



**CITY OF BOULDER
BOARD OF ZONING ADJUSTMENT
MEETING AGENDA**

DATE: Thursday, April 14, 2016

TIME: Meeting to begin at 5 p.m.

PLACE: 1777 Broadway, 1777 West Conference Room

NOTICE IS HEREBY GIVEN THAT A PUBLIC HEARING WILL BE GIVEN BY THE CITY OF BOULDER, BOARD OF ZONING ADJUSTMENT, AT THE TIME AND PLACE SPECIFIED ABOVE. ALL PERSONS, IN FAVOR OF OR OPPOSED TO OR IN ANY MANNER INTERESTED IN ANY OF THE FOLLOWING VARIANCES FROM THE LAND USE REGULATIONS, TITLE 9, BOULDER REVISED CODE 1981; MAY ATTEND SUCH HEARING AND BE HEARD IF THEY SO DESIRE. (APPLICANT OR REPRESENTATIVE MUST APPEAR AT THE MEETING.)

1. CALL TO ORDER

2. BOARD HEARINGS

A. Docket No.: BOZ2016-03

Address: 2303 Bluff Street

Applicant: Madeline Vogenthaler & Pete Hoglund

Setback Variance: As part of a proposal to construct a new portico on the north side of the existing non-standard landmarked house as well as modify an existing non-standard wall on the west side of the house as part of a garage conversion to living space, the applicant is requesting a variance to both the rear (north) yard setback and side adjacent to street (west) yard setback. The resulting rear yard setback will be approximately 18.83 feet where 25 feet is required and where approximately 20 feet exists today. The resulting side adjacent to street setback will be approximately 9 feet where 25 feet is required and where 9 feet exists today. Section of the Land Use Code to be modified: Section 9-7-1, BRC 1981.

B. Docket No.: BOZ2016-05

Address: 2453 7th Street

Applicant: Nellie & Niels Damrauer

Setback/Floor Area Variance & Solar Exception: As part of a proposal to construct a 2nd story addition above an existing single story section of a non-standard house that is located on a non-standard lot, the applicant is requesting a variance to the rear (west) yard setback as well as both side yard setbacks (north & south) for compliance with the combined side yard setback regulations. The resulting rear yard setback will be approximately 2.5 feet where 25 feet is required and where approximately 1.3 feet exists today. The resulting north side yard setback will be approximately 9.4 feet where 11.8 feet is required and approximately 6 feet exists today. The resulting south side yard setback will be approximately 7 feet where 9 feet is required and approximately 3.2 feet exists today. Additionally, the applicant is requesting a variance to the floor area ratio requirements of a property within the RL-1 zoning district. The resulting floor area will be approximately 1,625 square feet where this property is limited to 1,484 square feet and where approximately 1,250 square feet exists today. Finally, the applicant is requesting a solar access exception to the Solar Access Area 1 regulations. The properties to the north and west (2455 7th & 628 Maxwell respectively) will be the only properties affected by this request. Sections of the Land Use Code to be modified: Sections 9-7-1, 9-8-2 & 9-9-17, BRC 1981.

C. Docket No.: BOZ2016-06

Address: 2770 Iliff Street

Applicant: Robert & Sue Siegrist

Setback Variance: As part of a proposal to enclose an existing covered deck (approved by previous variance), the applicant is requesting a variance to the rear (south) yard setback. The resulting rear yard setback will be approximately 16 feet where 25 feet is required and where approximately 16 feet exists today. Section of the Land Use Code to be modified: Section 9-7-1, BRC 1981.

3. GENERAL DISCUSSION

A. Approval of Minutes: The [March 10, 2016 BOZA minutes](#) are scheduled for approval.

B. Matters from the Board

C. Matters from the City Attorney

D. Matters from Planning and Development Services

4. ADJOURNMENT

For more information call Brian Holmes or Cindy Spence at 303-441-1880 or via e-mail holmesb@bouldercolorado.gov. Board packets are available at the Boulder Public Main Library's Reference Desk, or at the Planning & Development Services (P&DS) reception area.

CITY OF BOULDER BOARD OF ZONING ADJUSTMENT MEETING GUIDELINES

CALL TO ORDER

The board must have a quorum (three members present) before the meeting can be called to order.

AGENDA

The board may rearrange the order of the agenda or delete items for good cause. The board may not add items requiring public notice.

