

# **Boulder Design Advisory Board Agenda**

Wednesday, April 8, 2015  
1777 Broadway, West Conference Room  
4 – 6 p.m.

## **The following items will be discussed:**

1. Call to Order
2. [Approval of Minutes](#)
3. [S'PARK Project Review](#)
4. Board Matters

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### **For further information on these projects, please contact:**

Sam Assefa at 303.441.4277      [assefas@bouldercolorado.gov](mailto:assefas@bouldercolorado.gov) or

### **For administrative assistance, please contact:**

Melinda Melton at 303.441.3215      [meltonm@bouldercolorado.gov](mailto:meltonm@bouldercolorado.gov)

**CITY OF BOULDER**  
**BOULDER DESIGN ADVISORY BOARD MINUTES**  
**March 11, 2015**  
**1777 Broadway, 1777 West Conference Room**

A permanent set of these minutes and a tape recording (maintained for a period of seven years) are retained in Central Records (telephone: 303-441-3043). Minutes and streaming audio are also available on the web at: <http://www.bouldercolorado.gov/>

**BDAB MEMBERS PRESENT:**

Michelle Lee  
David Biek  
Jamison Brown  
Jeff Dawson

**PLANNING BOARD EX-OFFICIO MEMBER PRESENT:**

Bryan Bowen

**STAFF PRESENT:**

Sam Assefa, Senior Urban Designer  
Sloane Walbert, CP&S Planner I

**BOARD DISCUSSION:**

**1. Approval of Minutes**

BDAB approved the February 11, 2015 BDAB minutes.

**2. Natural Grocers**

BDAB provided feedback on the project according to the Design Guidelines and the following review criteria:

- 3.1.B Locate the buildings close to the street*
- 3.1.C Locate the buildings at street corners*
- 3.1.D Maximize street-frontage of buildings*
- 3.1.E Lay out site to support pedestrian circulation*
- 3.1.F Useable outdoor space should be integral to the plan*
- 3.6.B Locate and design open space to encourage use*
- 5.1.A Break down the mass of the building*
- 5.2.A Orient the building to the street*
- 5.2.B Address the street corner*
- 5.2.C Emphasize building entrances*
- 5.2.D Avoid large blank walls*
- 5.2.E Provide pedestrian interest on the ground level*
- 5.2.F Design all sides of the building*
- 5.2.I Use human-scale exterior materials*
- 5.2.J Select high-quality exterior materials*

## **BOARD COMMENTS:**

**J. Brown** suggested shifting the green space so that it is contiguous with the existing parklet. No parking would be lost, a walk path could be installed that leads to the front door instead of to the loading dock, and the stormwater component could be installed. This would create one large central green space in that PUD instead of two unusable green spaces.

**J. Dawson** suggested adding elements that are actually usable rather than having a detention pond in this space. There may be ways to reorganize the parking such as moving some parking to the other side of the drive close to the entry.

**J. Brown** pointed out that bikers will not come from the Pearl Street side, but from the Spruce Street side so it would be more convenient to have the majority of the bike parking on that side of the building. He questioned whether or not cutting down an established tree to install two bike parking spaces is a good trade off.

**M. Lee** suggested moving the glass on the Pearl Street side of the building to the north side of the building where there will be more pedestrian traffic. Put signage and less glass on the Pearl Street side and move the glass to the north side to add more transparency. There was no consensus from the rest of the board on this point. She also suggested moving the demonstration kitchen and community area near the overhead roll-away door and adding more glass to increase their visibility. Simplify and minimize the southeast corner and focus on the northeast corner where that transparency makes more sense.

**J. Brown** recommended that the demonstration kitchen be on the Pearl Street side. The Master Plan calls for the active side to be along Pearl Street even though most customers will not be coming from that side.

**J. Brown** suggested putting windows in the nutritionist's office and the break room which would open up those spaces as well as that part of the store that does not have any natural light.

**J. Dawson** noted that the window system has room for improvement. The current detailing of the windows is not traditionally what is seen on storefronts. He suggested reorganizing the store so that there is a regular rhythm of storefront-like openings.

**D. Biek** recognized that, since it is a grocery store, it cannot have glass all the way around the building. He thought that the degree of transparency and the basic planning of the store were smart, but the architecture could be simplified.

**D. Biek** commented that the mural would need to be very urban and sophisticated in order to take up such a large portion of the outer wall. Another option for large, blank exterior walls is growing plants up the side.

**J. Brown** agreed and would rather see interesting architecture as opposed to covering up the wall with a mural.

**J. Dawson** suggested keeping good architecture on the outside and art on the inside of the building. If the mural were to be removed, no additional patterning, windows or change of architecture would be needed.

**M. Lee** thought that the mural on the south side looked too applied and that the west elevation would be a better location. She suggested simplifying that corner by consolidating the brick into one volume and simplifying the roof line that way if the mural did end up on that side it would be recessed and well framed.

**D. Biek** thought that Pearl Street would not be the right location for the mural because the store needed to have as much transparency as possible. If a mural is added, perhaps panelizing it and/or making it more abstract would aid in creating a more urban look.

**J. Brown** suggested transplanting some of the landscaping planted by Olive Garden to the west elevation. He recommended not spending too much on this side since it is considered the back side of the building.

The board generally did not support the murals.

**J. Dawson** suggested removing some of the brick from the west elevation and adding more brick to the north and south elevations.

**J. Brown** recommended using a different material for the siding which he thought looked somewhat harsh.

**J. Brown & D. Biek** agreed that panelized siding would work well.

**J. Brown** noted that a goal of the Boulder Valley Comprehensive Plan is to create a commercial, mixed use experience along Pearl Street. Providing appropriate access is more important than trying to match a residential building material on a commercial building.

Board members generally agreed that the proposed color scheme worked well.

**M. Lee** brought up an issue with the brick that was above the glass on the northeast elevation. She commented that the glass on the storefront with eight feet of brick above it was not believable. If the glass and brick stay it may help to add a beam in between the two materials.

**J. Brown** thought that the mezzanine area seemed too weighty with the columns. He suggested putting in windows and possibly putting the mural inside the mezzanine if more glass was added. Making the mezzanine a two-story glass space on the southeast corner would not only create a sharper look, but it is also a prominent corner for advertising and it would be smart to use the architecture as a wayfinding element.

**J. Dawson** noticed that there needs to be more cohesiveness between all of the different looks of the building and suggested creating more of a consistent rhythm throughout each elevation.

**M. Lee** commented that it is important to focus on how to wrap the corners and to make the transition of materials more subtle. She also recommended simplifying the two different roof heights on the north elevation as well as the two different materials used on the roof line of the east elevation.

**J. Dawson** recommended that the applicants be more restrained and more thoughtful about the proportions of the building design.

**J. Brown** suggested that when using green screens like panels to make sure that there is a correlation between that and the landscape plans.

### **PLANNING BOARD EX-OFFICIO COMMENT**

**B. Bowen** brought up the point of differentiating between users of the store and the general public where the urban interface actually is. The more important frontage is Pearl Street and Planning Board will probably weigh heavier on that side as well.

#### **3. Board Matters**

The Design Guidelines are redlined and **F. Hoffman** is currently making revisions and will send them in the next couple of weeks. The Design Guidelines are what will exempt the downtown area from the building height moratorium. There may be a joint board meeting with Planning Board, Landmarks Board, and BDAB since the Landmarks Board has jurisdiction over the historic districts in the Design Guidelines.

Interviews are being finalized for two consultants for the Form Based Code initiative.

APPROVED BY:

\_\_\_\_\_  
Board Chair

\_\_\_\_\_  
DATE

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## BOULDER DESIGN ADVISORY BOARD APPLICATION

Date of Application 3/25/2015 Address of Property for Review 3390 Valmont/ 3085, 3155, 3195 Bluff Street  
Applicant's Name Adrian Sopher Phone 303.442.4422  
Address 1731 15th Street, suite 250, Boulder, CO 80302  
Relationship to Project (e.g.: architect, contractor, etc.) architect  
Owner's Name and Address a)Sutherlands Building Material; 1515 Main Street #16, Longmont, CO Phone \_\_\_\_\_  
b)1240 Cedar LLC/ 3155 Element LLC/ 3195 Bluff Element; 1539 Pearl St., Boulder, CO

### Project Description

21 buildings as follows:  
MAARKET: NON-RESIDENTIAL - 54,009 SF TOTAL; 3-STORY+MEZZANINE; 50' HEIGHT; FAR = 1.79  
CICLO: RESIDENTIAL - 30,869 SF/ NON-RESIDENTIAL - 21,556 SF = 52,425 SF TOTAL; 3-STORY+MEZZANINE; 45' HEIGHT; FAR = 2.27  
RAILYARDS: NON-RESIDENTIAL - 67,039 SF TOTAL; 4-STORY; 55' HEIGHT; FAR = .73  
TIMBER: RESIDENTIAL - 115,084 SF/ NON-RESIDENTIAL - 4,853 SF = 119,937 SF TOTAL; 4-STORY; 50' HEIGHT; FAR = 1.82  
MEREDITH HOUSE: RESIDENTIAL - 20,690 SF TOTAL; 4-STORY; 47'-6" HEIGHT; FAR = 1.66  
SPARK\_WEST: RESIDENTIAL - 97,011 SF TOTAL; 3-STORY; 40'-0" HEIGHT; DENSITY = 1800 SF/UNIT

Lot Size 341,303 s.f. (net) Proposed Additional Bldg. Sq. Ft. 147,457  
Total Existing Bldg. Sq Ft. 0 Proposed Bldg. Height see above  
Existing Bldg Height 0

### Submission Deadlines

The Boulder Design Advisory Board generally meets on the second Wednesday of every month. The deadline for submitting your application is 4 p.m. on the last Wednesday of the month, two weeks prior to the meeting date that you wish to attend. Come in person to the Planning and Development Services Center, 1739 Broadway, third floor, to submit your application and materials to a Project Specialist.

Please see the attached "Submission Requirements" sheet for guidance on what we need.

### What to Bring to Your Review

At the time of the meeting, please bring at least one set of rendered drawings and material samples.

### **Committee Comments about the Proposal:**

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For submittal questions or project-content questions, please contact Sam Assefa, at 303-441-4277, [assefas@bouldercolorado.gov](mailto:assefas@bouldercolorado.gov). For administrative questions about BDAB, please contact Melinda Melton, 303-441-3215, [meltonm@bouldercolorado.gov](mailto:meltonm@bouldercolorado.gov). You can also visit the [Boulder Design Advisory Board \(BDAB\)](#) website for more detailed information.

March 25, 2015

**Boulder Junction**

Boulder, CO



## **An intentional place that fulfills the community's values and aspirations for Boulder Junction**

### VISION

S'PARK: a modern village with active greenspaces and cutting-edge sustainability for people to live, work, eat, and play — a true mixed use and transit-oriented place for Boulder Junction. A place for the crafters, the makers, and the innovators.

- Vibrant & Fun
- Modern & Sustainable
- Urban & Connected

S'PARK's residential neighborhood is designed to connect people with a sense of place as much as each other.

- Innovative Mixed Income
- Inclusive Open Spaces
- Inspiring Walkable Design



**S'PARK: A vision for a vibrant eclectic spontaneous city**

- Modest density spread across 10.9 acres and 18 Buildings with varying heights and sizes
- Unparalleled housing diversity
- Over 30% Permanent Affordable Housing onsite
- Colorado's 1st LEED - ND Platinum Project
- A Transit Oriented Development (TOD) at Boulder's speed
- A focus on Design Excellence and Diversity
- Street proportions tuned to harmonic ratios
- Civic walkable scale that favors pedestrians and cyclists
- Inclusive open spaces invite participation in urban living
- A lively, engaging and creative place for Boulder



Learning from the world's successful models for livable cities, their grit, authenticity and pulse toward interpretations the capture the the essence of living in Boulder.

### Inspirations





Development



Architecture

WORKSBUREAU



Landscape Architecture



Sustainability



Civil Engineering



Structural Engineering



Mechanical, Electrical, Plumbing



Development Design Team

2010 Census Information

Census Tract 122.03  
(Greater Boulder Junction)  
Designation - Severely Distressed

Population - 6,245  
Median Family Income - \$44,231  
Percent of People in Poverty - 50.34%



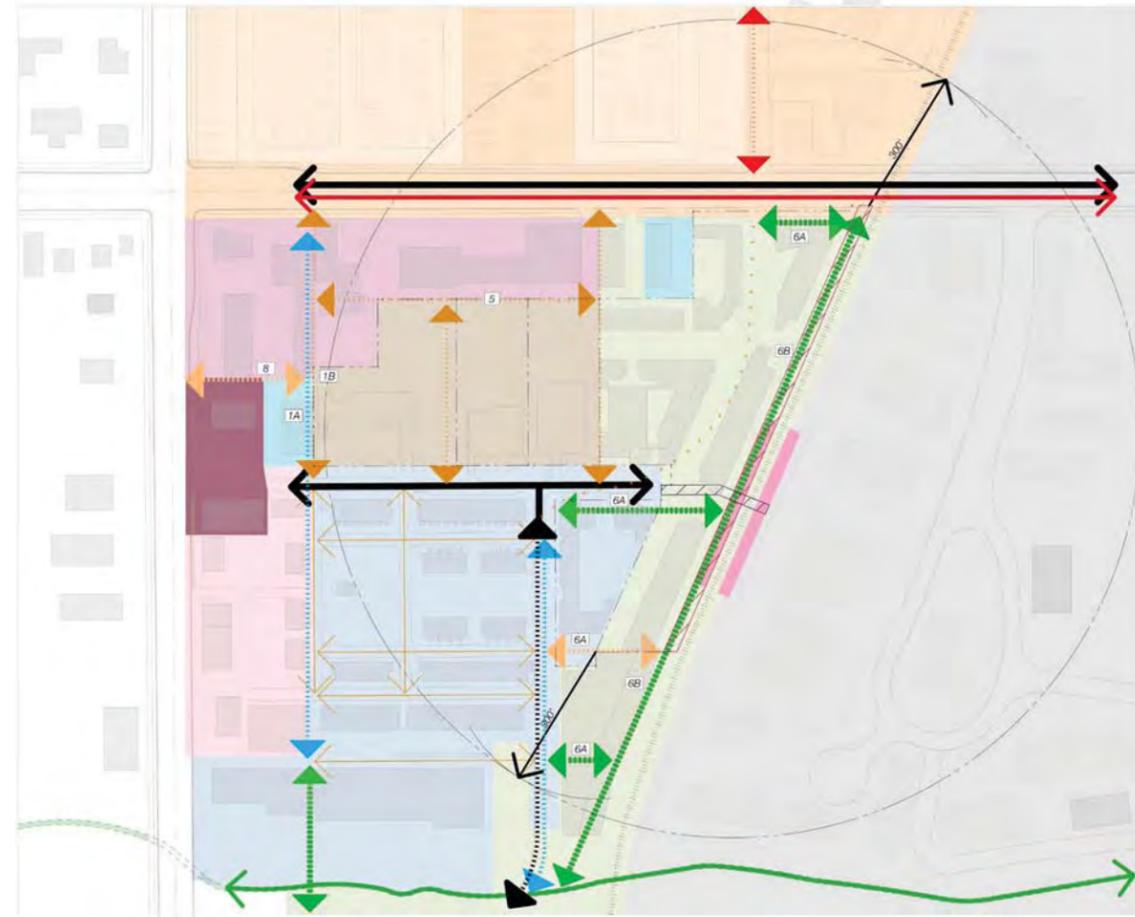
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Aerial Context Map

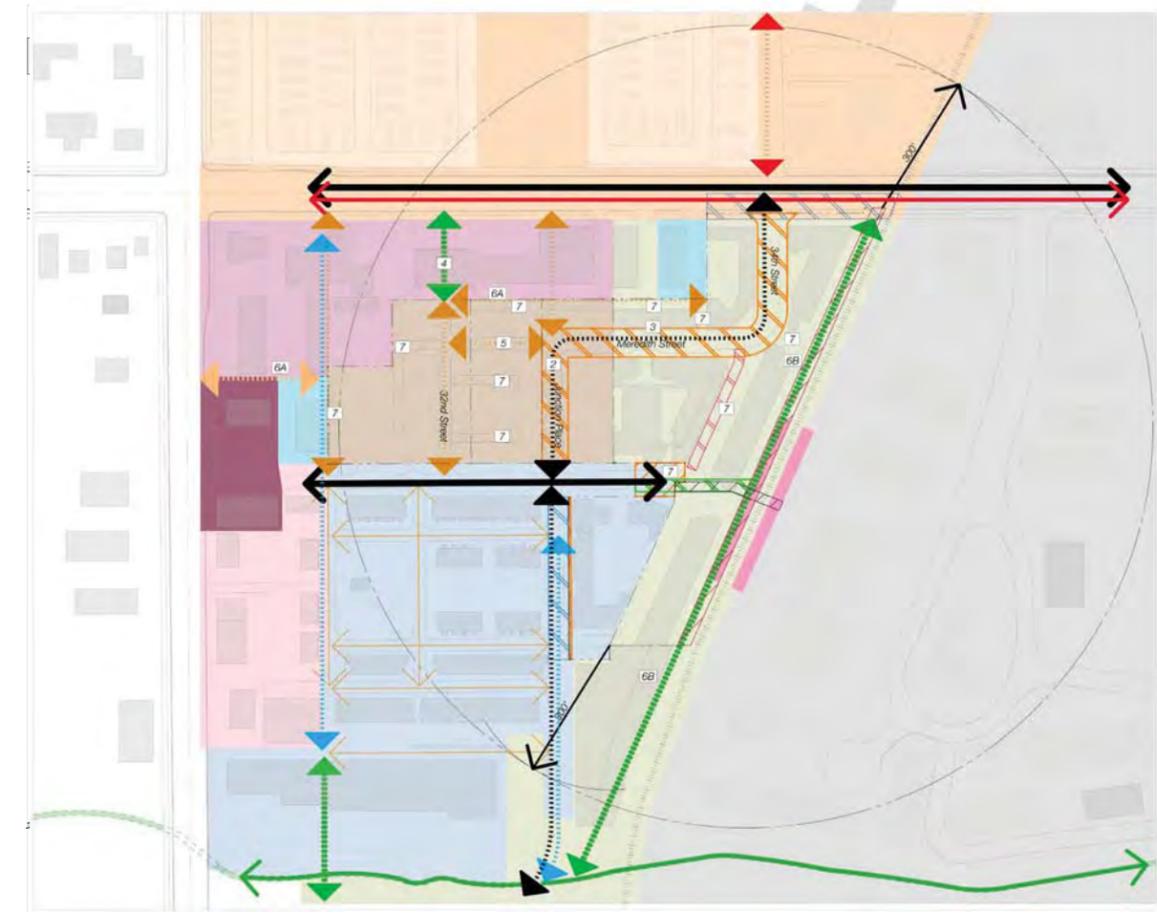




Adopted Zonina & Connections



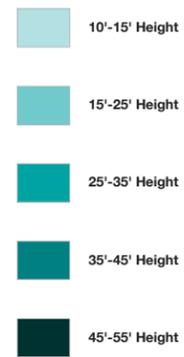
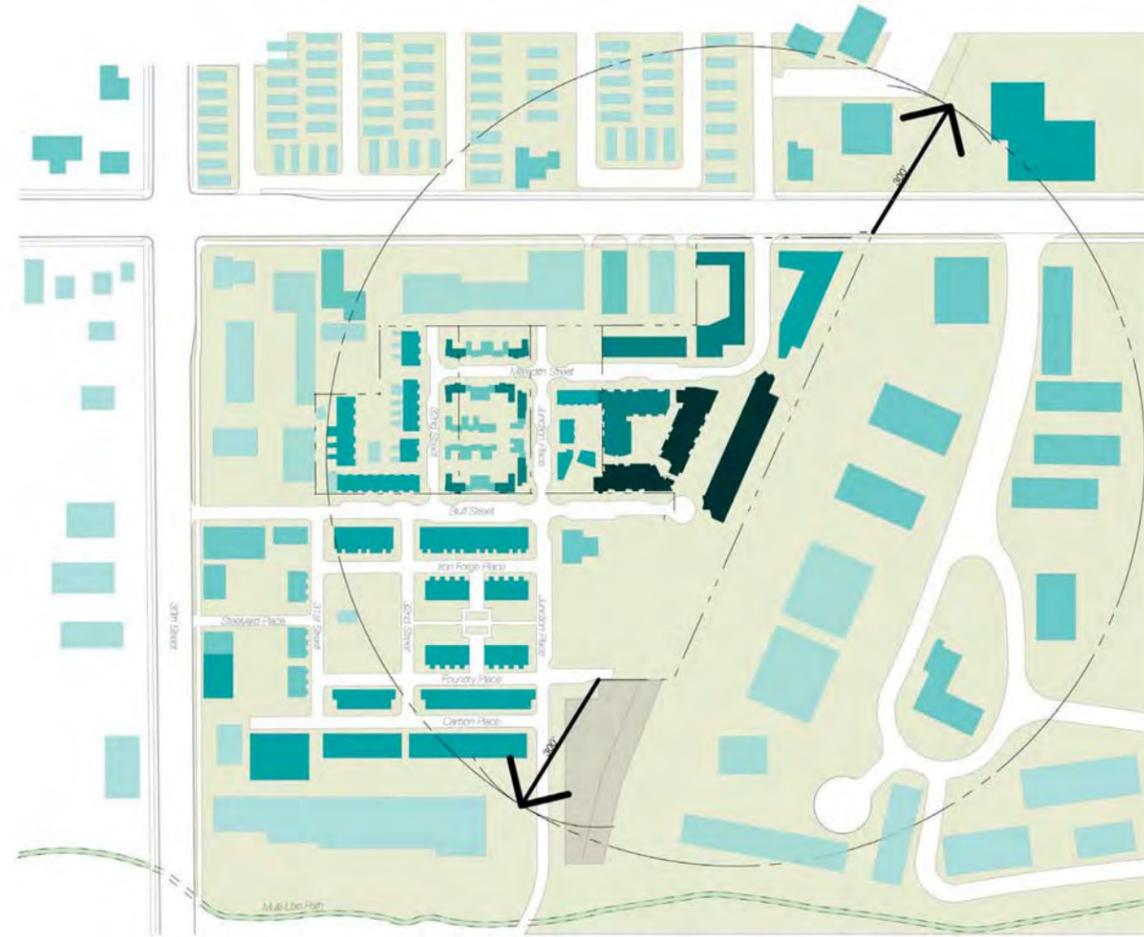
Context: Proposed Zoning & Connections



- 1A Adopted Proposed On Street Bike Route to be deleted
- 1B Adopted Proposed Local Street to be deleted
- 2 Proposed routing of Junction Place
- 3 Proposed Meredith Street relocated from adopted Connections Plan
- 4 Proposed 32nd Street relocated from adopted Connections Plan
- 5 Proposed relocation of future local streets from adopted Connections Plan
- 6A Adopted Proposed Path to be deleted
- 6B Adopted Proposed Multi-Use Path to be Proposed Bike Path
- 7 Proposed Private Drive

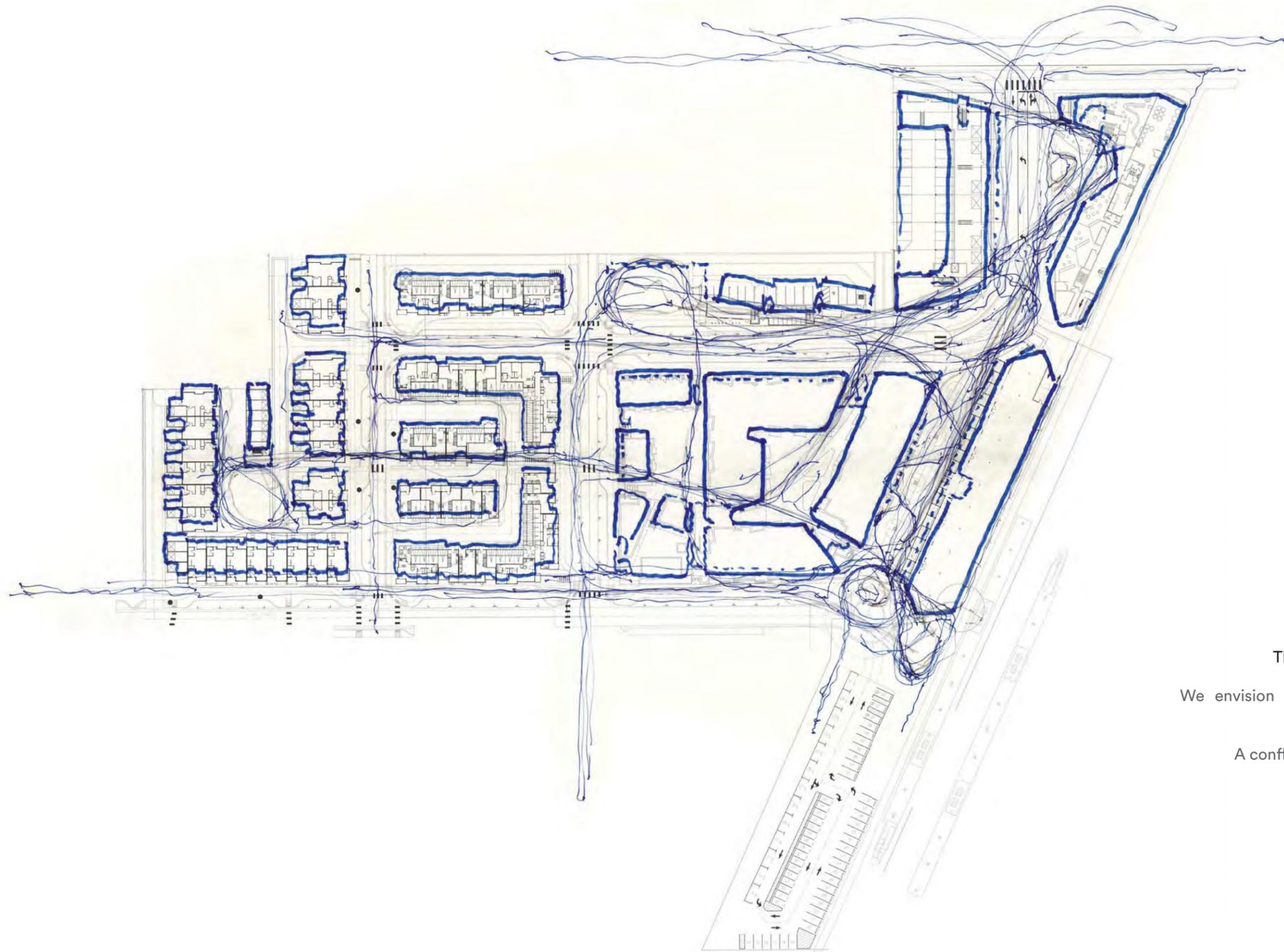
MU-4	BMS	PROPOSED RH-3	ROW Dedication	Railroad Easement	Existing Collector Street	Existing on street bike lane
IS-1	RM-1	PROPOSED FLEX ZONE	ROW Vacation	Proposed Railroad Platform	Proposed Collector Street	Proposed On Street Bike Lane
IMS	MH		Sanitary Easement	Proposed Woonerf (Private Drive)	Existing Local Street	Proposed On Street Bike Route
RH-6	BT-1		Existing Drainage Easement	Proposed Pedestrian Access Easement	Proposed 2-way Local Street	Existing Multi-Use Path
BCS	IG		Proposed Drainage Easement		Proposed 1-way Local Street	Proposed Bike Path
					Proposed Local Street -flexible alignment	Proposed Soft Surface Pedestrian Path
						Existing Railroad

Context: Proposed Height



Context: Proposed Land Use





The underlying concept woven in design:

We envision an activated urban fabric, alive and thriving--

A confluence of many routes in vibrant places, for people at all times and seasons

