOR PLAN
BLOCK 1

SHEET NUMBER:

A-5.02

1 BLOCK 1 - FIRST FLOOR PLAN
1/16" = 1'-0"



DEVELOPER:
ARMORY LAND INVESTORS, LLC

ARCHITECT:
THE MULHERN GROUP, LTD.
ARCHITECTURE • PLANNING • INTERIORS

CONSULTANT:

LUR2015-00012

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ARMORY COMMUNITY
BOULDER, COLORADO

DATE:	REVISION:
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SHEET NAME:
SECOND FLOOR PLAN
BLOCK 1

SHEET NUMBER:

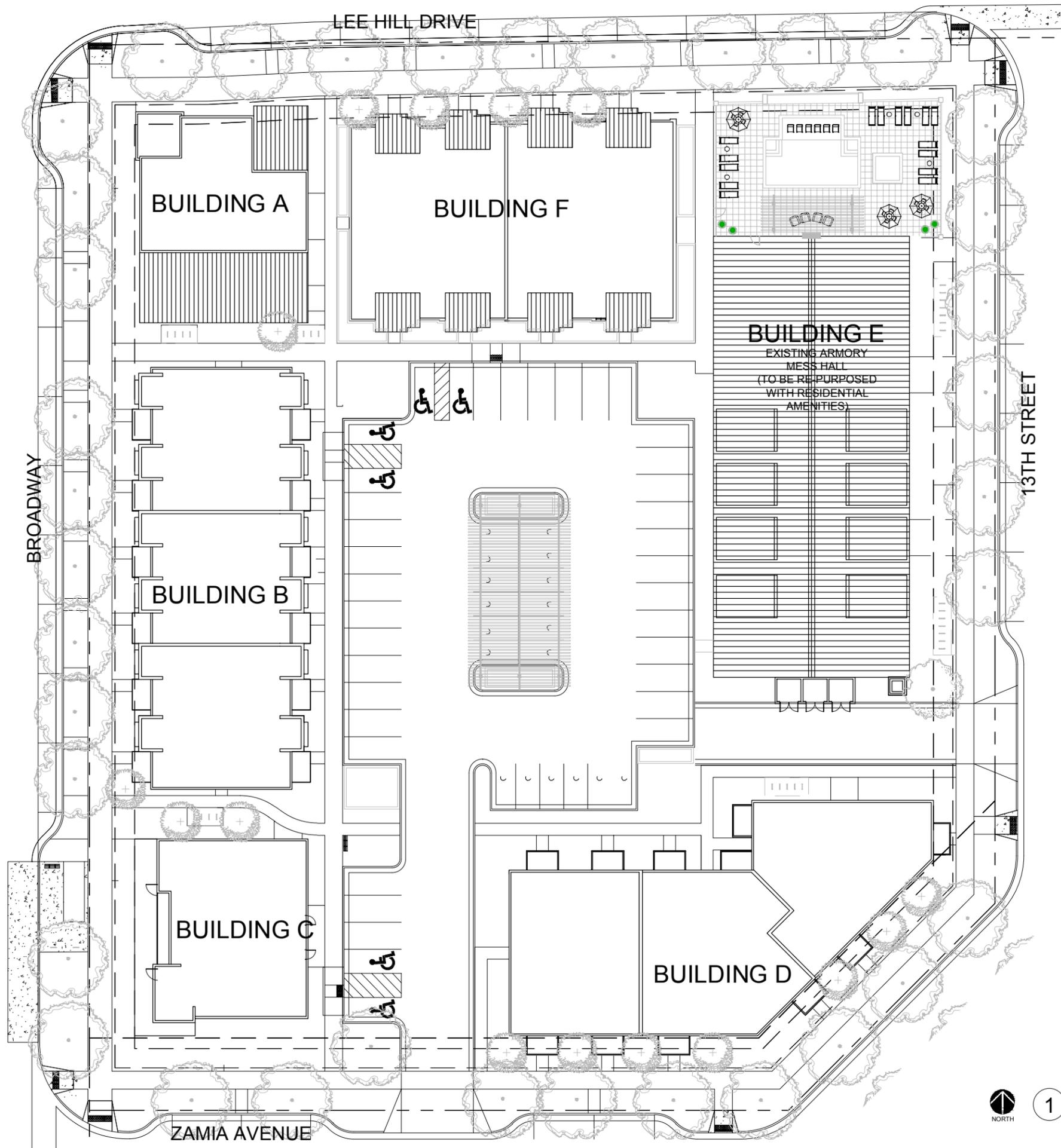
A-5.03



1

BLOCK 1 - SECOND FLOOR PLAN

1/16" = 1'-0"



DEVELOPER:
ARMORY LAND INVESTORS, LLC

ARCHITECT:
THE MULHERN GROUP, LTD.
ARCHITECTURE • PLANNING • INTERIORS

CONSULTANT:

LUR2015-00012
BDAB SUBMISSION
ARMORY COMMUNITY
BOULDER, COLORADO

DATE:	REVISION:
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SHEET NAME:
ROOF PLAN
BLOCK 1

SHEET NUMBER:
A-5.04



1 BLOCK 1 - ROOF PLAN
1/16" = 1'-0"



DEVELOPER:
ARMORY LAND INVESTORS, LLC

ARCHITECT:
THE MULHERN GROUP, LTD.
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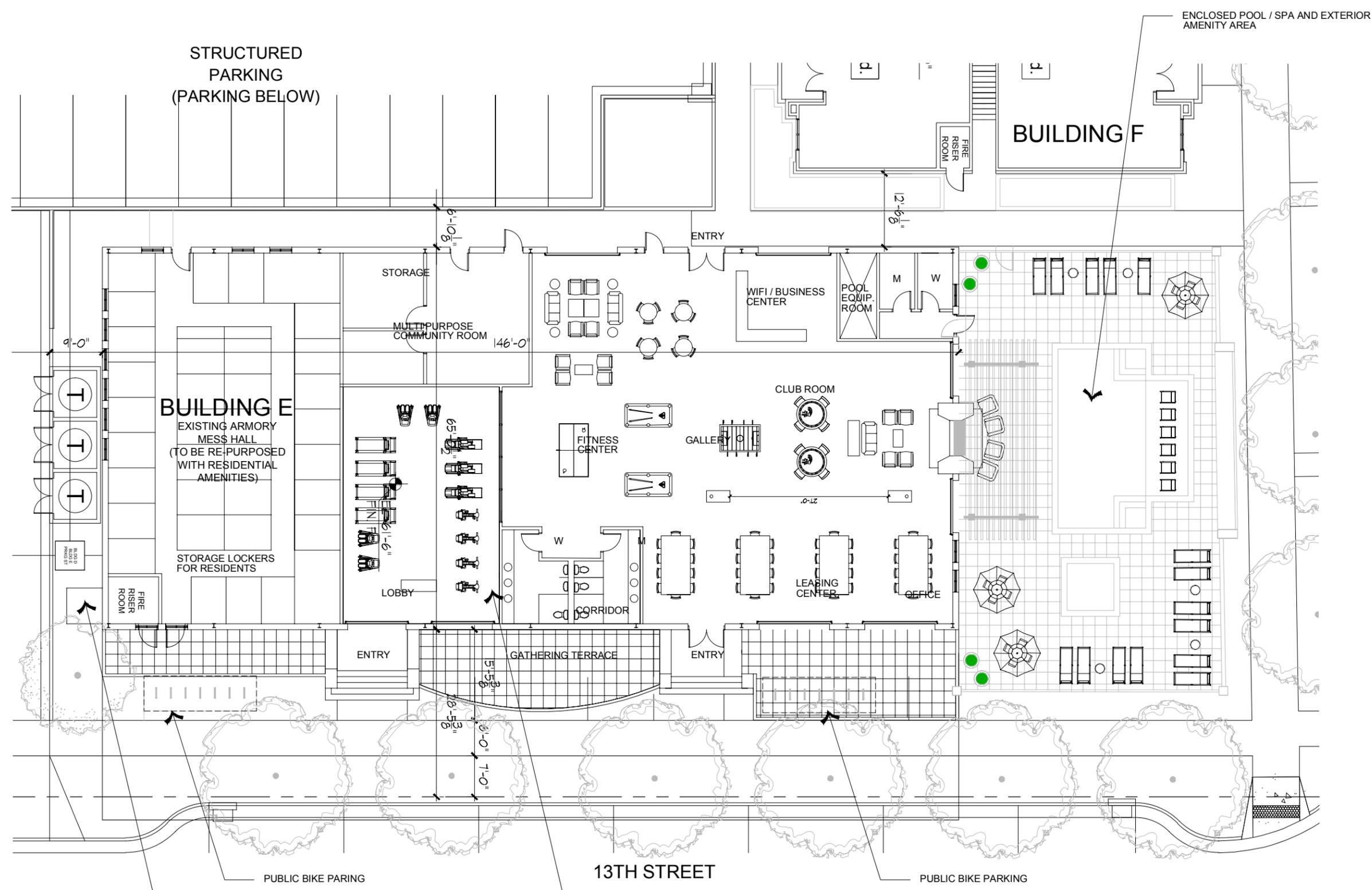
CONSULTANT:

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BDAB SUBMISSION
ARMORY COMMUNITY
BOULDER, COLORADO

DATE:	REVISION:
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SHEET NAME:
ARMORY BUILDING E
FIRST FLOOR PLAN
BLOCK 1

SHEET NUMBER:
A-5.05



THE EXISTING ARMORY BUILDING IS OF HISTORIC VALUE AND AS SUCH IS BEING RETAINED. THE BUILDING IS BEING RE-PURPOSED AS A SHARED AMENITY FOR THE COMMUNITY AND RESIDENTS. ALL OTHER NON-HISTORIC COMPONENTS SURROUND THE BUILDING ARE BEING REMOVED



1
1/8" = 1'-0"

BLOCK 1 - ARMORY BUILDING E FIRST FLOOR PLAN



DEVELOPER:

ARMORY LAND INVESTORS, LLC

ARCHITECT:

THE MULHERN GROUP, LTD.
ARCHITECTURE • PLANNING • INTERIORS

CONSULTANT:



WEST ELEVATION BROADWAY



NORTH ELEVATION LEE HILL DRIVE

4 BLOCK 1 - BUILDING A ELEVATIONS
1/16" = 1'-0"



EAST ELEVATION INTERIOR



WEST ELEVATION BROADWAY

3 BLOCK 1 - BUILDING B ELEVATIONS
1/16" = 1'-0"



EAST ELEVATION INTERIOR



SOUTH ELEVATION ZAMIA



WEST ELEVATION BROADWAY

2 BLOCK 1 - BUILDING C ELEVATIONS
1/16" = 1'-0"



EAST ELEVATION 13TH



SOUTH ELEVATION ZAMIA

1 BLOCK 1 - BUILDING D ELEVATIONS
1/16" = 1'-0"

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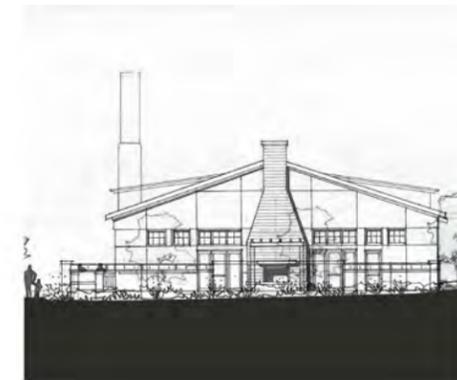
DATE:	REVISION:
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SHEET NAME:
ELEVATIONS
BLOCK 1

SHEET NUMBER:
A-5.06



EAST ELEVATION 13TH STREET



NORTH ELEVATION LEE HILL DRIVE

2 BLOCK 1 - BUILDING E ELEVATIONS
1/16" = 1'-0"



NORTH ELEVATION LEE HILL DRIVE

1 BLOCK 1 - BUILDING F ELEVATIONS
1/16" = 1'-0"



DEVELOPER:

ARMORY LAND INVESTORS, LLC

ARCHITECT:

THE MULHERN GROUP, LTD.
ARCHITECTURE • PLANNING • INTERIORS

CONSULTANT:

LUR2015-00012

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SHEET NAME:

ELEVATIONS
BLOCK 1

SHEET NUMBER:

A-5.07



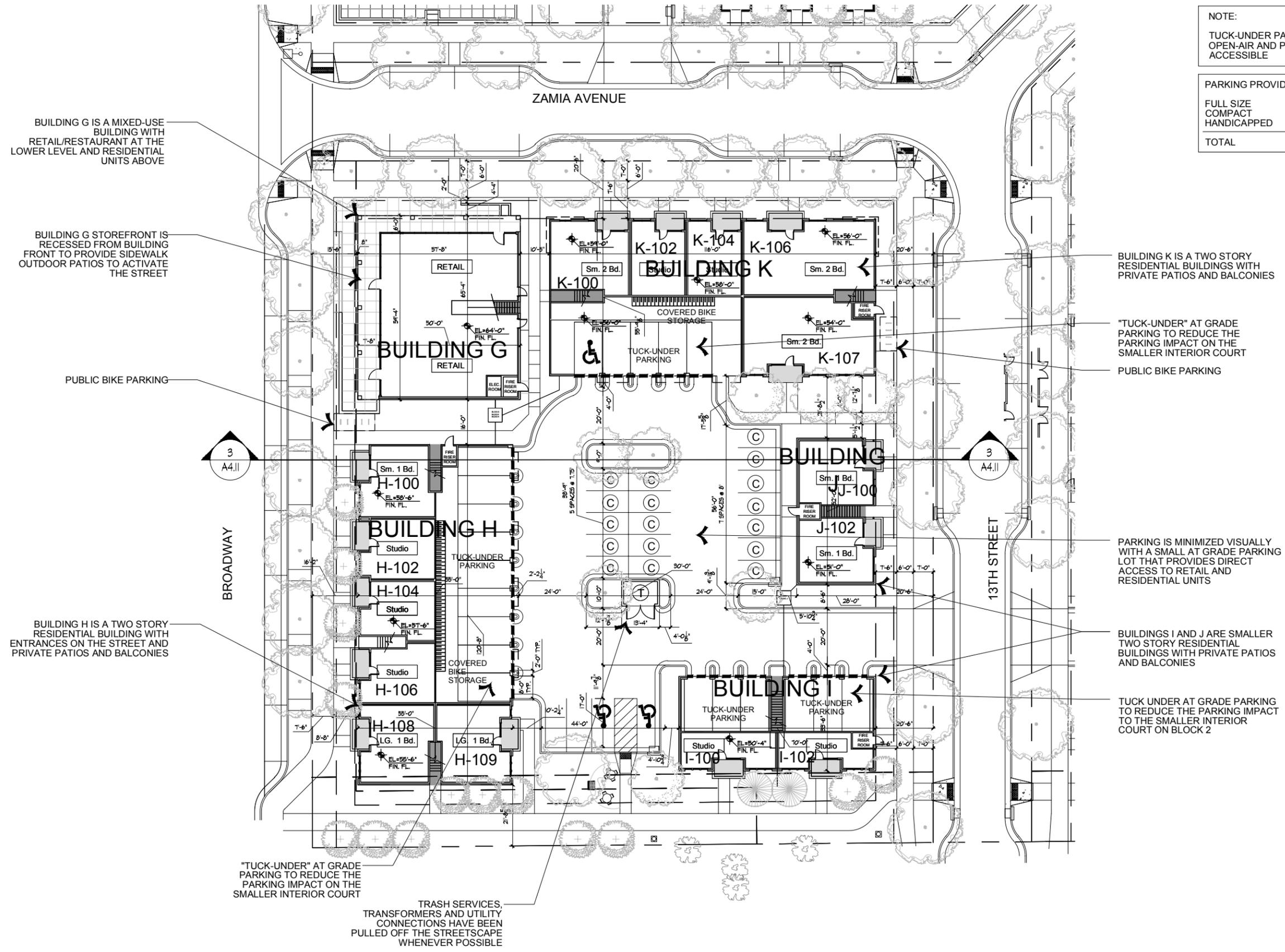
DEVELOPER:
ARMORY LAND INVESTORS, LLC

ARCHITECT:
THE MULHERN GROUP, LTD.
ARCHITECTURE • PLANNING • INTERIORS

CONSULTANT:

NOTE:
TUCK-UNDER PARKING IS OPEN-AIR AND PUBLICALLY ACCESSIBLE

PARKING PROVIDED FOR THIS LEVEL		
FULL SIZE	21	51.0%
COMPACT	17	42.0%
HANDICAPPED	03	07.0%
TOTAL	41	100%



BUILDING G IS A MIXED-USE BUILDING WITH RETAIL/RESTAURANT AT THE LOWER LEVEL AND RESIDENTIAL UNITS ABOVE

BUILDING G STOREFRONT IS RECESSED FROM BUILDING FRONT TO PROVIDE SIDEWALK OUTDOOR PATIOS TO ACTIVATE THE STREET

PUBLIC BIKE PARKING

BUILDING H IS A TWO STORY RESIDENTIAL BUILDING WITH ENTRANCES ON THE STREET AND PRIVATE PATIOS AND BALCONIES

BUILDING K IS A TWO STORY RESIDENTIAL BUILDINGS WITH PRIVATE PATIOS AND BALCONIES

"TUCK-UNDER" AT GRADE PARKING TO REDUCE THE PARKING IMPACT ON THE SMALLER INTERIOR COURT

PUBLIC BIKE PARKING

PARKING IS MINIMIZED VISUALLY WITH A SMALL AT GRADE PARKING LOT THAT PROVIDES DIRECT ACCESS TO RETAIL AND RESIDENTIAL UNITS

BUILDINGS I AND J ARE SMALLER TWO STORY RESIDENTIAL BUILDINGS WITH PRIVATE PATIOS AND BALCONIES

TUCK UNDER AT GRADE PARKING TO REDUCE THE PARKING IMPACT TO THE SMALLER INTERIOR COURT ON BLOCK 2

"TUCK-UNDER" AT GRADE PARKING TO REDUCE THE PARKING IMPACT ON THE SMALLER INTERIOR COURT

TRASH SERVICES, TRANSFORMERS AND UTILITY CONNECTIONS HAVE BEEN PULLED OFF THE STREETScape WHENEVER POSSIBLE

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SHEET NAME:
FIRST FLOOR PLAN
BLOCK 2