ACTION ITEMS

An action item requires a motion and a vote. The general format for hearing of an action item is as follows:

1. Presentations

- Staff presentation.*
- Applicant presentation.*Any exhibits introduced into the record at this time must be provided in quantities of seven to the Board Secretary for distribution to the board and admission into the record.
- Board questioning of staff or applicant for information only.

2. Public Hearing

Each speaker will be allowed an oral presentation.*

- Speakers should introduce themselves, giving name and address. If officially representing a group, homeowners' association, etc., please state that for the record as well.
- Speakers are requested not to repeat items addressed by previous speakers other than to express points of agreement or disagreement. Refrain from reading long documents, and summarize comments wherever possible. Long documents may be submitted and will become a part of the official record. When possible, these documents should be submitted in advance so staff and the board can review them before the meeting.
- Speakers should address the Land Use Regulation criteria and, if possible, reference the rules that the board uses to decide a case.
- Any exhibits introduced into the record at the hearing must be provided in quantities of seven to the Board Secretary for distribution to the board and admission into the record.
- Citizens can send a letter to Planning and Development Services staff at 1739 Broadway, Boulder, CO 80302, two weeks before the board meeting, to be included in the Board packet. Correspondence received after this time will be distributed at the board meeting.

3. Board Action

- Board motion. Motions may take any number of forms. With regard to a specific development proposal, the motion generally is to either approve the project (with or without conditions), to deny it, or to continue the matter to a date certain (generally in order to obtain additional information).
- Board discussion. This is undertaken entirely by members of the board. The applicant, members of the public or city staff participate only if called upon by the Chairperson.
- Board action (the vote). An affirmative vote of at least three members of the board is required to pass a motion approving any action. If the vote taken results in a tie, a vote of two to two, two to one, or one to two, the applicant shall be automatically allowed a rehearing. A tie vote on any subsequent motion to approve or deny shall result in defeat of the motion and denial of the application.

MATTERS FROM THE BOARD, CITY STAFF, AND CITY ATTORNEY

Any board member, Planning and Development Services staff, or the City Attorney may introduce before the board matters, which are not included in the formal agenda.

*The Chairperson, subject to the board approval, may place a reasonable time limitation on presentations.



City of Boulder Planning and Development Services
1739 Broadway, third floor • PO Box 791 • Boulder, CO 80306
Phone: 303-441-1880 • Fax: 303-441-3241 • Web: boulderplandevlop.net

BOZA VARIANCE APPLICATION

APPLICATION DEADLINE IS 4:00 P.M. ON THE THIRD WEDNESDAY OF EACH MONTH.
MEETING DATE IS 5:00 P.M. ON THE SECOND THURSDAY OF THE FOLLOWING MONTH.

Submittal of inaccurate or incomplete information will result in rejection of the application.

GENERAL DATA

(To be completed by the applicant.)

S. 111.5 LOT 7
S. 111.5 1/2 LOT 8

- Street Address or General Location of Property: 2303 BLUFF ST., BOULDER, CO 80304
- Legal Description: Lot Block 191 Subdivision EAST BOULDER (Or attach description.)
- Existing Use of Property: RESIDENTIAL
- Description of proposal:

REAR YARD SETBACK VARIANCE PERMITTING 18'-10" SETBACK WHERE 25'-0" IS REQUIRED, TO ALLOW THE CONSTRUCTION OF A 3'-0" X 5'-4" = 19 S.F. MUD ENTRY PORCH ROOF ON A HISTORIC LANDMARK HOME. LANDMARKS HAS APPROVED THE ROOF.

*Total floor area of existing building: <u>2,578</u>	*Total floor area proposed: <u>2,578</u>
*Building coverage existing: <u>1,639</u>	*Building coverage proposed: <u>1,639</u>
*Building height existing: <u>30'-1"</u>	*Building height proposed: <u>12'-0"</u>

*See definitions in Section 9-16-1, B.R.C. 1981.