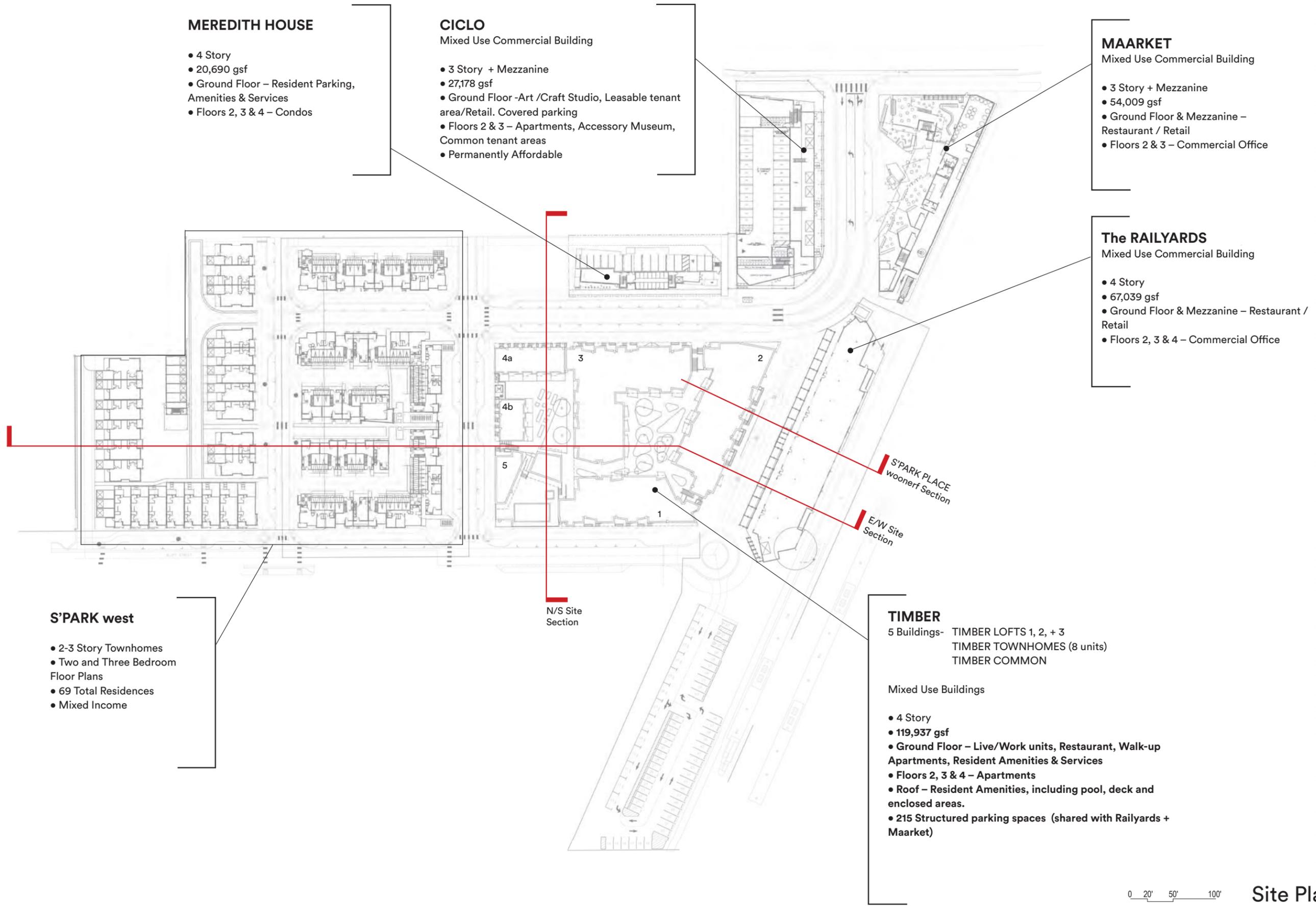
We see a life in Boulder where people dwell, work and play, all within reach of an inspiring walk

--a mindful, sustainable place that embodies the western spirit, in a modern age

0 20' 50' 100'

Site Concept Plan

10 **SPARK**



**MEREDITH HOUSE**

- 4 Story
- 20,690 gsf
- Ground Floor – Resident Parking, Amenities & Services
- Floors 2, 3 & 4 – Condos

**CICLO**

- Mixed Use Commercial Building
- 3 Story + Mezzanine
  - 27,178 gsf
  - Ground Floor -Art /Craft Studio, Leasable tenant area/Retail. Covered parking
  - Floors 2 & 3 – Apartments, Accessory Museum, Common tenant areas
  - Permanently Affordable

**MAARKET**

- Mixed Use Commercial Building
- 3 Story + Mezzanine
  - 54,009 gsf
  - Ground Floor & Mezzanine – Restaurant / Retail
  - Floors 2 & 3 – Commercial Office

**The RAILYARDS**

- Mixed Use Commercial Building
- 4 Story
  - 67,039 gsf
  - Ground Floor & Mezzanine – Restaurant / Retail
  - Floors 2, 3 & 4 – Commercial Office

**S'PARK west**

- 2-3 Story Townhomes
- Two and Three Bedroom Floor Plans
- 69 Total Residences
- Mixed Income

**TIMBER**

- 5 Buildings- TIMBER LOFTS 1, 2, + 3  
TIMBER TOWNHOMES (8 units)  
TIMBER COMMON

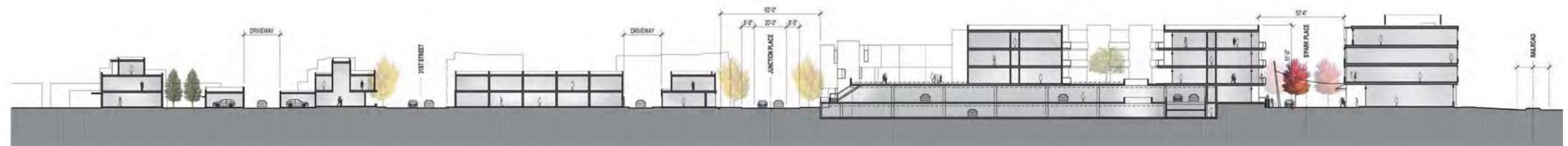
Mixed Use Buildings

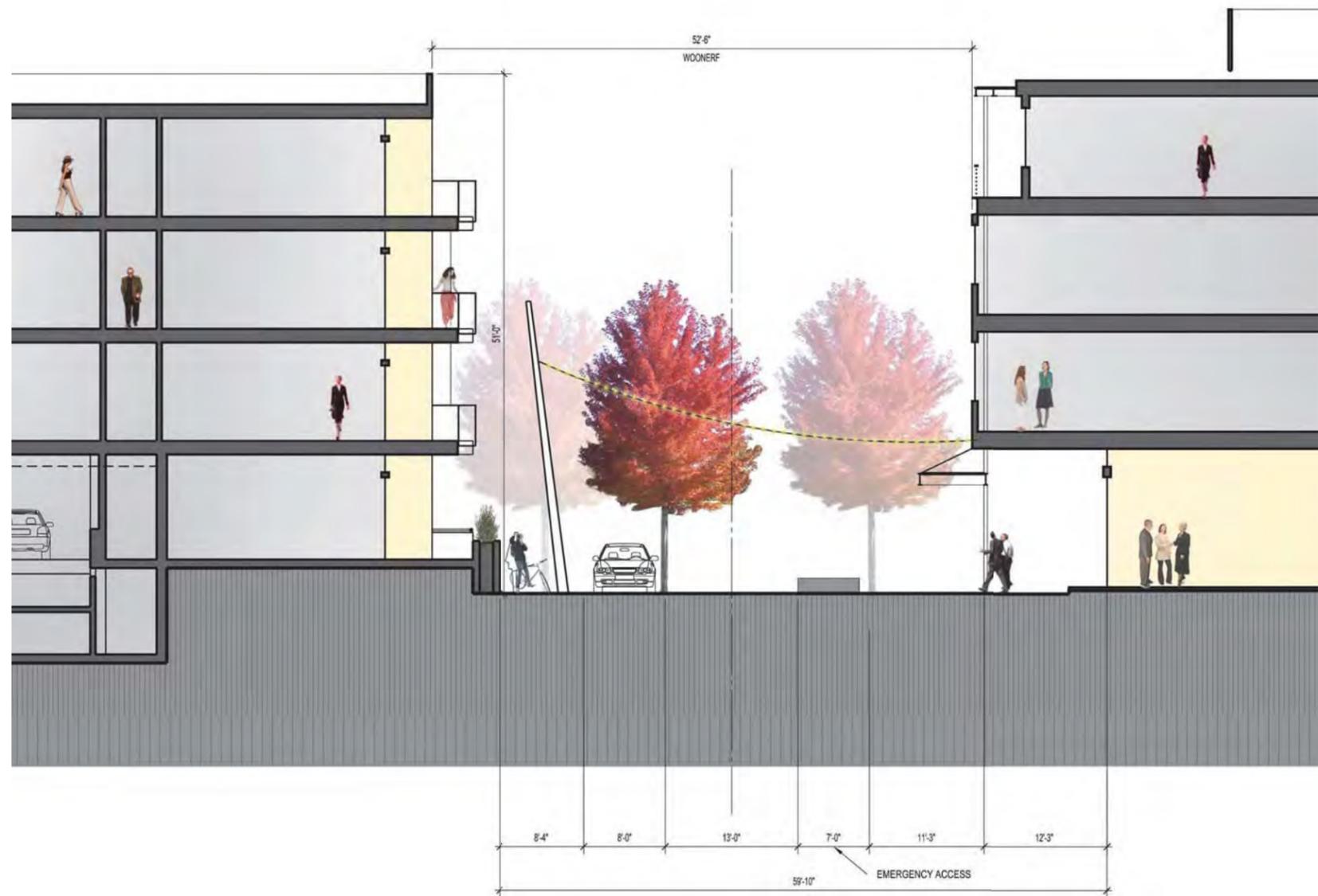
- 4 Story
- 119,937 gsf
- Ground Floor – Live/Work units, Restaurant, Walk-up Apartments, Resident Amenities & Services
- Floors 2, 3 & 4 – Apartments
- Roof – Resident Amenities, including pool, deck and enclosed areas.
- 215 Structured parking spaces (shared with Railyards + Maarket)

0 20' 50' 100'

Site Plan

- terraced massing from trackside to neighborhood
- multi-scaled diverse types of housing
- harmonic 1:1 street sectional proportion at S'PARK Place
- through-block pedestrian connections across the site.





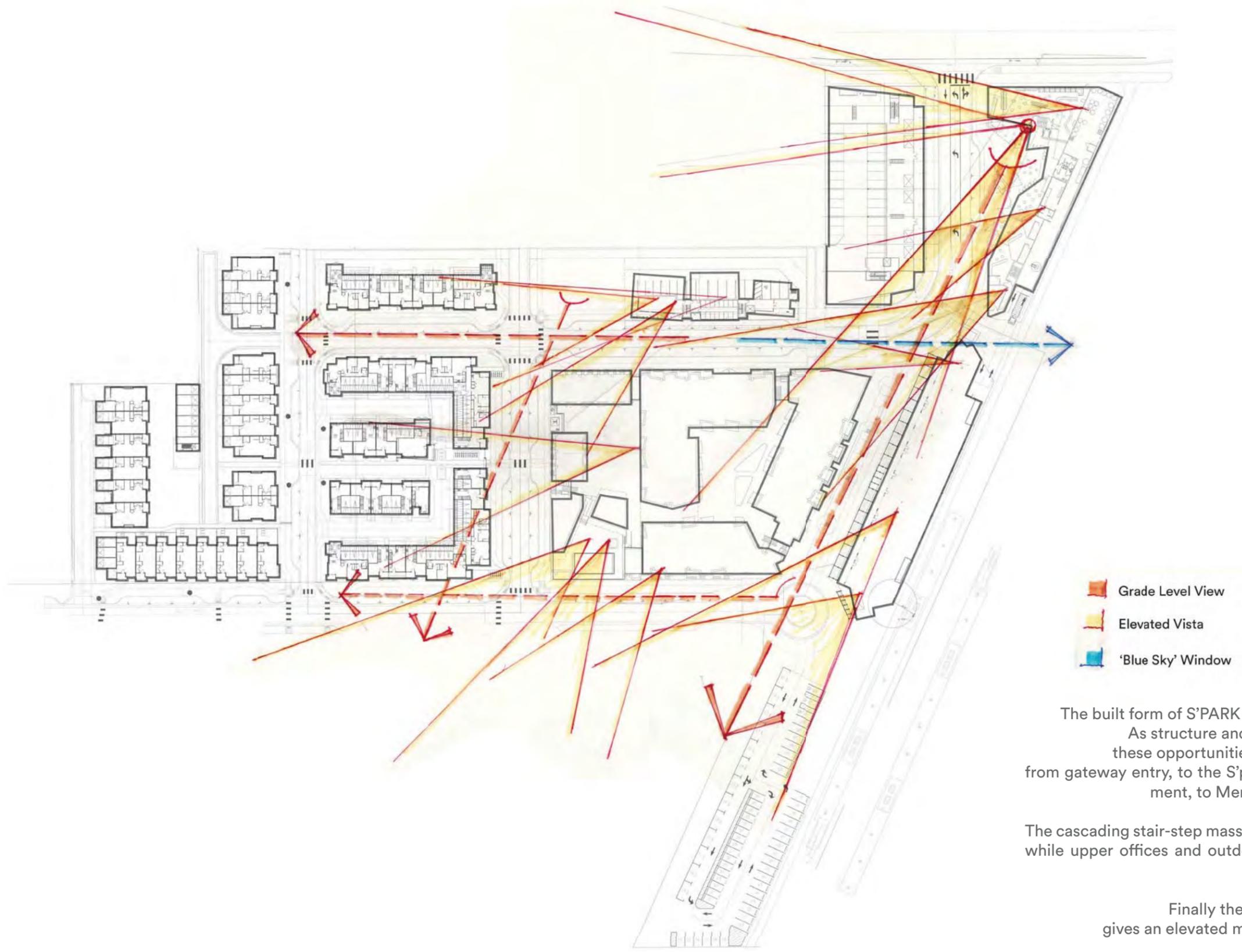


S'PARK adheres to an urban design principle that buildings give form to civic space, make it cohesive and bodied.

As backdrops or facets of these 'frames' they offer a hand; their gestures can invigorate a district.

Public street, plaza and park spaces that are spontaneous, flexible, and active; social, fitness, and contemplative private spaces that form counterpoint 'retreats' and semi-public, in-between passages and garden domains form the spectrum of places within S'PARK





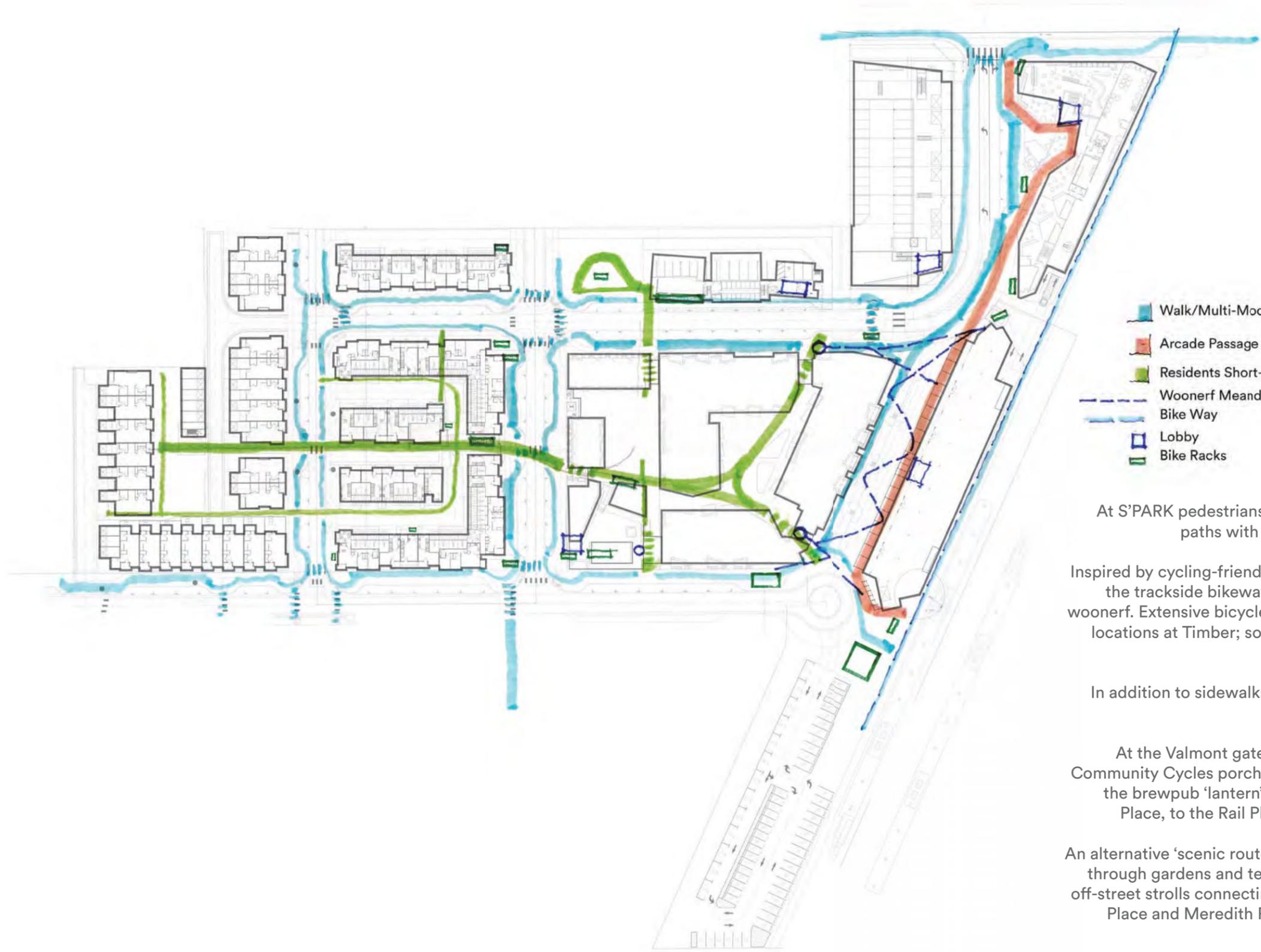
- Grade Level View
- Elevated Vista
- 'Blue Sky' Window

The built form of S'PARK will make the most of natural assets. As structure and street section give frames to views, these opportunities have been considered throughout: from gateway entry, to the S'park Place 'woonerf' mountain alignment, to Meredith Park and Bluff Street terminus.

The cascading stair-step massing enhances viewshed for residents, while upper offices and outdoor meeting decks take in the front range.

Finally the Aerie event deck, level 3 at Market gives an elevated mountain vista to the greater public—while overlooking the active scene.

0 20' 50' 100'



-  Walk/Multi-Modal
-  Arcade Passage
-  Residents Short-Cut <short cut>
-  Woonerf Meander
-  Bike Way
-  Lobby
-  Bike Racks

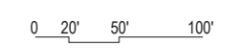
At S'PARK pedestrians and cyclists will enjoy a multiplicity of paths with connectivity provided at several levels.

Inspired by cycling-friendly European and American precedents, the trackside bikeway is tied into multi-modal paths and the woonerf. Extensive bicycle parking is provided including covered locations at Timber; some buildings will showcase visible bike storage rooms.

In addition to sidewalks, S'PARK has embedded porosity in its planning.

At the Valmont gateway, pedestrians find two arcades: the Community Cycles porch / walk, and the arcade stretching from the brewpub 'lantern' at Market, to the Railyards at S'PARK Place, to the Rail Plaza at the south— a complete gesture.

An alternative 'scenic route' offers residents and guests shortcuts through gardens and terraces of Timber. These are convenient off-street strolls connecting west to east, with linkage to S'PARK Place and Meredith Park, and amenities such as Fitness and Coworking space at Timber.



Site Design: Permeability

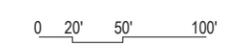


In pursuit of LEED ND Platinum certification, as a sustainable objective, S'PARK has embedded numerous ecologically sound attributes in planning.

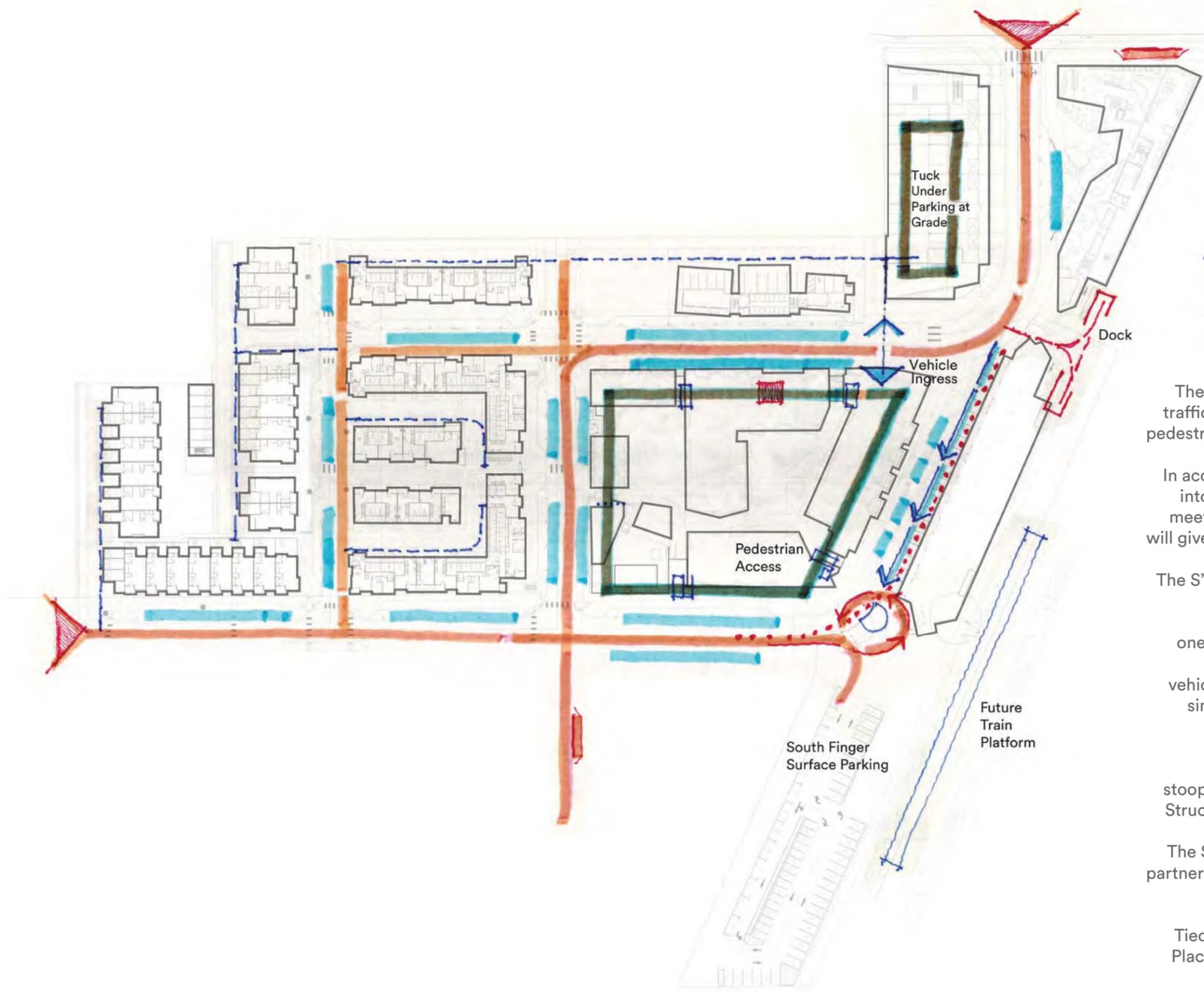
More than an overlay, a network of transit oriented, pedestrian and bike-friendly routes and connections feeds this walkable district. Bike storage (both public and private within buildings) is conveniently provided, and electric vehicle charging is offered in S'PARK Place and in the Timber garage—available to the public. Site lighting (please refer to the appendix) is chosen for long life, high efficiency, and low energy consumption. And water quality is handled in part by provision of permeable paving, in lower traffic impact zones.

Beyond this, S'PARK augers for the ideal of planned relevance: the opposite of obsolescence. In part this means design for longevity: favoring quality over the expedient and substance over the superficial. Particularly at commercial buildings design considers future flexibility.

In this way the embodied energy placed in this community will retain and increase its value, across future generations.



Site Design: Sustainability Key Features



-  Roadway - Main Route
-  Roadway - Secondary Route
-  Bus Stop
-  Surface Parallel Parking
-  Structured Parking (concealed)
-  Woonerf - limited one-way
-  Alley or drive access
-  Emergency Vehicle Route
-  Loading/Delivery
-  Waste/Recycle Handling

The main route of cars through S’PARK is geared to slow traffic, and all streets and drives have been considered for pedestrian and bicycle safety for residents and visitors alike.

In accord with the Transit Village Area Plan, roads are tied into the fabric of Bluff and 32nd streets, and 34th Street meets the Valmont Road arterial— a signalized point that will give drivers ‘pause’ to sense the invitation of the district.

The S’PARK Place woonerf is a pedestrian street where the car has been minimized:

one-way traffic will allow limited access; at times closed for evening life or events. Provision for emergency vehicle access maintains the perception of a narrow lane, simultaneously allowing the Bluff roundabout a smaller diameter, surrounded by its ‘urban forest’.

Within S’PARK people walk, after parking in the fully veneered garage at Timber. Residences around form stoop-lined streetscapes that encourage moderate speed. Structured and tuck-under parking has been concealed at all buildings.

The South Finger provides temporary parking solutions in partnership with the Boulder Junction Access District, while allowing future phased development to occur.

Tied into transit, two bus stops on Valmont and Junction Place connect multiple routes— aligned with sustainable planning principles.



Site Design: Vehicular Movement



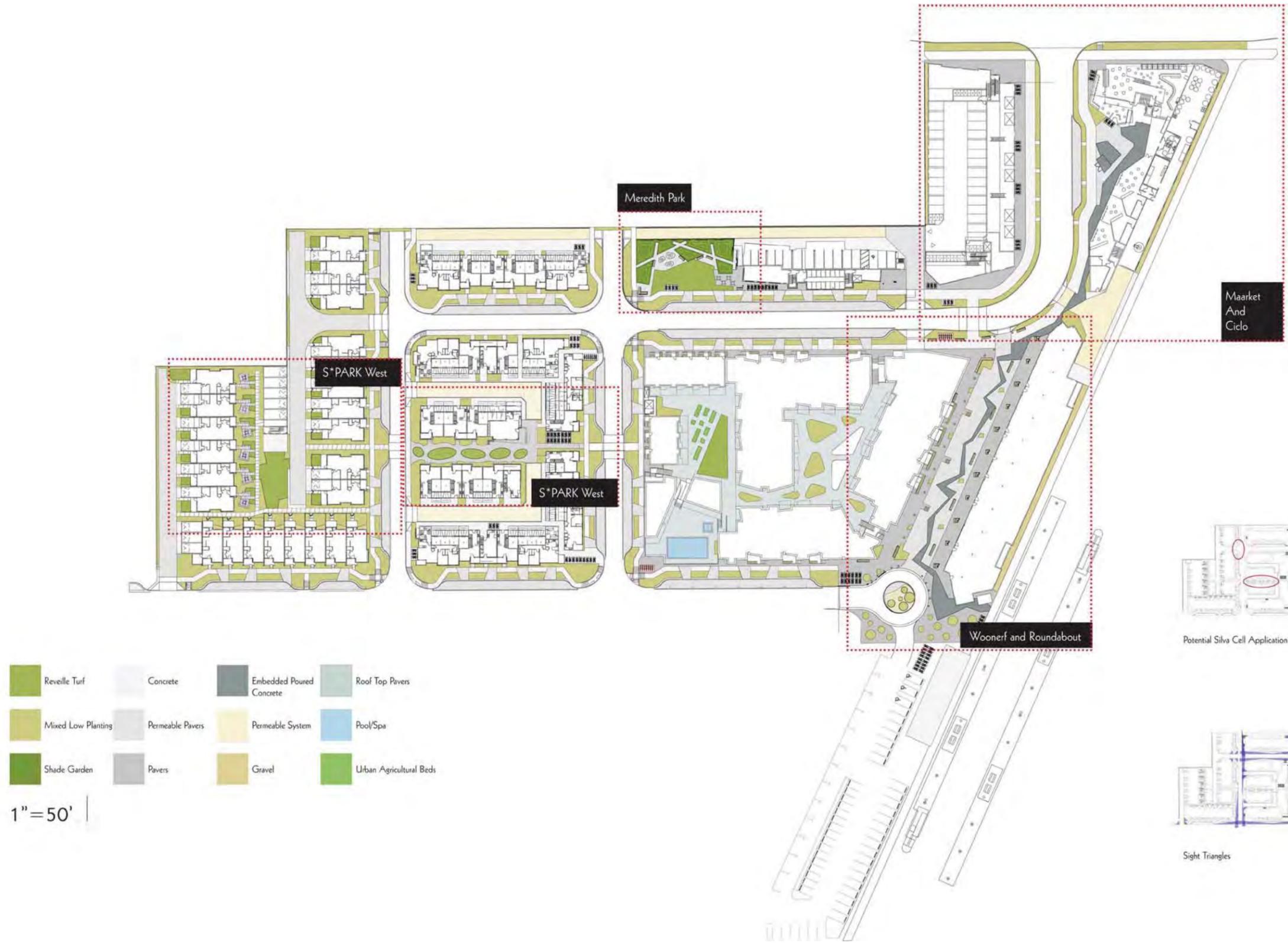
The success and vibrancy of the urban scene, outdoor life, commerce and retail at S'PARK will be fueled by people—who in turn draw others to join the experience.

To foster this, our planning has mapped visual connections to places and nodes of activity. The plan forms of buildings, or sometimes the undercut of a ground floor (to open a sightline and offer shade) has been designed to multiply such connections. Where these 'Lines of Desire' converge the opportunity is ripe for people to gather.