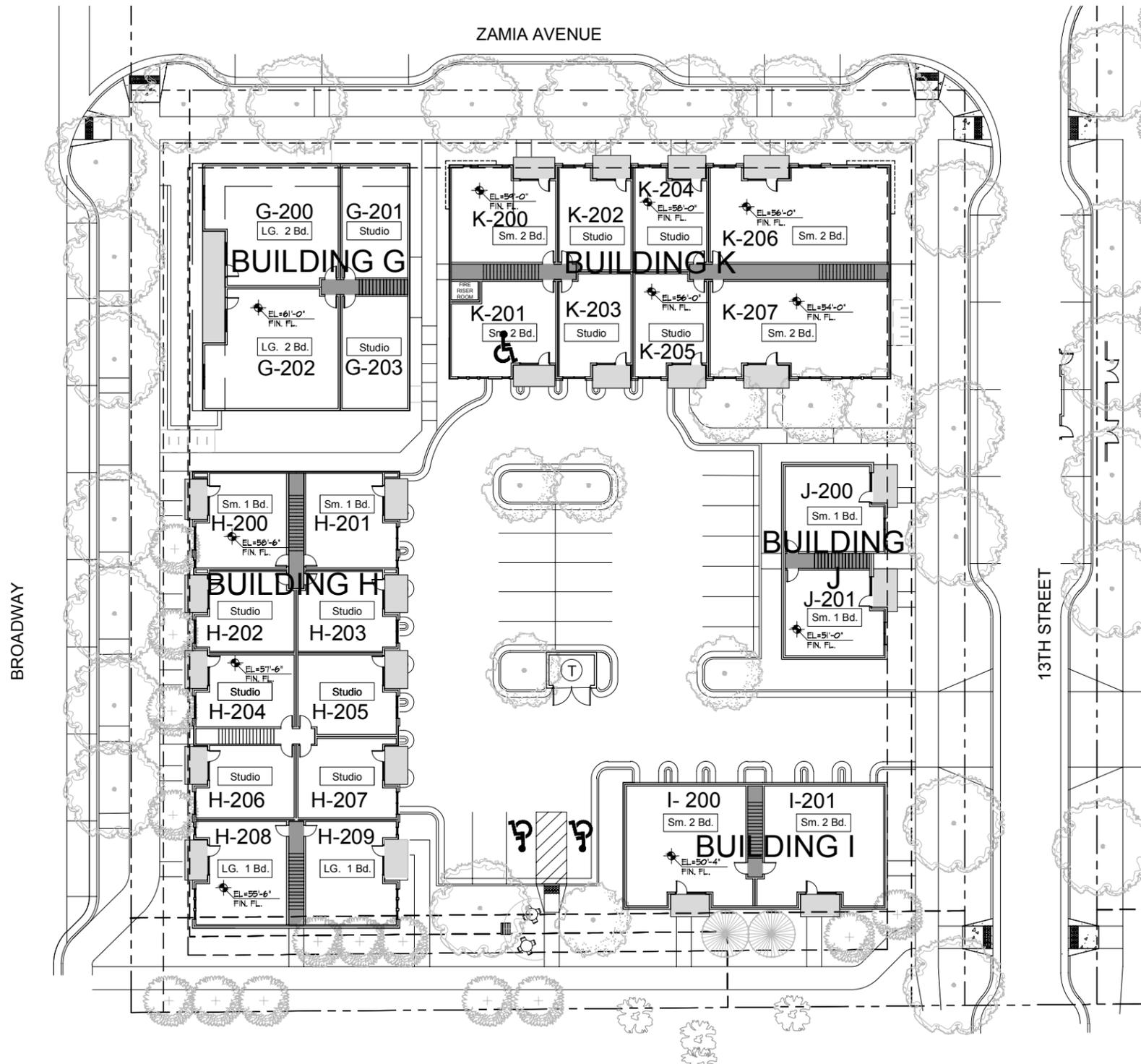
SHEET NUMBER:
A-5.08



DEVELOPER:
ARMORY LAND INVESTORS, LLC

ARCHITECT:
THE MULHERN GROUP, LTD.
ARCHITECTURE • PLANNING • INTERIORS

CONSULTANT:



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BOULDER, COLORADO

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SHEET NAME:
SECOND FLOOR PLAN
BLOCK 2

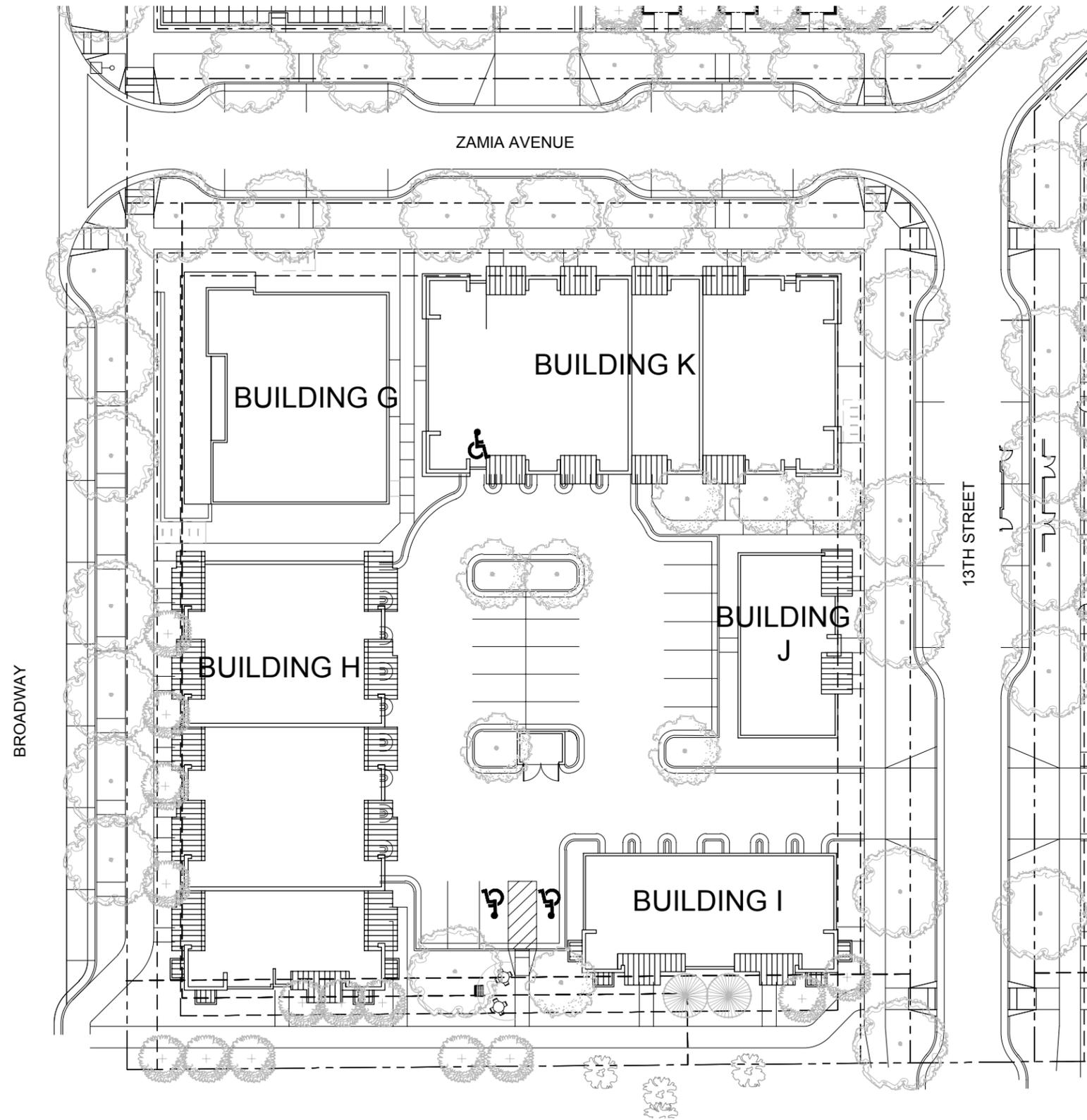
SHEET NUMBER:



1

BLOCK 2 - SECOND FLOOR PLAN
1/16" = 1'-0"

A-5.09



DEVELOPER:

ARMORY LAND INVESTORS, LLC

ARCHITECT:

THE MULHERN GROUP, LTD.
ARCHITECTURE • PLANNING • INTERIORS

CONSULTANT:

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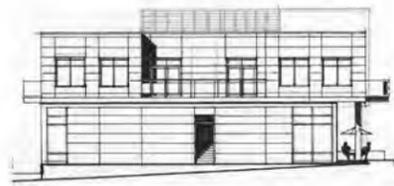
SHEET NAME:
ROOF PLAN
BLOCK 2

SHEET NUMBER:
A-5.10



1

BLOCK 2 - ROOF PLAN
1/16" = 1'-0"



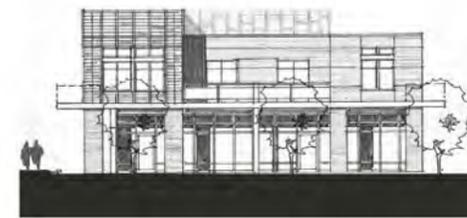
EAST ELEVATION INTERIOR



SOUTH ELEVATION INTERIOR



NORTH ELEVATION ZAMIA



WEST ELEVATION BROADWAY

4 BLOCK 2 - BUILDING G ELEVATIONS
1/16" = 1'-0"



EAST ELEVATION INTERIOR



WEST ELEVATION BROADWAY



SOUTH ELEVATION PROPERTY LINE

3 BLOCK 2 - BUILDING H ELEVATIONS
1/16" = 1'-0"



SOUTH ELEVATION PROPERTY LINE



EAST ELEVATION 13TH STREET

2 BLOCK 2 - BUILDING I ELEVATIONS
1/16" = 1'-0"



EAST ELEVATION 13TH STREET

1 BLOCK 2 - BUILDING J ELEVATIONS
1/16" = 1'-0"



DEVELOPER:
ARMORY LAND INVESTORS, LLC

ARCHITECT:
THE MULHERN GROUP, LTD.
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CONSULTANT:

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SHEET NAME:
ELEVATIONS
BLOCK 2

SHEET NUMBER:

A-5.11



SOUTH ELEVATION INTERIOR



EAST ELEVATION 13TH



NORTH ELEVATION ZAMIA

1 BLOCK 2 - BUILDING K ELEVATIONS
1/16" = 1'-0"



DEVELOPER:

ARMORY LAND INVESTORS, LLC

ARCHITECT:

THE MULHERN GROUP, LTD.
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CONSULTANT:

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SHEET NAME:

ELEVATIONS
BLOCK 2

SHEET NUMBER:

A-5.12

NOTE:
TUCK-UNDER PARKING IS OPEN-AIR AND PUBLICALLY ACCESSIBLE



DEVELOPER:
ARMORY LAND INVESTORS, LLC

ARCHITECT:
THE MULHERN GROUP, LTD.
ARCHITECTURE • PLANNING • INTERIORS

CONSULTANT:

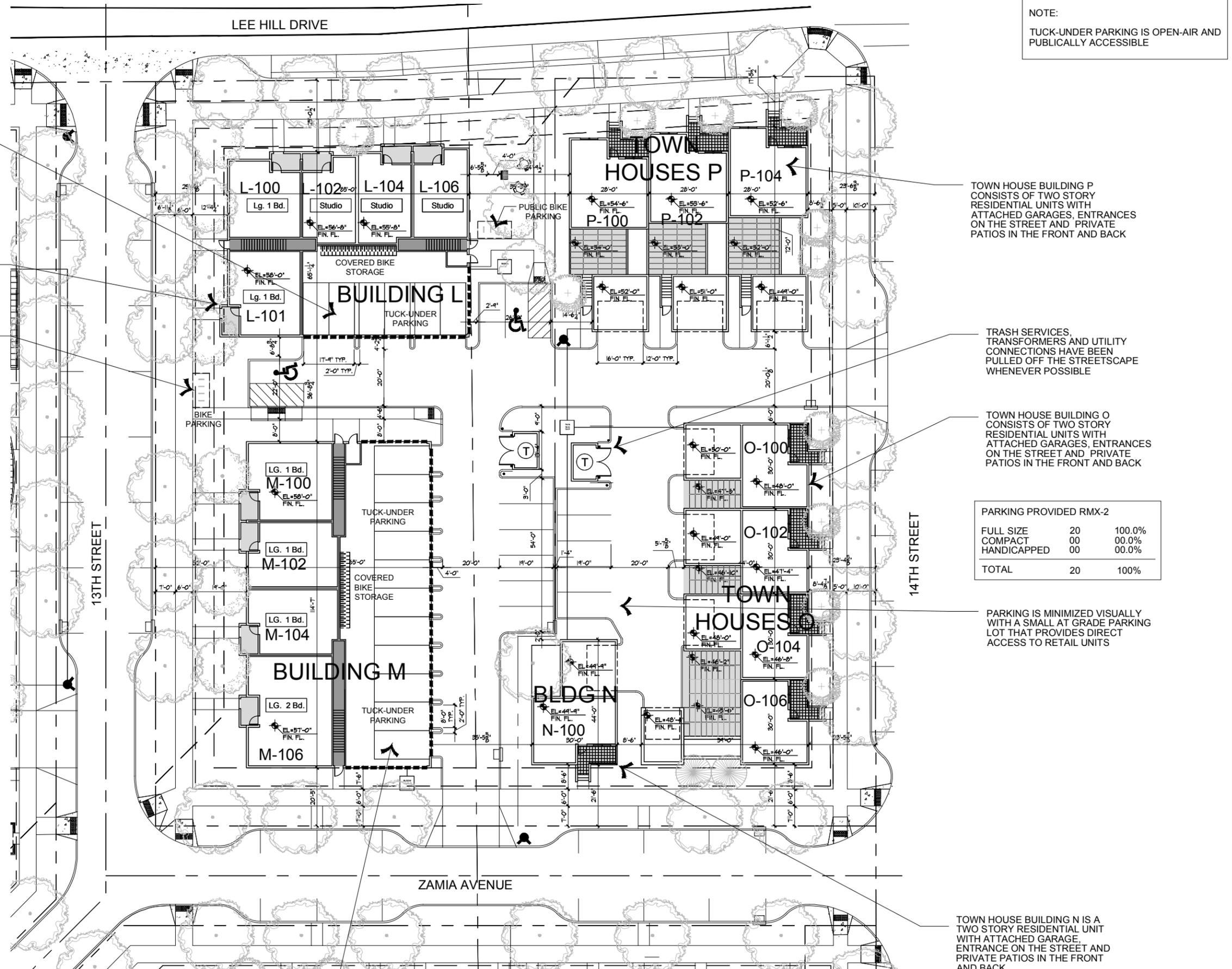
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ARMORY COMMUNITY
BOULDER, COLORADO

DATE: 02-24-16 REVISION: BDAB SUBMISSION

SHEET NAME:
FIRST FLOOR PLAN
BLOCK 3

SHEET NUMBER:

A-5.13



"TUCK-UNDER" AT GRADE PARKING TO REDUCE THE PARKING IMPACT ON THE SMALLER INTERIOR COURT

BUILDING L IS A TWO STORY RESIDENTIAL BUILDING WITH ENTRANCES ON THE STREET AND PRIVATE PATIOS AND BALCONIES

PUBLIC BIKE PAKING

TOWN HOUSE BUILDING P CONSISTS OF TWO STORY RESIDENTIAL UNITS WITH ATTACHED GARAGES, ENTRANCES ON THE STREET AND PRIVATE PATIOS IN THE FRONT AND BACK

TRASH SERVICES, TRANSFORMERS AND UTILITY CONNECTIONS HAVE BEEN PULLED OFF THE STREETScape WHENEVER POSSIBLE

TOWN HOUSE BUILDING O CONSISTS OF TWO STORY RESIDENTIAL UNITS WITH ATTACHED GARAGES, ENTRANCES ON THE STREET AND PRIVATE PATIOS IN THE FRONT AND BACK

PARKING IS MINIMIZED VISUALLY WITH A SMALL AT GRADE PARKING LOT THAT PROVIDES DIRECT ACCESS TO RETAIL UNITS

TOWN HOUSE BUILDING N IS A TWO STORY RESIDENTIAL UNIT WITH ATTACHED GARAGE, ENTRANCE ON THE STREET AND PRIVATE PATIOS IN THE FRONT AND BACK

PARKING PROVIDED MU-1		
FULL SIZE	24	92.0%
COMPACT	00	00.0%
HANDICAPPED	02	08.0%
TOTAL	26	100%

PARKING PROVIDED RMX-2		
FULL SIZE	20	100.0%
COMPACT	00	00.0%
HANDICAPPED	00	00.0%
TOTAL	20	100%

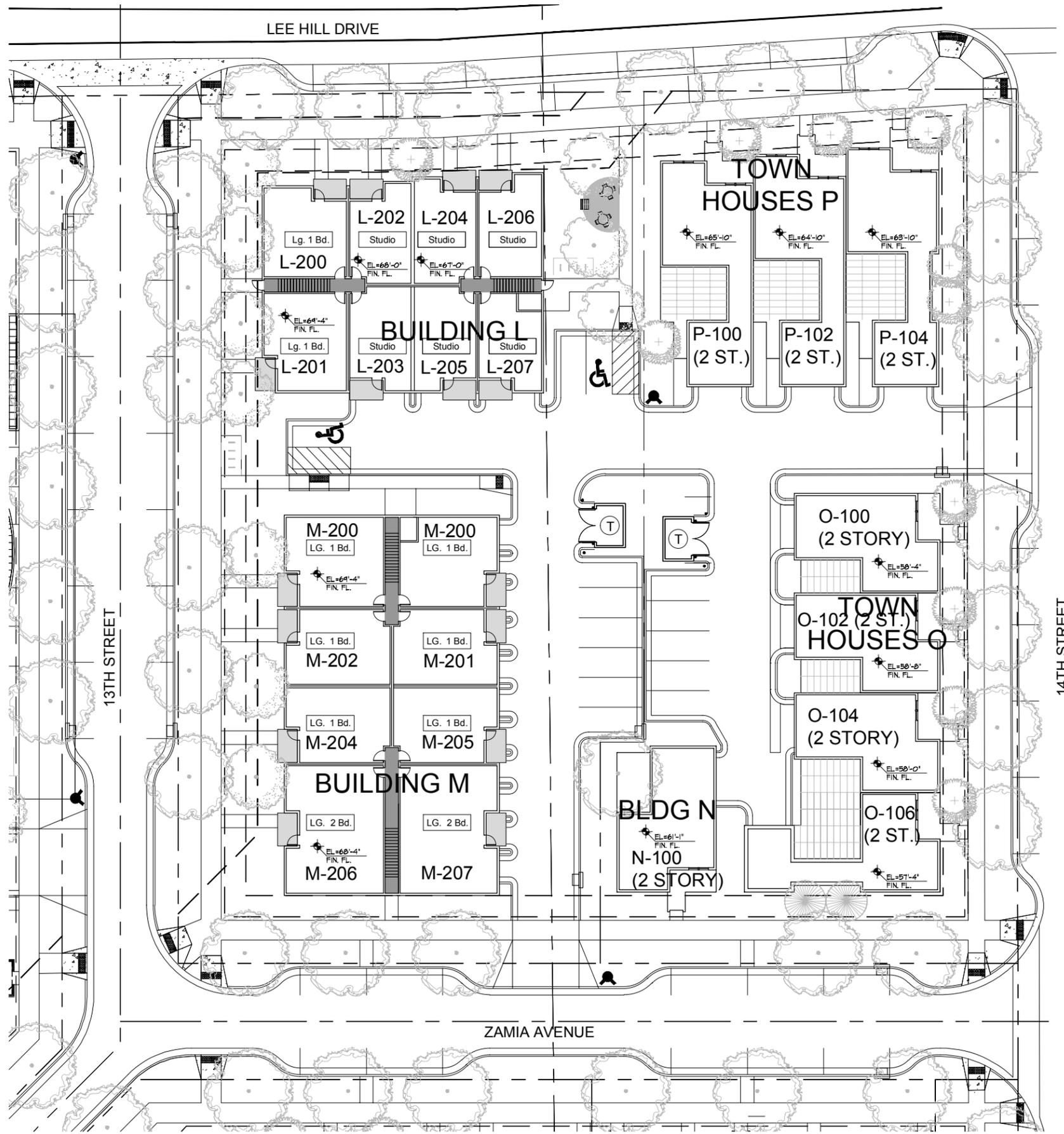
"TUCK-UNDER" AT GRADE PARKING TO REDUCE THE PARKING IMPACT ON THE SMALLER INTERIOR COURT



1

BLOCK 3 - FIRST FLOOR PLAN

1/16" = 1'-0"



DEVELOPER:
ARMORY LAND INVESTORS, LLC

ARCHITECT:
THE MULHERN GROUP, LTD.
ARCHITECTURE • PLANNING • INTERIORS

CONSULTANT:

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BOULDER, COLORADO

DATE:	REVISION:
02-24-16	BDAB SUBMISSION

SHEET NAME:
SECOND FLOOR PLAN
BLOCK 3

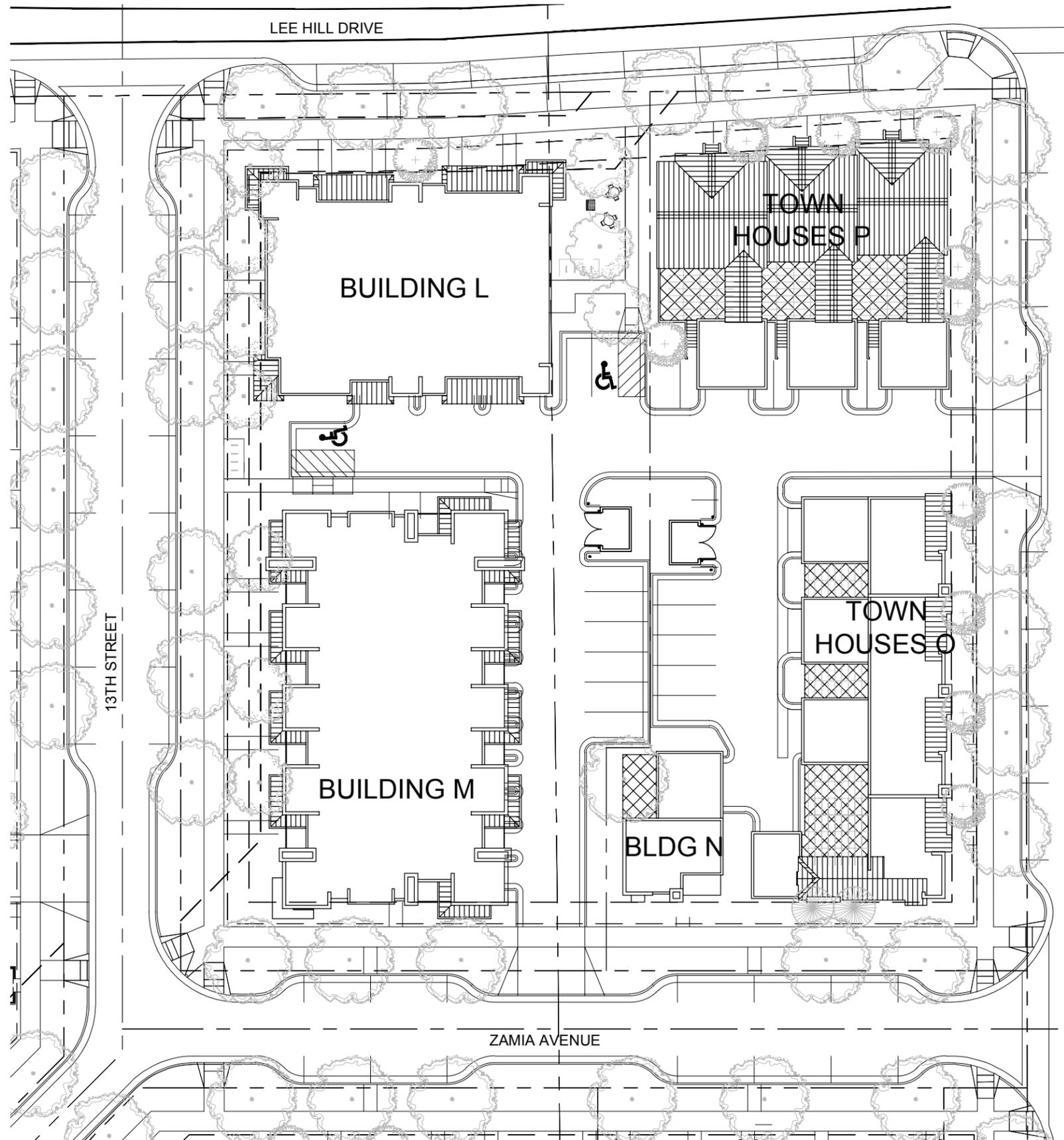
SHEET NUMBER:



1

BLOCK 3 - SECOND FLOOR PLAN
1/16" = 1'-0"

A-5.14



DEVELOPER:
ARMORY LAND INVESTORS, LLC

ARCHITECT:
THE MULHERN GROUP, LTD.
ARCHITECTURE • PLANNING • INTERIORS

CONSULTANT:

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BOULDER, COLORADO

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SHEET NAME:
ROOF PLAN
BLOCK 3

SHEET NUMBER:
A-5.15



1 BLOCK 3 - ROOF PLAN
1/16" = 1'-0"



DEVELOPER:

ARMORY LAND INVESTORS, LLC

ARCHITECT:

THE MULHERN GROUP, LTD.
ARCHITECTURE • PLANNING • INTERIORS

CONSULTANT:



WEST ELEVATION 13TH



NORTH ELEVATION LEE HILL

4 BLOCK 3 - BUILDING L ELEVATIONS
1/16" = 1'-0"



SOUTH ELEVATION ZAMIA



WEST ELEVATION 13TH

3 BLOCK 3 - BUILDING M ELEVATIONS
1/16" = 1'-0"



SOUTH ELEVATION ZAMIA

2 BLOCK 3 - BUILDING N ELEVATIONS
1/16" = 1'-0"



EAST ELEVATION 14TH



SOUTH ELEVATION ZAMIA

1 BLOCK 3 - BUILDING O ELEVATIONS
1/16" = 1'-0"

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SHEET NAME:
ELEVATIONS
BLOCK 3

SHEET NUMBER:
A-5.16



EAST ELEVATION 14TH



NORTH ELEVATION LEE HILL

1 BLOCK 3 - BUILDING P ELEVATIONS
1/16" = 1'-0"



DEVELOPER:
ARMORY LAND INVESTORS, LLC

ARCHITECT:
THE MULHERN GROUP, LTD.
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CONSULTANT:

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SHEET NAME:
ELEVATIONS
BLOCK 3

SHEET NUMBER:
A-5.17

ZAMIA AVENUE

ROW HOUSE TYPE 2 TYP

NOTE:
TUCK-UNDER PARKING IS OPEN-AIR AND PUBLICALLY ACCESSIBLE



DEVELOPER:
ARMORY LAND INVESTORS, LLC

ARCHITECT:
THE MULHERN GROUP, LTD.
ARCHITECTURE • PLANNING • INTERIORS

CONSULTANT:

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BOULDER, COLORADO

DATE: 02-24-16
REVISION: BDAB SUBMISSION

SHEET NAME:
FIRST FLOOR PLAN
BLOCK 4

SHEET NUMBER:

A-5.18

"TUCK-UNDER" AT GRADE PARKING TO REDUCE THE PARKING IMPACT ON THE SMALLER INTERIOR COURT

BUILDING Q IS A TWO STORY RESIDENTIAL BUILDING WITH ENTRANCES ONTO THE PARK AND PRIVATE PATIOS AND BALCONIES

CORNER POCKET PARK

BUILDING R IS A TWO STORY RESIDENTIAL BUILDING WITH ENTRANCES ON THE STREET AND PRIVATE PATIOS AND BALCONIES

PARKING PROVIDED MU-1		
FULL SIZE	41	87.0%
COMPACT	00	00.0%
HANDICAPPED	06	13.0%
TOTAL	47	100%

BUILDING S IS A SMALLER TWO STORY RESIDENTIAL BUILDING WITH PRIVATE PATIOS AND BALCONIES

"TUCK-UNDER" AT GRADE PARKING TO REDUCE THE PARKING IMPACT ON THE SMALLER INTERIOR COURT

BUILDING T IS A TWO STORY RESIDENTIAL BUILDING WITH ENTRANCES ONTO THE PARK AND PRIVATE PATIOS AND BALCONIES

ROW HOUSE BUILDING V CONSISTS OF TWO STORY UNITS WITH ENTRANCES ONTO THE STREET, PRIVATE PATIOS AND DETACHED GARAGES. UNITS ALTERNATE BETWEEN WIDE AND NARROW

NARROW UNITS ARE CONSIDERED ROW HOUSE TYPE 1
WIDE UNITS ARE CONSIDERED ROW HOUSE TYPE 2

TRASH SERVICES, TRANSFORMERS AND UTILITY CONNECTIONS HAVE BEEN PULLED OFF THE STREETScape WHENEVER POSSIBLE

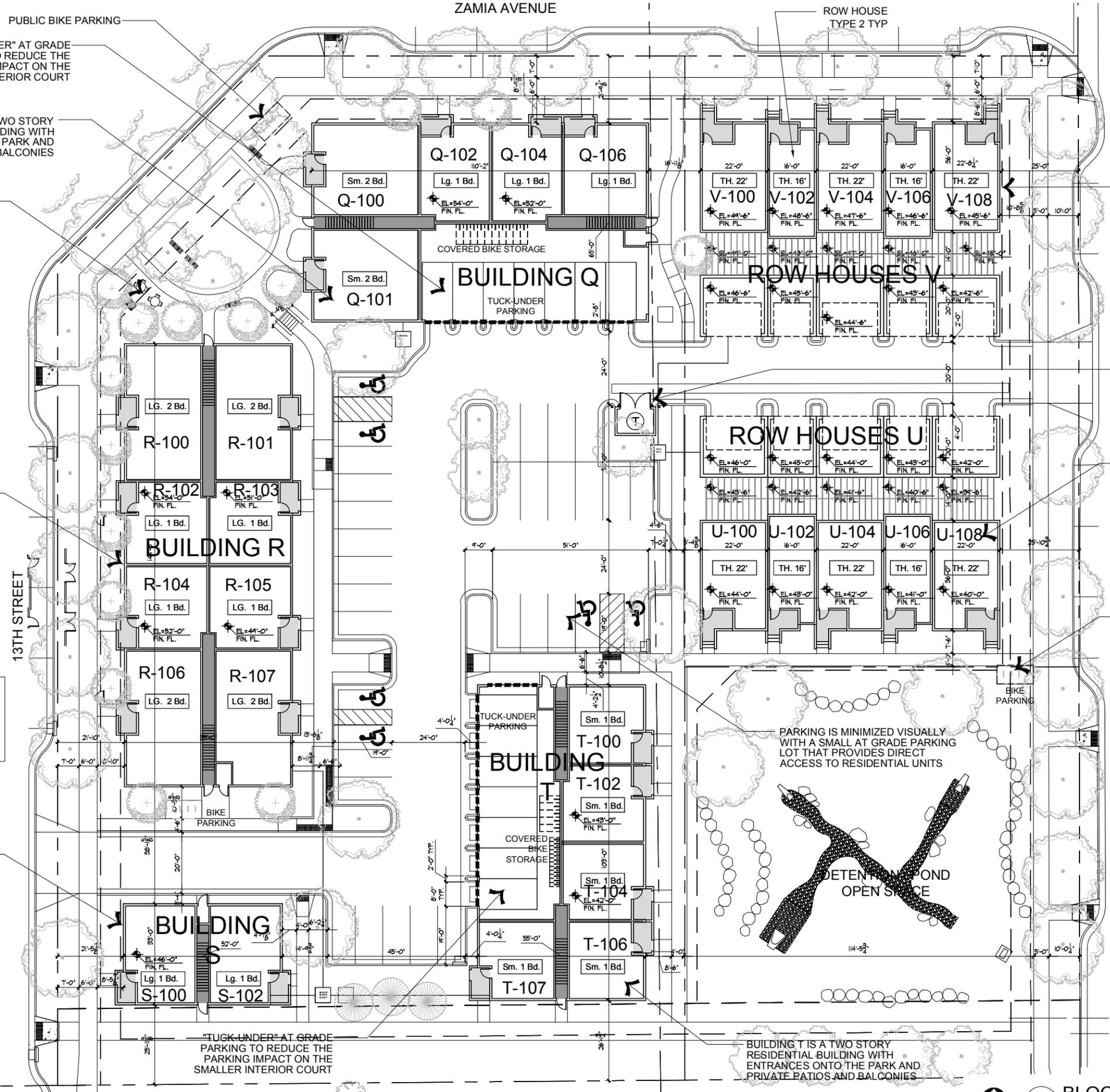
ROW HOUSE BUILDING U CONSISTS OF TWO STORY UNITS WITH ENTRANCES ONTO THE PARK, PRIVATE PATIOS AND DETACHED GARAGES. UNITS ALTERNATE BETWEEN WIDE AND NARROW

NARROW UNITS ARE CONSIDERED ROW HOUSE TYPE 1
WIDE UNITS ARE CONSIDERED ROW HOUSE TYPE 2

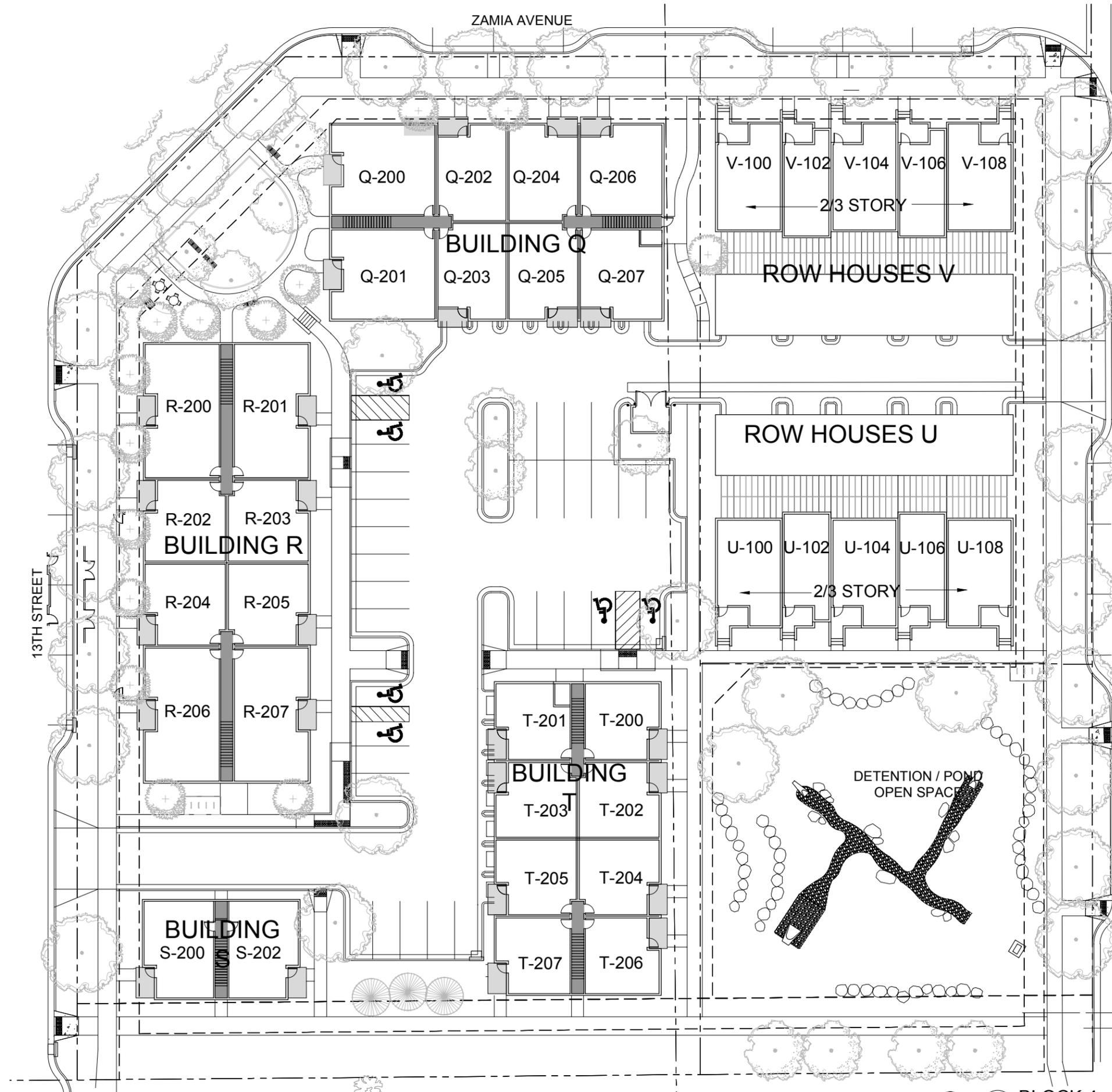
PUBLIC BIKE PARKING

PARKING PROVIDED RMX-2		
FULL SIZE	16	100.0%
COMPACT	00	00.0%
HANDICAPPED	00	02.0%
TOTAL	16	100%

PARKING IS MINIMIZED VISUALLY WITH A SMALL AT GRADE PARKING LOT THAT PROVIDES DIRECT ACCESS TO RESIDENTIAL UNITS



1 BLOCK 4 - FIRST FLOOR PLAN
1/16" = 1'-0"



DEVELOPER:
ARMORY LAND INVESTORS, LLC

ARCHITECT:
THE MULHERN GROUP, LTD.
ARCHITECTURE • PLANNING • INTERIORS

CONSULTANT:

LUR2015-00012
BDAB SUBMISSION
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BOULDER, COLORADO

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SHEET NAME:
SECOND FLOOR PLAN
BLOCK 4

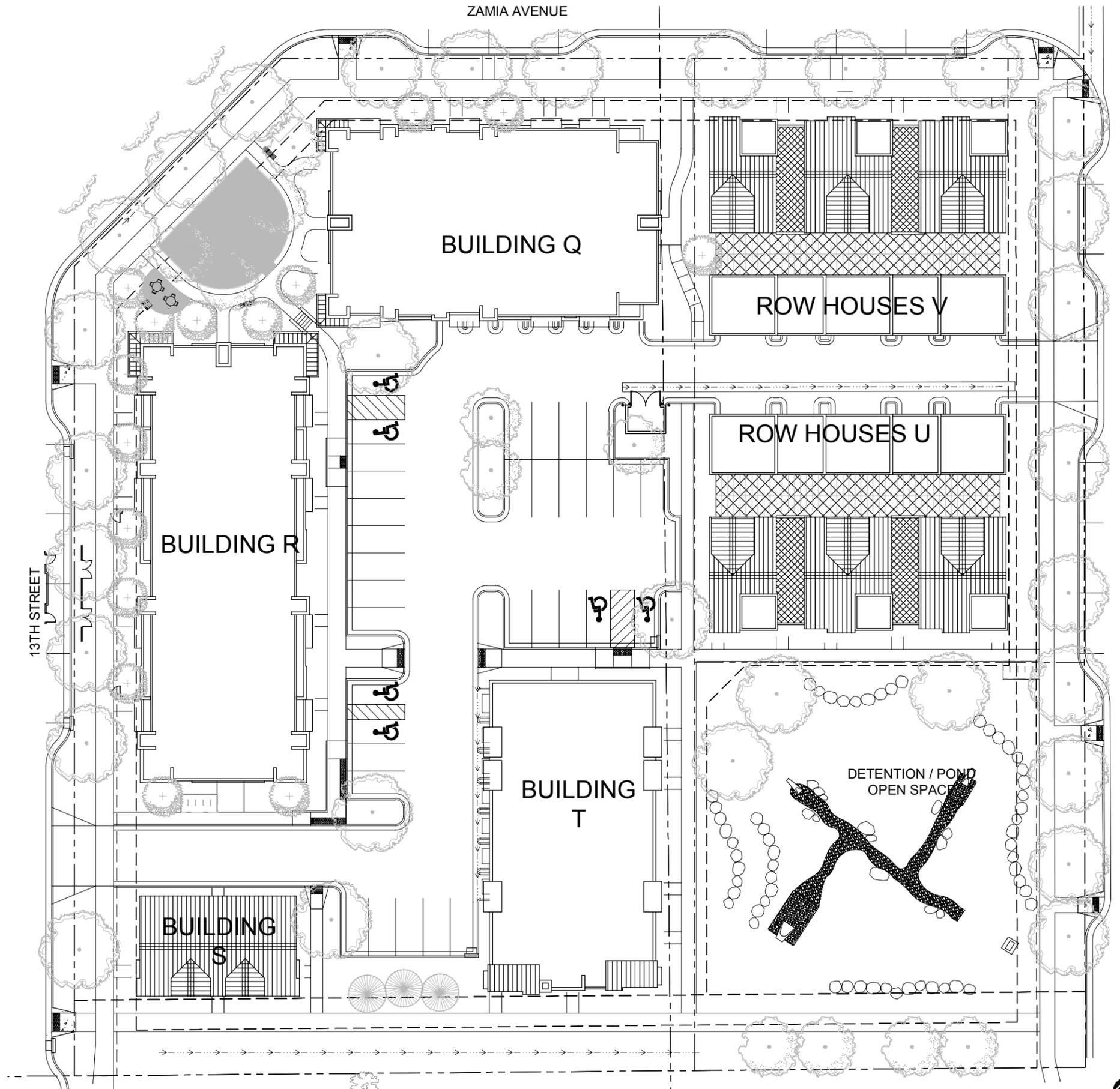
SHEET NUMBER:

A-5.19



BLOCK 4 - SECOND FLOOR PLAN

1/16" = 1'-0"



DEVELOPER:
ARMORY LAND INVESTORS, LLC

ARCHITECT:
THE MULHERN GROUP, LTD.
ARCHITECTURE • PLANNING • INTERIORS

CONSULTANT:

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BOULDER, COLORADO

DATE:	REVISION:
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SHEET NAME:
ROOF PLAN
BLOCK 4

SHEET NUMBER:



1 BLOCK 4 - ROOF PLAN
1/16" = 1'-0"

A-5.20



DEVELOPER:

ARMORY LAND INVESTORS, LLC

ARCHITECT:

THE MULHERN GROUP, LTD.
ARCHITECTURE • PLANNING • INTERIORS

CONSULTANT:



WEST ELEVATION 13TH



NORTH ELEVATION ZAMIA

4 BLOCK 4 - BUILDING Q ELEVATIONS
1/16" = 1'-0"



NORTH ELEVATION ZAMIA



WEST ELEVATION 13TH

3 BLOCK 4 - BUILDING R ELEVATIONS
1/16" = 1'-0"



SOUTH ELEVATION PROP. LINE



WEST ELEVATION 13TH

2 BLOCK 4 - BUILDING S ELEVATIONS
1/16" = 1'-0"



EAST ELEVATION 14TH



SOUTH ELEVATION PROP. LINE

1 BLOCK 4 - BUILDING T ELEVATIONS
1/16" = 1'-0"

LUR2015-00012
 BDAB SUBMISSION
ARMORY COMMUNITY
 BOULDER, COLORADO

DATE:	REVISION:
02-24-16	BDAB SUBMISSION

SHEET NAME:
ELEVATIONS
BLOCK 4

SHEET NUMBER:
A-5.21



SOUTH ELEVATION PROP. LINE



EAST ELEVATION 14TH

2 BLOCK 4 - BUILDING U ELEVATIONS
1/16" = 1'-0"



NORTH ELEVATION ZAMIA



EAST ELEVATION 14TH

1 BLOCK 4 - BUILDING V ELEVATIONS
1/16" = 1'-0"



DEVELOPER:
ARMORY LAND INVESTORS, LLC

ARCHITECT:
THE MULHERN GROUP, LTD.
ARCHITECTURE • PLANNING • INTERIORS

CONSULTANT:

LUR2015-00012
BDAB SUBMISSION
ARMORY COMMUNITY
BOULDER, COLORADO

DATE:	REVISION:
02-24-16	BDAB SUBMISSION

SHEET NAME:
ROOF PLAN
BLOCK 4

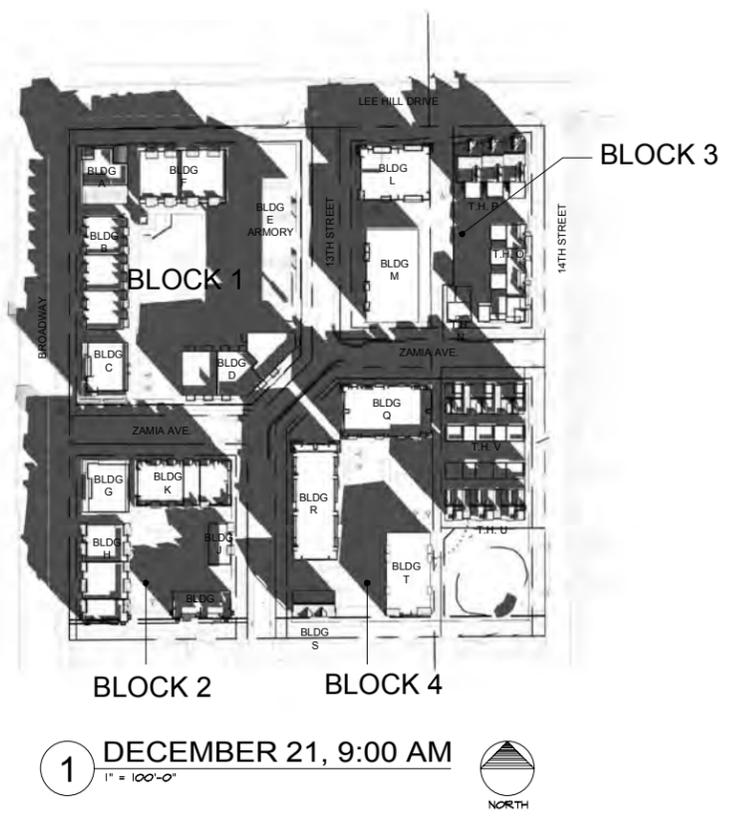
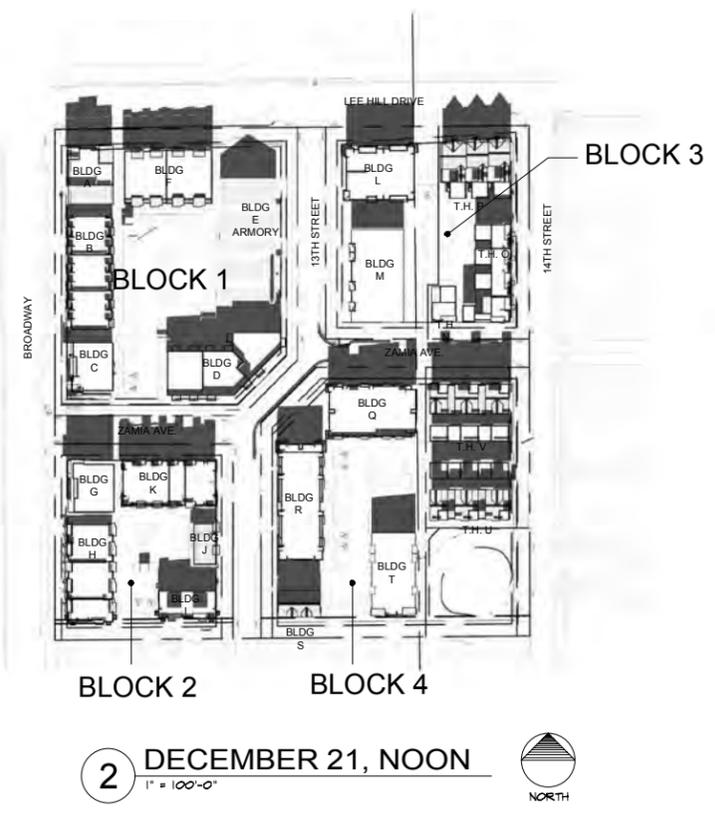
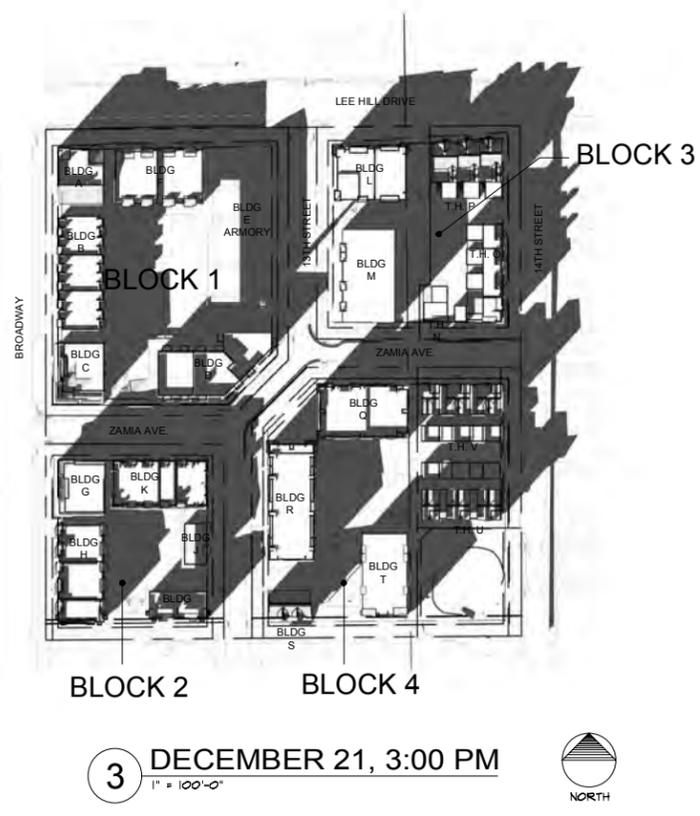
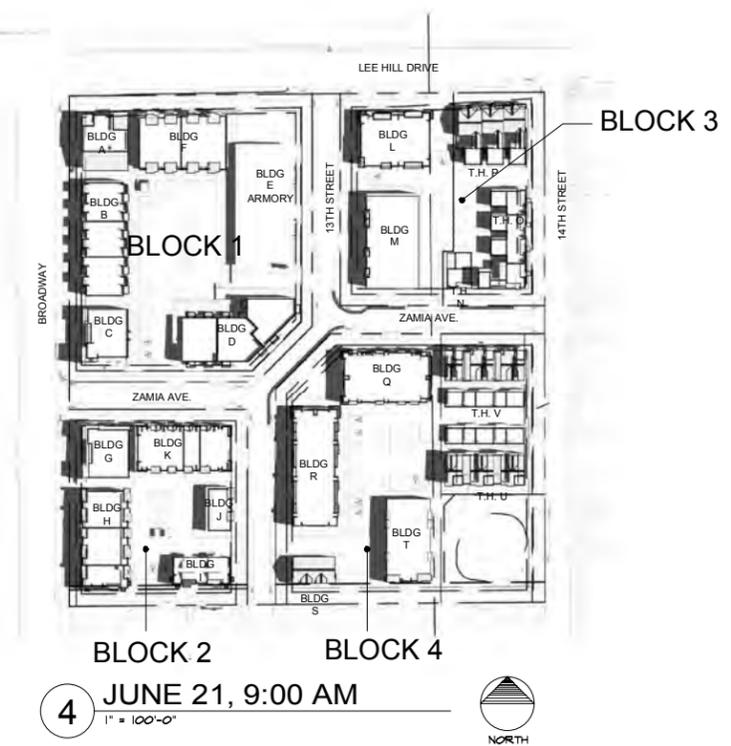
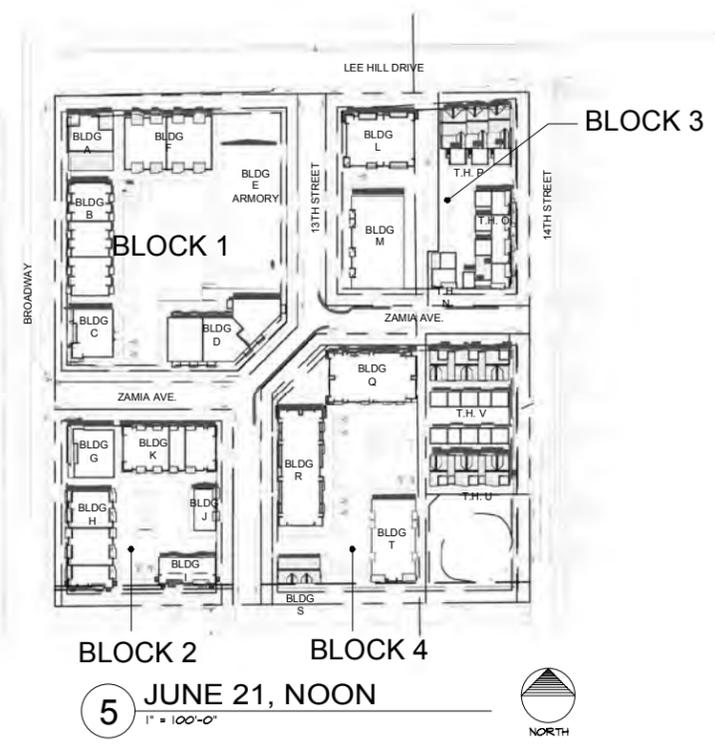
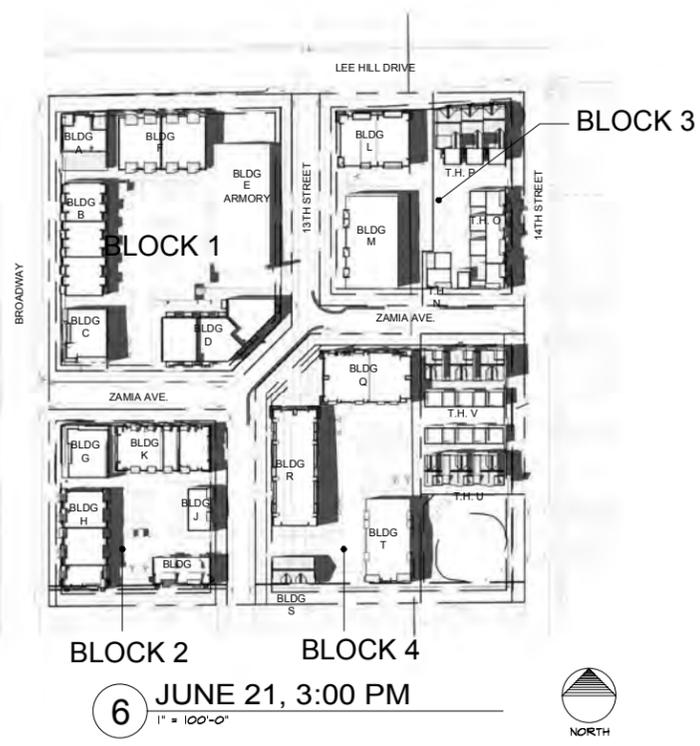
SHEET NUMBER:
A-5.22



DEVELOPER:
ARMORY LAND INVESTORS, LLC

ARCHITECT:
THE MULHERN GROUP, LTD.
ARCHITECTURE+PLANNING+INTERIORS

CONSULTANT:



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ARMORY COMMUNITY
BOULDER, COLORADO

DATE:	REVISION:
02-24-16	BDAB SUBMISSION

SHEET NAME:
SHADOW STUDIES

SHEET NUMBER:

A-5.23



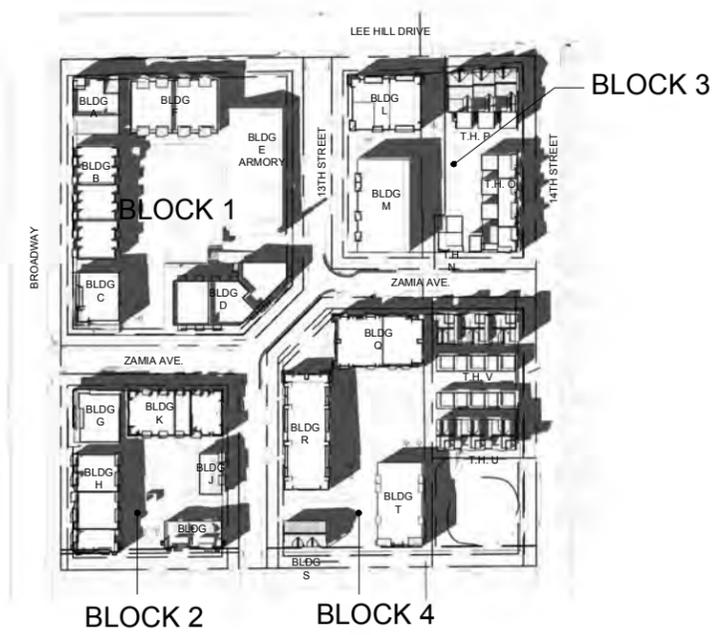
DEVELOPER:

ARMORY LAND INVESTORS, LLC

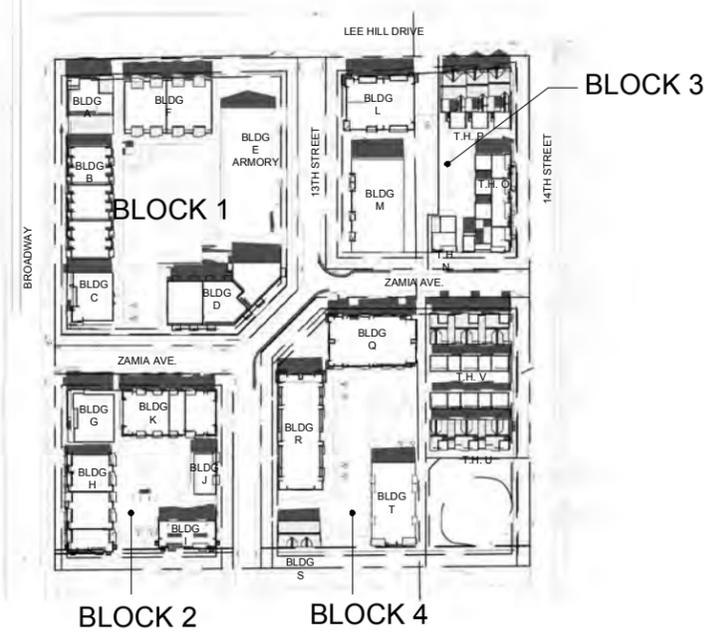
ARCHITECT:

THE MULHERN GROUP, LTD.
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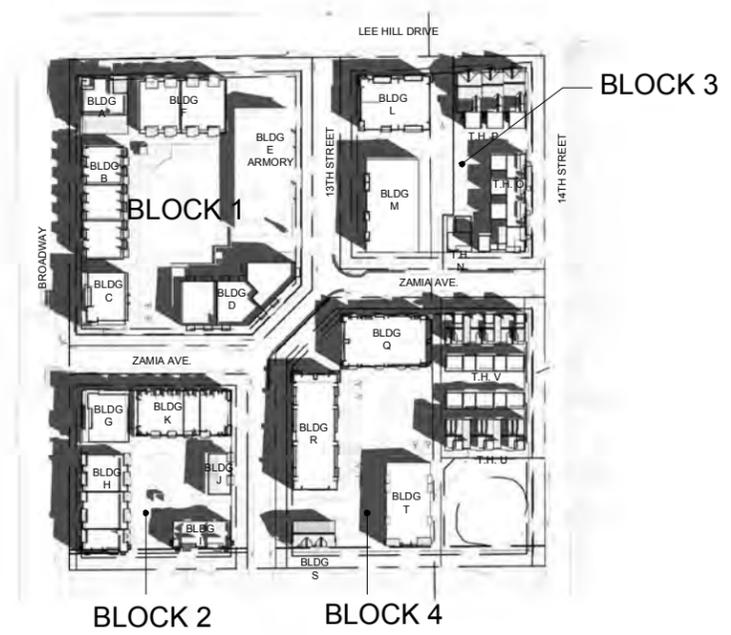
CONSULTANT:



3 MARCH 21, 3:00 PM
1" = 100'-0"



2 MARCH 21, NOON
1" = 100'-0"



1 MARCH 21, 9:00 AM
1" = 100'-0"



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ARMORY COMMUNITY
BOULDER, COLORADO