- ◆ Name of Owner: MADELINE VOGENTHALER & PETER HOGLUND
- Address: 2303 BLUFF ST. Telephone: 303-859-7092
- City: BOULDER State: CO Zip Code: 80304 FAX:
- ◆ Name of Contact (if other than owner): STEVE MONTGOMERY
- Address: 2207 MAPLETON AVE Telephone: 303-443-4414
- City: BOULDER State: CO Zip Code: 80304 FAX:

BOZ 2016-00003

STAFF USE ONLY

Doc. No. Date Filed 2.16.16 Zone RMX-1 Hearing Date
Application received by: D.A. Date Fee Paid 2.16.16 Misc. Rect #

APPLICATION TYPES

- Setback, building separation, bulk plane, building coverage, porch setback and size, and side yard wall articulation
- Sign Variance
- Mobile Home Spacing Variance
- Size and parking setback requirements for accessory units
- Use of mobile homes for non-residential purposes
- Parking in landscaped front yard setback

APPLICATION REQUIREMENTS

As a minimum, the following items **MUST** be attached and hereby made a part of this application:

- If applicant is other than owner, the written consent of the owners of the property for which the variance is requested;
- An Improvement Location Certificate or Site Improvement Survey and legal description by a registered surveyor (**4 copies**);
- A site development plan including building heights, setbacks, and proposed floor area (**4 copies**);
- A demolition plan differentiating between proposed and remaining portions of the structure (**4 copies**);
- A written statement thoroughly addressing the criteria for approval - see following pages (**4 copies**);
- Any other information pertinent to the request (**4 copies**);
- An application fee (as prescribed in Section 4-20-43, B.R.C. 1981);
- Sign Posting Acknowledgement Form - see last page.

-Electronic files of all documents are greatly appreciated. If available, please submit them on a CD or thumb drive with your application.

NOTE: The applicant is responsible for posting the property in compliance with city requirements. Signs will be provided to the applicant at the time of submission of the application. The applicant will submit a posting affidavit within 10 days of the date of application. Failure to submit the affidavit may result in the postponement of the hearing date.

NOTE: SEE SECTION 9-2-3(I), B.R.C. 1981 FOR VARIANCE EXPIRATION INFORMATION

Applicant / Owner Signature Madeline R. Fogenthaler Date 2-16-16

**SIGN POSTING REQUIREMENTS
APPLICANT'S ACKNOWLEDGMENT FORM**

Required for Certain Land Use Review, Administrative Review, and Technical Document Review Applications

CITY CODE REQUIREMENT FOR SIGN POSTING OF LAND USE REVIEW APPLICATIONS -

Excerpt of Section 9-4-3(c), B.R.C. 1981: Public Notice of Application: The city manager will provide the following public notice of a development review application:

(1) Posting: After receiving such application, the manager will cause the property for which the application is filed to be posted with a notice indicating that a development review application has been made, the type of review requested, and that interested persons may obtain more detailed information from the planning department. The notice shall meet the following standards:

(A) The notice shall be placed on weatherproof signs that have been provided by the City and placed on the property that is the subject of the application.

(B) All such notice shall be posted no later than ten days after the date the application is filed to ensure that notice is posted early in the development review process.

(C) The signs shall be placed along each abutting street, perpendicular to the direction of travel, in a manner that makes them clearly visible to neighboring residents and passers-by. At least one sign shall be posted on each street frontage.

(D) The signs shall remain in place during the period leading up to a decision by the approving authority, but not less than ten days.

(E) On or before the date that the approving authority is scheduled to make a decision on the application the city manager will require the applicant to certify in writing that required notice was posted according to the requirements of this section.

I, STEVE MONTGOMERY, am filing a Land Use Review or Technical Document Review
(PRINT NAME OF APPLICANT OR CONTACT PERSON)
application (on behalf of the property owner(s)) MADÉLINE VOGENTHALER &
PETER HOGLUND for property located
(PRINT NAME OF OWNER(S) IF OTHER THAN APPLICANT/CONTACT)
at 2303 BLUFF ST. I have read the city's sign posting requirements above and acknowledge and
(PRINT PROPERTY ADDRESS OR LOCATION)
agree to the following:

1. I understand that I must use the sign(s) that the city will provide to me at the time that I file my application. The sign(s) will include information about my application and property location to provide required public notice.
2. I am responsible for ensuring that the sign(s) is posted on the property described above in such a way that meets the requirements of Section 9-4-3(c), B.R.C. 1981 (listed above), including visibility of the sign(s) and time and duration of the sign(s) posting, and including reposting any signs that are removed, damaged, or otherwise displaced from the site. As necessary, I shall obtain a replacement sign(s) from the city for reposting.
3. I understand that certain future changes to my application, including but not limited to, changes to the project description or adding a review type, may require that I post a new sign(s). The city will notify me if such a reposting is required and provide me with a necessary replacement sign(s).
4. I understand that failing to provide the public notice by sign posting required by the city's land use regulation may result in a delay in the city's issuing a decision or a legal challenge of any issued decision.