Attractions enhance the draw: restaurant terraces, live music, an outdoor fire on the plaza; shade, vegetation, play space or seating. When people park at Timber, they will be greeted by sightlines to cafés and shops. And where the pedestrian friendly environment offers the sense of security and wellbeing, people are likely to make it their own.

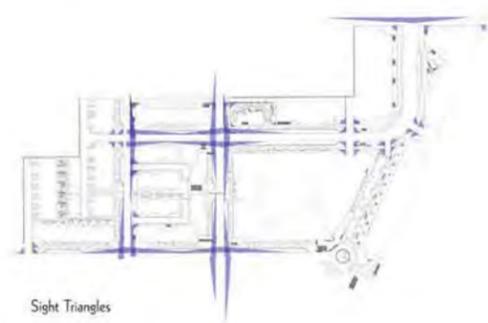
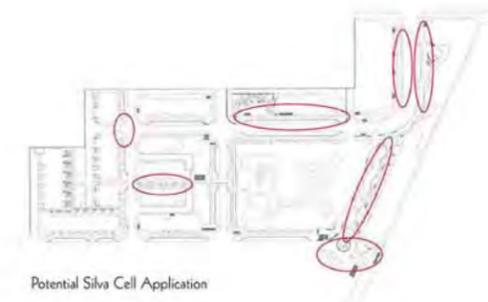
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Site Design: Activation



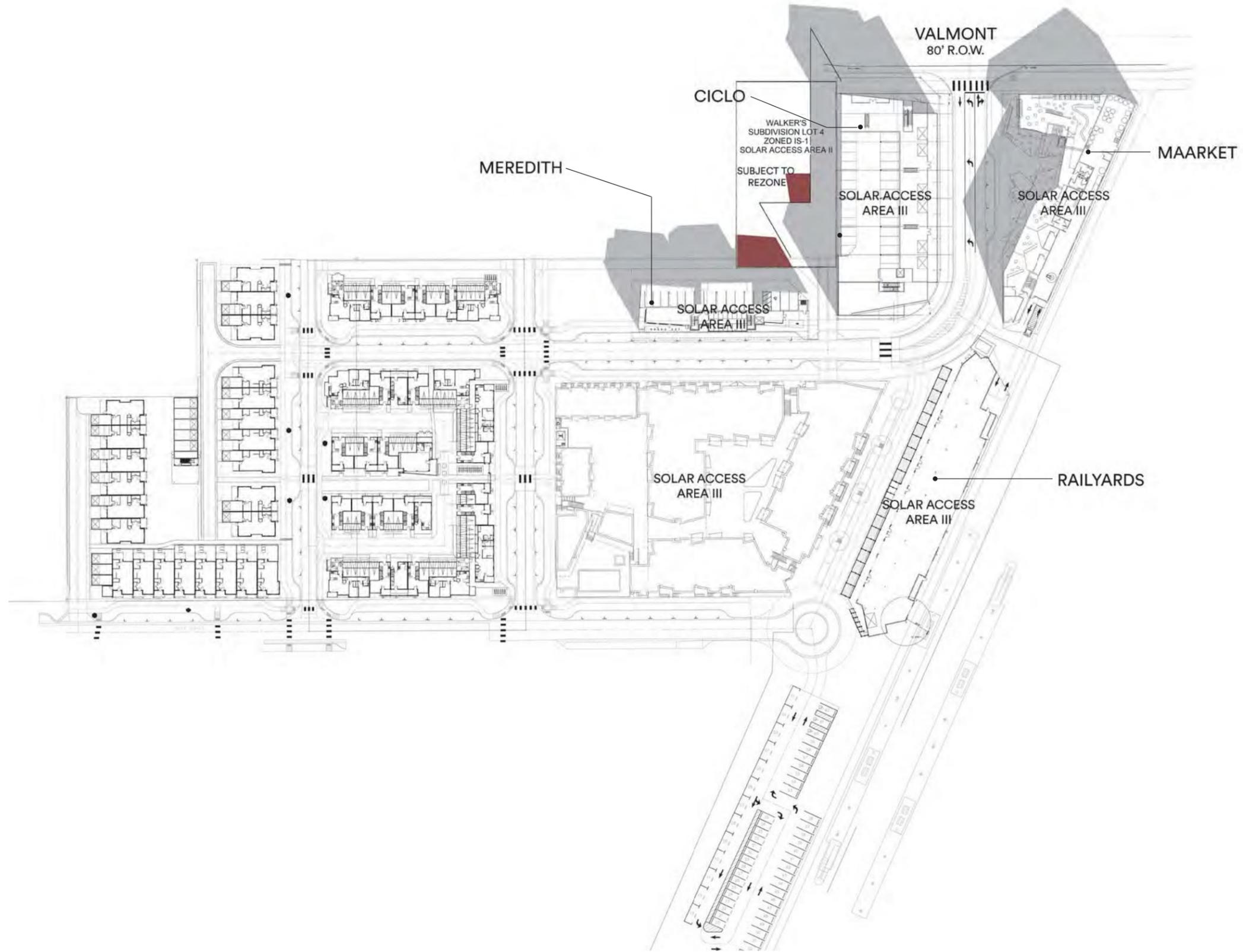
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| Reveille Turf      | Concrete         | Embedded Poured Concrete | Roof Top Pavers         |
| Mixed Low Planting | Permeable Pavers | Permeable System         | Pool/Spa                |
| Shade Garden       | Pavers           | Gravel                   | Urban Agricultural Beds |

1" = 50'



0 20' 50' 100'

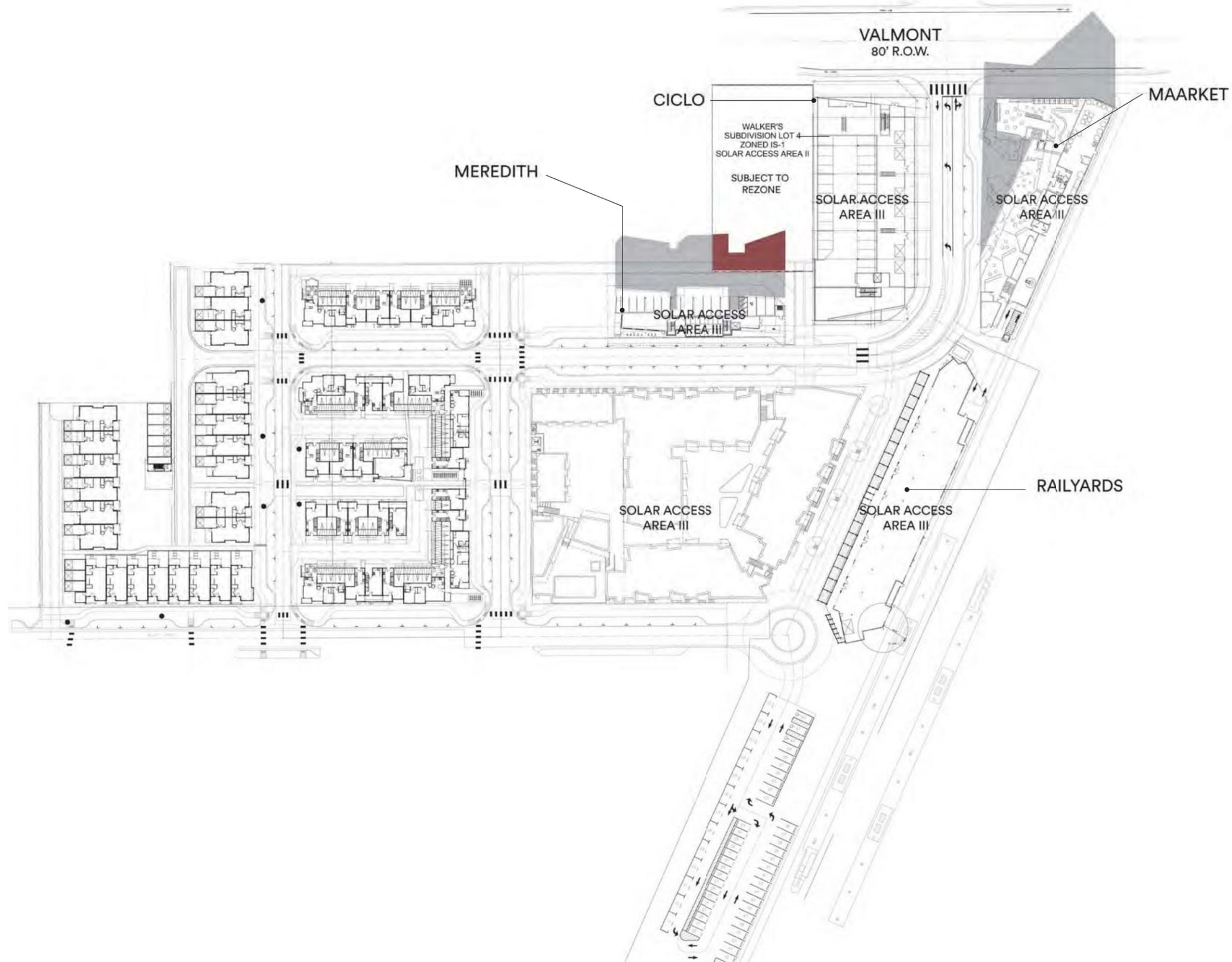
Landscape: SitePlan



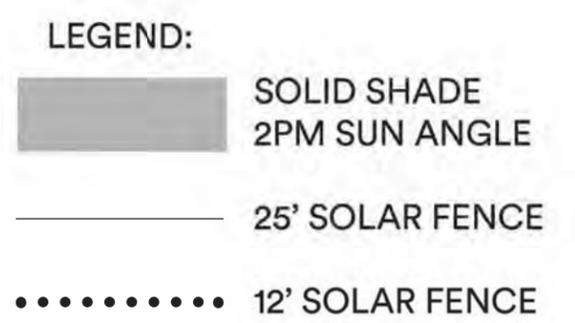
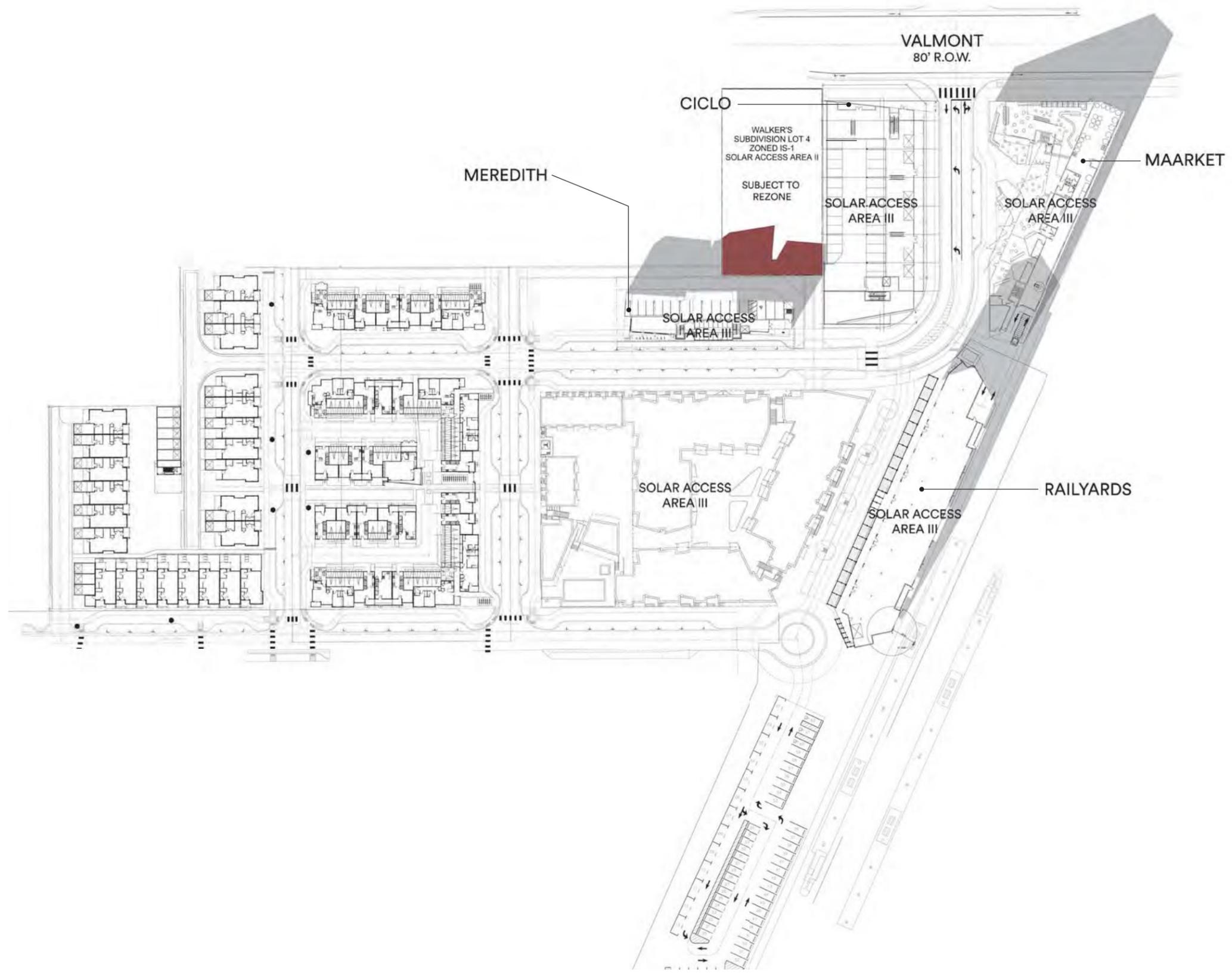
LEGEND:

- SOLID SHADE 10AM SUN ANGLE
- 25' SOLAR FENCE
- 12' SOLAR FENCE

Solar Shade Analysis



- LEGEND:
- SOLID SHADE 12PM SUN ANGLE
  - 25' SOLAR FENCE
  - ..... 12' SOLAR FENCE





At the Valmont Road entry to S'PARK the Maarket and Ciclo buildings form a portal:

As Ciclo angles slightly back from the street it reveals the 'lantern' of the Maarket, with its high-bay taproom and terrace, and 3rd level Aerie deck above.

Maarket provides transparency and sightlines that bring plaza action to the street.

Between Ciclo's proposed Community Cycles space, and affordable artists lofts, and Maarket's brewpub, several micro-restaurants, creative offices, and outdoor music space—this is the northern nexus of S'PARK, where we're staking claim to Valmont as a pedestrian and bike friendly place.



Inspired by the woonerf model of the Netherlands, S'PARK Place is a pedestrian flexible urban event space, a street like an outdoor living room. Its harmonic 1:1 sectional proportion is framed by The Railyards and Timber Lofts.

The arcade and canopy of Railyards engages restaurant, retail and studio office bays with a shaded patio. Across, Timber's row of apartment stoops is punctuated by corner shops or small cafés. This diversity makes for a true 'living street' scene. When it's after hours for the upper levels of Railyards offices, Timber's porchlights will come on above the trees.

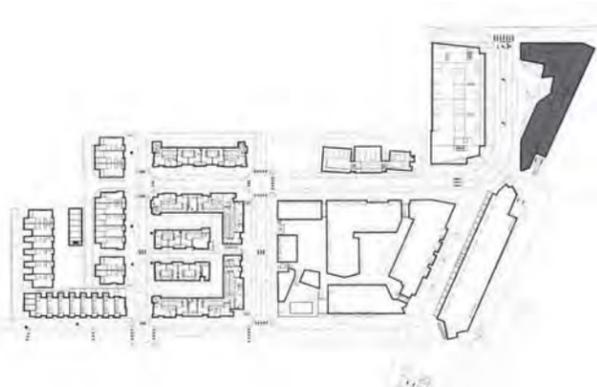
The tableau of the woonerf is formed by an allee of trees casting dappled light onto textured permeable pavers. Color shifts indicate the minimal width of a one-way drive, which may be operationally closed for events. A diagonal paving line stretches from Market through the woonerf with sauntering informality.

Bookended by the Bluff 'urban forest' roundabout and Market at the northern terminus, S'PARK Place is at the heart.



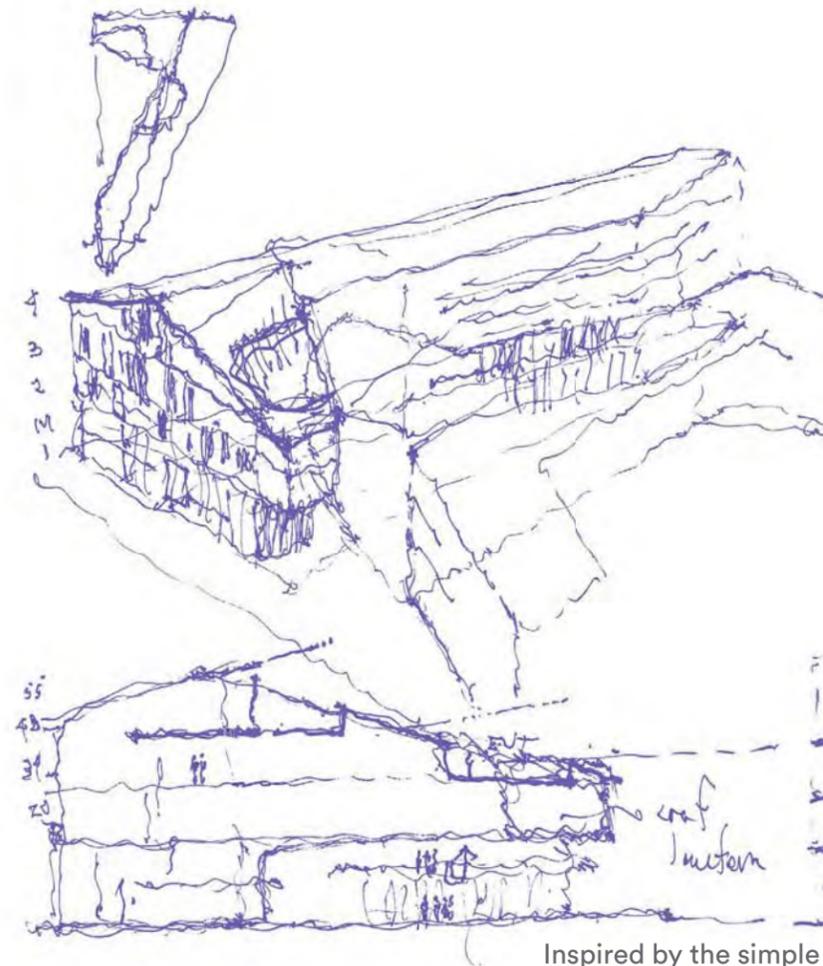
Meredith Street will be a multi-scaled range of diverse housing types, from S'PARK west's mixed income housing, to the Timber Lofts apartments and townhomes, to Meredith House condos—a socio-economic cross section.

Streetscapes of arid-appropriate plantings, street trees, and porous-paved parking lead to a pocket of relief in the built fabric. Meredith Park embraces a modest turf area with mounded plantings, play boulders, and a 'shadow screen' cor-ten plate fence as its backdrop.



### Mixed Use Commercial Building

- 3 Story + Mezzanine
- 54,009 gsf
- Ground Floor & Mezzanine – Restaurant /Retail
- Floors 2 & 3 – Creative Class A Office



We wondered:  
 What would happen if a creative Class A office building felt nothing like an office, and what if it floated over a glowing lantern-space full of people and great food and drink?

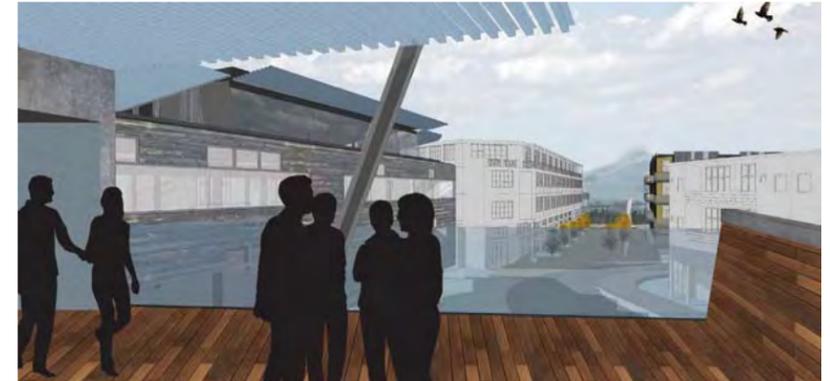
So we carved a gabled form that defers to neighborhood scale, wrapped in silvered wood, with kinetic rhythm and punches of color. It had to hover over glass. And on top, the 'lifted lid' at the event deck gives a gateway view to everyone.



Inspired by the simple lines and texture of mountain sheds and the kinetic rhythms of railroad cars, Maarket is a modest gable form carved from a triangular city block. Erosion forms its plaza and arcade overhangs. On its roof, lifted flaps create the 3rd level Aerie event deck, upper office mezzanines and terraces, and trackside dormers with northeast views. Maarket is designed to work at two scales and velocities: at the speed of the train or as seen from Foothills Parkway, and the slower pedestrian pace as one enters 34th Street from Valmont.

Composed in two shades of silver grey cedar, vertical and horizontal in sympathy with building proportions, the main body of Maarket is completed by a soffit of reclaimed Sutherlands lumber. Windows similarly shift from vertical to horizontal, to the advantage of creative offices and views within. A standing seam galvanized roof wraps down the east (trackside) face, interrupted by wood wedges at the sawtooth dormers. This floating volume is underpinned by steel columns and vertically score-jointed stack bond concrete masonry along the tracks. On the west, steel columns and glass with dark mullions create an arcade walk—animated by a floating light/signage ribbon. The first story soffit celebrates sustainability, repurposing the warm wood decking rescued from the Sutherlands lumber yard.

At the north, a brewpub with taproom and mezzanine creates the transparent 'lantern' on Valmont. Several micro-restaurants stretching down the arcade toward S'PARK Place complete an indoor-outdoor dining scene. The plaza at Maarket will be activated by a stage plinth for spontaneous or scheduled music, and a firepit at the taproom terrace.



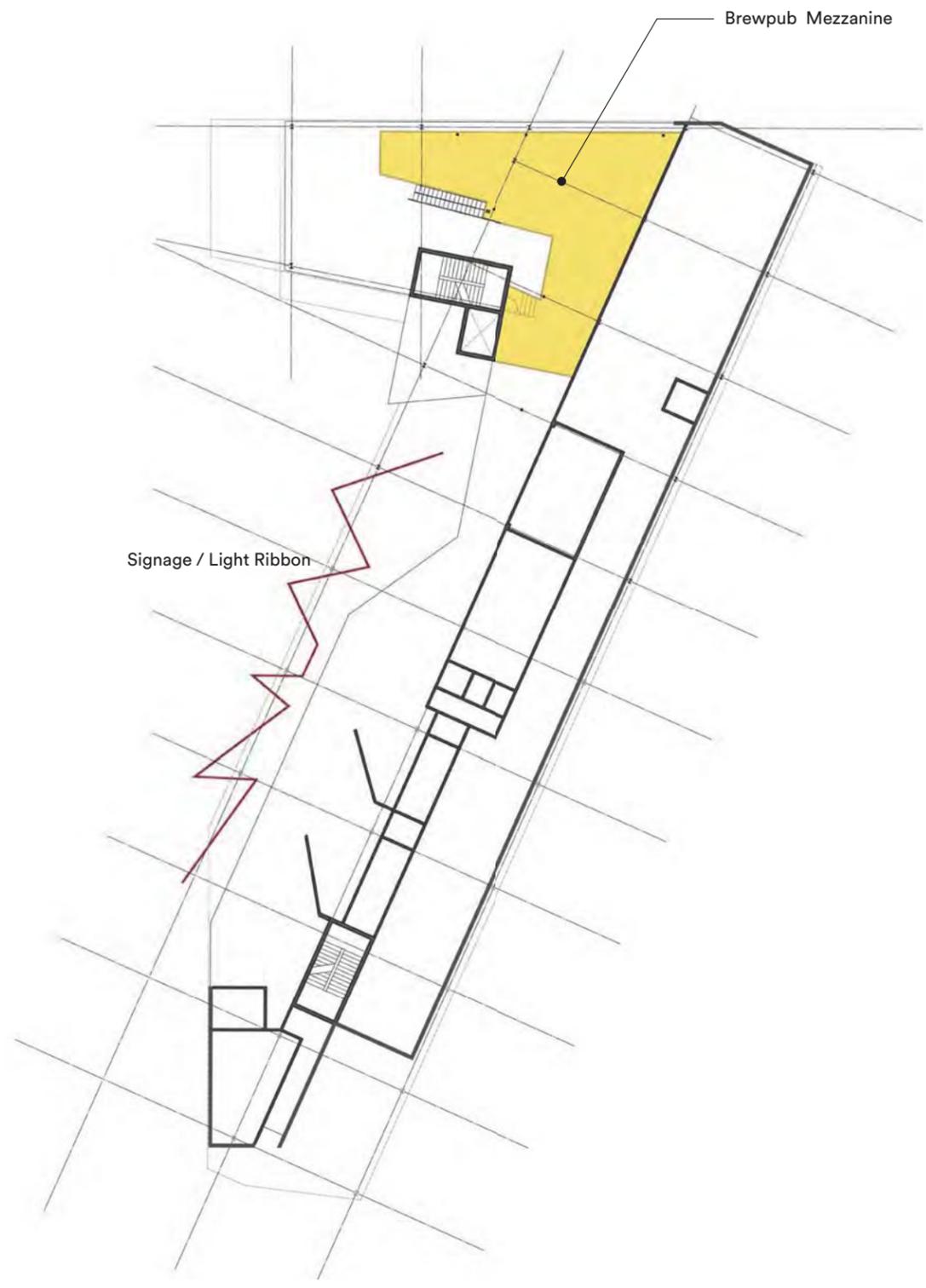
**Scenario**

a day in the life of...

I bike to work, and I usually come early. I've got the best coffee at MAARKET and I hang out in the plaza with my laptop, or stroll S'PARK Place while I get my gameplan on. Our studio is on 3rd; I work in the loft with sky and mountains, but we usually conference out on the deck...some of our best ideas are al fresco. It's either the taqueria on the plaza for lunch, or they cater up for our clients.

Most Thursdays some of us head down to the brewpub by 5:30. Tonight though we've got the Aerie reserved—celebrating our 4th year of solid growth, with our families. We'll eat and see the sunset up on the deck, and close the night over gelato downstairs.

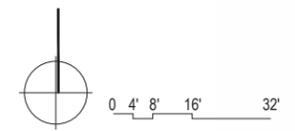
The rumble of the freightliner cranks on once in a while. Clouds rip over the peaks and light and fresh air stream through our windows. Nothing is static here, it's alive and moving.