DATE:	REVISION:
02-24-16	BDAB SUBMISSION

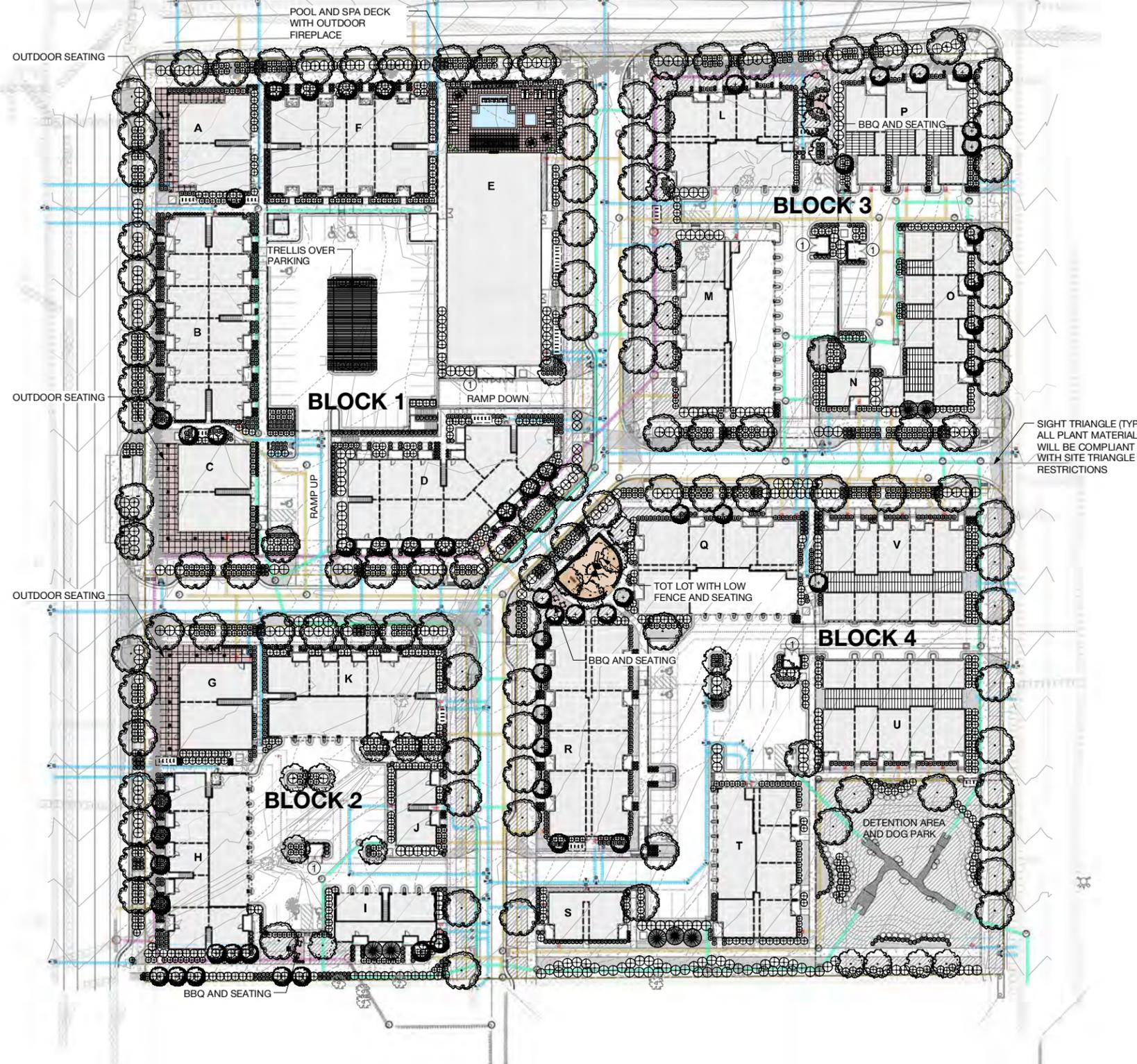
SHEET NAME:
SHADOW STUDIES

SHEET NUMBER:
A-5.24



LANDSCAPE DRAWINGS

- L1.0 OVERALL LANDSCAPE PLAN
- L1.1 BLOCK 1 LANDSCAPE PLAN
- L1.2 BLOCK 2 LANDSCAPE PLAN
- L1.3 BLOCK 3 LANDSCAPE PLAN
- L1.4 BLOCK 4 LANDSCAPE PLAN
- L2.0 PLANT SCHEDULE
- L3.0 DETAILS
- L4.0 OPEN SPACE PLAN AND COMPLIANCE



LEGEND

- LARGE MATURING SHADE TREE - 3" CAL
- MEDIUM ORNAMENTAL TREE - 2.5" CAL
- SMALL ORNAMENTAL TREE - 2.5" CAL
- SMALL EVERGREEN TREE 8 FEET
- SHRUBS AND ORNAMENTAL GRASSES
- LOW WATER DEMAND SOD
- PERENNIALS
- U RACK BIKE RACKS
- BENCH
- PLANTER POT
- TRASH ENCLOSURE RE: ARCH

NOTES:

1. ALL PLANT MATERIAL SHALL MEET SPECIFICATIONS OF THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN) FOR NUMBER ONE GRADE. ALL TREES SHALL BE BALLED AND BURLAPPED OR EQUIVALENT. ALL PLANT MATERIALS SHALL HAVE ALL WIRE, TWINE OR OTHER CONTAINMENT MATERIALS, EXCEPT FOR BURLAP, REMOVED FROM TRUNK AND ROOT BALL OF THE PLANT PRIOR TO PLANTING.
2. TREES SHALL NOT BE PLANTED CLOSER TO ANY PUBLIC SEWER OR WATER LINE. TREE PLANTING SHALL BE COORDINATED WITH PUBLIC SERVICE COMPANY. LOCATIONS OF ALL UTILITIES SHALL BE VERIFIED IN THE FIELD PRIOR TO PLANTING.
3. GRADES SHALL BE SET TO ALLOW FOR PROPER DRAINAGE AWAY FROM STRUCTURES. GRADES SHALL MAINTAIN SMOOTH PROFILES AND BE FREE OF SURFACE DEBRIS, BUMPS, AND DEPRESSIONS.
4. OWNERS SHALL ENSURE THAT THE LANDSCAPE PLAN IS COORDINATED WITH THE PLANS DONE BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTIONS DOES NOT CONFLICT NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS ON THIS PLAN.
5. ALL SHRUB BEDS ADJACENT TO TURF AREAS SHALL BE EDGED WITH ROLLED TOP STEEL EDGER.
6. ALL SHRUB BED AREAS, PERENNIALS AND GROUNDCOVER SHALL BE MULCHED WITH A 4" LAYER OF GORILLA HAIR SHREDDED CEDAR MULCH. DO NOT USE WEED BARRIER FABRIC IN ANY OF THE LANDSCAPE BEDS.
7. PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENEED; ORGANIC SOIL AMENDMENTS SHALL BE INCORPORATED AT THE RATE OF AT LEAST FOUR (4) CUBIC YARDS PER 1000 SQUARE FEET OF LANDSCAPE AREA.
8. ALL LANDSCAPE (PLANT MATERIALS AND GRASS) WILL BE IRRIGATED WITH AN AUTOMATIC SYSTEM. TURF AREAS WILL HAVE A SPRAY ZONE OR SUB-SURFACE DRIP. SHRUBS AND TREES WILL HAVE A DRIP ZONE AND PERENNIALS/GROUNDCOVERS (PART OF THE DRIP ZONE) WILL HAVE MICRO-JET SPRAYS OR DRIP.
9. PLANTS ARE GROUPED BY WATER USE ZONE TO CONSERVE WATER.
10. CONTRACTOR SHALL VERIFY ALL MATERIAL QUANTITIES PRIOR TO INSTALLATION. ACTUAL NUMBER OF PLANT SYMBOLS SHALL HAVE PRIORITY OVER THE QUANTITY DESIGNATED.
11. REFER TO THE CITY OF BOULDER DESIGN AND CONSTRUCTION STREETSCAPING STANDARDS FOR ALL WORK WITHIN PUBLIC AREAS.
12. REFER TO THE CIVIL ENGINEER DRAWINGS FOR GRADING AND UTILITY INFORMATION.
13. THIS PLAN MEETS OR EXCEEDS CITY OF BOULDER LANDSCAPE CODE REQUIREMENTS.
14. NOTHING SHALL BE PLANTED BETWEEN OCTOBER 15 AND MARCH 1 WITHOUT PRIOR WRITTEN APPROVAL OF THE CITY. STOCK, OTHER THAN CONTAINER-GROWN STOCK, SHALL NOT BE PLANTED BETWEEN JUNE 1 AND SEPTEMBER 1 WITHOUT PRIOR WRITTEN APPROVAL OF THE CITY.
15. REMOVE ALL EXISTING TREES - REFER TO THE TREE INVENTORY FOR SPECIES, SIZE AND CONDITION
16. ALL PLANTING STRIPS ALONG STREETS ARE 8 FEET WIDE, MEASURED FROM BACK OF CURB.
17. SOD SPECIFICATION:
REVELLE®
HYBRID TURF GRASS OF KENTUCKY BLUEGRASS AND TEXAS BLUEGRASS

SOD AVAILABLE THROUGH:
GROFF'S TURF FARMS
9809 N. FRONTAGE RD 176
PO BOX 715
FORT MORGAN, CO 80701-0715
P: 970-867-8873
F: 970-867-4343
E: groff@sgraffturf.com
W: www.groffturf.com



DEVELOPER:
ARMORY LAND INVESTORS, LLC

ARCHITECT:
THE MULHERN GROUP, LTD.
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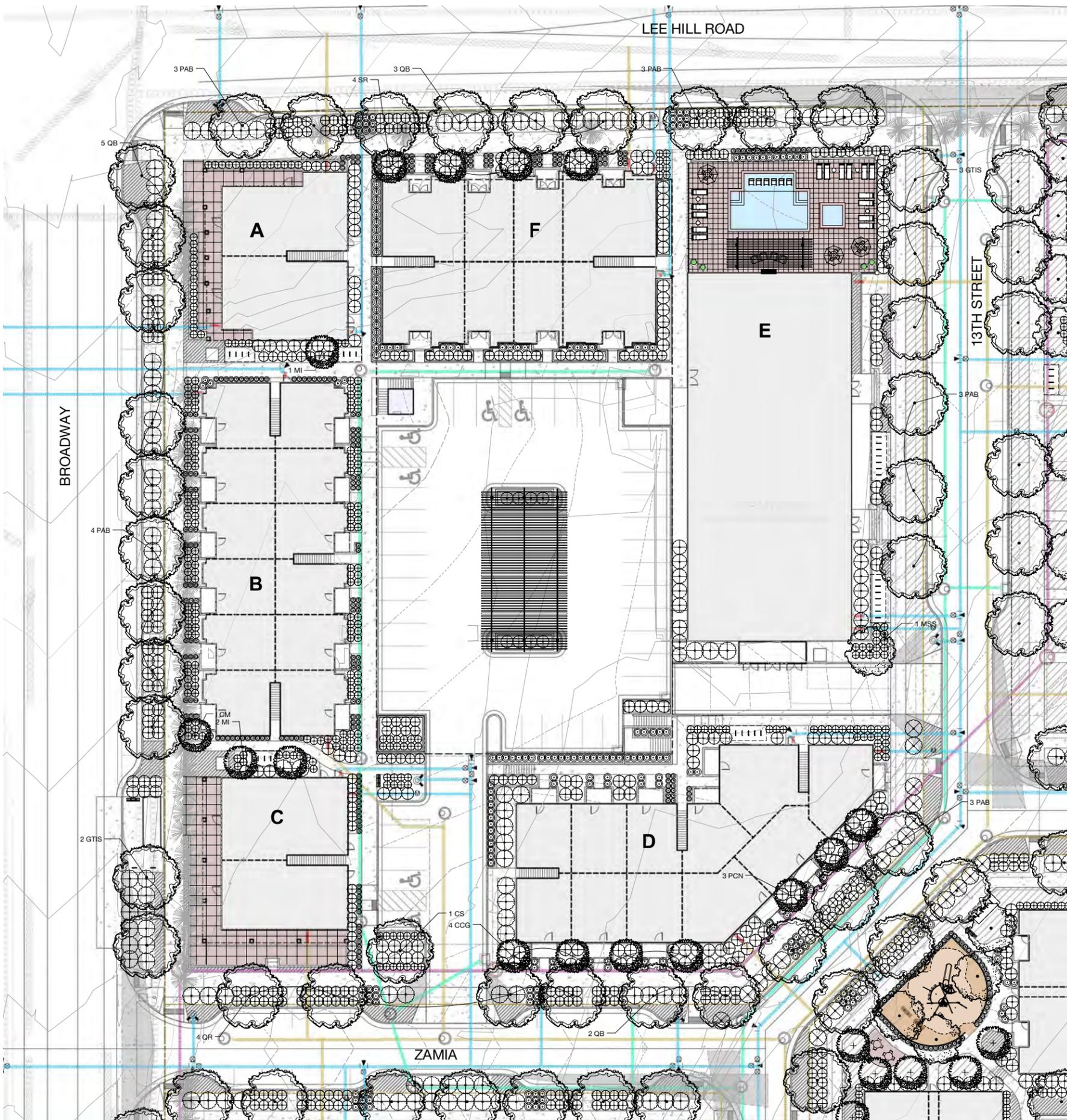
CONSULTANT:
STUDIOTERRA
THE CLUB AT THE ARMORY
1000 17TH ST, BOULDER, CO 80502
303.440.1111

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ARMORY COMMUNITY
BOULDER, COLORADO

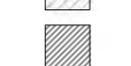
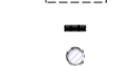
DATE:	REVISION:
02-02-2015	SITE REVIEW SUBMITTAL 1
04-20-2015	SITE REVIEW SUBMITTAL 2
02-01-2016	SITE REVIEW SUBMITTAL 3

SHEET NAME:
OVERALL LANDSCAPE PLAN

SHEET NUMBER:
L 1.0



LEGEND

-  LARGE MATURING SHADE TREE - 3" CAL
-  MEDIUM ORNAMENTAL TREE - 2.5" CAL
-  SMALL ORNAMENTAL TREE - 2.5" CAL
-  SMALL EVERGREEN TREE 8 FEET
-  SHRUBS AND ORNAMENTAL GRASSES
-  LOW WATER DEMAND SOD
-  PERENNIALS
-  U RACK BIKE RACKS
-  BENCH
-  PLANTER POT



DEVELOPER:
ARMORY LAND INVESTORS, LLC

ARCHITECT:
THE MULHERN GROUP, LTD.
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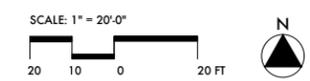


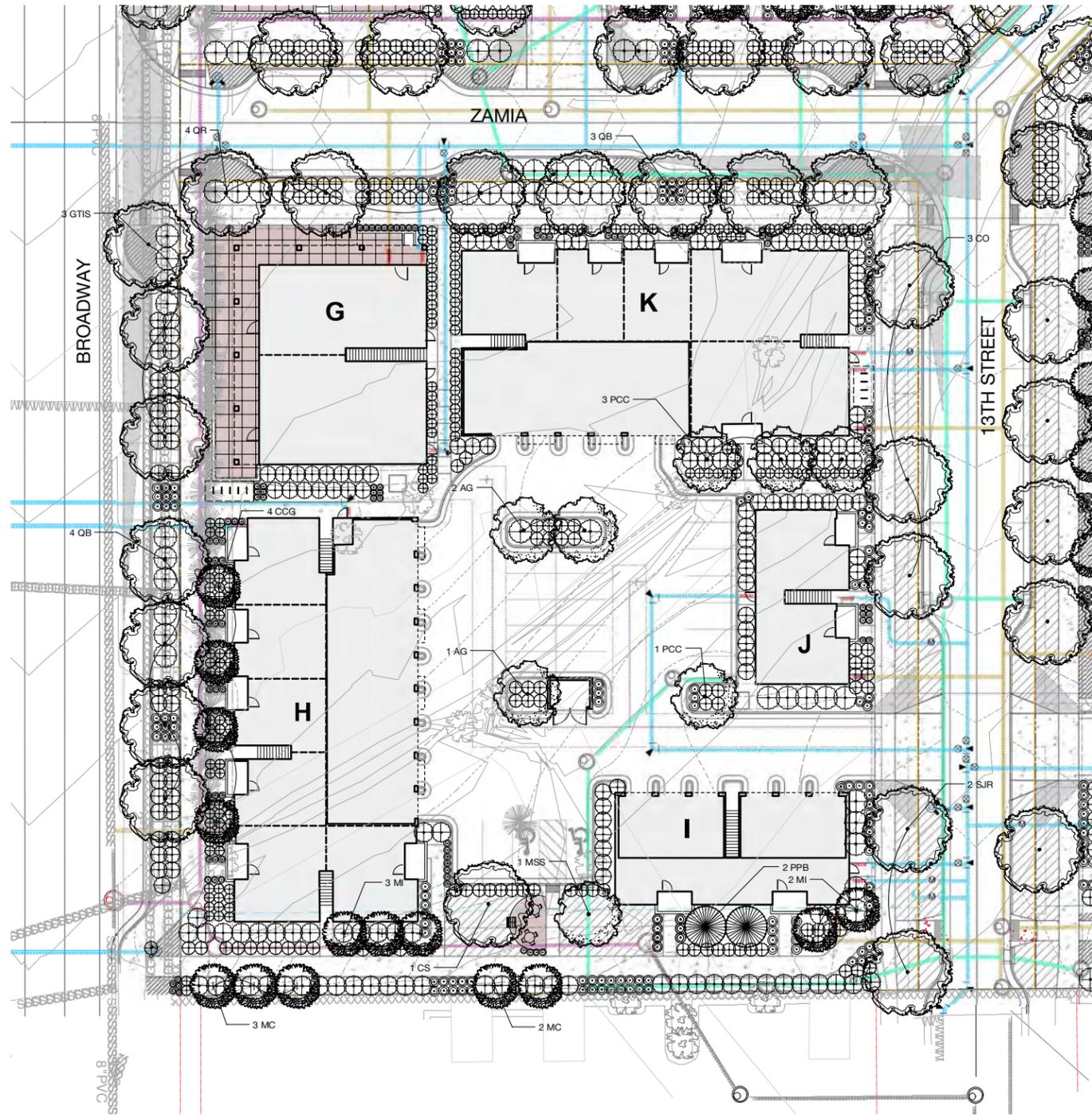
LUR2015-00012
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ARMORY COMMUNITY
BOULDER, COLORADO

DATE:	REVISION:
02-02-2015	SITE REVIEW SUBMITTAL 1
04-20-2015	SITE REVIEW SUBMITTAL 2
02-01-2016	SITE REVIEW SUBMITTAL 3

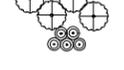
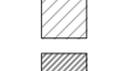
SHEET NAME:
BLOCK 1
LANDSCAPE PLAN

SHEET NUMBER:
L 1.1





LEGEND

-  LARGE MATURING SHADE TREE - 3" CAL
-  MEDIUM ORNAMENTAL TREE - 2.5" CAL
-  SMALL ORNAMENTAL TREE - 2.5" CAL
-  SMALL EVERGREEN TREE 8 FEET
-  SHRUBS AND ORNAMENTAL GRASSES
-  LOW WATER DEMAND SOD
-  PERENNIALS
-  U RACK BIKE RACKS
-  BENCH
-  PLANTER POT



DEVELOPER:
ARMORY LAND INVESTORS, LLC

ARCHITECT:
THE MULHERN GROUP, LTD.
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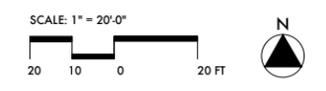


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BOULDER, COLORADO

DATE:	REVISION:
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04-20-2015	SITE REVIEW SUBMITTAL 2
02-01-2016	SITE REVIEW SUBMITTAL 3