Madelaine R. Vogenthaler
Madelaine R. Vogenthaler
NAME OF APPLICANT OR CONTACT PERSON

2-15-16
DATE

Please keep a copy of this signed form for your reference. If you have any questions about the sign posting requirements or to obtain a replacement sign, please call 303-441-1880.



February 16, 2016

Board of Zoning Adjustment
City of Boulder, Planning and Development Services
1739 Broadway, Boulder, CO 80304

Re: 2303 Bluff Street
Boulder, CO
Rear yard Setback Variance Request for a New Porch
Setback Variance for a "New Wall" at an exist. Nonstandard Setback
Owners: Peter Hoglund & Madeline Vogenthaler
Landmark: Perry White House

SETBACK VARIANCE REQUEST

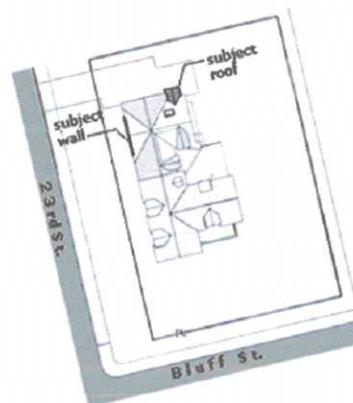
REQUEST:

1.) That the Board grant a setback variance to allow an approximate 18'-10" north rear yard setback instead of the required 25'-0" setback to allow the construction of a new 19 square foot Mud Entry Porch on an existing non-historic Addition.

2.) That the Board grant approval for a setback variance allowing modification to an existing nonstandard wall on the 1985 Addition that has a previously approved 9'-0" side yard setback where 25'-0" is required. The modification consists of the removal of an existing garage door and the construction of a "new wall" and new windows in the former garage door opening.



VICINITY MAP 



SITE PLAN 

ARCHITECTURE / LANDSCAPE DESIGN

2207 MAPLETON AVENUE

BOULDER, COLORADO 80304

303.443.4414

MONTGOMERY PARTNERSHIP ARCHITECTURE

PREFACE

Zoning: RMX-1

Lot Area: 8,362.50

Existing Floor Area: 2,578 s.f. Proposed: 2,578 s.f. Allowed: 3,992 s.f.

Exist. & New Building Coverage: 1,639 s.f. Allowed: 4,081 s.f.

Note: no new floor area or building coverage is created.

General

2303 Bluff Street is a landmarked property known as the "Perry White House".

The existing structure consists of an Historic Home and a 1985 Addition. Both of the requested variances regard modifications to the 1st floor of the 1985 Addition.

The subject **Mud Entry Porch** and the **New Windows** in the former garage door opening are parts of a larger project which has been approved by the Landmarks Board DRC. The scope of the larger project will convert the existing two-car Garage of the 1985 Addition into a new Family Room. The existing 16'-0" wide concrete driveway serving the existing Garage will be eliminated and replaced with landscaping. A new 10'-0" wide concrete driveway and curb cut will be created serving the new parking area in the rear yard.

A Landmark Alteration Certificate has been issued for the larger project, including the Mud Entry Porch and the New Windows which are the only elements of the work requiring BOZA approval.

The Landmarks DRC has approved supporting the rear yard setback variance for the New Porch and the Landmarks Staff has written a letter to BOZA indicating this support.

Due to an oversight on the Architect's part Landmarks was not asked for a letter of support on the modification of the west garage door. I had considered this a item to be a modification to an existing nonstandard wall not requiring BOZA review, but Staff has interpreted the modification to be the construction of a new wall because no wall will exist following demolition of the garage door which we will then infill with new windows and brick veneer. The New Windows were included in the Landmark Alteration Certificate issued by Landmarks and I hope you will accept this as an indication of their support. The garage door demolition and the New Windows are a key part of our proposed modifications.

New Porch

A part of the approved LAC is the creation of a new Mud Entry door in an existing north facing wall of the 1985 Addition. This will facilitate entry into the house from the new parking in the rear yard.

Because it is on the north side of the house, the landing outside of the Mud Entry door is vulnerable to the hazards of ice and snow accumulation unless it is covered. In order to protect the landing the Owners would like to create a small Mud Entry Porch canopy that is of the minimum dimensions required to cover the landing.

The present face of the northernmost wall of the 1985 Addition has a previously approved 20'-0" rear yard setback. **The proposed Mud Entry Porch will project 1'-2" beyond the present northernmost wall of the 1985 Addition and would have a rear yard setback of 18'-10"**. The Porch is 5'4" wide. The area of the Porch is 19 square feet.