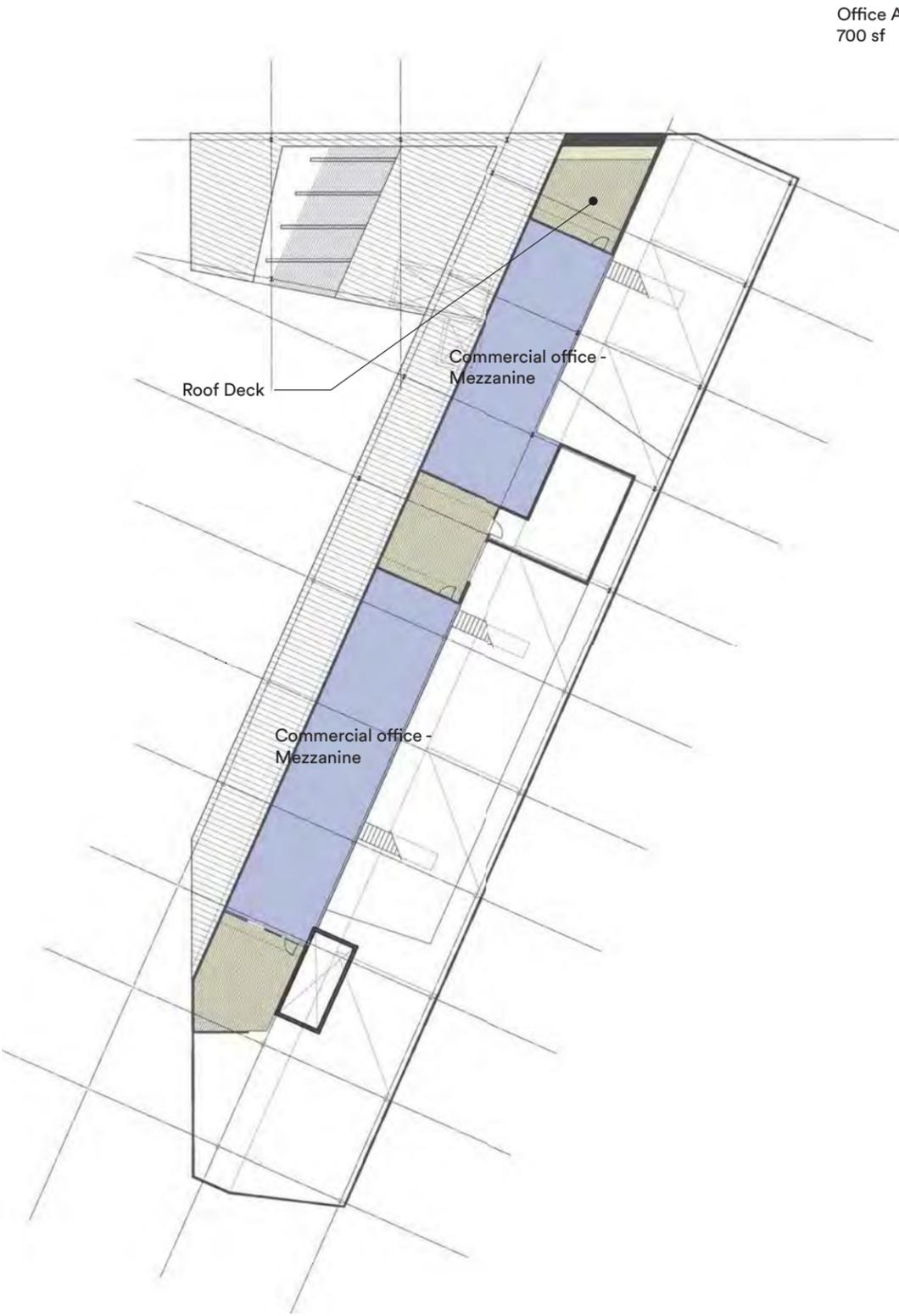
Level 1 - Mezzanine 1,800 gsf



Level 1 14,191 gsf



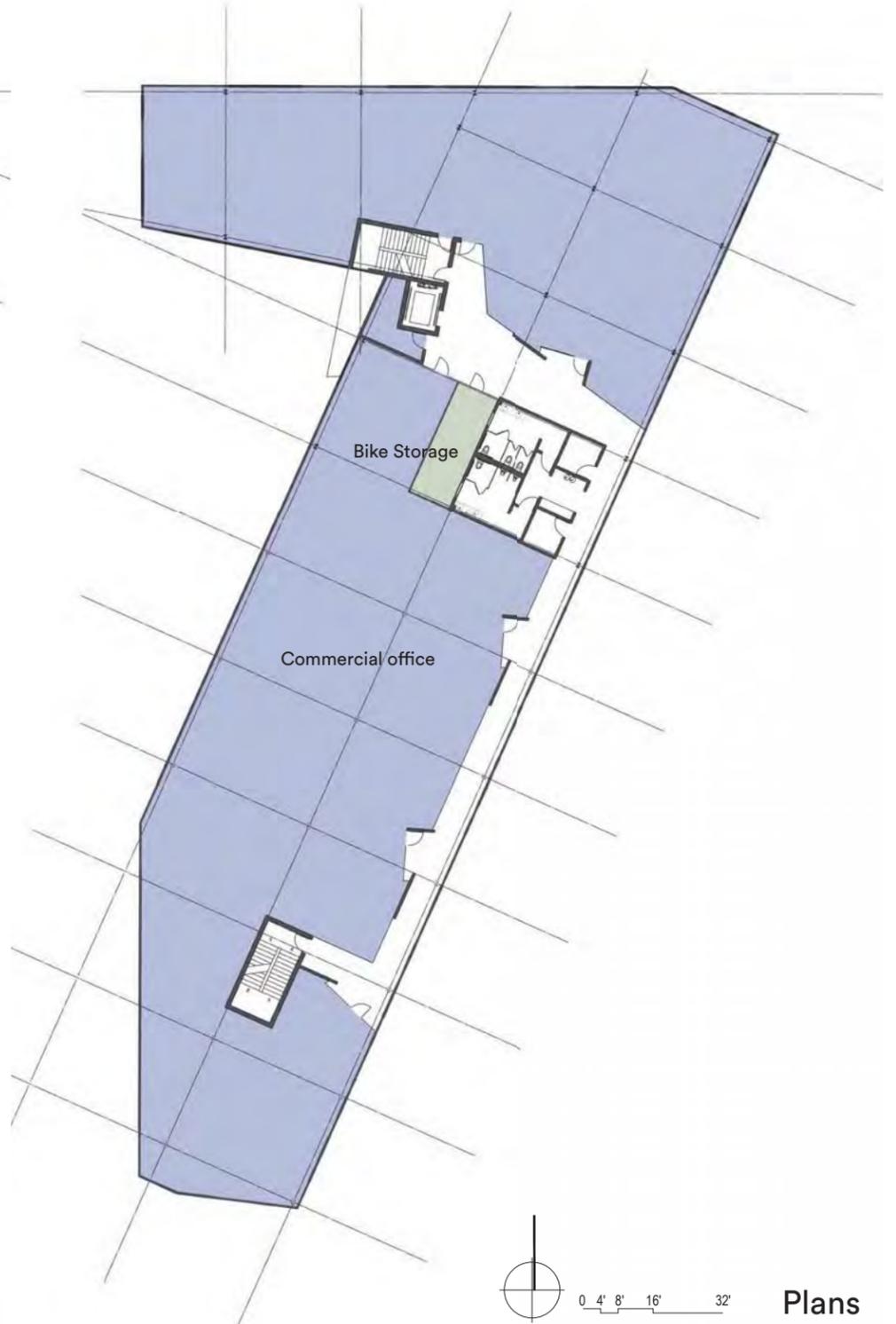
Plans



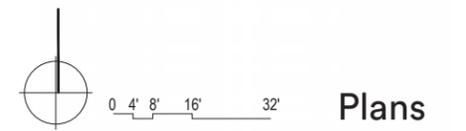
**Level 3+ mezz** 17,555 gsf

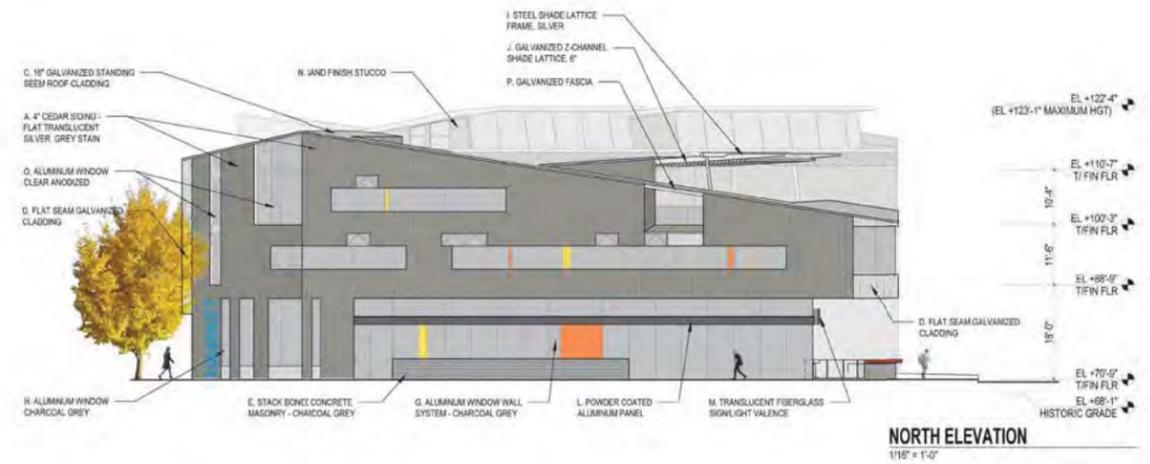


**Level 3** 16,423 gsf

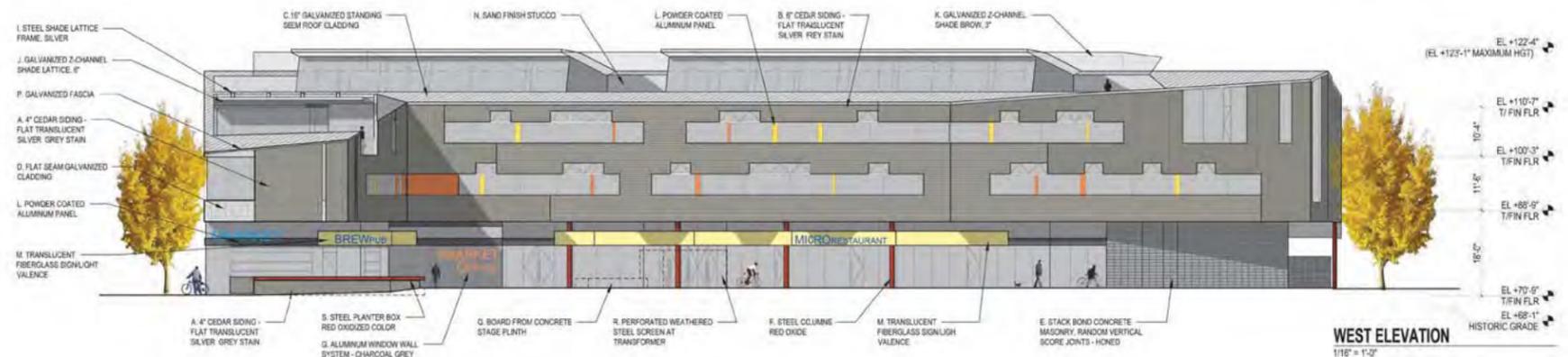


**Level 2** 17,555 gsf

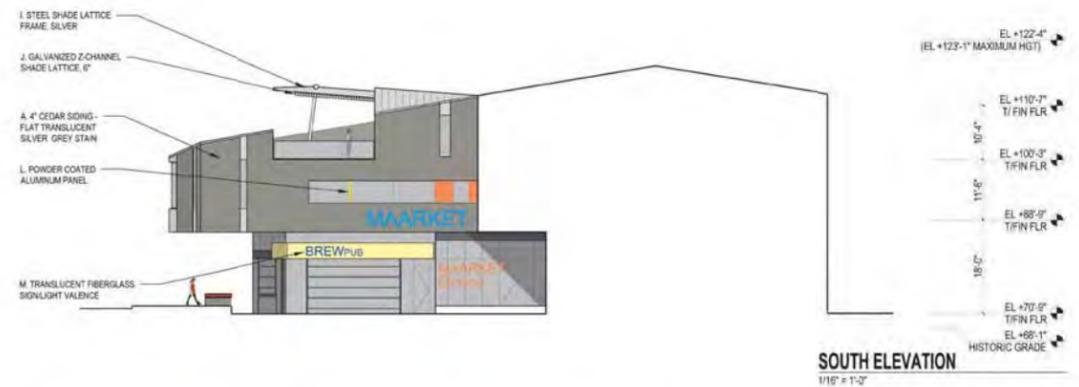




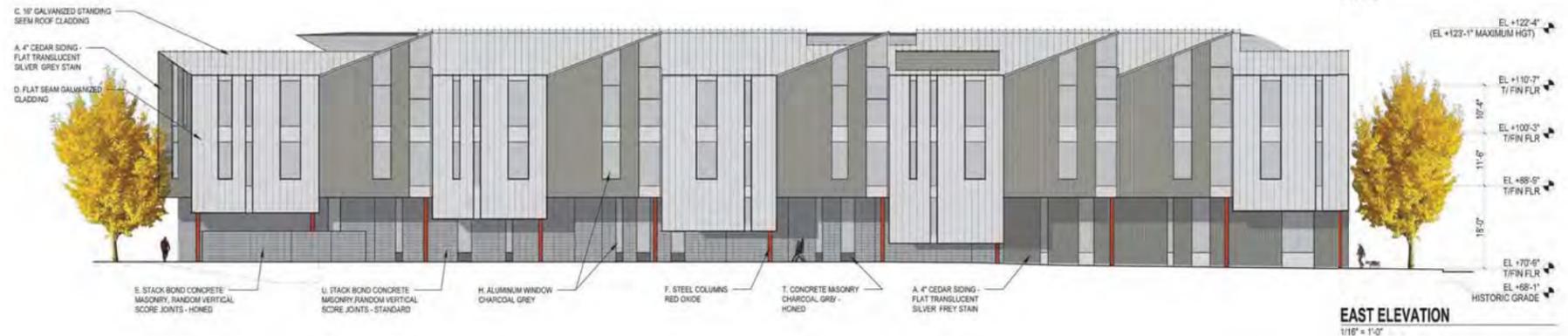
**NORTH ELEVATION**  
1/16" = 1'-0"



**WEST ELEVATION**  
1/16" = 1'-0"

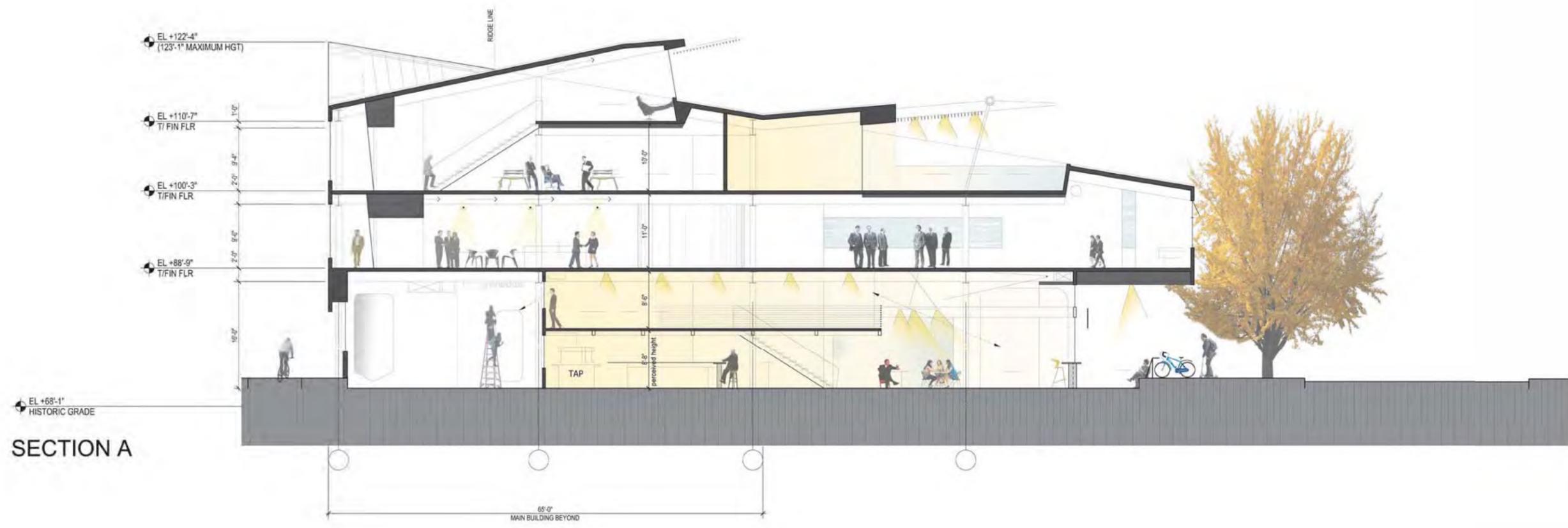


**SOUTH ELEVATION**  
1/16" = 1'-0"



**EAST ELEVATION**  
1/16" = 1'-0"

Elevations



SECTION A



SECTION B

Sections



J, K. GALVANIZED Z-CHANNEL SHADE LATTICE 3" + 6"

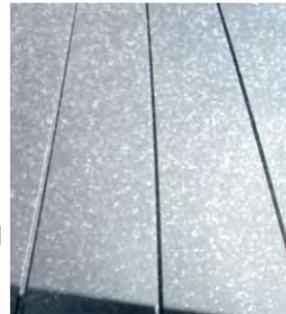
C. 16" GALVANIZED STANDING SEAM



POPPLY A. 4" CEDAR SIDING - FLAT TRANSLUCENT SILVER GREY



B. 6" CEDAR SIDING - FLAT TRANSLUCENT BLUE GREY



D. FLAT SEAM GALVANIZED CLADDING



N. SAND FINISH STUCCO

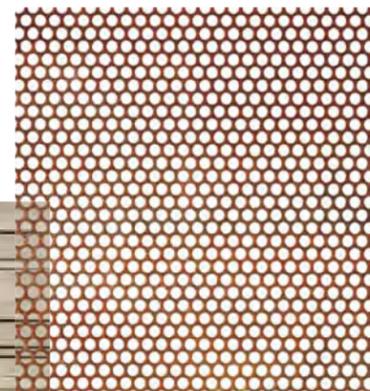


T. CLEAR GLASS GUARDRAIL

SUNFLOWER



L. POWDERCOATED ALUMINUM PANEL



R. PERFORATED WEATHERING STEEL



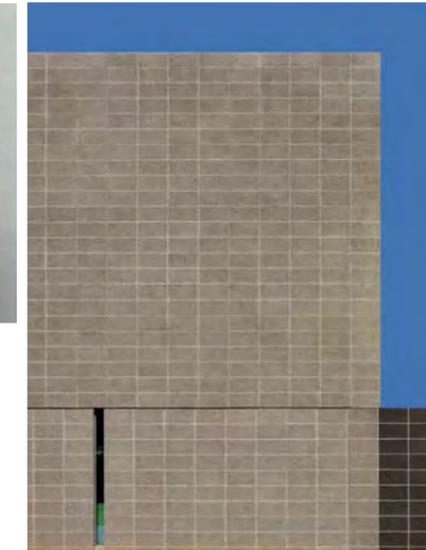
Q. BOARD FORM CONCRETE STAGE



F. STEEL COLUMNS RED OXIDE



M. TRANSLUCENT FIBERGLASS SIGN / LIGHT VALENCE

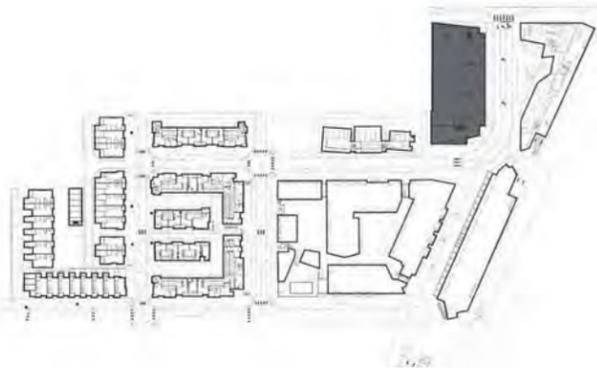


E. STACK BOND CONCRETE MASONRY

Material Palette

WORKSBUREAU | Maarket

32 **S'PARK**

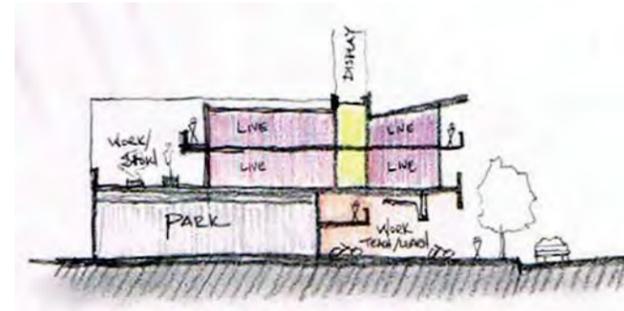


## Mixed Use Commercial Building

- 3 Story + Mezzanine
- 27,178 gsf
- Ground Floor -Art /Craft Studio, Leasable tenant area/Retail. Covered parking
- Floors 2 & 3 – Apartments, Accessory Museum, Common tenant areas
- Permanently Affordable

Our intention was to showcase the artist/builder/crafter/bike. Working with the constraints of a site surrounded on three sides by the street, we decided that this constraint would in fact be our biggest opportunity. Ciclo provides a street frontage that will demonstrate and display the life of it's occupants. The living units wrap around an elevated roof deck for workspace and display. Outdoor space to create and share.

The building is an exhibit that is transformed continuously, and everyone gets to watch.



Ciclo is a showcase for creativity. The intended occupants will be artists/crafters/builders/bike enthusiasts/bike advocates. The design of the building is meant to showcase the occupants in a way that celebrates their ideas and the important place they occupy in the Boulder community. The ground level covered outdoor arcade space creates a continuous protected zone where proposed Community Cycles can occupy and utilize indoor and outdoor space concurrently. This creates an open air bike emporium, with space for people to ride up and work on their bikes outdoors, learn proper bike maintenance, and purchase bikes from the Community Cycles stock of two wheeled transport.

The two upper levels are 32 units of 100% Affordable Housing. The outdoor deck on the second level would provide an amenity deck that could be used for both outdoor play and workshop zone, as well as display area for the residents. The internal circulation zone is wide enough to serve as the residents breakout art display area.

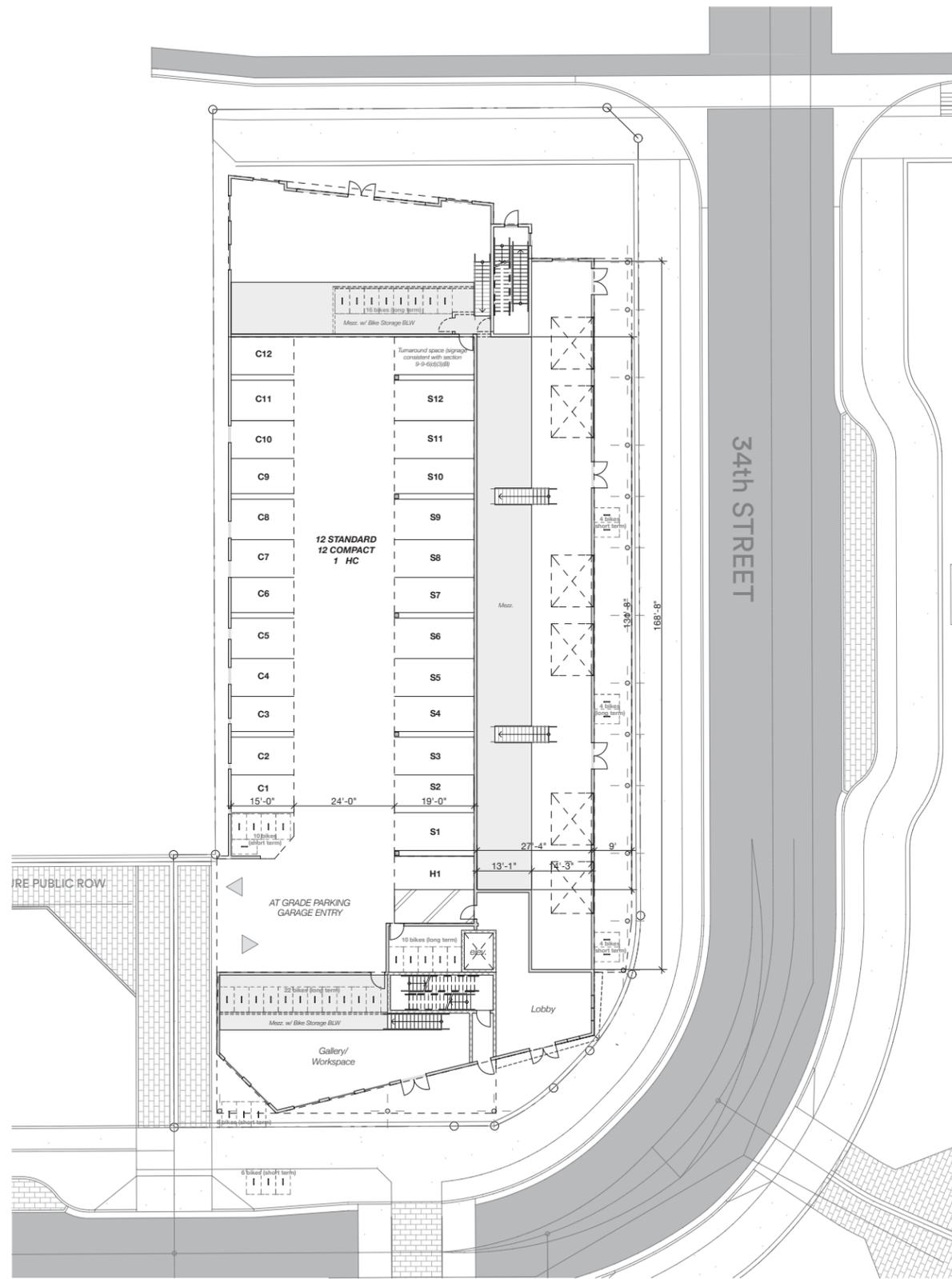
The overall form of the structure, with its butterfly roof, is intended to be a compliment to the MAARKET building across 34th Street, establishing a skyline edge that creates interest and variety along the Valmont corridor.



**Scenario**

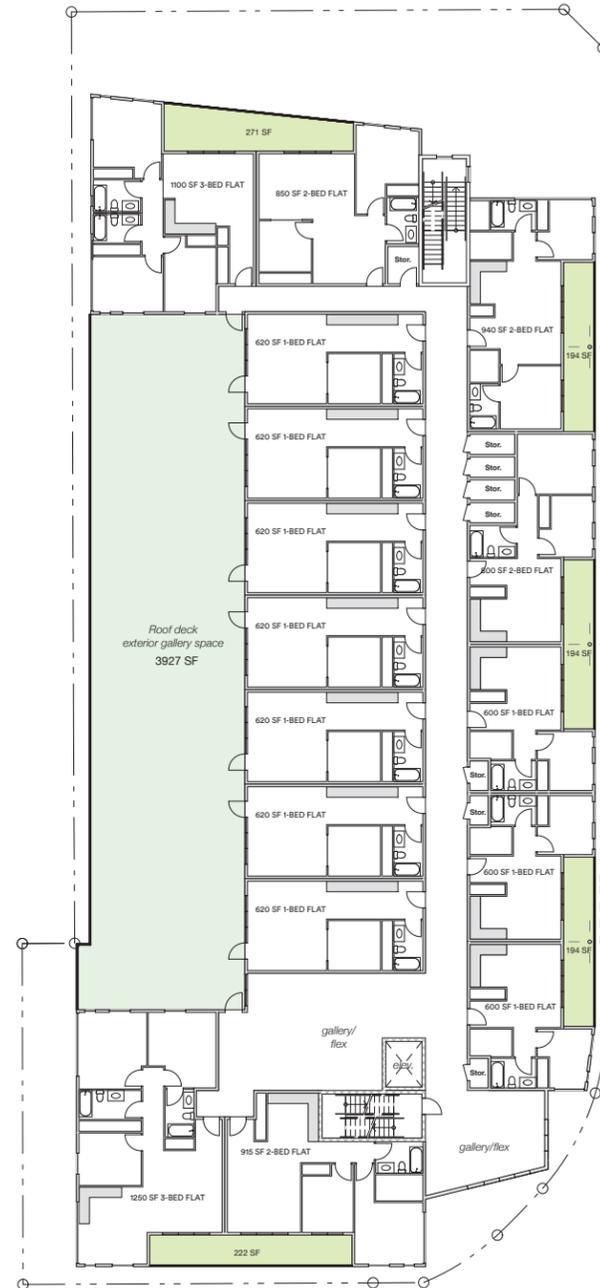
a day in the life of...

It's an amazing thing to be an artist in this place. S'PARK ART is a good description. The people I meet when I walk downstairs can provide the inspiration or idea, or maybe it's the train...it could be the brew pub. I never thought this was attainable for me in Boulder. It's a nice village to be a part of.