SHEET NAME:
BLOCK 2
LANDSCAPE PLAN

SHEET NUMBER:
L 1.2





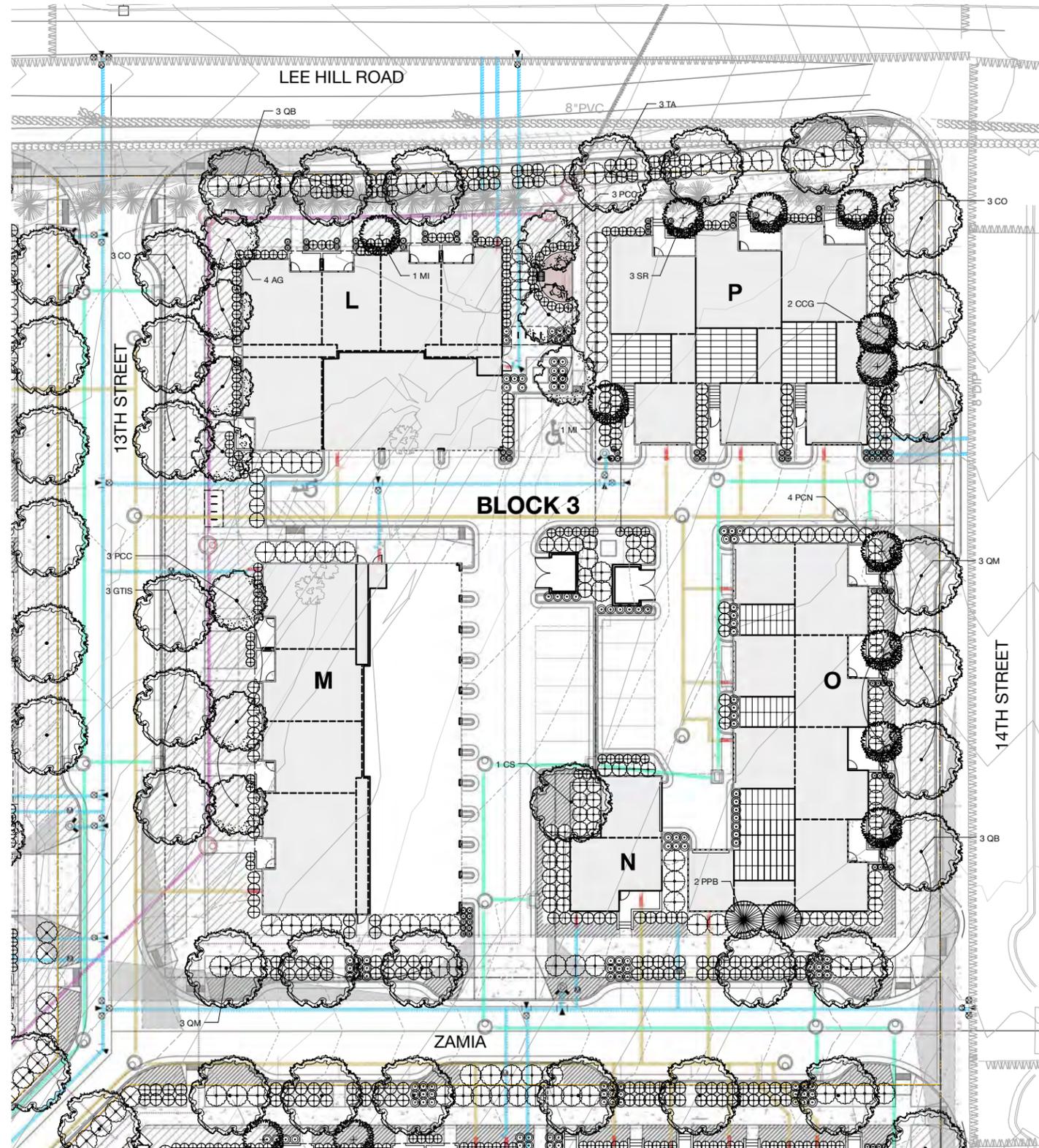
DEVELOPER:

ARMORY LAND INVESTORS, LLC

ARCHITECT:

THE MULHERN GROUP, LTD.
ARCHITECTURE • PLANNING • INTERIORS

CONSULTANT:



LEGEND

- LARGE MATURING SHADE TREE - 3" CAL
- MEDIUM ORNAMENTAL TREE - 2.5" CAL
- SMALL ORNAMENTAL TREE - 2.5" CAL
- SMALL EVERGREEN TREE 8 FEET
- SHRUBS AND ORNAMENTAL GRASSES
- LOW WATER DEMAND SOD
- PERENNIALS
- U RACK BIKE RACKS
- BENCH
- PLANTER POT

LUR2015-00012

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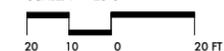
DATE:	REVISION:
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04-20-2015	SITE REVIEW SUBMITTAL 2
02-01-2016	SITE REVIEW SUBMITTAL 3

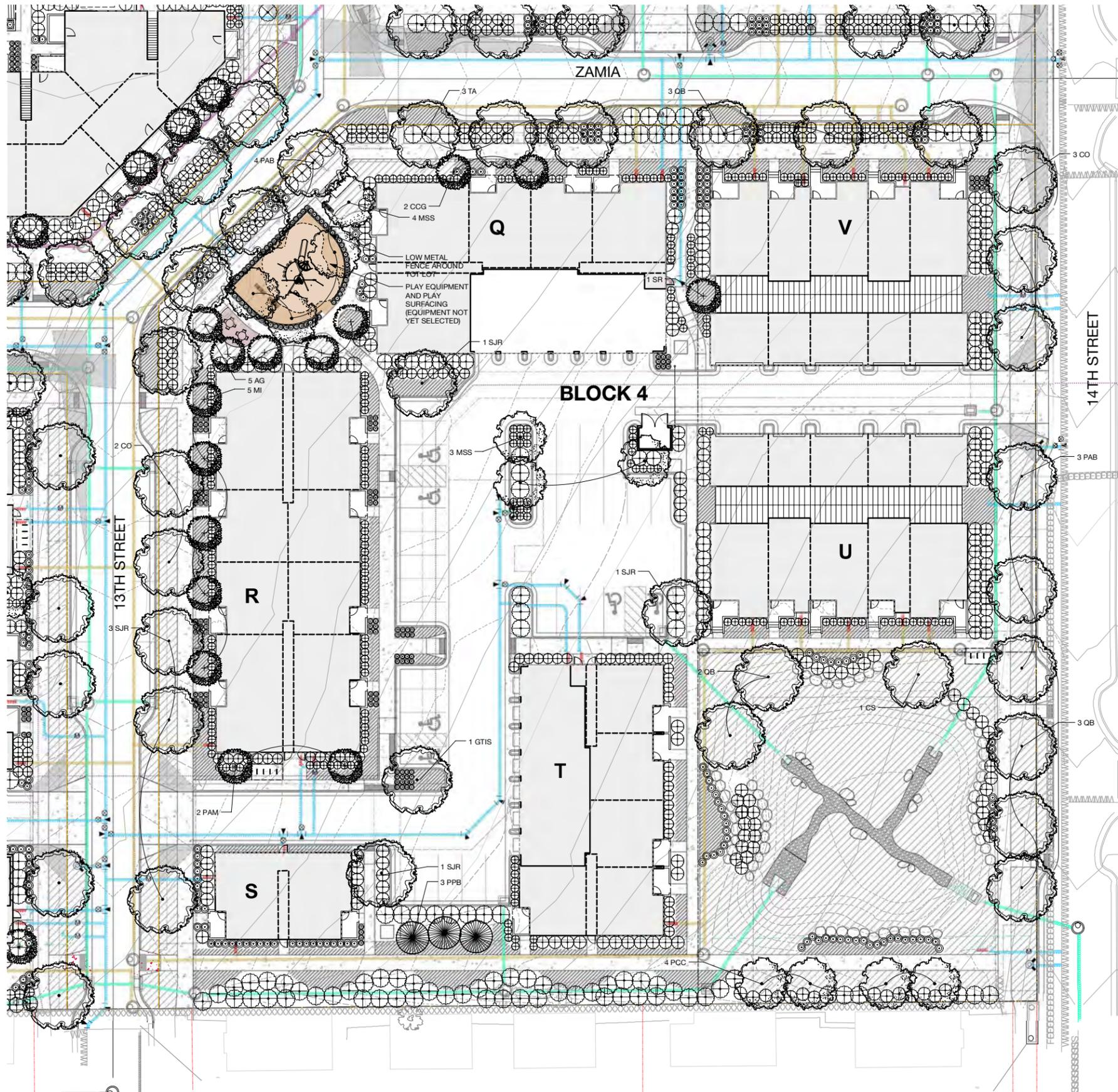
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BLOCK 3
STREETScape
PLAN

SHEET NUMBER:

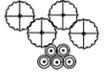
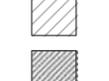
L 1.3

SCALE: 1" = 20'-0"





LEGEND

-  LARGE MATURING SHADE TREE - 3" CAL
-  MEDIUM ORNAMENTAL TREE - 2.5" CAL
-  SMALL ORNAMENTAL TREE - 2.5" CAL
-  SMALL EVERGREEN TREE 8 FEET
-  SHRUBS AND ORNAMENTAL GRASSES
-  LOW WATER DEMAND SOD
-  PERENNIALS
-  U RACK BIKE RACKS
-  BENCH
-  PLANTER POT



DEVELOPER:
ARMORY LAND INVESTORS, LLC

ARCHITECT:
THE MULHERN GROUP, LTD.
ARCHITECTURE • PLANNING • INTERIORS

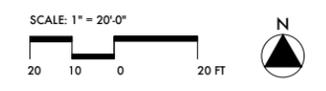


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ARMORY COMMUNITY
BOULDER, COLORADO

DATE:	REVISION:
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04-20-2015	SITE REVIEW SUBMITTAL 2
02-01-2016	SITE REVIEW SUBMITTAL 3