A landing area of a minimum 3'-0" beyond the door is required by Code. The proposed Mud Entry Porch covers only the minimum required landing plus the depth of the supporting columns.

The proposed Porch complies with the side yard setback (facing a street) from the west property line along 23rd Street. The Porch is setback 25'-4" where 25'-0" is required.

The proposed Porch will not create new building coverage because it is within the amount of rear porch square footage which is excluded from inclusion in the building coverage calculation.

The height of the proposed Porch is approximately 12'-0" above grade (within 25').

The proposed Porch is entirely concealed from the south view from Bluff Street. The Porch is slightly visible from the west 23rd Street view, but is located far back from the west property line in the most remote rear corner of the building mass.

New Windows

The existing 16'-0" wide two-car garage door facing 23rd street will be eliminated and the garage door opening will be filled with new double-hung wood windows with brick veneer walls between them. **The eliminated garage door and the new windows are in a nonstandard wall** with a previously approved non-standard side yard setback (facing a street) of 9'-0". The result will be a wall with a residential appearance on the 23rd Street facade which is more compatible with the Historic Home.

BOZA HISTORY

In 1985 BOZA approved a setback variance for the Addition, allowing a 9'-0" side yard setback from the west property line bordering 23rd Street (the Historic Residence is also setback 9'-0" from the west property line) and a 20'-0" rear yard setback from the north property line.

In 2015 BOZA Approved a 17'-10 setback from the west property line for the construction of new dormers on the 2nd Floor of the 1985 Addition. The dormers are now under construction.

NEW PORCH CODE DISCUSSION:

This request for a setback variance for the proposed Porch satisfies the qualifying criteria for variance consideration of BRC Section 9-2-3 (h) 4 and (h) 5.

BRC 9-2-3 (h) 4***Designated Historic Property:***

The property could be reasonably developed in conformity with the provisions of this chapter, but the building has been designated as an individual landmark or recognized as a contributing building to a designated historic district. As part of the review of an alteration certificate pursuant to chapter 9-11, "Historic Preservation," B.R.C. 1981, the approving authority has found that development in conforming locations on the lot or parcel would have an adverse impact upon the historic character of the individual landmark or the contributing building and the historic district, if a historic district is involved.

The subject property is a landmarked structure. Alternative locations for the Mud Entry Porch were discussed during the Landmarks DRC review and the conclusion was that other possible locations for the proposed Porch would have an adverse impact on the character of the historic structure. The DRC agreed that the proposed location on the rear wall was inconspicuous and did not detract from the historic character of the property.

The Landmarks DRC has approved supporting the rear yard setback variance for the New Porch and the Landmarks Staff has written a letter to BOZA indicating this support.

BRC 9-2-3 (h) 5***Requirements for All Variance Approvals:***

(A) Would not alter the essential character of the neighborhood or district in which the lot is located;

The proposed Porch roof will only be slightly visible from 23rd Street and will not create an element which is incompatible with the character of the neighborhood. Overall, the proposed conversion of the existing Garage into a Family Room will transform a two car garage facing the street, which is out of character with the property and neighborhood, into a facade of a more residential character compatible with the neighborhood and the historic elements of the property.

The non-standard circumstances and setbacks on the subject property are typical throughout the nearby Whittier Neighborhood with a higher density RMX-1 zoning. These typically non-standard circumstances argue for the appropriateness of allowing this request, which is compatible with the non-standard setbacks of the neighborhood.

Please note that the existing floor area and building coverage will not be changed by the proposed Porch, and that the existing floor area and building coverage are well below the maximums allowed on this property.

Please also note that in the case of front porches, substantial encroachments into the required front yard setback are allowed, while these encroachments are not specifically granted for rear porches they are permitted for breezeway porches in the rear yard setback that connecting to detached Garages to benefit the property Owners safety from inclement weather. The proposed Porch is being created to afford the same protection.

(B) Would not substantially or permanently impair the reasonable use and enjoyment or development of adjacent property;

The proposed Porch will have no effect on the adjacent property to the north. Visually it is subordinate to the existing bulk and massing of the existing 1985 Addition to which it is attached. It is located at about the same setback as the end wall of the 1985 Addition. At 12'-0" height the Porch is lower than the Addition, which is 19'-6" high, and is within the visible north elevation profile of the 1985 Addition.