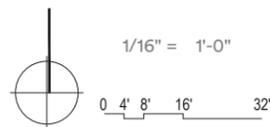
GROUND LEVEL

1/16" = 1'-0"



SECOND LEVEL FLOOR PLAN

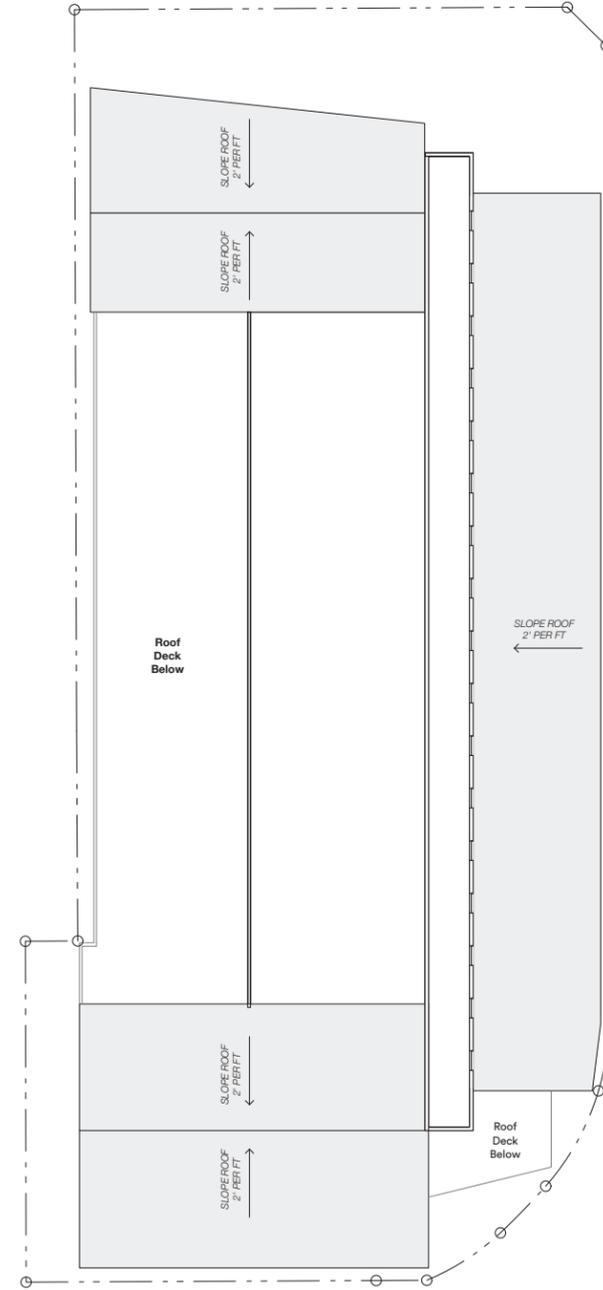
1/16" = 1'-0"



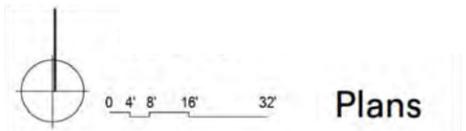
Plans



THIRD LEVEL FLOOR PLAN 1/16" = 1'-0"

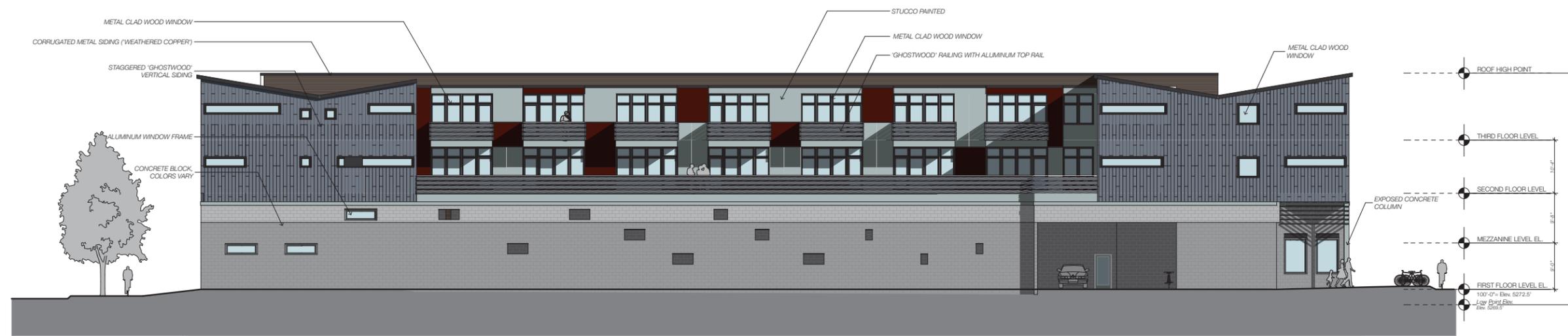


ROOF 1/16" = 1'-0"





CICLO EAST ELEVATION 3/32" = 1'-0"



CICLO WEST ELEVATION 3/32" = 1'-0"



CICLO SOUTH ELEVATION 3/32" = 1'-0"



CICLO NORTH ELEVATION 3/32" = 1'-0"

Elevations



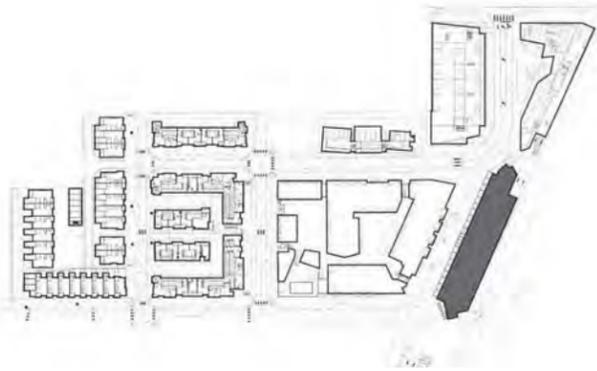
BASALITE BLOCK



CORRUGATED METAL  
WEATHERED COPPER

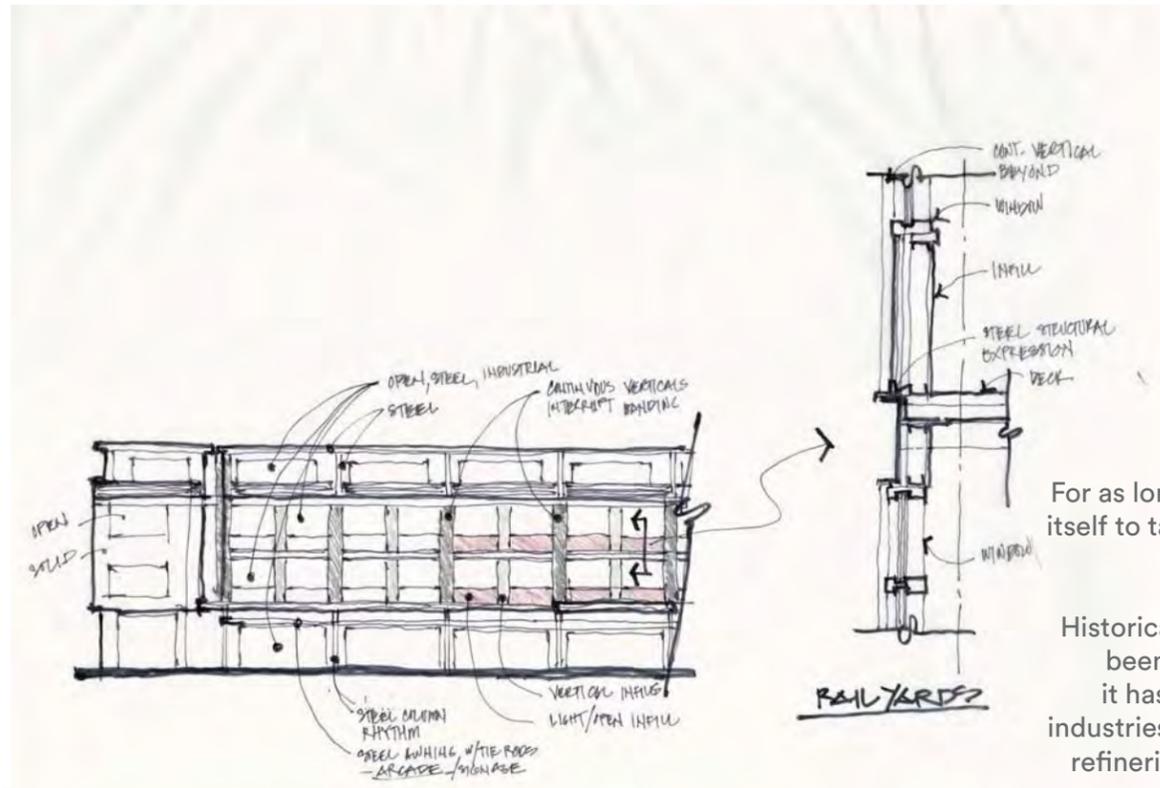


GHOSTWOOD



### Mixed Use Commercial Building

- 4 Story
- 67,039 gsf
- Ground Floor & Mezzanine – Restaurant /Retail
- Floors 2, 3 & 4 – Commercial Office



For as long as there have been rail lines crossing this country, industry has located itself to take advantage of the unique opportunities available with proximity to the tracks.

Historically, the architecture associated with these typically industrial zones have been either very specific, often times heavy industry and process oriented, or it has been simple multi-story accommodation that can allow a variety of light industries to flourish. Examples of the former might include steel mills, breweries, refineries, power plants. Structures where the process itself defined the form of the building – the architecture built itself into the shape of the process.

The other type of industrial building that was commonly built adjacent to the tracks took the opposite approach. The buildings essentially provided a simple space with good light and a simple internal layout of open space with large column spacing and relatively tall space – tall enough and open enough to provide opportunity for many and differing industrial tenants. The space could then be fit-out to suit specific needs of the particular business, but the exterior form maintained a simple and clear form of multiple stories of typically concrete frame supporting concrete floors with masonry infill and glass walls.

Today, we still find these simple structures providing useful life. They may no longer house garment industry workers, or supply parts for the tool and dye industry, but often they have been retrofitted to provide the simple accommodation with good light and open space to office users, artist lofts, and residential condominium owners.

The RAILYARDS Building takes the same basic approach as the latter of these two types of trackside structures. The goal was to provide a structure that works at the scale of the tracks; a simple frame system, but now built from lightweight materials instead of the heavier concrete frame and masonry. The framework is steel with lightweight and highly insulated infill, glazing and translucent panel materials. The occupants will no longer be the same kinds of light industry as in decades past, but startups, office users, and small scale service companies who find that the open and small scale spaces best suit their business needs.

Also, by locating the non-residential structure along the tracks, we are able to protect the residential users who benefit from the mass and form that the trackside RAILYARDS structure can provide.



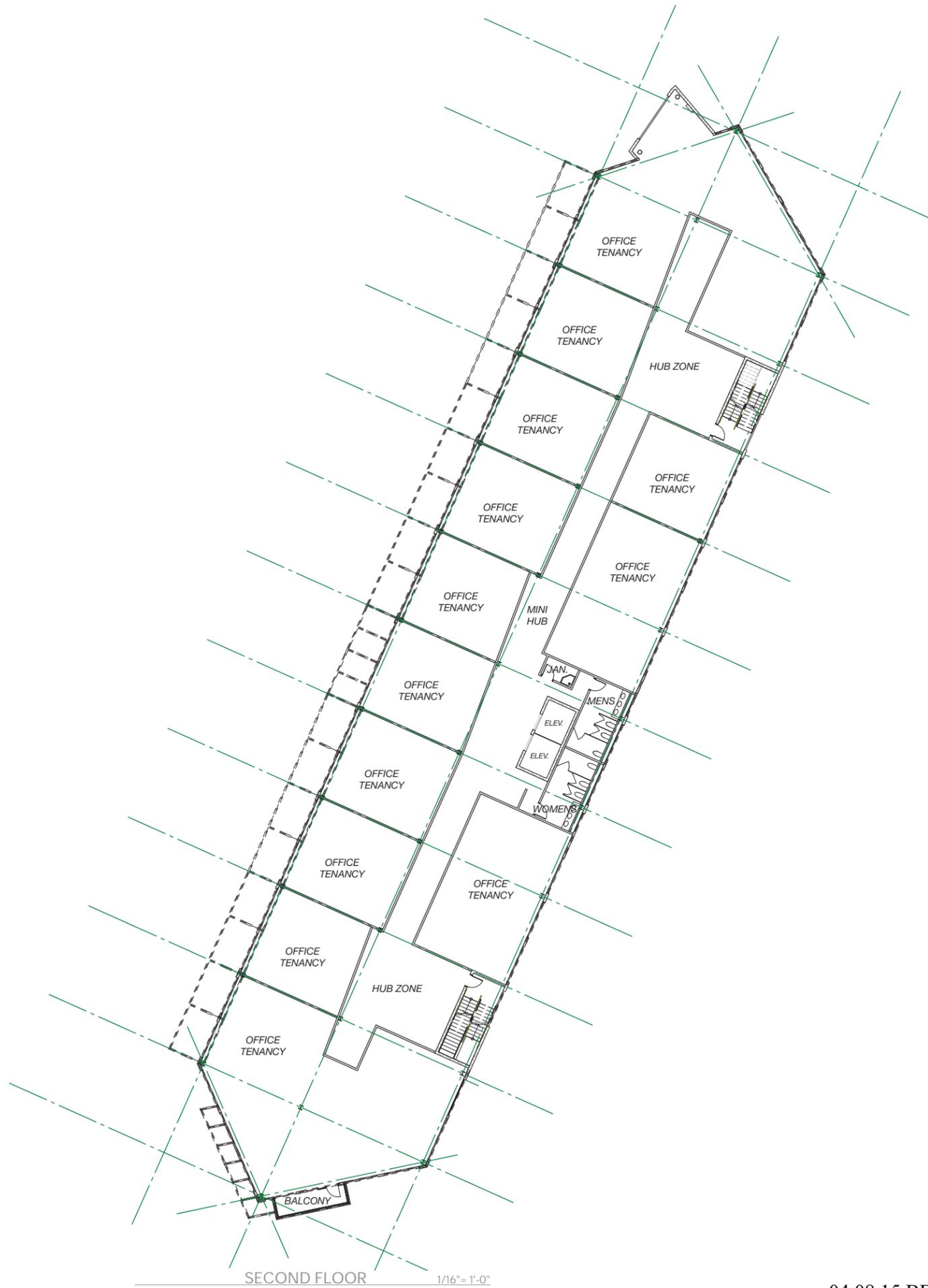


**Scenario**

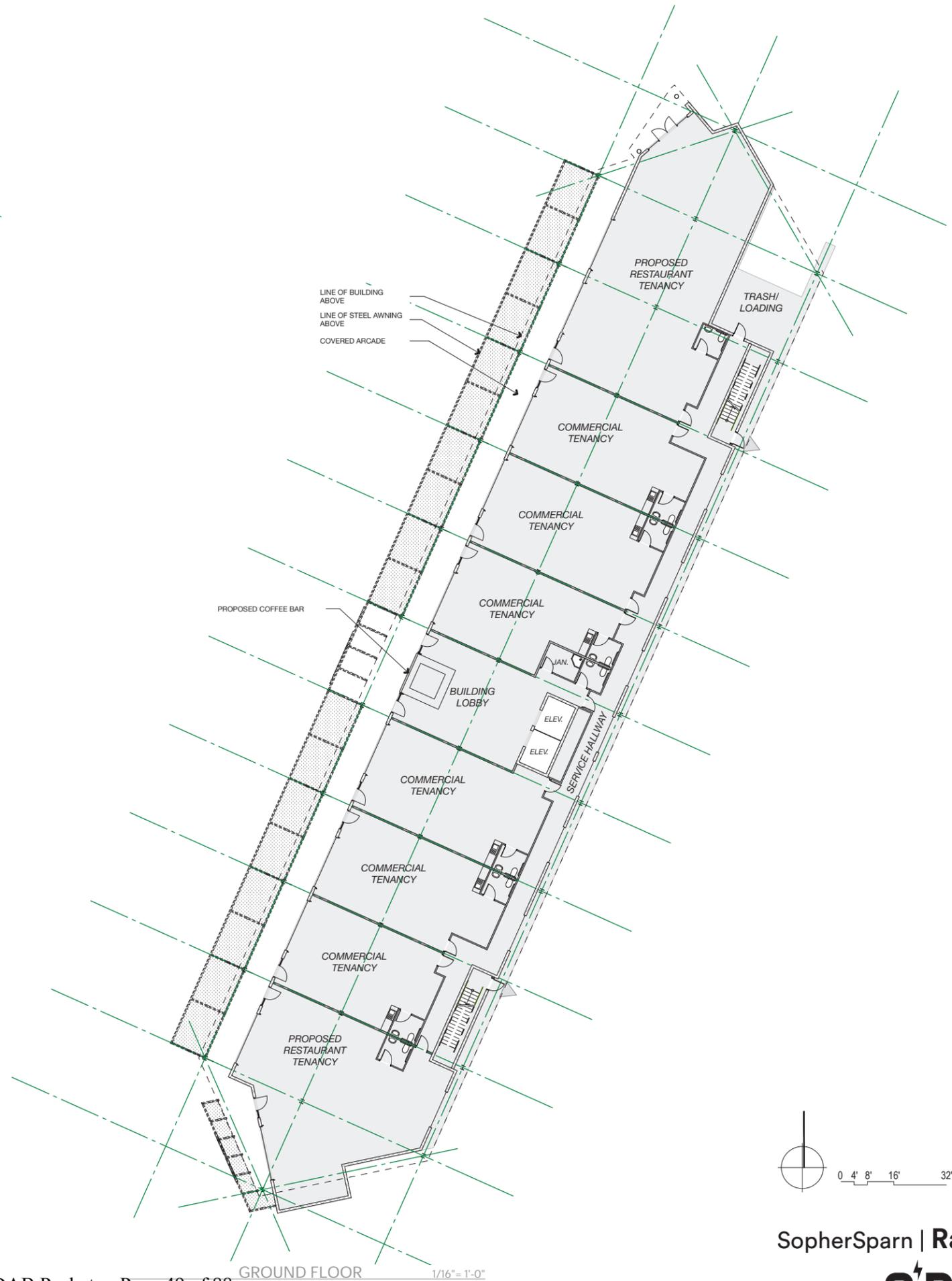
a day in the life of...

I love having my office in the Railyards building. Commuting in on my bike, I can grab a quick coffee in the lobby on my way up to the office. After work, I can walk up the block to get drinks at the tap room with co-workers, then have dinner on the patio of one of the great restaurants along S'PARK Place. Then, hopping back on the bike path right outside, I'm within 5-10 mins of home and just about any place else in Boulder I want to go. It's great to be so connected to so many neighborhood amenities, and to be able to walk or ride to all of them.

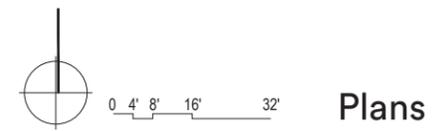




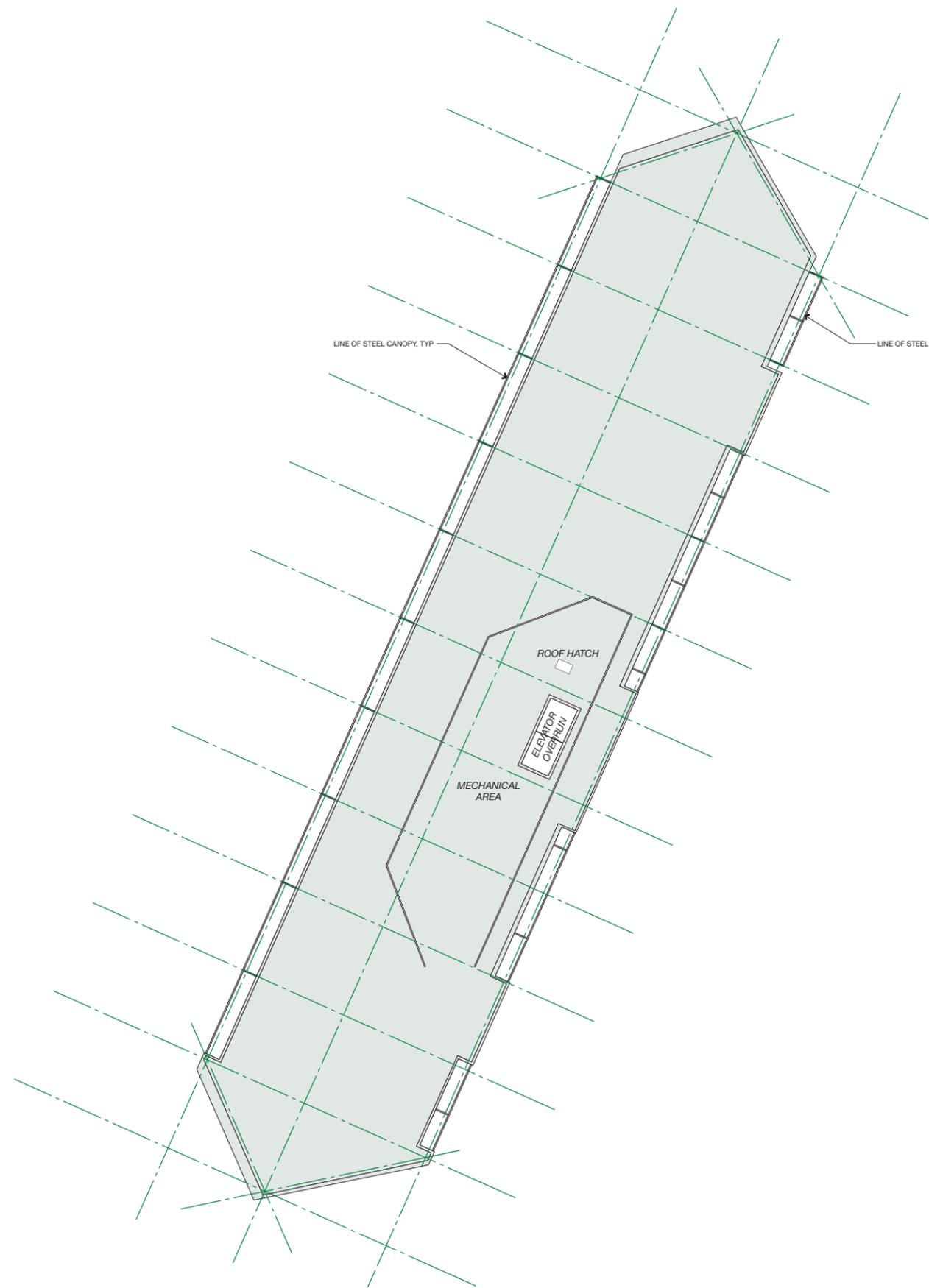
SECOND FLOOR 1/16" = 1'-0"



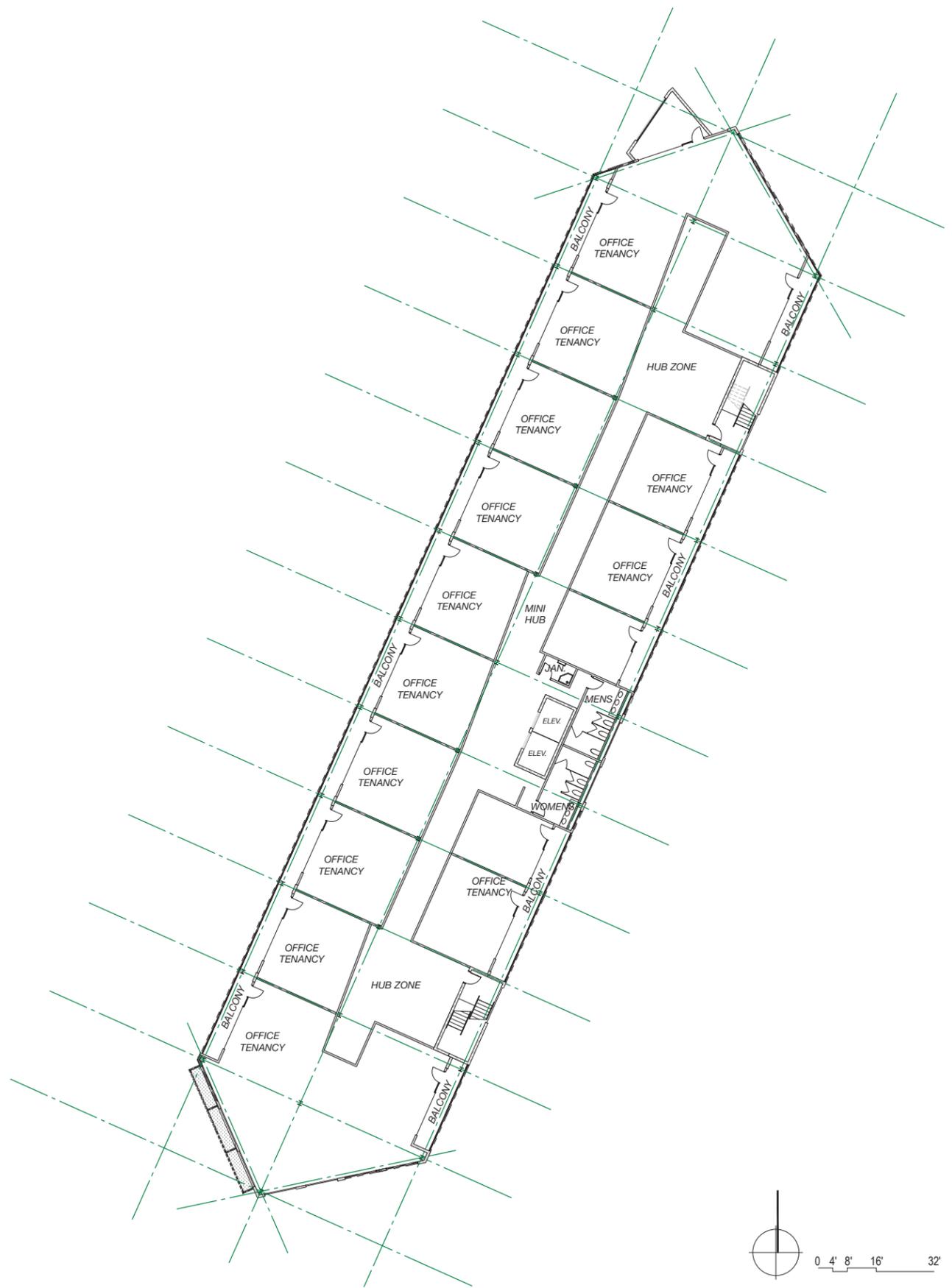
GROUND FLOOR 1/16" = 1'-0"



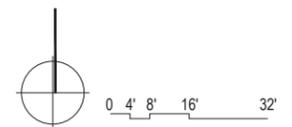
Plans



ROOF PLAN 1/16" = 1'-0"



THIRD FLOOR 1/16" = 1'-0"



Plans

SopherSparrn | Railyards

43 **SPARK**



Elevations

SopherSparrn | Railyards

44 **SPARK**



TRESPA MAHOGANY  
RED



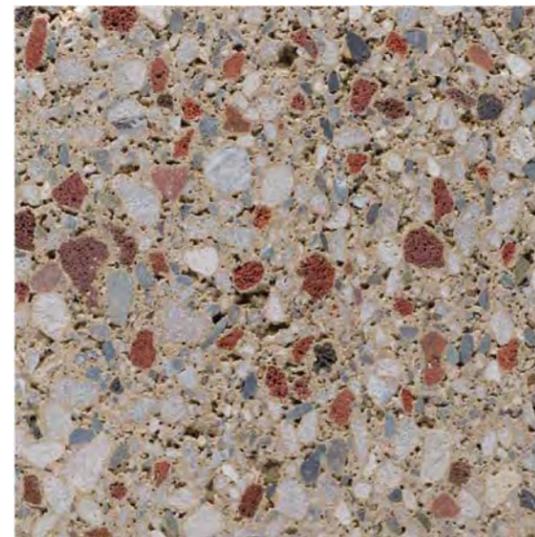
REYNOBOND ZINC  
PATINA



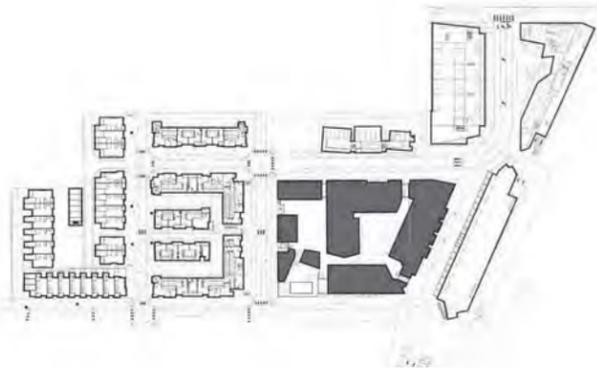
BASALITE CMU 636R



GHOST WOOD SILVER CITY



BASALITE CMU 335



**TIMBER**

5 Buildings- TIMBER LOFTS 1, 2, + 3  
 TIMBER TOWNHOMES (8 units)  
 TIMBER COMMON

Mixed Use Buildings

- 4 Story
- 119,937 gsf
- Ground Floor – Live/Work units, Restaurant, Walk-up Apartments, Resident Amenities & Services
- Floors 2, 3 & 4 – Apartments
- Roof – Resident Amenities, including pool, deck and enclosed areas.
- 215 Structured parking spaces (shared with Railyards + Maarket)

We wanted to build a place with pedestrian rhythm and front stoops between corner shops, that always feels like porch lights are on—people live here. And we can feel invited from the street to the terrace, and vice versa.

We wrapped an array of 5 buildings around structured parking, linked to pedestrian ways, capped by multiple gardens that ‘breathe’ with many ways in, many ways out.

TIMBERLOFTS is a framework for living within S’PARK. Its terraced scale of multi-family dwellings is split open at corners and several mid-block points, to allow residents a complete sense of connection to the courtyards and pool/fitness deck within, and to the fabric of streets, walks, offices and shops beyond. These apertures offer generous stair connections where breezes flow through. Sightlines tied into ‘lines of desire’ take residents and visitors through active or contemplative spaces, and to the S’PARK Place woonerf, Meredith Park, or MAARKET Plaza connections.

As a supporting character in the urban play, TIMBERLOFTS is a backdrop to the woonerf, a veneer to structured parking, and a ‘foil’ in complement to neighboring buildings. In that sense Timber has been rendered in multiple materials and variants, as it shifts from predominant pewter grey V-rib cladding on Bluff and S’PARK Place, to light bronze (opposite the midnight blue Meredith House), charcoal on the Meredith and Junction townhomes, and finally warm wood on the southeast lobby area. This warm wood, coupled with buff concrete masonry and boardform concrete stoops, is wrapped around the first story, below the ‘Timber Line’ datum. An emphasis on warm, tactile, organic texture in the first 15 feet enhances the pedestrian horizon.