SHEET NAME:
BLOCK 4
LANDSCAPE PLAN

SHEET NUMBER:
L 1.4



PLANT SCHEDULE

SIZE	PERENNIALS		COMMON NAME	HEIGHT	SPREAD	WATER USE	EXPOSURE	FLOWER COLOR	SEASON	QUANTITY				TOTAL	
	BOTANICAL NAME	COMMON NAME								BLOCK 1	BLOCK 2	BLOCK 3	BLOCK 4		
1 GAL	AEOPODIUM PODAGRARIA	GREEN BISHOP'S WEED	AEOPODIUM PODAGRARIA	8-12"	1-2"	MEDIUM	FS TO SHADE	WHITE	SUMMER						
1 GAL	AEOPODIUM PODAGRARIA 'VARIEGATUM'	VARIEGATED BISHOP'S WEED	AEOPODIUM PODAGRARIA 'VARIEGATUM'	8-12"	1-2"	MEDIUM	FS TO SHADE	WHITE	SUMMER						
1 GAL	AJUCA REPTANS 'ATROPURPUREA'	BRONZE CARPET BLUE	AJUCA REPTANS 'ATROPURPUREA'	4-6"	12-18"	MEDIUM	SUN	BLUE	LATE SPRING						
1 GAL	ASTER NOVAE-ANGIAE 'PURPLE DOME'	NEW ENGLAND PURPLE ASTER	ASTER NOVAE-ANGIAE 'PURPLE DOME'	18-24"	18-24"	MEDIUM	SUN	PURPLE	LATE SUMMER TO FALL						
1 GAL	CAMPISIS RADICANS	TRUMPET VINE	CAMPISIS RADICANS	VINE	VINE	LOW	SUN	ORANGE	MID TO LATE SUMMER						
1 GAL	CAMPISIS RADICANS SUMMER SNOWFALL	VARIEGATED TRUMPET VINE	CAMPISIS RADICANS SUMMER SNOWFALL	VINE	VINE	LOW	SUN	ORANGE	MID TO LATE SUMMER						
1 GAL	CERASTIUM TOMENTOSUM	SNOW-IN-SUMMER	CERASTIUM TOMENTOSUM	6-12"	12-18"	LOW	SUN	WHITE	LATE SPRING TO EARLY SUMMER						
1 GAL	CERASTIUM TOMENTOSUM PLUMBERG	PLUMBERG	CERASTIUM TOMENTOSUM PLUMBERG	8-12"	18-24"	LOW	ADAPTABLE	BLUE	MID TO LATE SUMMER						
1 GAL	COREOPSIS GRANDIFLORA 'SUNRAY'	DWARF DOUBLE COREOPSIS	COREOPSIS GRANDIFLORA 'SUNRAY'	12-18"	12-18"	LOW	SUN	YELLOW	MID-SUMMER						
1 GAL	EUONYMUS FORTUNEI 'COLORATUS'	PURPLELEAF WINTERCREEPER	EUONYMUS FORTUNEI 'COLORATUS'	12-18"	3-6"	LOW	ADAPTABLE	INSIGNIFICANT	EARLY SUMMER						
1 GAL	GERANIUM 'JOHNSON'S BLUE'	BLUE CRANESBILL	GERANIUM 'JOHNSON'S BLUE'	18-24"	2-3"	MEDIUM	ADAPTABLE	VIOLET-BLUE	EARLY SUMMER						
1 GAL	HEDERA HELIX	ENGLISH IVY	HEDERA HELIX	VINE	VINE	MEDIUM	SHADE	N/A	N/A						
1 GAL	HEMEROCALLIS 'LITTLE BUSINESS'	RASPBERRY DAYLILY	HEMEROCALLIS 'LITTLE BUSINESS'	12-18"	12-18"	LOW	SUN	RASPBERRY	LATE SPRING TO EARLY SUMMER						
1 GAL	HEMEROCALLIS 'PARISE BLUE EYES'	LAVENDER DAYLILY	HEMEROCALLIS 'PARISE BLUE EYES'	24-30"	18-24"	LOW	SUN	LAVENDER-PURPLE	SUMMER						
1 GAL	HEMEROCALLIS 'ROCKET CITY'	ORANGE DAYLILY	HEMEROCALLIS 'ROCKET CITY'	3-4"	2-3"	LOW	SUN	ORANGE	EARLY TO MID-SUMMER						
1 GAL	HEMEROCALLIS 'STELLA DE ORO'	DWARF GOLD DAYLILY	HEMEROCALLIS 'STELLA DE ORO'	1-2"	12-18"	LOW	SUN	GOLDEN YELLOW	LATE SPRING TO LATE SUMMER						
1 GAL	IRIS x PUMILA 'LITTLE SAPPHIRE'	DWARF BLUE IRIS	IRIS x PUMILA 'LITTLE SAPPHIRE'	8-12"	8-12"	LOW	SUN	BLUE	LATE SPRING						
1 GAL	IRIS x PUMILA 'MR. ROBERTS'	DWARF YELLOW IRIS	IRIS x PUMILA 'MR. ROBERTS'	8-12"	8-12"	LOW	SUN	YELLOW	LATE SPRING						
1 GAL	IRIS x PUMILA 'OPEN SKY'	DWARF SKY BLUE IRIS	IRIS x PUMILA 'OPEN SKY'	8-12"	8-12"	LOW	SUN	LIGHT BLUE	LATE SPRING						
1 GAL	LAVANDULA ANGSTIFOLIA 'GROSSO'	GROSSO LAVENDER	LAVANDULA ANGSTIFOLIA 'GROSSO'	2-3"	2-3"	LOW	SUN	LAVENDER-BLUE	EARLY TO LATE SPRING						
1 GAL	LAVANDULA ANGSTIFOLIA 'HDCOTE'	DEEP BLUE LAVENDER	LAVANDULA ANGSTIFOLIA 'HDCOTE'	8-12"	8-12"	LOW	SUN	LAVENDER-BLUE	EARLY SPRING TO MID-SUMMER						
1 GAL	LEUCANTHEMUM X SUPERBUM 'LITTLE MISS MUFFET'	DWARF SHASTA DAISY	LEUCANTHEMUM X SUPERBUM 'LITTLE MISS MUFFET'	12-15"	12-15"	MEDIUM	SUN	WHITE	EARLY TO LATE SUMMER						
1 GAL	LONICERA JAPONICA 'HALLIANA'	HALL'S HONEY-SUCKLE	LONICERA JAPONICA 'HALLIANA'	VINE	VINE	LOW	SUN	CREAMY WHITE	EARLY TO LATE SUMMER						
1 GAL	MONARDA 'BLUE STOCKING'	BLUE BEE-BALM	MONARDA 'BLUE STOCKING'	2-3"	12-18"	MEDIUM	SUN	BLUE-BLUE	MID-SUMMER						
1 GAL	NEPETA X LITTLE TRIDY	LITTLE TRIDY CATMINT	NEPETA X LITTLE TRIDY	8-12"	18-24"	LOW	SUN	LAVENDER	EARLY TO LATE SUMMER						
1 GAL	PARATHENOCISSUS QUINQUEFOJIA	VIRGINIA CREEPER	PARATHENOCISSUS QUINQUEFOJIA	VINE	VINE	MEDIUM	SUN TO FS	N/A	N/A						
1 GAL	PARATHENOCISSUS TRICUSPIDATA 'VETCHII'	BOSTON IVY	PARATHENOCISSUS TRICUSPIDATA 'VETCHII'	VINE	VINE	MEDIUM	SHADE	N/A	N/A						
1 GAL	PERSICARIA AFFINIS	HIMALAYAN BORDER JEWEL	PERSICARIA AFFINIS	6-8"	12-18"	LOW	SUN	PINK	LATE SUMMER						
1 GAL	POTENTILLA NEUMANNIANA 'NANK'	DWARF SPRING CINQUEFOIL	POTENTILLA NEUMANNIANA 'NANK'	12-18"	2-4"	LOW	SUN TO FS	BUTTER YELLOW	LATE SPRING						
1 GAL	SAUVA PROXYPHYLLA	MOJAVE SAGE	SAUVA PROXYPHYLLA	2-3"	2-3"	LOW	SUN	BLUE	SUMMER TO FALL						
1 GAL	TANACETUM X COCCINELM 'ROBINSON'S HYBRID'	PAINTED DAISY	TANACETUM X COCCINELM 'ROBINSON'S HYBRID'	18-24"	12-18"	LOW	SUN	PINK TO CRIMSON	LATE SPRING TO EARLY SUMMER						
1 GAL	VINCA MINOR 'BOWLES VARIETY'	BOWLES PERIWINKLE	VINCA MINOR 'BOWLES VARIETY'	4-6"	12-18"	LOW	ADAPTABLE	BLUE	EARLY SPRING TO MID-SUMMER						
1 GAL	ZALUSCHNERIA GARRETTII ORANGE CARPET	ORANGE CARPET CALIFORNIA FUCHSIA	ZALUSCHNERIA GARRETTII ORANGE CARPET	4-6"	15-20"	LOW	SUN	ORANGE	LATE SUMMER TO FALL						
1 GAL	ZINNIA GRANDIFLORA	PAPER FLOWER	ZINNIA GRANDIFLORA	6-8"	8-12"	VERY LOW	SUN	GOLDEN YELLOW	MID TO LATE SUMMER						
ORNAMENTAL GRASSES										QUANTITY	BLOCK 1	BLOCK 2	BLOCK 3	BLOCK 4	TOTAL
QUANT	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	WATER USE	EXPOSURE	FLOWER COLOR	SEASON		BLOCK 1	BLOCK 2	BLOCK 3	BLOCK 4	TOTAL	
5 GAL	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	4-5'	18-24"	LOW	SUN TO FS	GOLDEN TAN	EARLY SUMMER TO FALL							
5 GAL	MISCANTHUS SINENSIS 'ADAO'	COMPACT MAIDEN GRASS	2-3'	2-3'	MEDIUM	SUN	PINK	LATE SUMMER							
5 GAL	MISCANTHUS SINENSIS 'GRACILLIMUS'	MAIDEN GRASS	4-5'	4-5'	MEDIUM	SUN	CREAMY-WHITE	LATE SUMMER TO							
5 GAL	MISCANTHUS SINENSIS 'LITTLE NICKY™'	LITTLE NICKY DWARF ZEBRA GRASS	3-4'	2-3'	MEDIUM	SUN	BEIGE	SUMMER							
5 GAL	MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT MAIDEN GRASS	4-5'	2-3'	MEDIUM	SUN	BRONZE	LATE SUMMER							
5 GAL	MISCANTHUS SINENSIS 'PURPURASCENS'	FLAME (PURPLE MAIDEN) GRASS	3-4'	2-3'	MEDIUM	SUN	BRONZE TO SILVERY	LATE SUMMER							
5 GAL	MISCANTHUS SINENSIS 'SARABANDE'	NARROW LEAF MAIDEN GRASS	4-5'	2-3'	MEDIUM	SUN	CREAMY WHITE	LATE SUMMER							
5 GAL	MISCANTHUS SINENSIS 'SILVER FEATHER'	SILVER FEATHER MAIDEN GRASS	4-6'	3-4'	MEDIUM	SUN	SILVER WHITE	LATE SUMMER							
5 GAL	MISCANTHUS SINENSIS 'VARIEGATUS'	VARIEGATED MAIDEN GRASS	4-5'	2-3'	MEDIUM	SUN TO SHADE	SILVERY TO BLUFF	LATE SUMMER TO EARLY FALL							
5 GAL	MOLINA CAERULEA 'VARIEGATA'	VARIEGATED MOOR GRASS	1-2'	12-15"	MEDIUM	FILTERED SHADE	TAN SEED HEADS	MID-SUMMER							
5 GAL	MUHLENBERGIA CAPILLARIS REGAL MIST	REGAL MIST MUHLY GRASS	3-4'	3-4'	LOW	SUN	PINK	LATE SUMMER							
5 GAL	PENNISETUM ALOPECUROIDES	FOUNTAIN GRASS	3-4'	24-30"	LOW	SUN	TAN	LATE SUMMER							
5 GAL	PENNISETUM ALOPECUROIDES 'HAMELN'	DWARF FOUNTAIN GRASS	1-2'	12-18"	LOW	SUN	WHITE WITH COPPER	LATE SUMMER							
CONTAINER SHRUBS										QUANTITY	BLOCK 1	BLOCK 2	BLOCK 3	BLOCK 4	TOTAL
QUANT	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	WATER USE	EXPOSURE	FLOWER COLOR	SEASON		BLOCK 1	BLOCK 2	BLOCK 3	BLOCK 4	TOTAL	
5 GAL	ACER GINNALA 'COMPACTA'	DWARF AMUR MAPLE	6-8"	6-8"	LOW	SUN	N/A	N/A							
5 GAL	BUDDELEJA DAVIDI 'NANHO BLUE'	COMPACT BLUE BUTTERFLY BUSH	4-6"	4-5"	MEDIUM	SUN	BLUE	SUMMER TO FALL							
5 GAL	BUDDELEJA DAVIDI 'NANHO WHITE'	COMPACT WHITE BUTTERFLY BUSH	4-6"	4-5"	MEDIUM	SUN	WHITE	SUMMER TO FALL							
5 GAL	CARYOPTERIS X CLANDONENSIS 'BLUE MIST'	BLUE MIST SPIREA	3-4'	2-3'	LOW	SUN	BLUE	MID TO LATE SUMMER							
5 GAL	EUONYMUS KAUTSCHOVICA 'MANHATTAN'	MANHATTAN EUONYMUS	4-6"	6-8"	MEDIUM	SHADE	GREENISH-WHITE, N/A	LATE SUMMER							
5 GAL	HIBISCUS SYRIACUS VARIETIES	ALTHEA	8-10'	6-8"	MEDIUM	SUN	N/A	EARLY SPRING							
5 GAL	JAMESIA AMERICANA	WAXFLOWER	5-8"	3-6"	LOW	FS TO SHADE	WHITE	SPRING							
5 GAL	LIGULSTRUM VULGARE 'CHEYENNE'	CHEYENNE PRIVET	6-8"	4-6"	LOW	SUN TO FS	WHITE	EARLY SUMMER							
5 GAL	LIGULSTRUM VULGARE 'LODENSE'	LODENSE PRIVET	2-3"	3-4"	LOW	SUN TO FS	WHITE	EARLY SUMMER							
5 GAL	PHILADELPHUS LEWISII BLIZZARD	MOCKORANGE, BLIZZARD	6-8"	6-8"	LOW	SUN	WHITE	SPRING							
5 GAL	PHILADELPHUS X VIRGINALIS DWFMINN. SNOWFLAKE	MOCKORANGE, DWARF MINN SNOWBELLE	3-4'	3-4'	MEDIUM	SUN	WHITE	EARLY SUMMER							
5 GAL	PHYSCARPUS OPLILIFOLIUS NANUS	NINEBARK, DWARF	4-5'	4-5"	LOW	SUN TO FS	WHITE	LATE SPRING							
5 GAL	PHYSCARPUS X SUMMER WINE	NINEBARK, SUMMER WINE	4-6"	4-6"	MEDIUM	SUN	WHITE	SUMMER							
5 GAL	PRUNUS BESSEYI PAWNEE BUTTES	CHERRY, CREEPING WESTERN SAND	15-18"	4-6"	LOW	SUN	WHITE	SPRING							
5 GAL	PRUNUS X CISTENA	PLUM, PURPLE LEAF	6-8"	4-6"	MEDIUM	SUN	PALE PINK	MID-SPRING							
5 GAL	RHAMNUS FRANGULA COLUMNARIS	BUCKTHORN, TALL HEDGE	8-12"	3-4"	LOW	SUN	GREENISH-WHITE	LATE SPRING							
5 GAL	RHAMNUS FRANGULA FINE LINE	BUCKTHORN, FINE LINE	5-7"	3-5"	LOW	SUN	PALE GREEN	SPRING							
5 GAL	RHUS AROMATICA GRO-LOW	SUMAC, DWARF FRAGRANT	2-3'	6-8"	LOW	SUN	YELLOW	EARLY SPRING							
5 GAL	RIBES ALPINUM	CURRENT, ALPINE	3-5"	3-5"	LOW	SUN TO FS	YELLOWISH-GREEN	MID-SPRING							
5 GAL	RIBES ALPINUM GREEN MOUND	CURRENT, GREEN MOUND	3-4'	2-3'	LOW	SUN TO FS	YELLOWISH-GREEN	MID-SPRING							
5 GAL	ROSA FOETIDA BICOLOR	ROSE, AUSTRIAN COPPER	6-10'	6-8"	LOW	SUN	YELLOW/ORANGE W	LATE SPRING							
5 GAL	ROSA WOODSII	ROSE, NATIVE PINK	3-6"	3-6"	LOW	SUN	PINK	EARLY SUMMER							
5 GAL	ROSA X GOLDEN WINGS	ROSE, SINGLE YELLOW SHRUB	3-5'	4-6"	LOW	SUN	YELLOW	EARLY SUMMER							
5 GAL	ROSA X KNOCK OUT	ROSE, SINGLE RED SHRUB	2-3'	2-3'	MEDIUM	SUN	RED	SUMMER							
5 GAL	ROSA X NEARLY WILD	ROSE, SINGLE PINK SHRUB	2-3'	2-3'	LOW	SUN	PINK	EARLY TO LATE SUMMER							
5 GAL	SPIREA JAPONICA ANTHONY WATERER	SPIREA, ANTHONY WATERER	2-3'	2-4'	MEDIUM	SUN TO FS	ROSE RED	EARLY SUMMER							
5 GAL	SPIREA JAPONICA FOREBELII	SPIREA, FROEBEL	3-4'	2-4'	MEDIUM	SUN TO FS	REDDISH-PINK	LATE SPRING TO EARLY SUMMER							
5 GAL	SYRINGA MEYERI PALIBIN	LILAC, DWARF KOREAN	4-6"	4-6"	LOW	SUN	LAVENDER PINK	LATE SPRING							
5 GAL	SYRINGA PATULA MISS KIM	LILAC, MISS KIM DWARF	5-5"	5-5"	LOW	SUN	PALE LAVENDER	LATE SPRING							
5 GAL	SYRINGA VULGARIS KATHERINE HAVEMEYER	LILAC, LAVENDER-PINK FRENCH	8-12"	6-8"	LOW	SUN	LAVENDER-PINK WITH	MID TO LATE SPRING							
5 GAL	SYRINGA VULGARIS LUDWIG SPAETH	LILAC, DARK PURPLE	8-12"	6-8"	LOW	SUN	DARK PURPLE	MID TO LATE SPRING							
5 GAL	SYRINGA VULGARIS PRIMROSE	LILAC, CREAMY YELLOW FRENCH	8-10'	10-12"	LOW	SUN	CREAMY YELLOW	SPRING							
5 GAL	VIBURNUM CARLESI	VIBURNUM, KOREANSPICE	4-5'	4-6"	MEDIUM	ADAPTABLE	WHITE WITH PINK TINT	MID SPRING							
5 GAL	VIBURNUM DENTATUM	VIBURNUM, ARROWWOOD	6-8"	6-8"	MEDIUM	ADAPTABLE	WHITE	LATE SPRING							
5 GAL	VIBURNUM DENTATUM BLUE MUFFIN	VIBURNUM, BLUE MUFFIN ARROWHEAD	3-5'	3-4'	MEDIUM	ADAPTABLE	WHITE	SPRING							
5 GAL	VIBURNUM PLOCATUM TOMENTOSUM WATANABE	VIBURNUM, DWARF DOUBLEFILE	4-6"	6-8"	MEDIUM	SUN TO FS	WHITE	SPRING TO FALL							
5 GAL	VIBURNUM TRILOBUM COMPACTUM	CRANBERRYBUSH, COMPACT AMERICAN	4-5'	4-5"	MEDIUM	ADAPTABLE	WHITE	LATE SPRING							
5 GAL	VIBURNUM TRILOBUM WENTWORTH	CRANBERRY, WENTWORTH HIGHBUSH	8-12"	6-10"	MEDIUM	ADAPTABLE	WHITE	LATE SPRING							
5 GAL	VIBURNUM X BURWOODII	VIBURNUM, BURWOOD	6-8"	6-8"	MEDIUM	FS TO SHADE	WHITE	EARLY SUMMER							
5 GAL	VIBURNUM X JUDICII	VIBURNUM, JUDICII	4-6"	4-6"	MEDIUM	ADAPTABLE	WHITE	MID SPRING							
5 GAL	WEIGELA FLORIDA RUMBA	WEIGELA, RUMBA	2-3'	3-4'	MEDIUM	SUN TO FS	DARK RED	SUMMER							
5 GAL	WEIGELA FLORIDA VARIEGATA	WEIGELA, VARIEGATED	4-6"	4-6"	MEDIUM	SUN TO FS	PINK	EARLY SUMMER							
5 GAL	WEIGELA FLORIDA WINE AND ROSES	WEIGELA, WINE AND ROSES													

DEVELOPER:

ARMORY LAND INVESTORS, LLC

ARCHITECT:

THE MULHERN GROUP, LTD.
ARCHITECTURE • PLANNING • INTERIORS

CONSULTANT:



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SITE REVIEW SUBMITTAL
ARMORY COMMUNITY
BOULDER, COLORADO

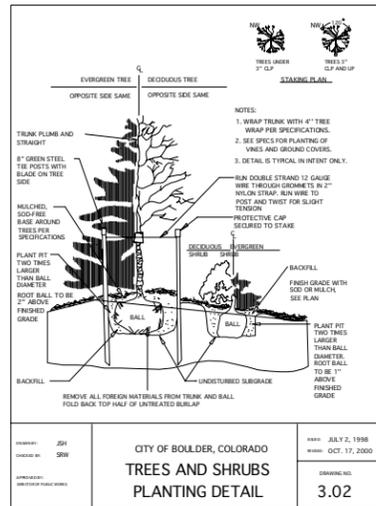
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02-01-2016	SITE REVIEW SUBMITTAL 3

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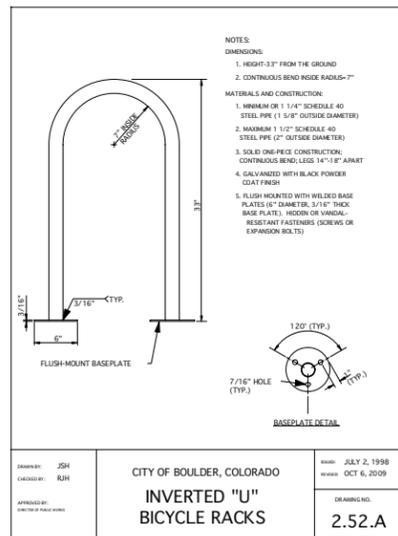
DETAILS

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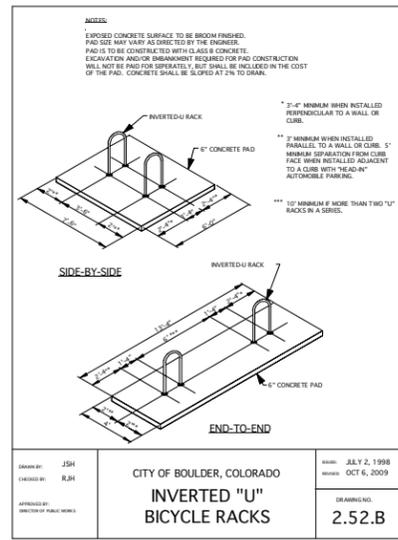
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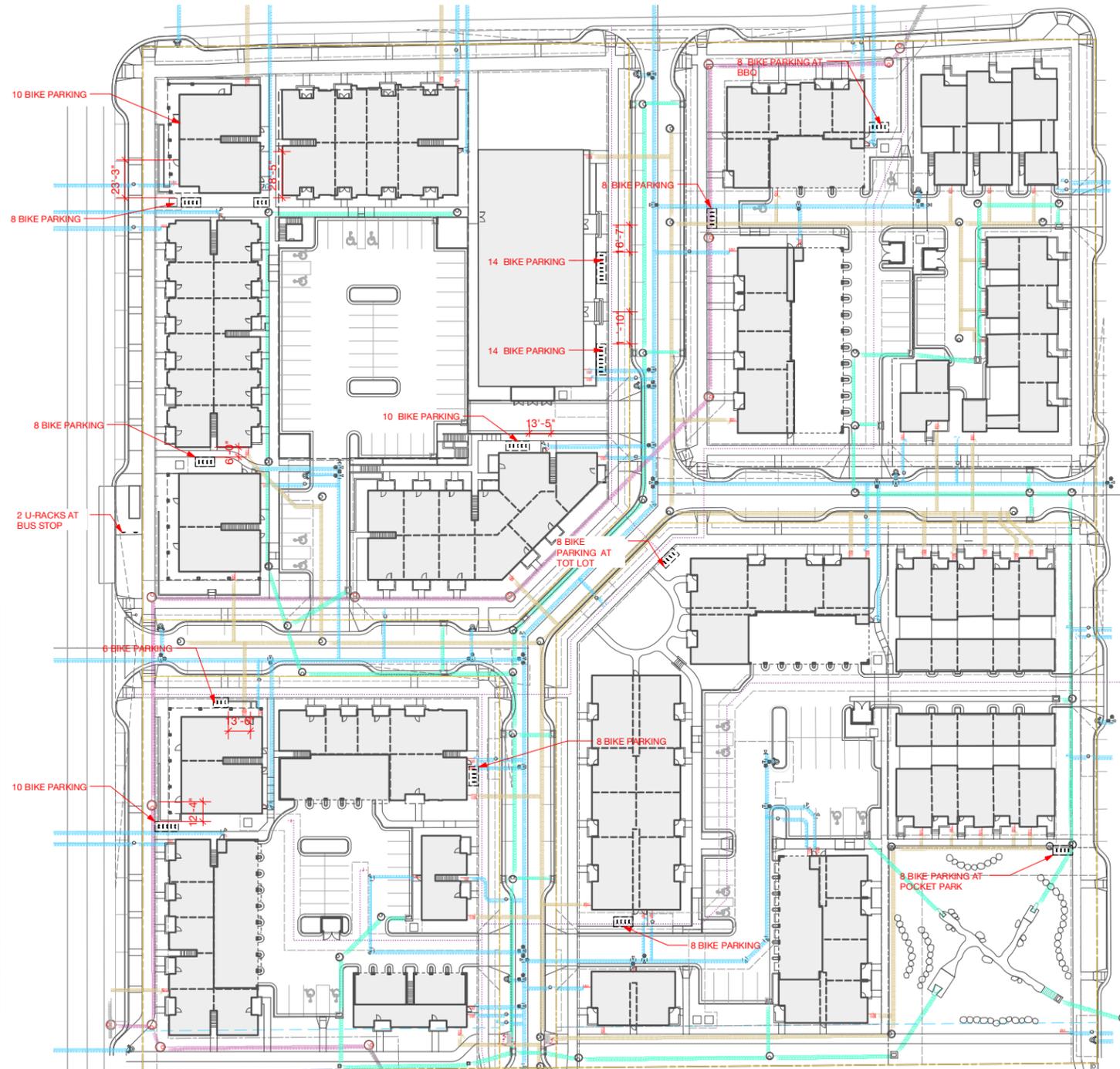
1 TREE AND SHRUB PLANTING DETAIL
SCALE: not to scale



2 INVERTED - U BIKE RACKS
SCALE: not to scale



3 INVERTED - U BIKE RACKS - LAYOUT
SCALE: not to scale



4 SHORT TERM BIKE PARKING
Scale: 1" = 40 ft



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SHEET NAME:
OPEN SPACE AND COMPLIANCE

SHEET NUMBER:

L 4.0



1 OPEN SPACE CALCULATION
Scale: 1" = 50 ft

- OPEN SPACE CATEGORIES**
- TYPE 1** LANDSCAPED AREAS, INCLUDING DETENTION POND
 - TYPE 2** LANDSCAPE ON TOP OF PARKING STRUCTURE
 - TYPE 3** LANDSCAPED ROW (10% OF REQUIRED MAX)
 - TYPE 4** COMMERCIAL PATIO SPACE, POOL AND POOL DECK
 - TYPE 4** INDIVIDUAL PATIOS AND DECKS, ROOF DECKS - SEE ARCH FOR DETAILS - NOT SHOWN ON OPEN SPACE DIAGRAM

NOTE - DETENTION POND AREA NOT INCLUDED IN OPEN SPACE CALCULATION

The Armory Landscape Compliance Charts

	Site Landscape Requirements		Required Trees	Provided Trees	Required Shrubs	Provided Shrubs
	Gross Site Area	Net Site				
Block 1	104,341.3	18,794	13	18	63	200 +
Block 2	53,575.6	12,031	8	20	40	200 +
Block 3	66,492.5	18,216	12	24	61	200 +
Block 4	109,399.7	38,381	26	34	128	200 +
Total	333,809.1	87,422	58	96	291	800 +

Note: Street trees and parking lot trees not included in total.