(C) Would be the minimum variance that would afford relief and would be the least modification of the applicable provisions of this title;

The Porch is designed to be the minimum necessary to provide a weather cover on the 3'-0" landing outside the door. In addition, the Porch provides a protective canopy above a stone step which is a necessary grade transition down to the landing area.

(D) Would not conflict with the provisions of section 9-9-7, "Solar Access," B.R.C. 1981.

The solar shadow created by the proposed Porch falls within the shadow cast by the higher ridges of the 1985 Addition and the Historic Residence. No new solar shadow is created.

The property, in the RMX-1 zone, has a 25'-0" solar fence height. The height of the proposed Porch is 12'-0" above grade (within 25').

NEW WINDOWS CODE DISCUSSION

This request for a modification to a nonstandard wall to revise the Garage door opening into a new brick wall with window openings satisfies the qualifying criteria for variance consideration of BRC Section 9-2-3 (h) 1 and (h) 5.

BRC Section 9-2-3 (h) 1

That: (A) There are unusual physical circumstances or conditions, including, without limitation, irregularity, narrowness, or shallowness of the lot, or exceptional topographical or other physical conditions peculiar to the affected property.

Due to the unusually narrow 9'-0" setback of the Historic House from the west side property line, the 1985 Addition was allowed a similar nonstandard 9'-0" west side setback in 1985. This was appropriate in order to align the ridges and the footprints of the existing and the new structures in the most simple, visually attractive, and spatially efficient composition.

However, the unique 9'-0" setback of the wall approved for the 1985 Addition creates an unusual condition on this property in that the modifications, if considered to be a "new wall" (in an approved nonstandard wall) must receive a variance review and approval.

Further, the fact that the proposed modification involves an unusual 16'-0" wide garage door is a unique circumstance. Because of the size of the void following removal door, the infill framing to replace it is considered as a "new wall".

If not for the size of the garage door void the Owners would be allowed by right to modify the openings in the nonstandard wall if the wall studs and the roof above or the foundation below were kept in place.

That: (B) The unusual circumstances or conditions do not exist throughout the neighborhood or zoning district in which the property is located.

Though non-standard setbacks are typical throughout the nearby Whittier Neighborhood the existence of a 16'-0" wide garage door, the removal and infill of which constitutes construction of a new wall, is unique.

That: (C) Because of such physical circumstances or conditions the property cannot be reasonably developed in conformity with the provisions of this chapter.

Because the garage door is so large, the garage door opening cannot be reasonably improved without a special review.

That: (D) Such unnecessary hardship has not been created by the applicant.

The existing-non standard Addition on the subject property predates the current Owners.

***BRC Section 9-2-3 (h) 5
Requirements for All Variance Approvals:***

(A) Would not alter the essential character of the neighborhood or district in which the lot is located;

The proposed New Windows will not create an element which is incompatible with the character of the neighborhood.

The elimination of the garage door facing 23rd Street and its replacement with New Windows of smaller scale will make the subject property more compatible with the residential character of the street environment of the surrounding neighborhood and with the Historic Home on the subject property.

The non-standard circumstances and setbacks on the subject property are typical throughout the nearby Whittier Neighborhood with a higher density RMX-1 zoning. These typically nonstandard circumstances argue for the appropriateness of allowing this request to modify this nonstandard wall.

(B) Would not substantially or permanently impair the reasonable use and enjoyment or development of adjacent property;

The proposed New Windows will have no effect on the adjacent property to the north and it will visually improve view of the subject property from the neighbors to the west.

(C) Would be the minimum variance that would afford relief and would be the least modification of the applicable provisions of this title;

The proposed New Windows will have no impact on the building Floor Area or the Building Coverage, as they are merely infilling an existing wall. The windows will meet all other requirements of the Planning and Building Codes.

(D) Would not conflict with the provisions of section 9-9-7, "Solar Access," B.R.C. 1981.

N.A.

All dimensions given are based on ILC dimensions. Because the proposed construction does not impinge on the north property line we hope that you will accept an ILC for consideration of this application.

Thank you for your consideration of this proposal. Please call me if I can answer any questions or provide further details.