This rapidly renewable resource is used in the building frame. Yet the sustainable agenda is also overt, as bike rooms are glazed, visible to street, above the entrance to the garage and gardens. The rhythmic relief of the façade with thin walls and alcoved decks and stoops gives shade, a passive solar benefit to the larger glass—while introducing a play of light shadow and color, at a gentle cadence.

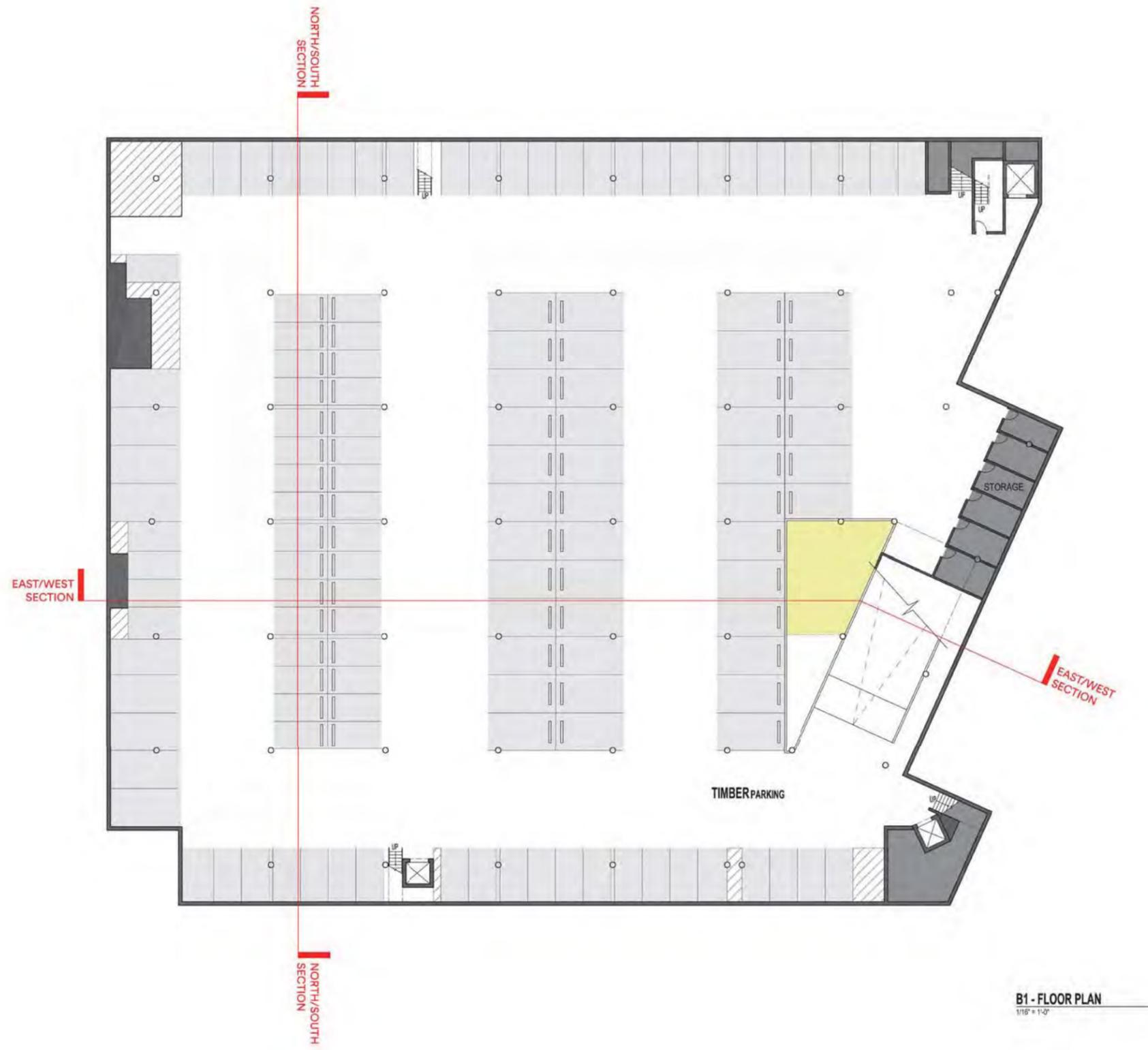




**Scenario**  
a day in the life of...

My daughter and I caught breakfast on our balcony today. Our time allowed us to stroll through the east court, on our way west before preschool. When I returned walking through Steelyards, I took the southwest lobby stair up to the Coworking suite on the pool deck and the west court. I'm an entrepreneur, and this is my space. I can take a conference call in the garden or tend my plot of rosemary and sprouts, and break to workout. Later we are in Meredith Park with friends.

Seasons pass easily here and we see the shadows shift across the months. My car is downstairs but I haven't used it in 3 weeks. We take our bikes, or just walk to the Bluff corner café, Whole Foods, anything we need. Fridays are sometimes music on MAARKET plaza, or an improv dance piece on S'PARK place—love those lights through the trees—it's always different.





Plans

WORKSBUREAU | **TIMBERLOFTS**



L2 - FLOOR PLAN  
1/16" = 1'-0"



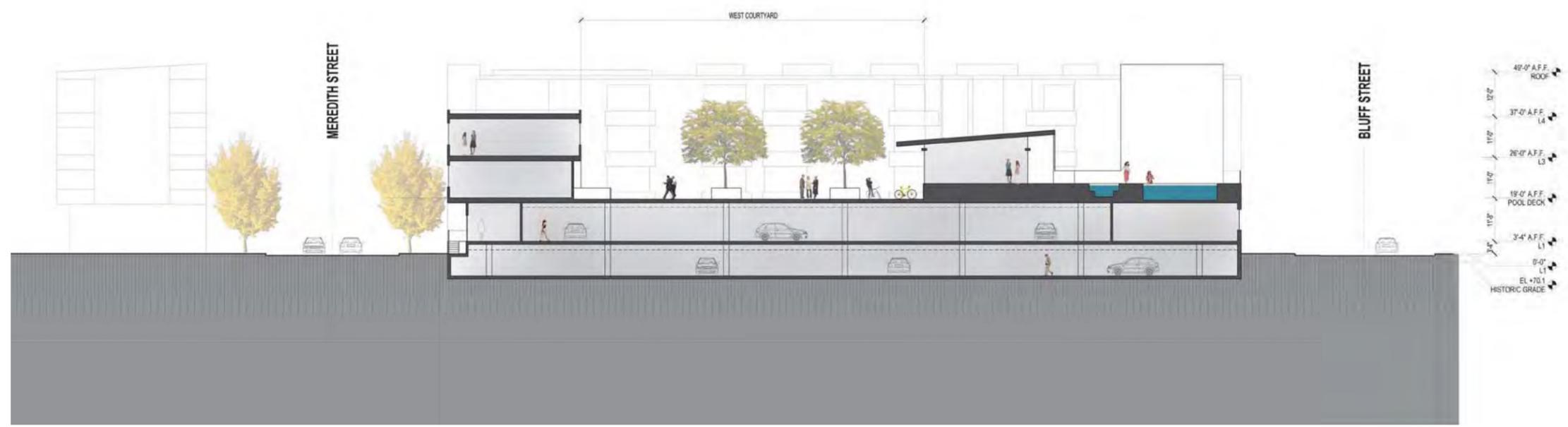
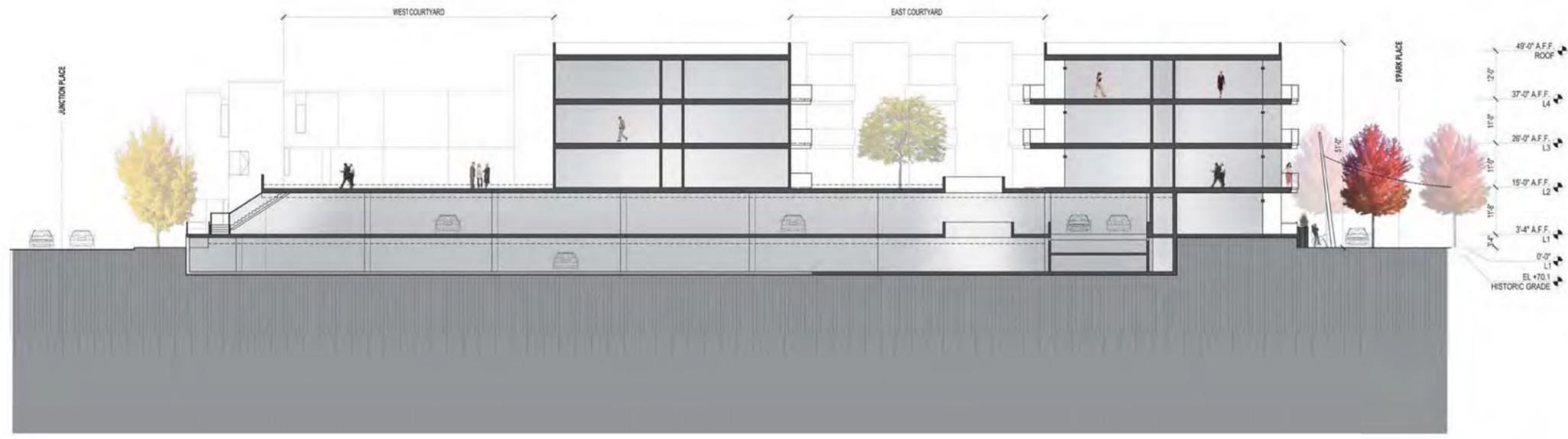


L4 - FLOOR PLAN  
1/16" = 1'-0"



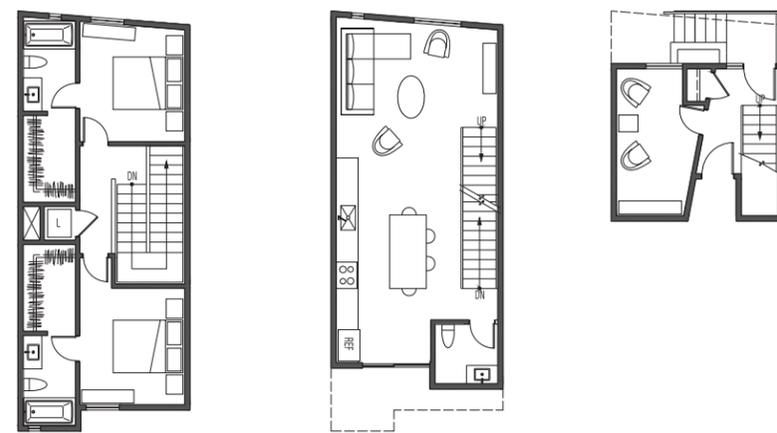
Elevations

WORKSBUREAU | **TIMBERLOFTS**

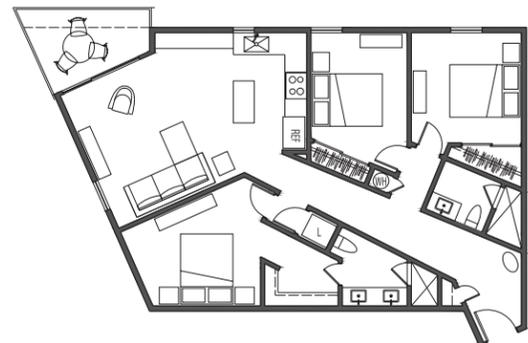


Sections

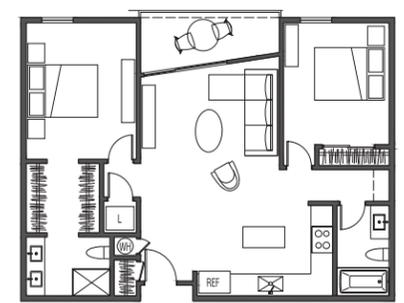
WORKSBUREAU | **TIMBERLOFTS**



**TOWN HOME**  
1/8" = 1'-0"



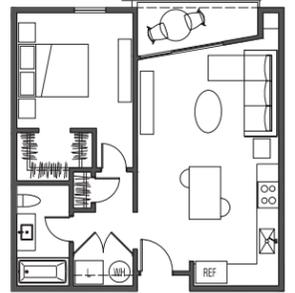
**TYP. THREE BEDROOM**  
1/8" = 1'-0"



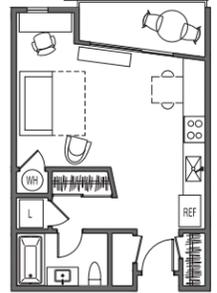
**TYP. TWO BEDROOM**  
1/8" = 1'-0"



**TWO BEDROOM ACUTE**  
1/8" = 1'-0"



**TYP. ONE BEDROOM**  
1/8" = 1'-0"



**STUDIO - 19' WIDE**  
1/8" = 1'-0"

apartments

Unit Plans

WORKSBUREAU | **TIMBERLOFTS**



A.1 PEWTER GREY  
METAL FASCIA

A.2 LIGHT BRONZE  
METAL FASCIA

A.3 CHARCOAL  
METAL FASCIA

N. PERFORATED GALVANIZED  
Z CHANNEL



Q. FLAT SEAM METAL  
CLADDING PEWTER GREY

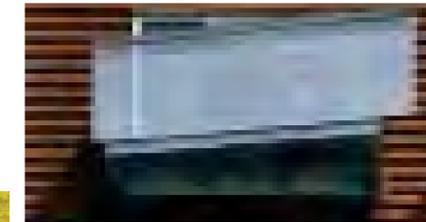


B.2 V-RIB METAL CLADDING  
LIGHT BRONZE

B.1 V-RIB METAL CLADDING  
PEWTER GREY



CEMENT BOARD  
SPANDREL PANEL



11 GA PERFORATED GALV  
GUARDRAIL. RANDOM V FOLD



I. SAND FINISH STUCCO  
'PORCHLIGHT YELLOW'



R. CLEAR GLASS  
GUARDRAIL



F. POWDERCOATED STEEL  
CHANNEL / SIGN FASCIA

O. STANDING SEAM  
CLADDING CHARCOAL GREY



S. COR-TEN PLATE  
STEEL PLANTER



J. CLEAR SEALED  
CEDAR SIDING

G. BUFF COLORED  
CONCRETE MASONRY



BOARD FORM  
CONCRETE STOOP



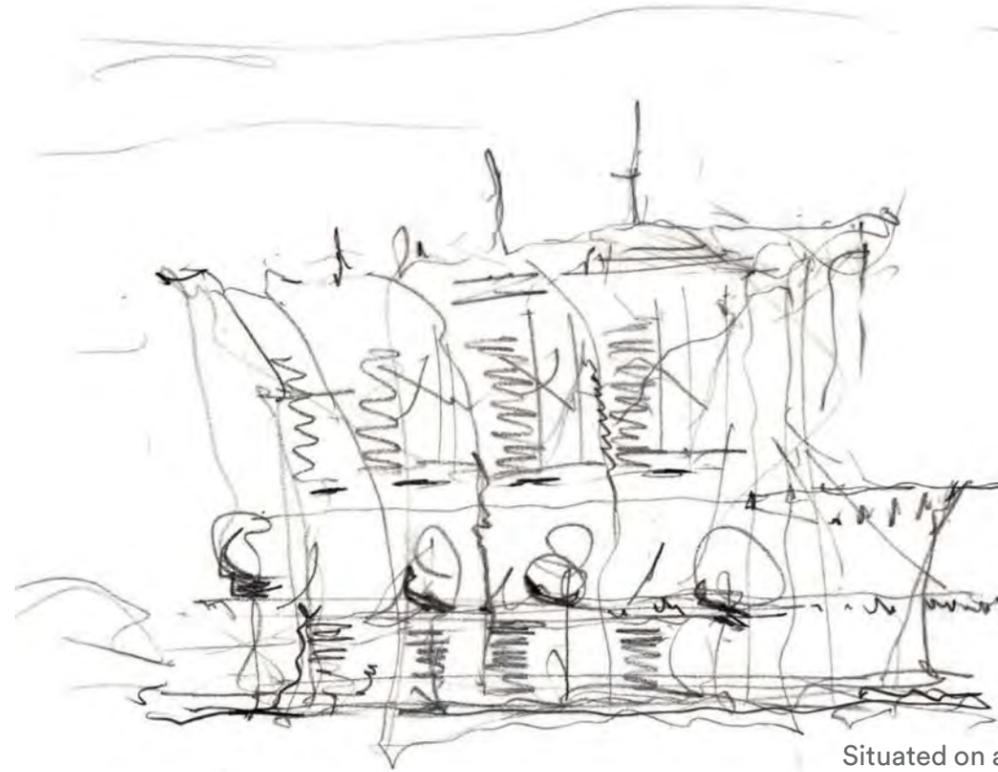
Materials



- 4 Story
- 20,690 gsf
- Ground Floor – Resident Parking, Amenities & Services
- Floors 2, 3 & 4 – Condos

On a long narrow site, we wanted to create a place that did not feel so long and narrow. A building that shifts slightly. One that feels like it might be moving.

So we created three pieces that twist softly, and an elevation that moves; one that feels musical and looks, like a dance with the ground floor transparent, pulled back, revealing a glimpse of S’PARK Park beyond.



Situated on a long and narrow East–West oriented site, Meredith House provides a key transition element from mixed use to pure residential within S’PARK.

A dynamic and creatively designed structure that shifts in both plan and elevation, Meredith House takes advantage of its orientation to harvest ample daylighting for the fifteen loft style units within.

The length of the building is separated into three main volumes with the entrance oriented east, towards the woonerf, to capture the energy and activity that will be at the heart of S’PARK. On the west side, the community room opens to the S’PARK pocket park, which acts as an expansion of the ground floor, an open program to vitalize the open space.

With smaller setbacks, abundant onsite bicycle parking, and generous glazing at the ground floor, Meredith House is intentionally urban. Meredith House blends textural concrete masonry units that are produced regionally with a modern rain-screen cladding to reduce maintenance and increase material longevity. Touches of timber warm the palette and make a material nod to the history of the site.

High performance windows and superior insulation aid in the completion of an energy efficient and sustainable building envelope. The low slope roofs allow for plenty of solar PV panels to be installed.

The project houses fifteen 2 bedroom dwelling units that are offered at market rate. Each unit has one parking space as well as private storage at the ground level; useful for secure bicycle storage. Each floor has 5 units and by creating the separated building volumes, each unit is, in spirit, a corner unit. Private balconies introduce cadence to the elevations, carefully placed to take advantage of views and connect the residents to several energy centers within S’PARK.





**Scenario**  
a day in the life of...

I just love living so close to the transit center and using the Bus Rapid Transit to commute to and from work. In fact, just the other evening I left work late but was able to make quick time home because of the BRT. I arrived at the station on 30th, unlocked my bike and peddled up the bike path to my neighborhood, S’PARK. As expected, my girlfriends were still waiting for me in the woonerf and all of the food truck vendors were still there.

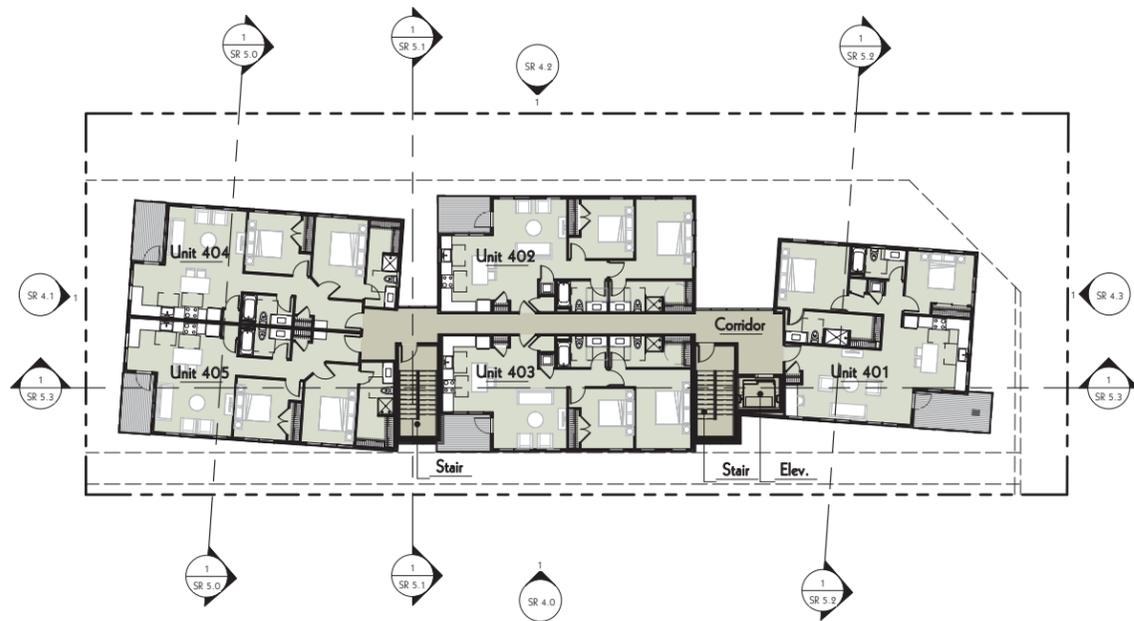
Food night is my favorite night of the week in the summer. Tons of local chefs sell great eats and there are always local musicians on the bricks. It is so fun to watch the kids dance in the street without a care in the world.

After dinner with my besties, I made my way back to Meredith. The pocket park was alive with kids reveling in a hot summer’s night – capture the flag was on the agenda for this twilight. At the end of the day my respite is found staring out to the lights of Boulder and the faint glow of the flatirons beyond.

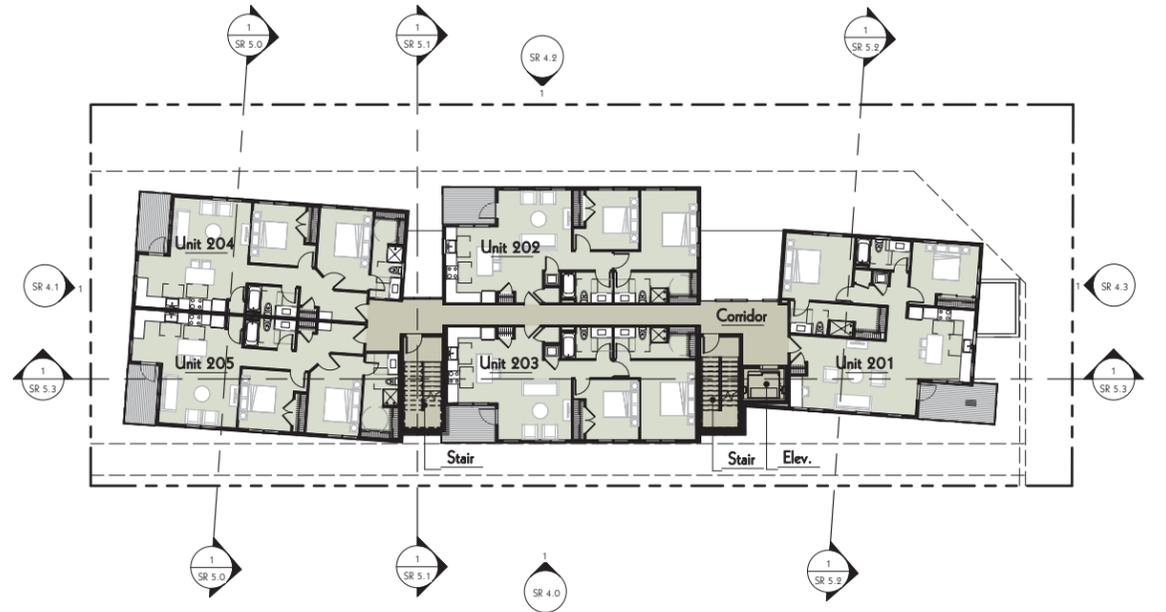
This will never get old.

Surround Architecture | **Meredith House**

58 **S’PARK**



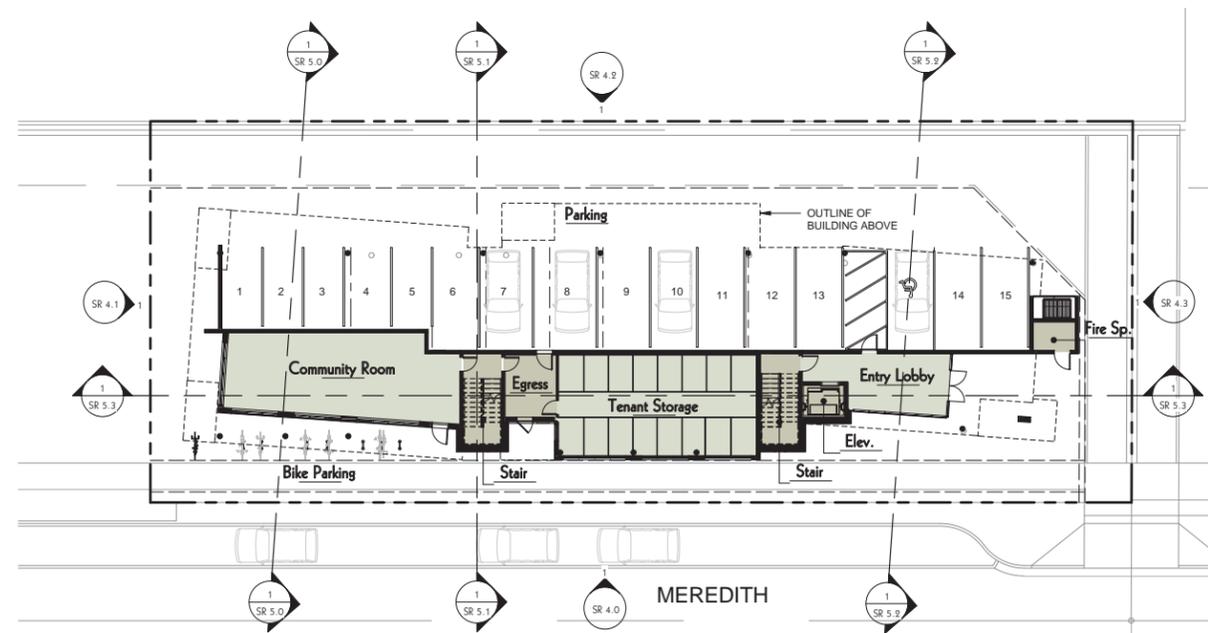
FOURTH LEVEL FLOOR PLAN



SECOND LEVEL FLOOR PLAN



THIRD LEVEL FLOOR PLAN



GROUND LEVEL FLOOR PLAN

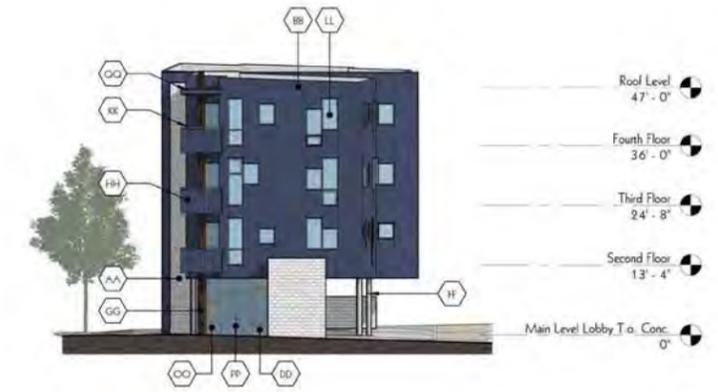
Plans

ELEVATION KEY NOTES

NO.	DESCRIPTION	MANUF.	COLOR/SPEC.
AA	CMU Veneer	Basalite	8x16 CMU - ground face, color #720 - see photos
BB	3' Wide Rainscreen Panels	Trespa or Richlite	Dark Blue
CC	Aluminum storefront	--	Aluminum/Silver
DD	Aluminum Spandrel Panels - light	--	Aluminum/Silver
EE	Aluminum Spandrel Panels - dark	--	Match rainscreen panels
FF	Exposed Concrete Columns	--	--
GG	Timber Column	--	--
HH	Perforated Metal Railing Panels	--	Match round perforations - color to match rainscreen panels
JJ	Perforated Metal Fence Panels	--	Same as railing panels
KK	Steel guardrail & railing panel support	--	Ptd. medium grey
LL	Aluminum Windows Frames	--	Aluminum/Silver
MM	Hollow Metal Door	--	Ptd. to match CMU
NN	Aluminum Frame/Glass Door	--	Aluminum/Silver
OO	Insulated Glazing Unit	--	--
PP	Glass Storefront Door	--	--
QQ	Aluminum Facia	--	Aluminum/Silver