Block	Street Tree Requirements		Required Trees	Provided Trees	Notes
	Lineal Footage	Trees			
Block 1	Broadway	322	9	11	Lineal footage includes transit stop
	Lee Hill	277	7	9	
	Zamia	177	5	6	
	13th	332	9	9	
	Total		30	35	
Block 2	Broadway	228	6	7	
	Zamia	202	6	7	
	13th	207	6	6	
	Total		18	20	
Block 3	Lee Hill	214	6	6	
	13th	234	6	6	
	14th	228	6	7	Lineal footage excludes driveway access
	Zamia	170	5	5	Lineal footage excludes driveway access
	Total		23	24	
Block 4	13th	330	9	9	Lineal footage excludes driveway access
	Zamia	227	6	6	
	14th	294	8	9	Lineal footage excludes driveway access
	Total		23	24	

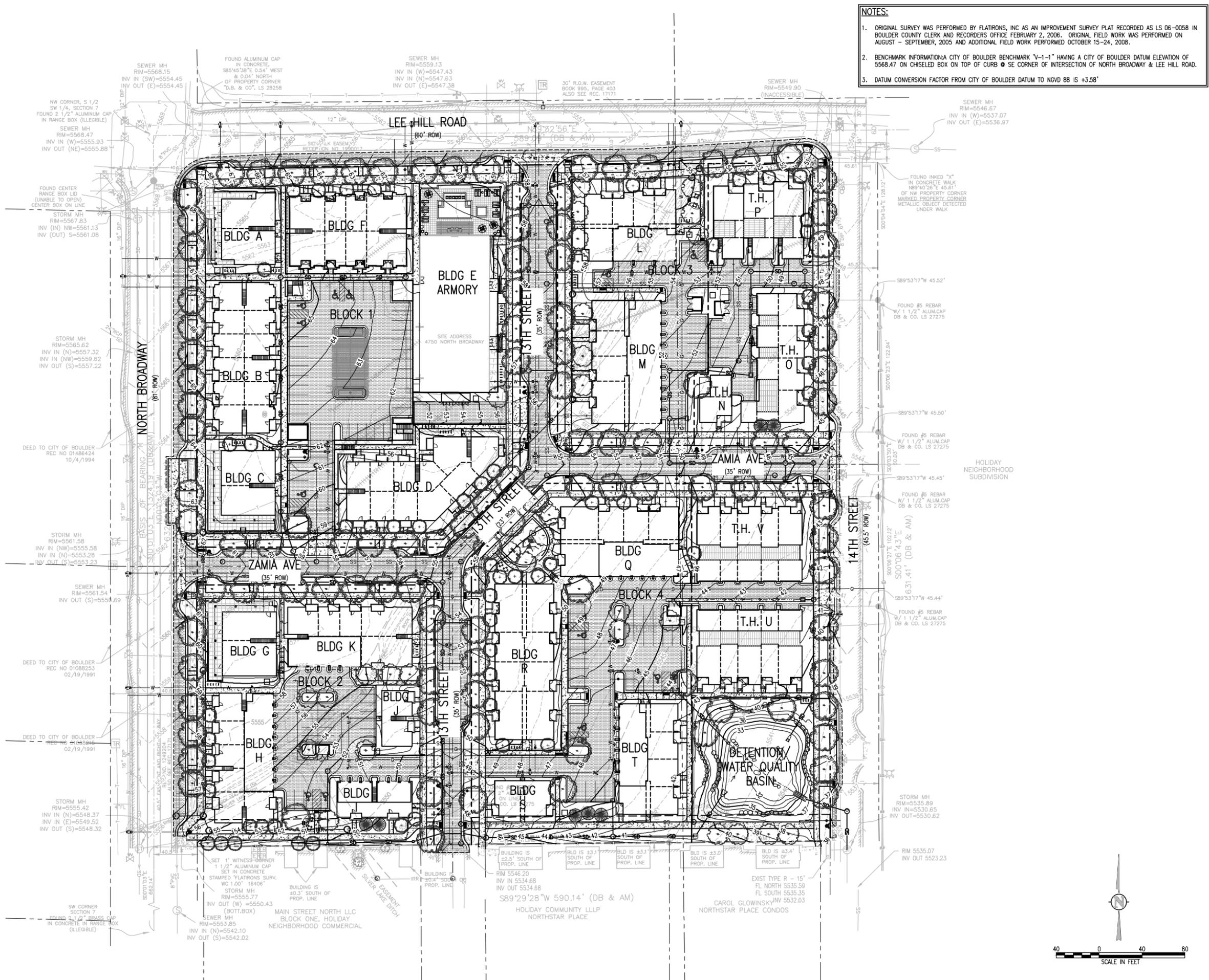
Grand Total **94** **103**

Block	Open Space Requirements		Provided Hardscape	ROW Landscape	% Open Space Required	Total OS Provided	% Open Space Provided
	Total SF Open Space Req'd	Provided Landscape					
Block 1	20,868	17,970	5,992	2,086	20%	26,048	25%
Block 2	10,715	12,041	1,582	1,071	20%	14,694	27%
Block 3	13,299	18,232	0	1,329	20%	19,561	29%
Block 4	21,880	25,255	0	2,188	20%	27,443	25%
Total	66,762	73,498	7,574	6,674	20%	87,746	27%

Detention pond are not included in open space calculations
Roof Decks not included in this total
ROW landscape does not exceed 10% of required open space per code.

Block	Parking Landscape Requirements		Landscape Required	Landscape Provided	Trees Required	Trees Provided	Screening Provided
	Numbe of Spaces	Parking Area					
Block 1	not applicable - garage only	none	none				N/A
Block 2	21 spaces	8,693	435	523	3	4	yes
Block 3	not applicable - fewer than 15 spaces	none	none				N/A
Block 4	33 spaces	13,821	691	1065	4	6	yes
Total			1,126	1,588	7	10	

2 COMPLIANCE CHARTS



- NOTES:**
1. ORIGINAL SURVEY WAS PERFORMED BY FLATRONS, INC AS AN IMPROVEMENT SURVEY PLAT RECORDED AS LS 06-0058 IN BOULDER COUNTY CLERK AND RECORDERS OFFICE FEBRUARY 2, 2006. ORIGINAL FIELD WORK WAS PERFORMED ON AUGUST - SEPTEMBER, 2005 AND ADDITIONAL FIELD WORK PERFORMED OCTOBER 15-24, 2008.
 2. BENCHMARK INFORMATION: A CITY OF BOULDER BENCHMARK "V-1-1" HAVING A CITY OF BOULDER DATUM ELEVATION OF 5568.47 ON CHSELED BOX ON TOP OF CURB @ SE CORNER OF INTERSECTION OF NORTH BROADWAY & LEE HILL ROAD.
 3. DATUM CONVERSION FACTOR FROM CITY OF BOULDER DATUM TO NGVD 88 IS +3.58'



DEVELOPER:
ARMORY LAND INVESTORS, LLC

ARCHITECT:
THE MULHERN GROUP, LTD.
ARCHITECTURE • PLANNING • INTERIORS

CONSULTANT:

J&J CONSULTING ENGINEERS
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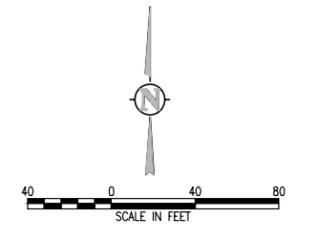
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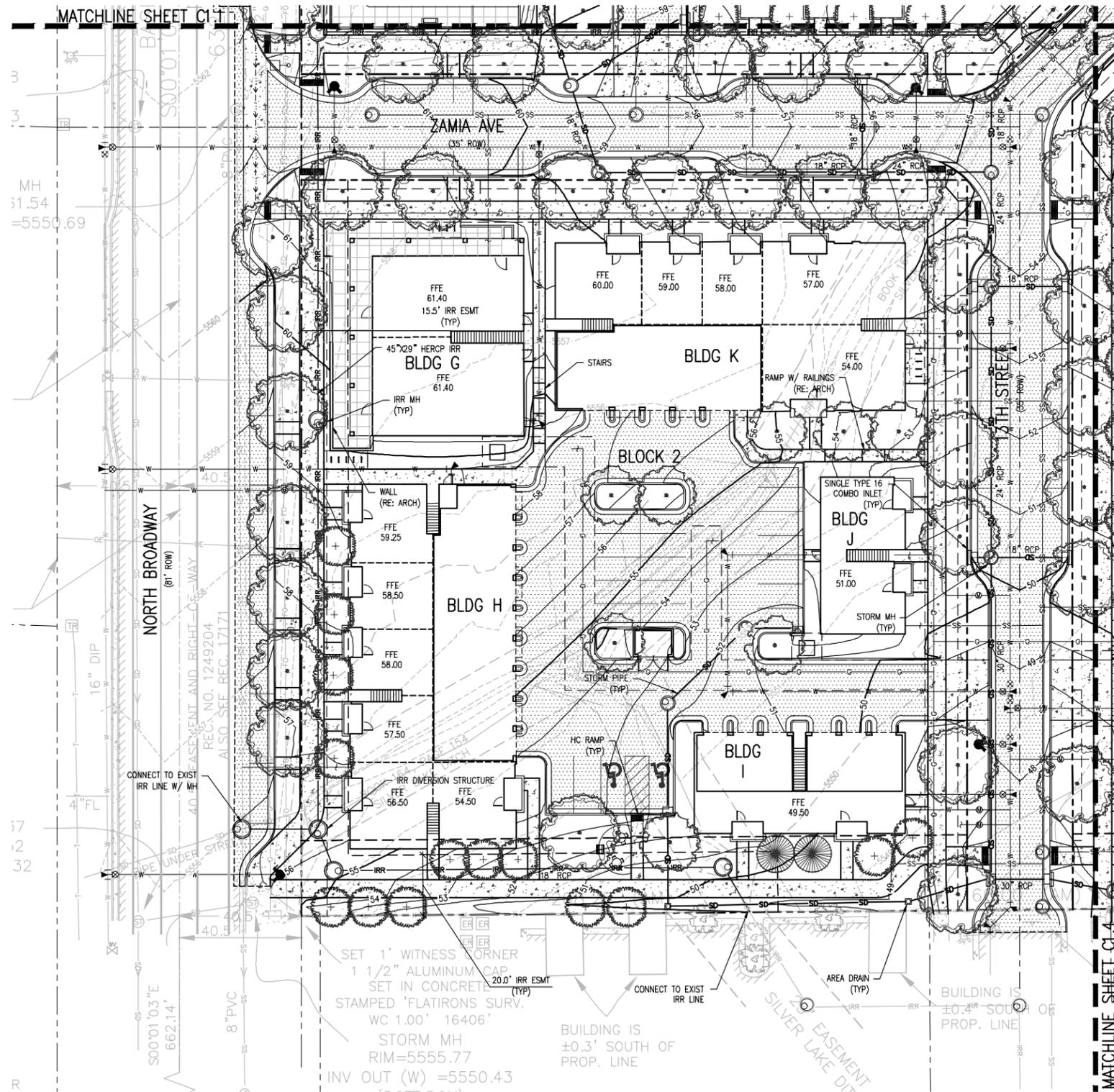
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02-01-2016	SITE REVIEW SUBMITTAL 3

SHEET NAME:
PRELIMINARY OVERALL GRADING & DRAINAGE PLAN

SHEET NUMBER:

C1.0





DEVELOPER:
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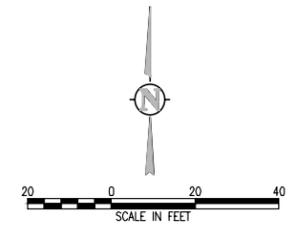
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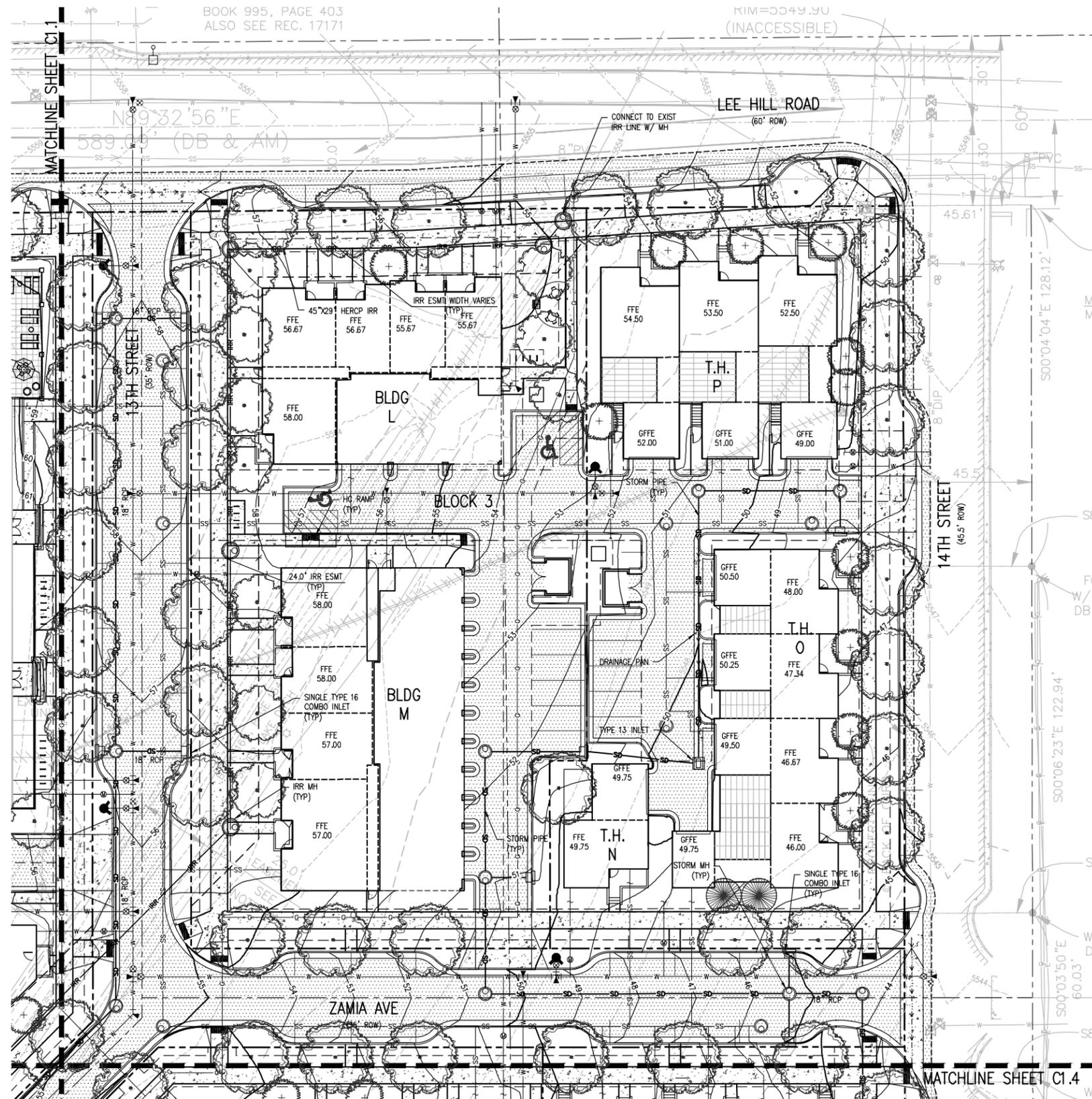
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02-01-2016	SITE REVIEW SUBMITTAL 3

SHEET NAME:
PRELIMINARY BLOCK 2
GRADING & DRAINAGE PLAN

SHEET NUMBER:

C1.2





DEVELOPER:
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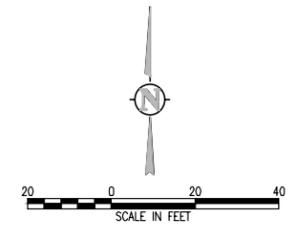
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DATE:	REVISION:
02-02-2015	SITE REVIEW SUBMITTAL 1
04-20-2015	SITE REVIEW SUBMITTAL 2
02-01-2016	SITE REVIEW SUBMITTAL 3

SHEET NAME:
PRELIMINARY BLOCK 3
GRADING & DRAINAGE PLAN

SHEET NUMBER:

C1.3



BDAB COMMENTS – The Armory Community

MEETING DATE: March 23, 2016
ADDRESS: 4750 Broadway
DESCRIPTION: Revised Plans for the redevelopment of the 8.45-acre Armory site located at the southeast corner of Broadway and Lee Hill Dr. The scope of the proposed project has been modified so that the plans conform largely to the existing zoning for the site. Under the current proposal, the project would include a total of 200 dwelling units (182 apartment units plus 18 townhomes) as well as limited restaurant/ convenience retail spaces at the corners of Broadway and Lee Hill and Broadway and Zamia. A total of 22 buildings including the Mess Hall building are shown, all of which are 15,000 sq. ft. or less in size and meet the 35 foot height limit for the zone. The applicant is requesting a 21% parking reduction to allow for 299 parking spaces where 375 are required per city regulations.

APPLICANT: Mulhern Group c/o Bruce Dierking
CASE MANAGER: Chandler Van Schaack

RELEVANT GUIDELINES:

North Boulder Subcommunity Plan:

In 1995, the City of Boulder adopted the [North Boulder Subcommunity Plan](#) (NoBo Plan) to guide redevelopment, and the plan has since helped shape the mixed-use, retail, and residential development patterns in North Boulder.

The primary goals and policies found in the NoBo Plan include strengthening established areas; redevelopment with a focus on walkable, connected, and mixed use places; a diversity of housing choices; new community and civic attractions; improved design quality and an integrated network of parks and open space.

The North Boulder Armory site is an approximately 8.45 acre property located in North Boulder at the southeast corner of Lee Hill Road and Broadway, and is subject to the NoBo Plan. The subject site is identified in the NoBo Plan as part of the Yarmouth North neighborhood. Relevant goals from the NoBo Plan pertaining to the project site include:

Development Guidelines for All Neighborhoods:

- *Locate compatible building types to face one another across streets. Change design rules at rear or side property lines rather than down the middle of the street.*

- *Design houses so that garage doors do not dominate the front facade.*

- *Position buildings close to the street to create a more pedestrian friendly atmosphere.*
- *Provide high quality building design with attention to detail. Avoid monotonous building designs: include human scale features such as porches, varied building elevations, and varied sizes and styles.*
- *In higher density areas where parking lots are needed, design the lots so that they are small and clustered. Locate parking in the back of buildings, not in the front.*

Yarmouth North Development Guidelines:

- *Design the area as a neighborhood, with small blocks and buildings oriented toward the street.*
- *Non-residential uses should be contained in buildings with smaller floor plates, not in large office buildings*

- *Design with noise protection from US 36 and Broadway, employing noise-sensitive building placement, height, orientation, and special construction materials.*

- *Live/ work units in residential-scale office buildings, with pedestrian-interest windows, and front doors facing the street.*

Site Review Criteria:

Because the 8.5-acre site exceeds the one acre minimum threshold for mandatory Concept Plan and Site Review, the applicant is required to complete a Site Review application process for the proposed project and must demonstrate compliance with all Site Review criteria found in Section 9-2-14(h), B.R.C., 1981. Of particular importance for BDAB's review of the project are the criteria related to building design, livability, and relationship to the existing or proposed surrounding area, including the following:

- *How does the proposal accommodate pedestrians, including, without limitation, uses proposed for the ground level, percent of transparent material at the ground level, and signage and graphics?*

- *How does the project preserve and enhance the community's unique sense of place through creative design that respects historic character, relationship to the natural environment, multi-modal transportation connectivity and its physical setting?*

- *Are the building height, mass, scale, orientation, architecture and configuration compatible with the existing character of the area or the character established by adopted design guidelines or plans for the area?*

- *Is the height of buildings in general proportion to the height of existing buildings and the proposed or projected heights of approved buildings or approved plans or design guidelines for the immediate area?*

- *If the character of the area is identifiable, is the project made compatible by the appropriate use of color, materials, landscaping, signs and lighting?*

- *Is the project designed to a human scale and does it promote a safe and vibrant pedestrian experience through the location of building frontages along public streets, plazas, sidewalks and paths, and through the use of building elements, design details and landscape materials that include, without limitation, the location of entrances and windows, and the creation of transparency and activity at the pedestrian level?*

- *Do the exteriors of buildings present a sense of permanence through the use of authentic materials such as stone, brick, wood, metal or similar products and building material detailing?*