Yours Truly,

Steven C. Montgomery, Architect
303-443-4414
stevemontgomery@earthlink.net

ATTACHMENTS:

- A.) I.L.C. and GIS Aerial View of Site**
- B.) Site Plan showing the proposed Mud Entry Porch & New Window locations**
-from Preliminary Drawings approved by Landmarks
- C.) Mud Entry Porch North and East Elevations.**
-from Preliminary Drawings approved by Landmarks
- D.) Mud Entry Porch Roof Plan & 1st Floor Plan**
-from Preliminary Drawings approved by Landmarks
- E.) Photograph of the existing home & 3D sketch showing the proposed Mud Entry Porch location.**
- F.) West Elevation showing the proposed New Windows.**
-from Preliminary Drawings approved by Landmarks
- G.) Photograph of the existing home & 3D sketch showing the proposed location of the New Windows in the former garage door opening.**
- H.) Landmark Alteration Certificate**
- I.1), I.2), I.3) Preliminary Drawings approved by Landmarks**

LEGAL DESCRIPTION
 (PROVIDED BY FIDELITY NATIONAL TITLE CO.)
 DEED RECORDED ON 4/30/2013 AT REC. NO.
 3308396

THE SOUTHERLY 111.5 FEET OF LOT 7,
 AND THE SOUTHERLY 111.5 FEET OF THE WEST
 1/2 OF LOT 8,
 BLOCK 191,
 EAST BOULDER,
 COUNTY OF BOULDER,
 STATE OF COLORADO,
 THE PLAT OF WHICH IS RECORDED IN PLAT
 BOOK 2 AT PAGE 46.



Flatirons, Inc.
 Surveying, Engineering & Geomatics
 3825 IRIS AVE, Ste 395
 BOULDER, CO 80301
 PH: (303) 443-7001
 FAX: (303) 443-9830
 www.FlatironsInc.com



- Notes:
- 1-FIDELITY NATIONAL TITLE CO. COMMITMENT NO. 515-F0511323-170-LLO WAS USED TO HELP IDENTIFY EASEMENTS OF RECORD THAT MAY AFFECT THE SUBJECT PROPERTY. THERE MAY BE EASEMENTS OR RIGHTS OF WAY NOT SHOWN ON THIS CERTIFICATE THAT AFFECT THE SUBJECT PROPERTY.
 - 2-AN IMPROVEMENT SURVEY PLAT IS RECOMMENDED TO DEPICT MORE PRECISELY THE LOCATIONS OF THE IMPROVEMENTS SHOWN HEREON.
 - 3-THE FENCES ARE NOT COINCIDENT WITH THE LOT LINES AS SHOWN HEREON.



John B. Guyton 4/6/15
 John B. Guyton, Colorado L.S. #16406
 COLORADO REGISTERED SURVEYOR
 JOHN BRUCE GUYTON
 16406
 GENERAL LAND SURVEYOR

IMPROVEMENT LOCATION CERTIFICATE

I hereby certify that this improvement location certificate was prepared for RE/MAX OF BOULDER AND FIDELITY NATIONAL TITLE CO., that it is not a Land Survey Plot or Improvement Survey Plat, and that it is not to be relied upon for the establishment of fence, building or other future improvement lines. This certificate is valid only for use by RE/MAX OF BOULDER AND FIDELITY NATIONAL TITLE CO. and describes the parcel's appearance on APRIL 3, 2015. I further certify that the improvements on the above described parcel on this date, APRIL 3, 2015, except utility connections, are entirely within the boundaries of the parcel, except as shown, that there are no encroachments upon the described premises by improvements on any adjoining premises, except as indicated, and that there is no apparent evidence or sign of any easement crossing or burdening any part of said parcel, except as noted.

NOTICE: This Improvement Location Certificate is prepared for the sole purpose of use by the parties stated hereon. The use of this Improvement Location Certificate by any person or entity other than the person or entity certified to without the express permission of Flatirons, Inc. is prohibited. This certificate is only valid for 90 days from the signature date. It is not a Land Survey Plot as defined by C.R.S. 38-51-102(12) or an Improvement Survey Plot as defined by C.R.S. 38-51-102(9). It does not establish property corners. A more precise relationship of the improvements to the boundary lines can be determined by a Land Survey or Improvement Survey. The improvements are generally situated as shown and only apparent (visible at the time of fieldwork) improvements and encroachments are noted. Flatirons, Inc. and John B. Guyton will not be liable for more than the cost of this Improvement Location Certificate, and then only to the parties specifically shown hereon. Acceptance and/or use of this Improvement Location Certificate for any purpose constitutes acknowledgment and agreement to all terms stated hereon.

Flatirons No. 15-65-379 Title Co. No. 515-F0511323-170-LLO Borrower: MAELINE ROSENSCHEIN VOGENTHALER AND PETER ELIS HOGLUND
 Drawn By: W. BECKETT Copyright 2015 FLATIRONS, INC.