BUILDING ELEVATION - WEST



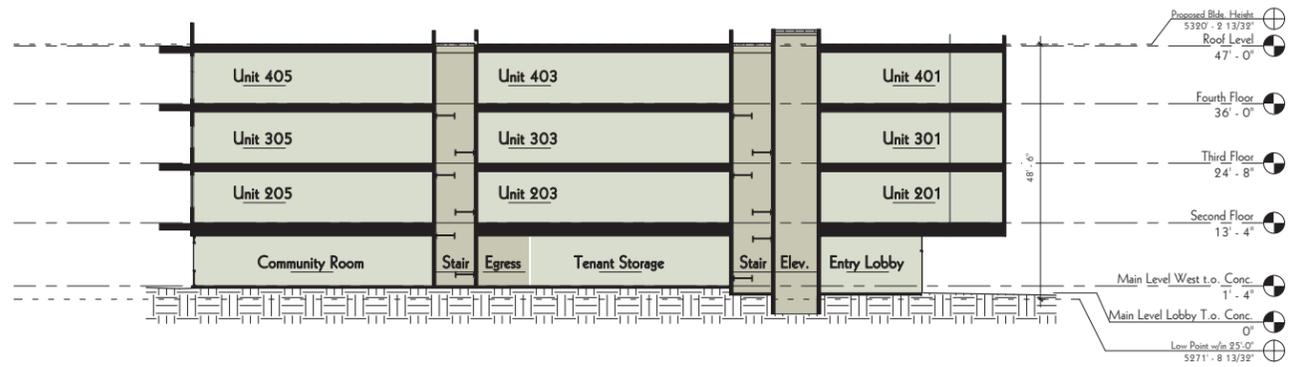
BUILDING ELEVATION - EAST



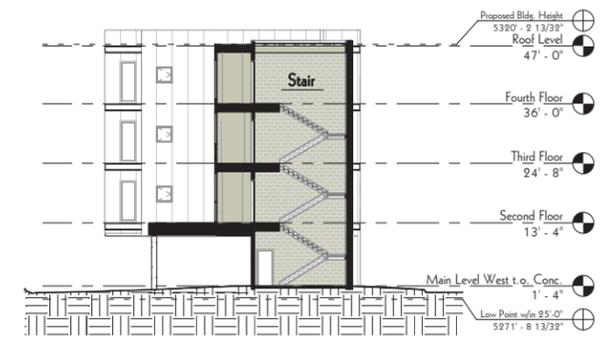
BUILDING ELEVATION - NORTH



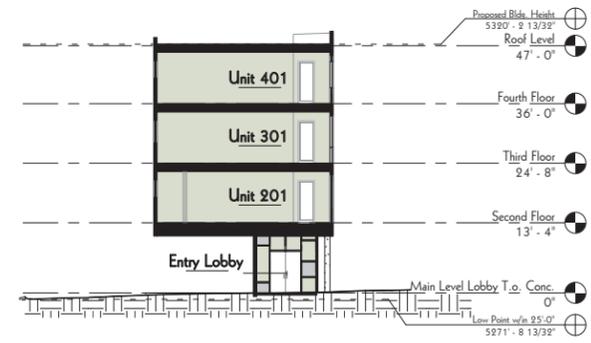
BUILDING ELEVATION - SOUTH



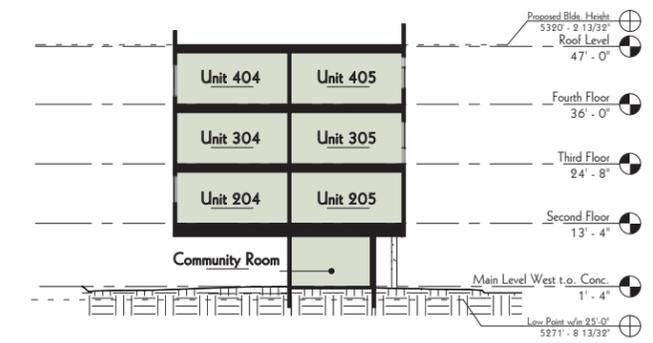
EAST WEST BUILDING SECTION



NORTH SOUTH BUILDING SECTION B



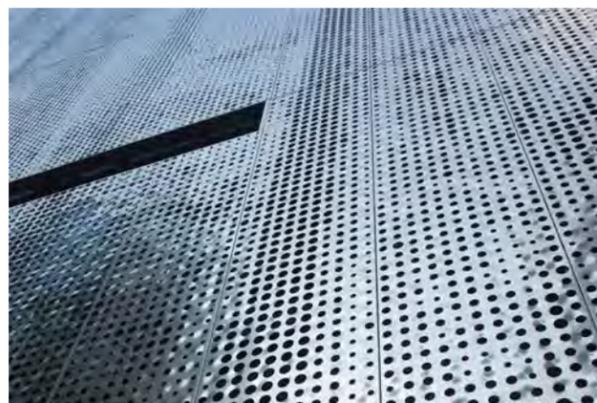
NORTH SOUTH BUILDING SECTION C



NORTH SOUTH BUILDING SECTION A

Sections

Surround Architecture | Meredith House



PERFORATED RAILING PANEL



CMU



SIDING PANEL



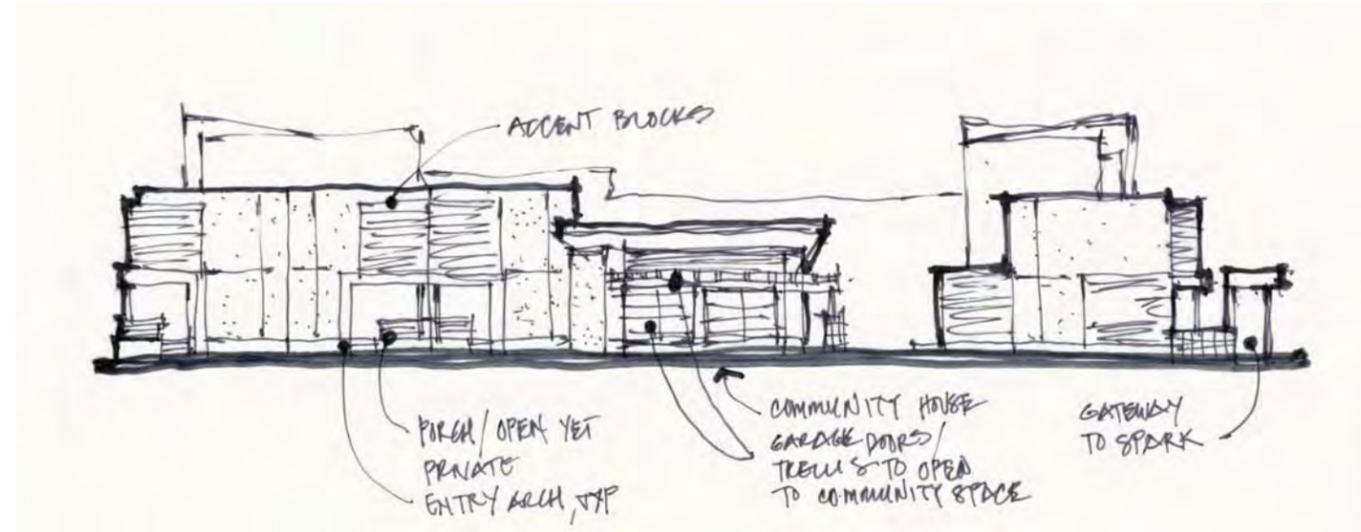
TIMBER



DOUG FIR SOFFIT



- 4 Story
- 20,690 gsf
- Ground Floor – Resident Parking, Amenities & Services
- Floors 2, 3 & 4 – Condos



We started with a neighborhood vision, with front stoops and large porches and engaging upper decks that would connect the people with the ground and the sky (mountains). Knowing that there is an existing neighborhood fabric that can already been found adjacent to the site, but has not yet reached it's potential, we set about to add additional architecture that adds to the neighborhood in a positive and welcoming manner. Inclusive sites with welcoming permeability throughout.



The western zone of the S'PARK project is dedicated to family housing in primarily townhouse units, with a few flats at corners of blocks, in order to help maintain the continuous block face pattern as the building turns the street corners.

All units are brought close to the street, with individual porches that are raised from 12-21", maintaining a sense of separation from the public realm, while having a very direct connection to the pedestrian zone. The inspiration for this model comes making a pedestrian friendly and engaging walking street along Bluff and all of the townhouse zone of the project.

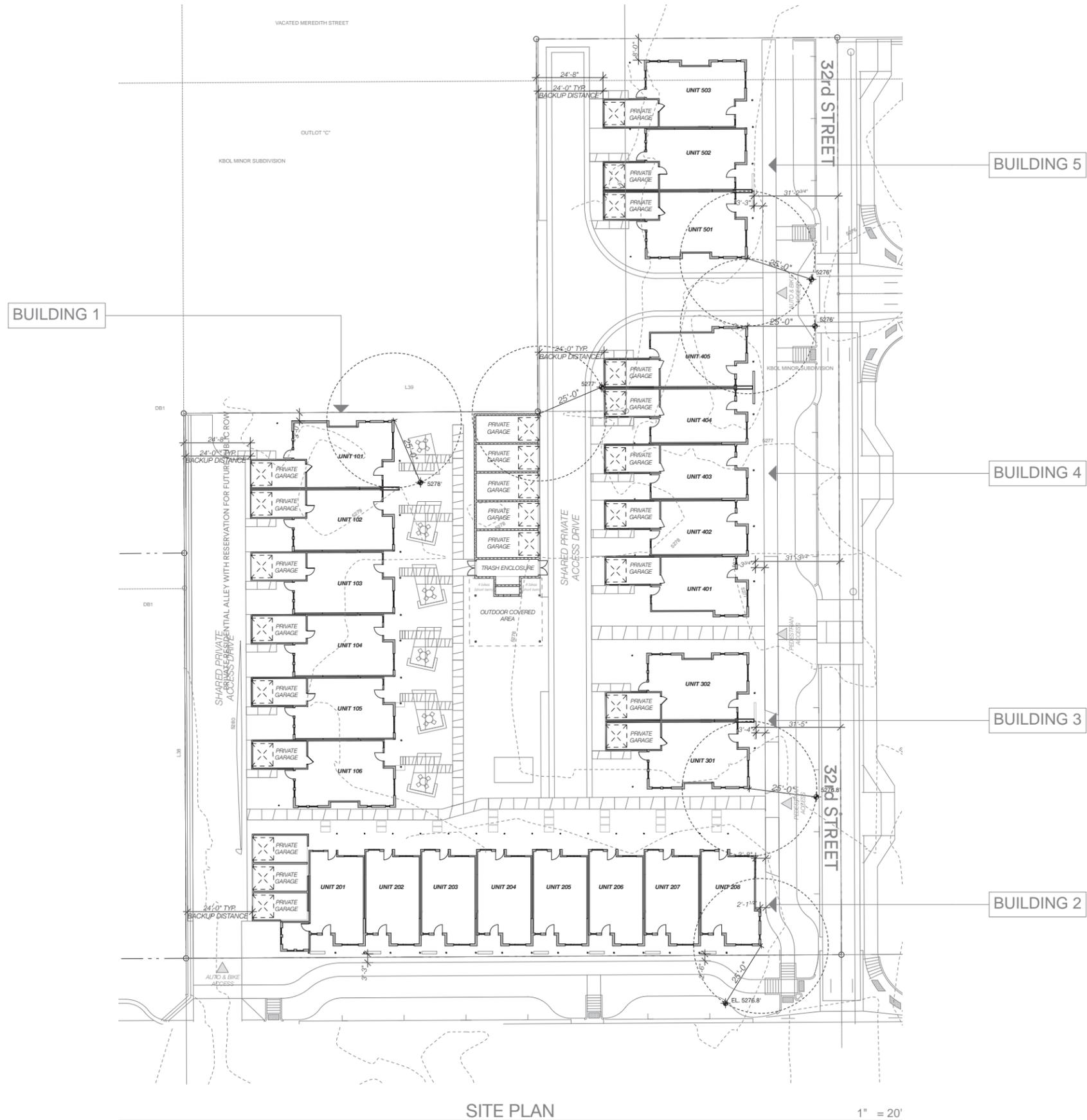
Internally, from west to east, there is a shared common series of open spaces that ties together the site back to TIMBER and crossing the various blocks. Each have their own character and have residences again, fronting directly onto the greens. Central to the site is a Community Commons Building that mostly serves the affordable community, while the western site has an outdoor covered picnic area fronting onto its outdoor green space.



**Scenario**  
a day in the life of...

It's great to live in a place within walking distance to everything thing you need. This is the quintessential Boulder neighborhood; the exact reason people want to be here...good neighbors, great parks, nice markets/shops and plenty of access to multi-use trails. Everything I need is right here.

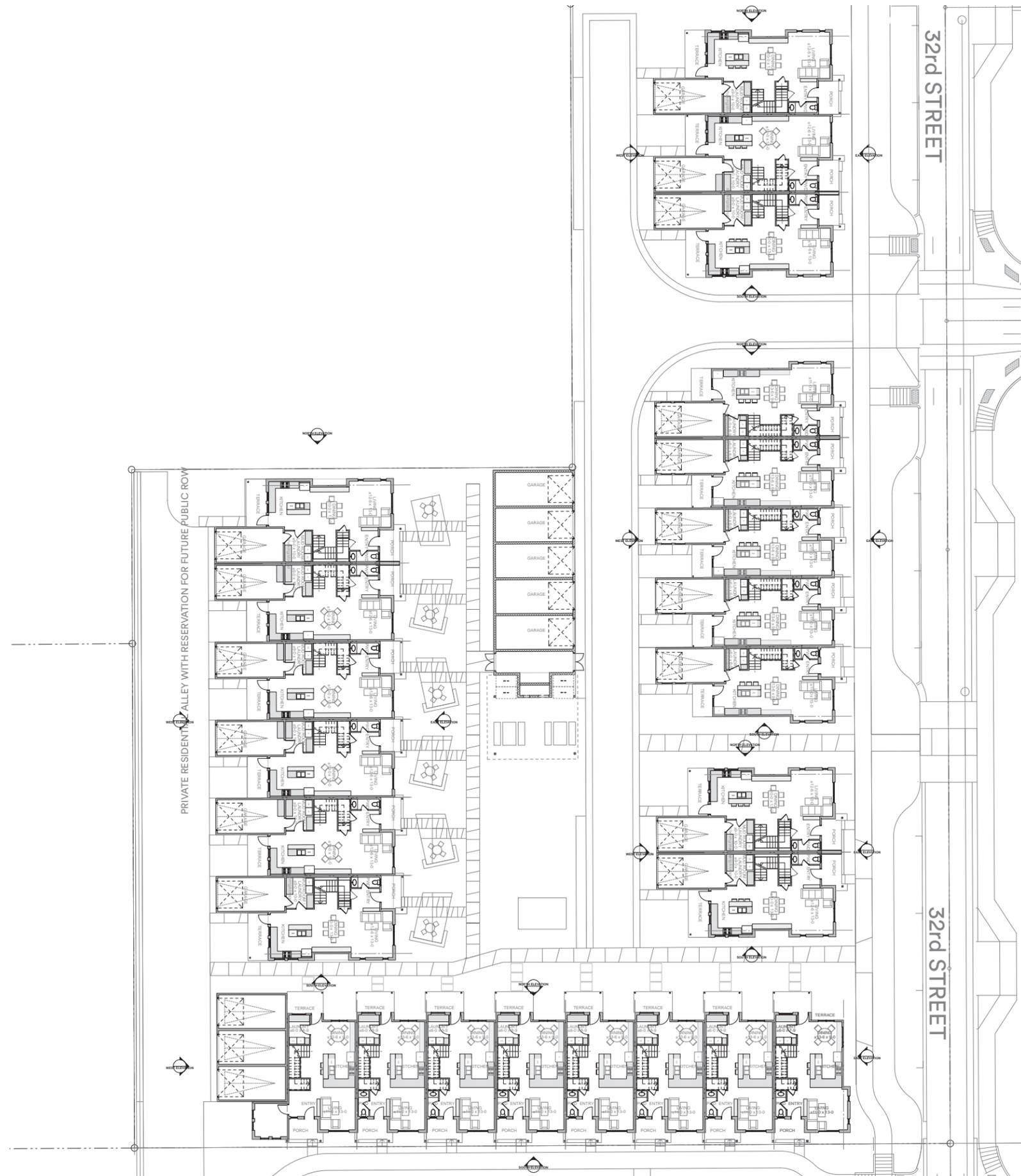




SITE PLAN

1" = 20'

Plans



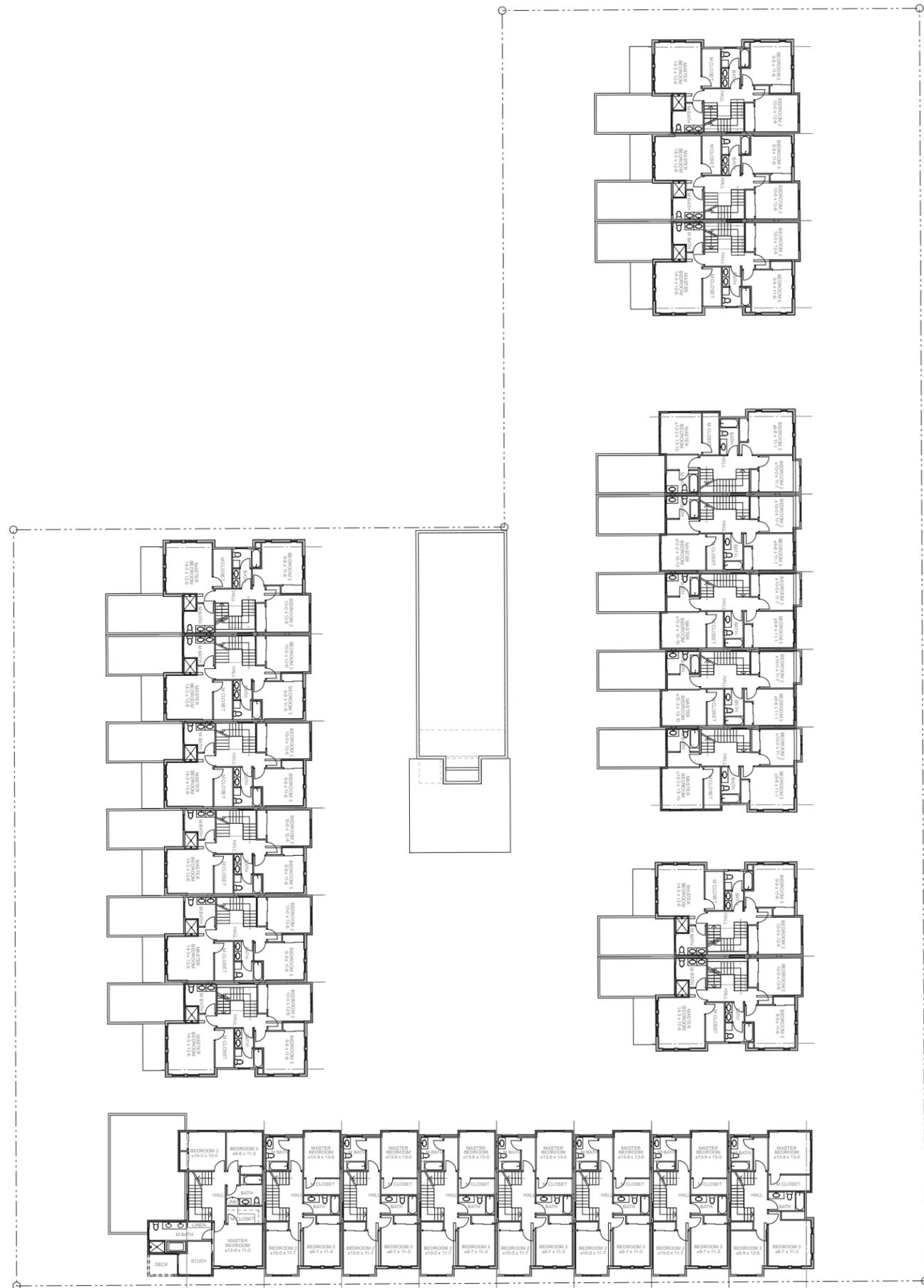
FIRST LEVEL

1/16" = 1'-0"

Plans

SopherSparrn | S'PARK west

67 **S'PARK**



SECOND LEVEL

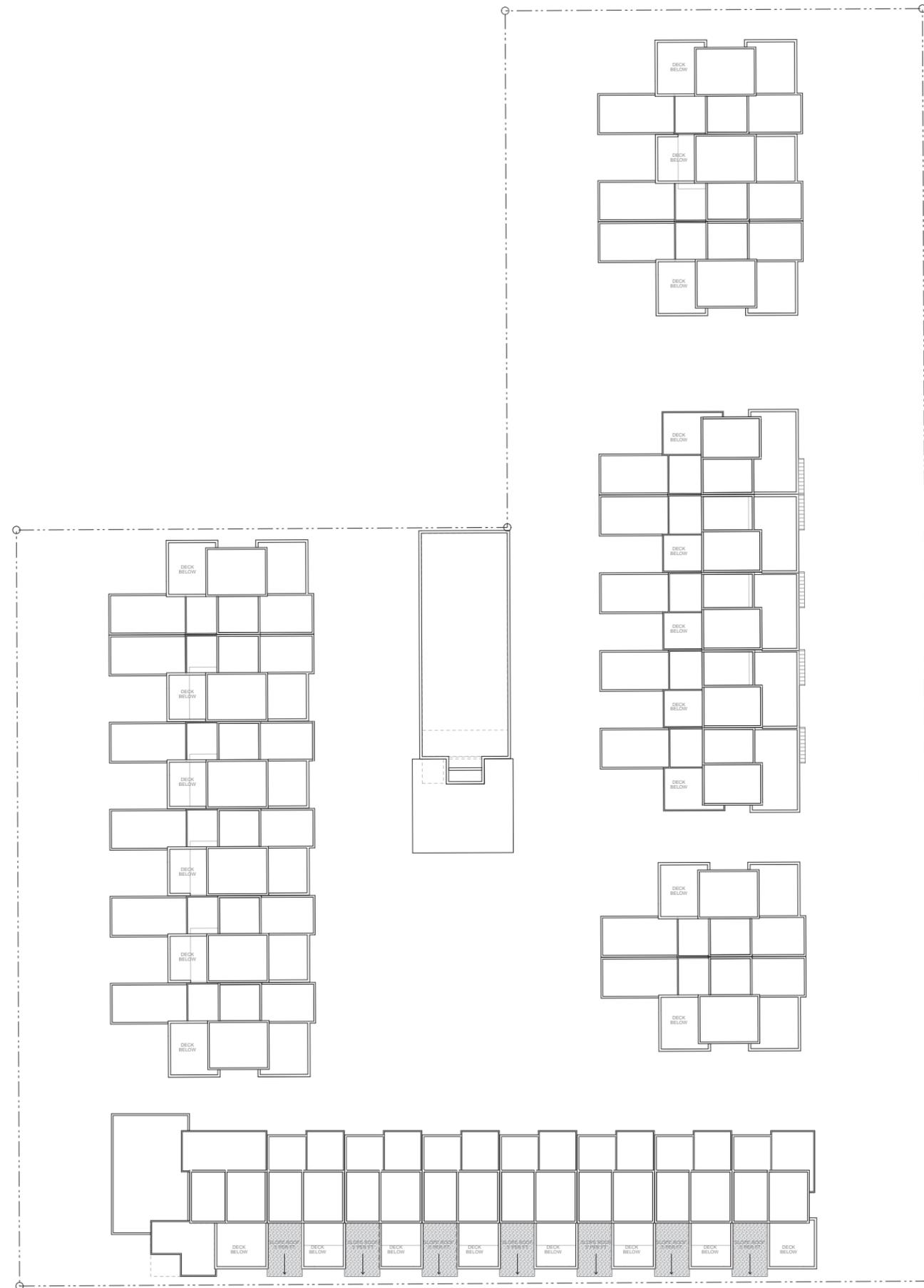
1/16" = 1'-0"

Plans

SopherSparn | S'PARK west

68 **S'PARK**





ROOF LEVEL

1/16" = 1'-0"

Plans



BUILDING 2 NORTH ELEVATION 1/16" = 1'-0"



BUILDING 1 NORTH ELEVATION 1/16" = 1'-0"



BUILDING 2 SOUTH ELEVATION 1/16" = 1'-0"



BUILDING 1 SOUTH ELEVATION 1/16" = 1'-0"



BUILDING 2 EAST ELEVATION 1/16" = 1'-0"



BUILDING 1 EAST ELEVATION 1/16" = 1'-0"

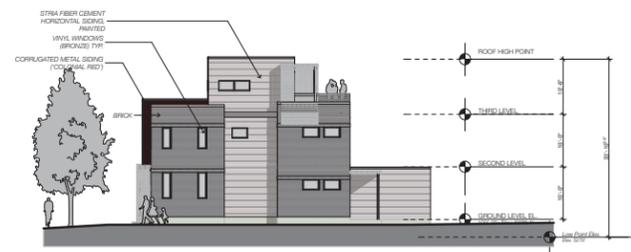


BUILDING 2 WEST ELEVATION 1/16" = 1'-0"

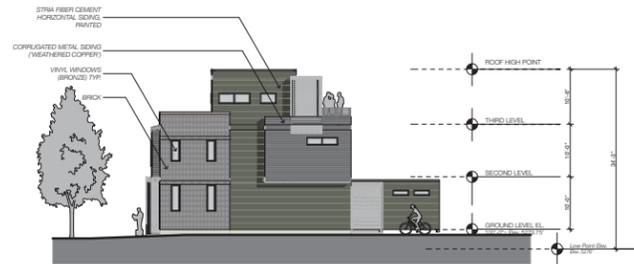


BUILDING 1 WEST ELEVATION 1/16" = 1'-0"

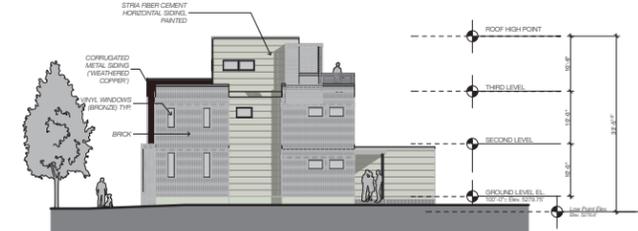
Elevations



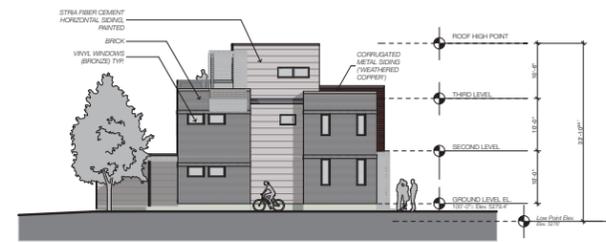
BUILDING 5 NORTH ELEVATION 1/16" = 1'-0"



BUILDING 4 NORTH ELEVATION 1/16" = 1'-0"



BUILDING 3 NORTH ELEVATION 1/16" = 1'-0"



BUILDING 5 SOUTH ELEVATION 1/16" = 1'-0"



BUILDING 4 SOUTH ELEVATION 1/16" = 1'-0"



BUILDING 3 SOUTH ELEVATION 1/16" = 1'-0"



BUILDING 5 EAST ELEVATION 1/16" = 1'-0"



BUILDING 4 EAST ELEVATION 1/16" = 1'-0"



BUILDING 3 EAST ELEVATION 1/16" = 1'-0"



BUILDING 5 WEST ELEVATION 1/16" = 1'-0"



BUILDING 4 WEST ELEVATION 1/16" = 1'-0"

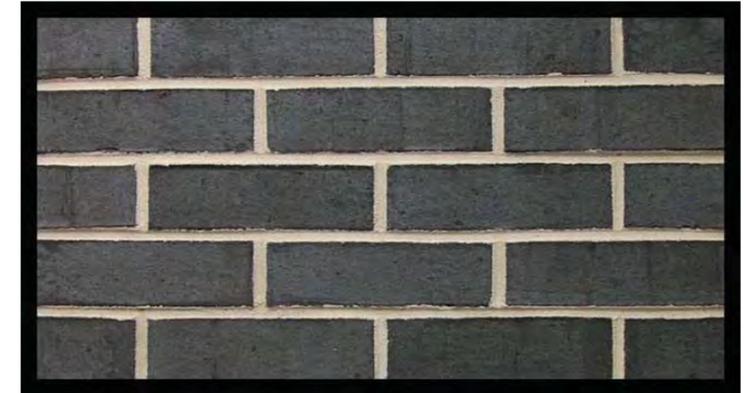


BUILDING 3 WEST ELEVATION 1/16" = 1'-0"

Elevations



ALASKAN



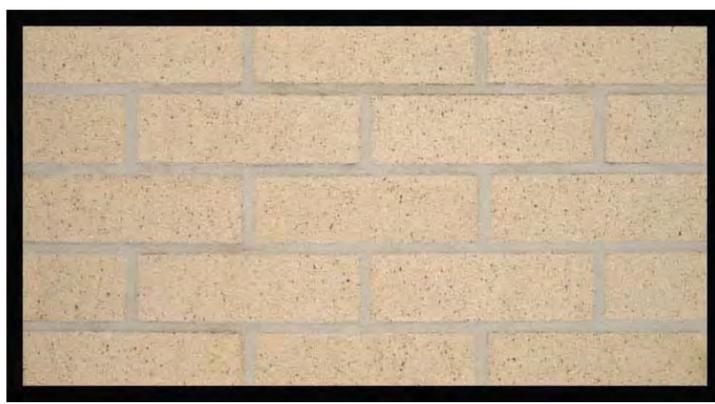
BLACK DIAMOND BRICK



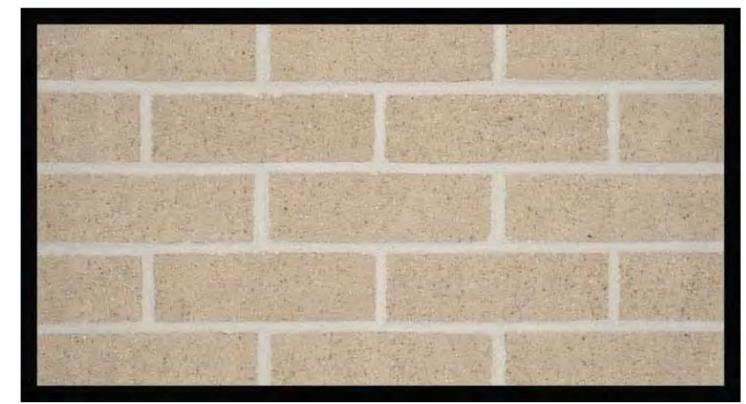
CORRUGATED METAL - COLONIAL RED



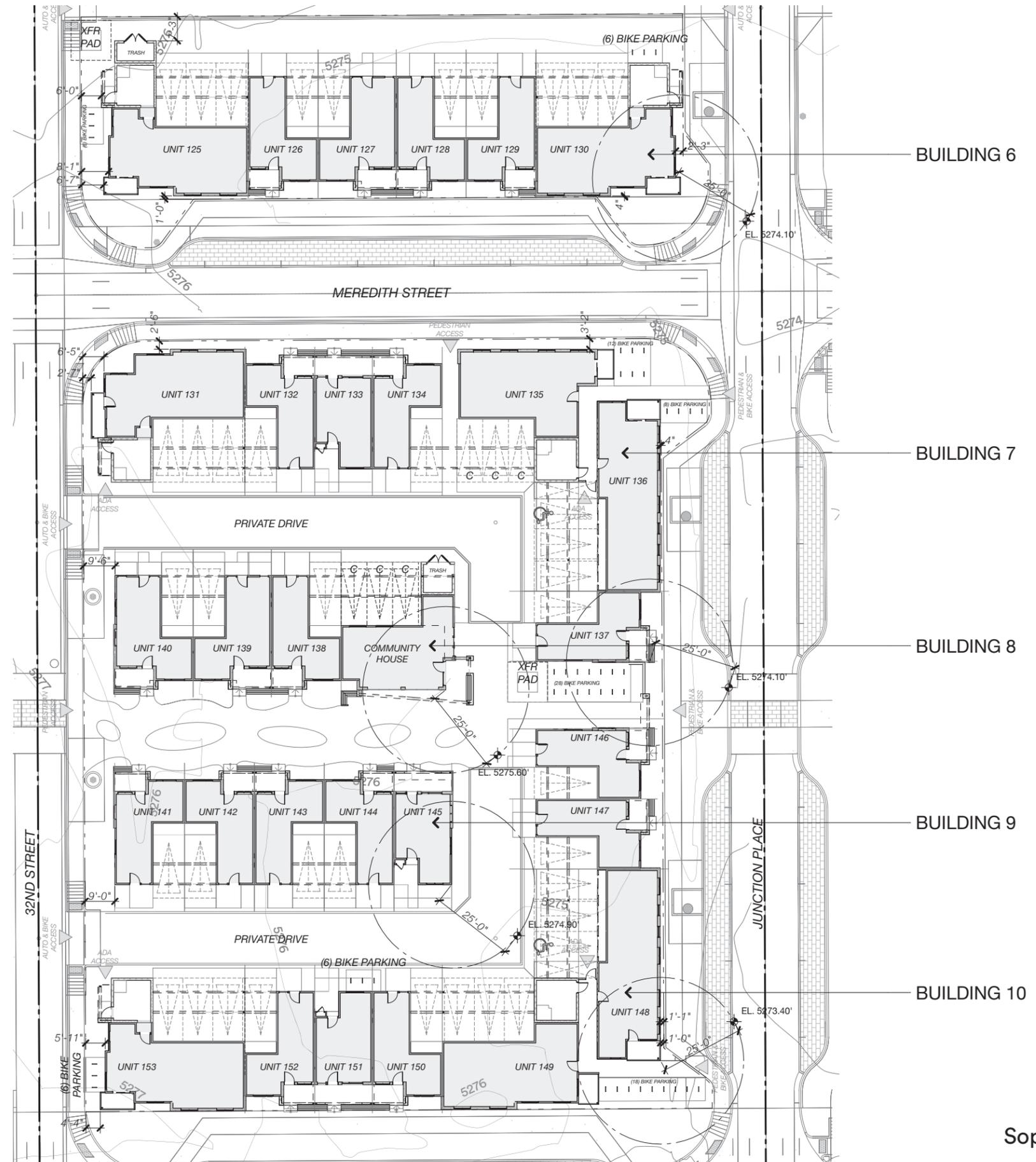
CORRUGATED METAL - COLONIAL RED



LIGHT PEWTER



LIGHT GREY

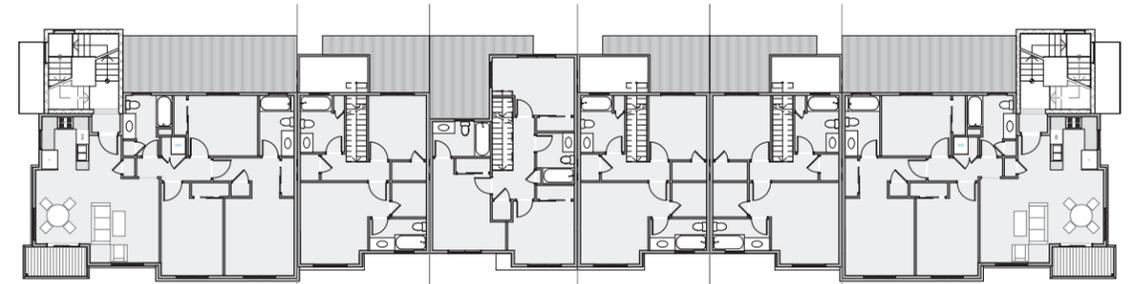


Site Plan



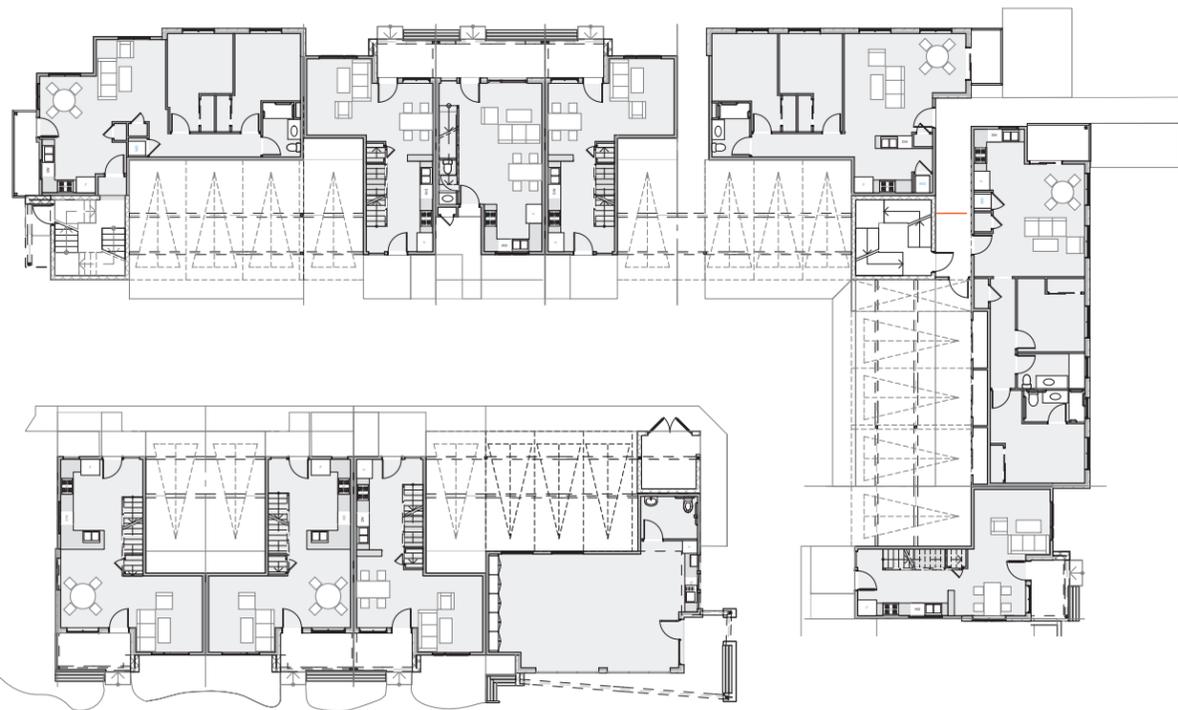
BUILDINGS 7 & 8-SECOND FLOOR

1/16" = 1'-0"



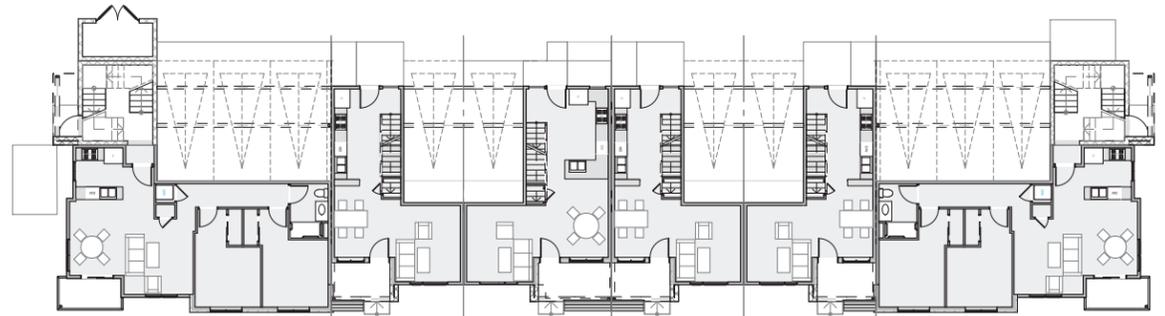
BUILDING 6-SECOND FLOOR

1/16" = 1'-0"



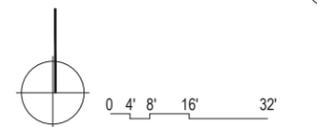
BUILDINGS 7 & 8-GROUND FLOOR

1/16" = 1'-0"



BUILDING 6-GROUND FLOOR

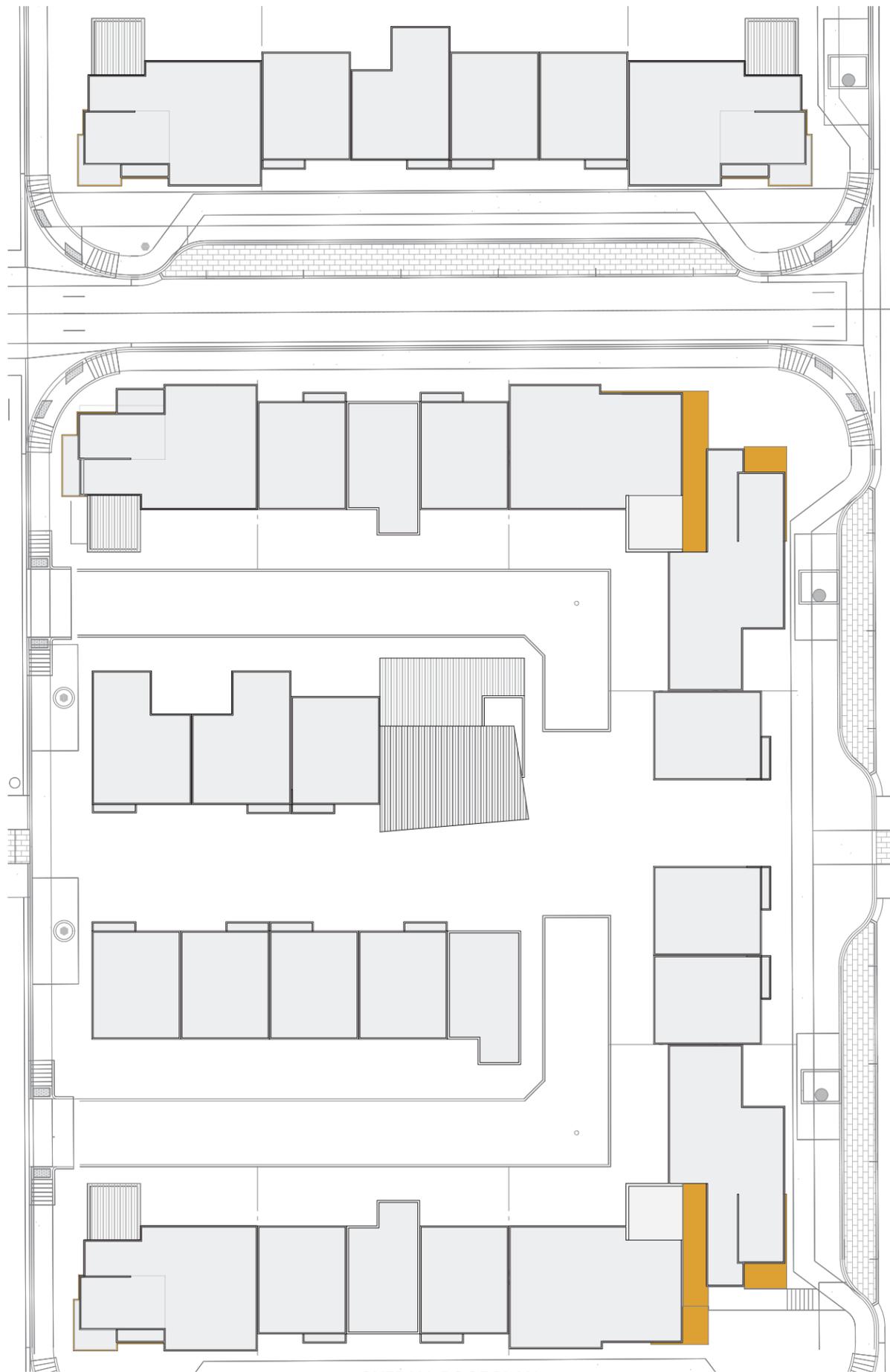
1/16" = 1'-0"



Plans

SopherSparn | S'PARK west

75 S'PARK



OVERALL ROOF PLAN 1/16" = 1'-0"



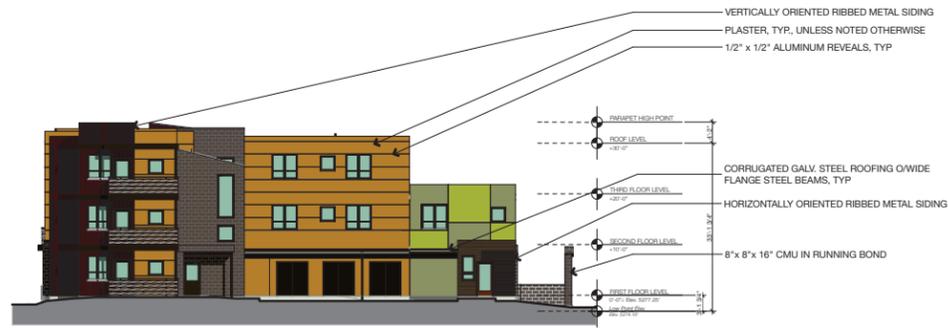
BUILDINGS 9 & 10-SECOND FLOOR 1/16" = 1'-0" N

BUILDINGS 9 & 10-GROUND FLOOR 1/16" = 1'-0" N

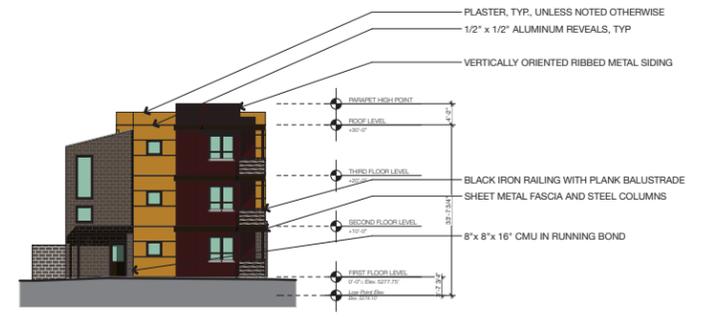
Plans

SopherSparn | S'PARK west

76 S'PARK



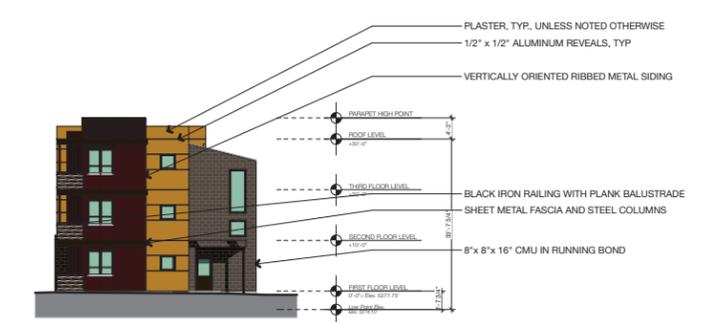
BUILDING 7-WEST ELEVATION 1/8" = 1'-0"



BUILDING 6-WEST ELEVATION 1/8" = 1'-0"



BUILDING 7-EAST ELEVATION 1/8" = 1'-0"



BUILDING 6-EAST ELEVATION 1/8" = 1'-0"



BUILDING 7-SOUTH ELEVATION 1/8" = 1'-0"



BUILDING 6-SOUTH ELEVATION 1/8" = 1'-0"



BUILDING 7-NORTH ELEVATION 1/8" = 1'-0"

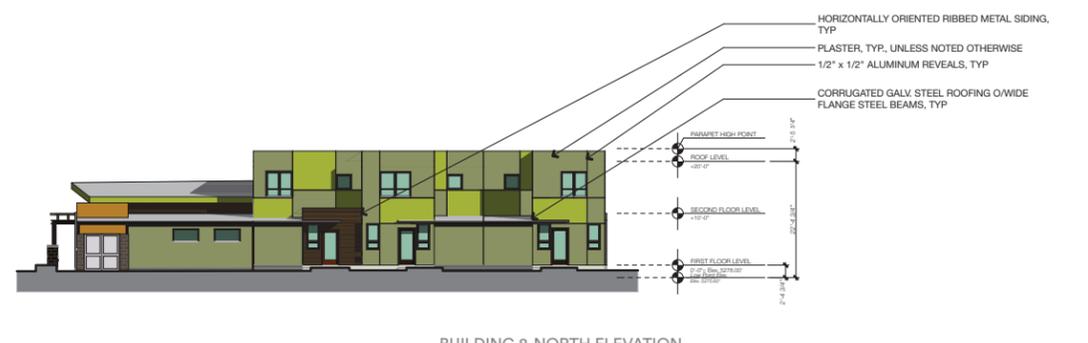
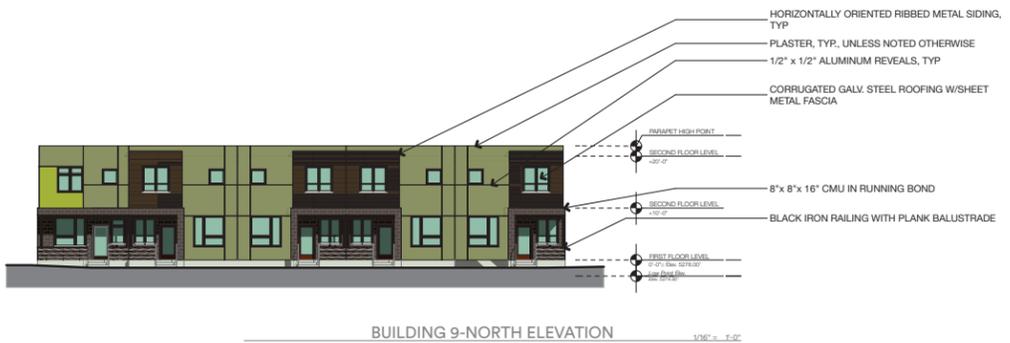
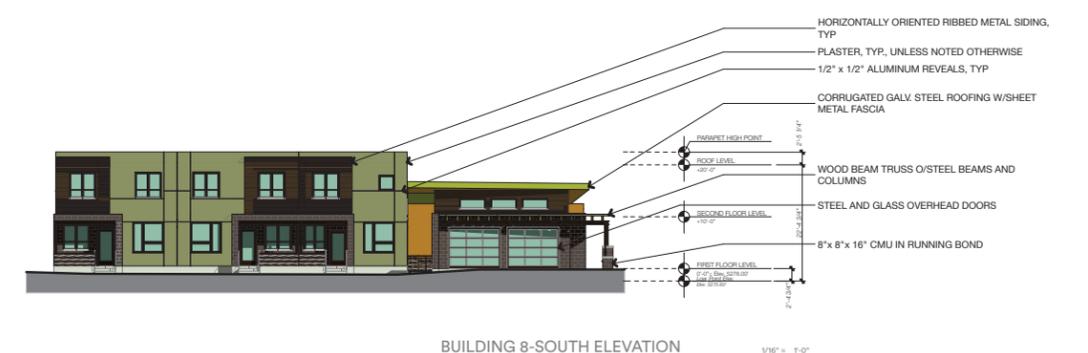
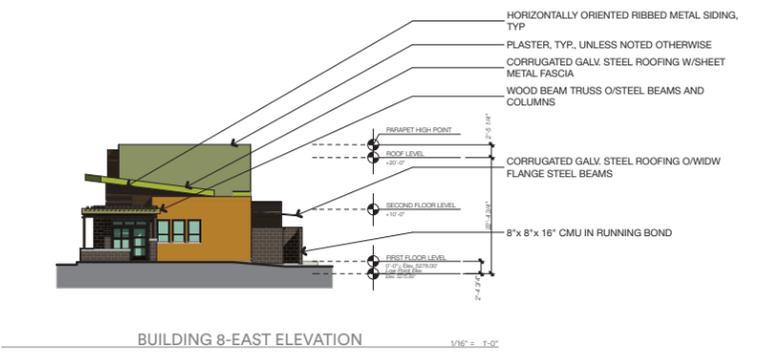
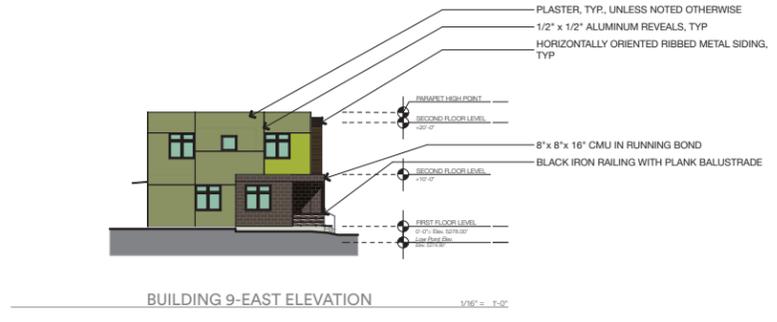
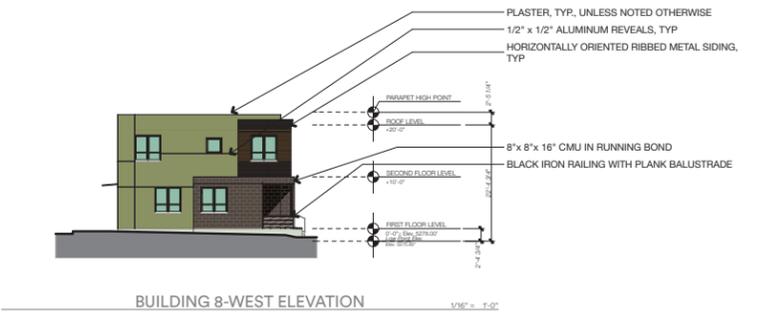
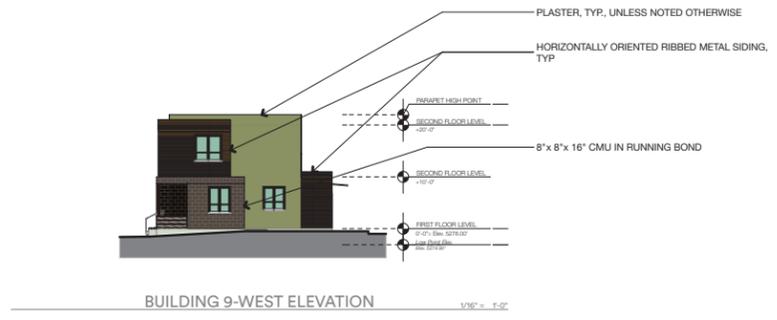


BUILDING 6-NORTH ELEVATION 1/8" = 1'-0"

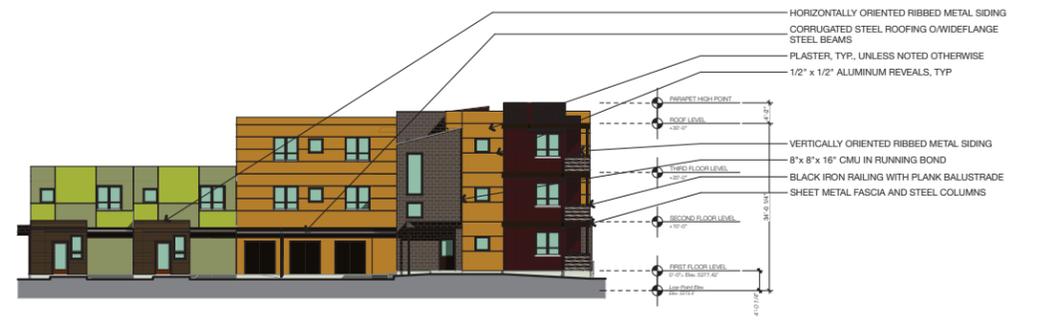
0 4' 8' 16' 32' Elevations

SopherSparrn | S'PARK west

77 S'PARK



0 4' 8' 16' 32' Elevations



BUILDING 10-WEST ELEVATION 1/8" = 1'-0"



BUILDING 10-EAST ELEVATION 1/8" = 1'-0"



BUILDING 10-SOUTH ELEVATION 1/8" = 1'-0"

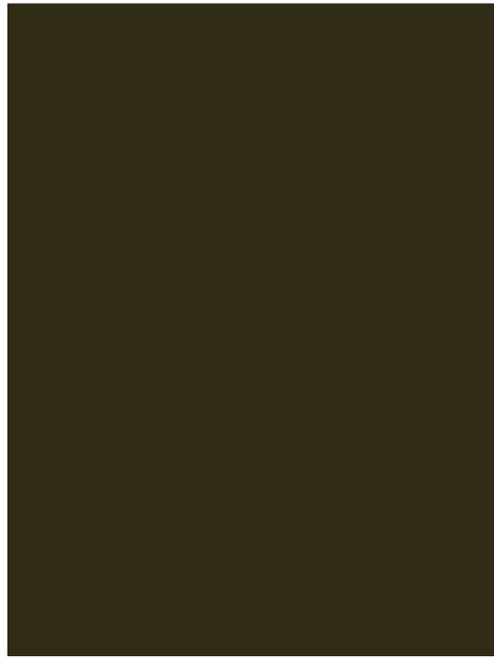


BUILDING 10-NORTH ELEVATION 1/8" = 1'-0"

0 4' 8' 16' 32' Elevations

SopherSparrn | S'PARK west

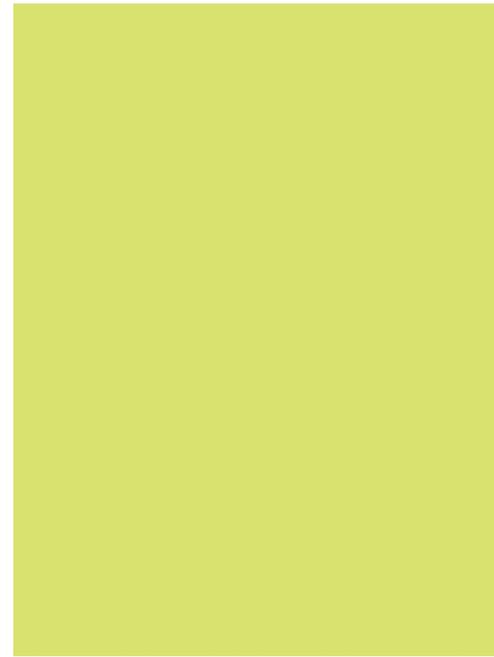
79 S'PARK



IMETCO - WEATHERED COPPER



TOWNHOUSE PAINTS



TOWNHOUSE PAINTS



IMETCO - COLONIAL RED



FLATS PAINT



CONCRETE MASONRY UNIT



CONCRETE MASONRY UNIT



**Thank you!**

We look forward to making an incredible place...