(303) 443-7001

FLATIRONS, INC.

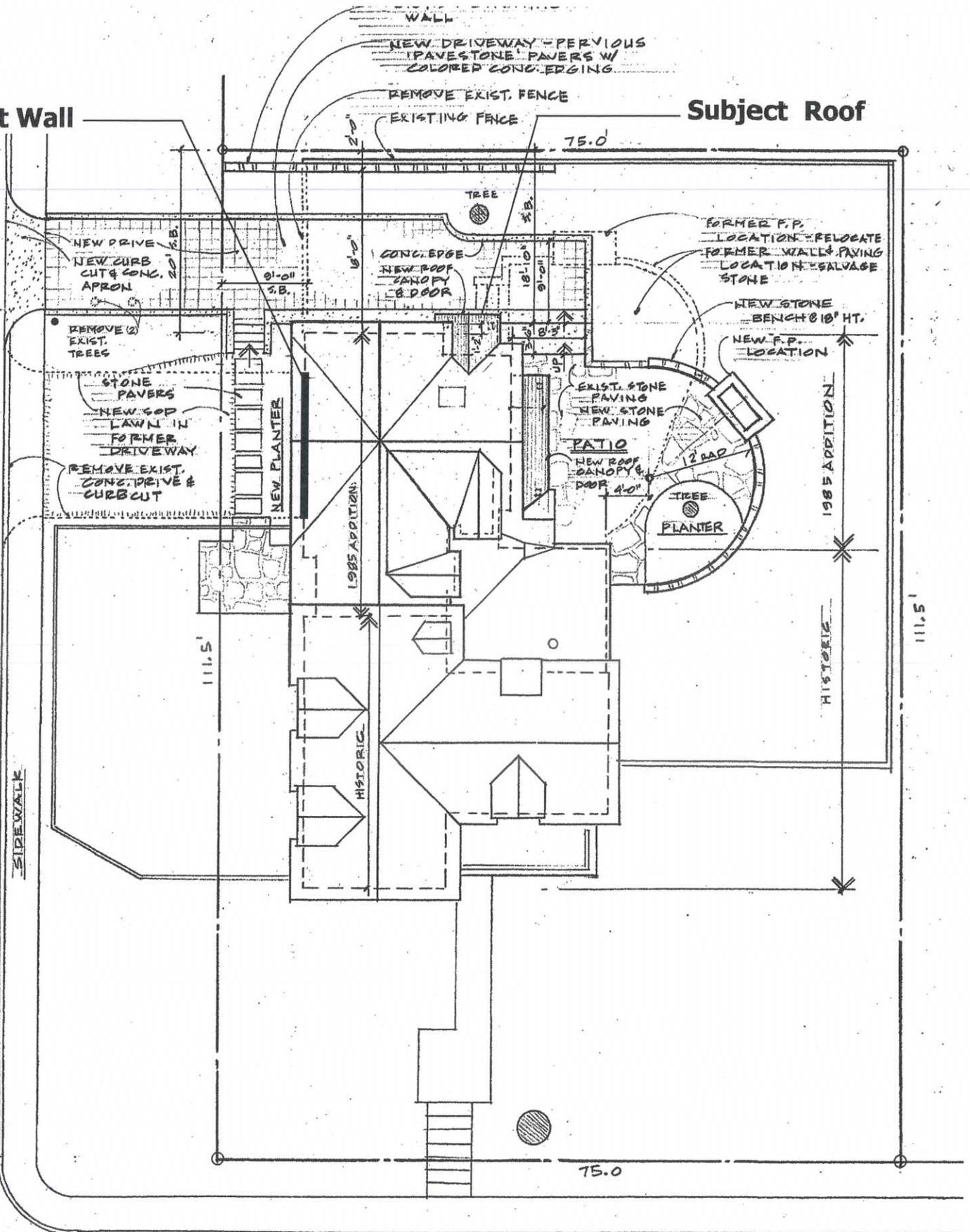
Boulder, Colorado

EXHIBIT 'A'
 ILC & Aerial Photo

Subject Wall

Subject Roof

10'-0" MIN. 7'-6" 23 RD STREET



SITE PLAN

BLUFF ST.

SITE INFO. FROM ILC:
FULTON SURVEYING 4/10/15

1"=10'

EXHIBIT 'B'

Site Plan

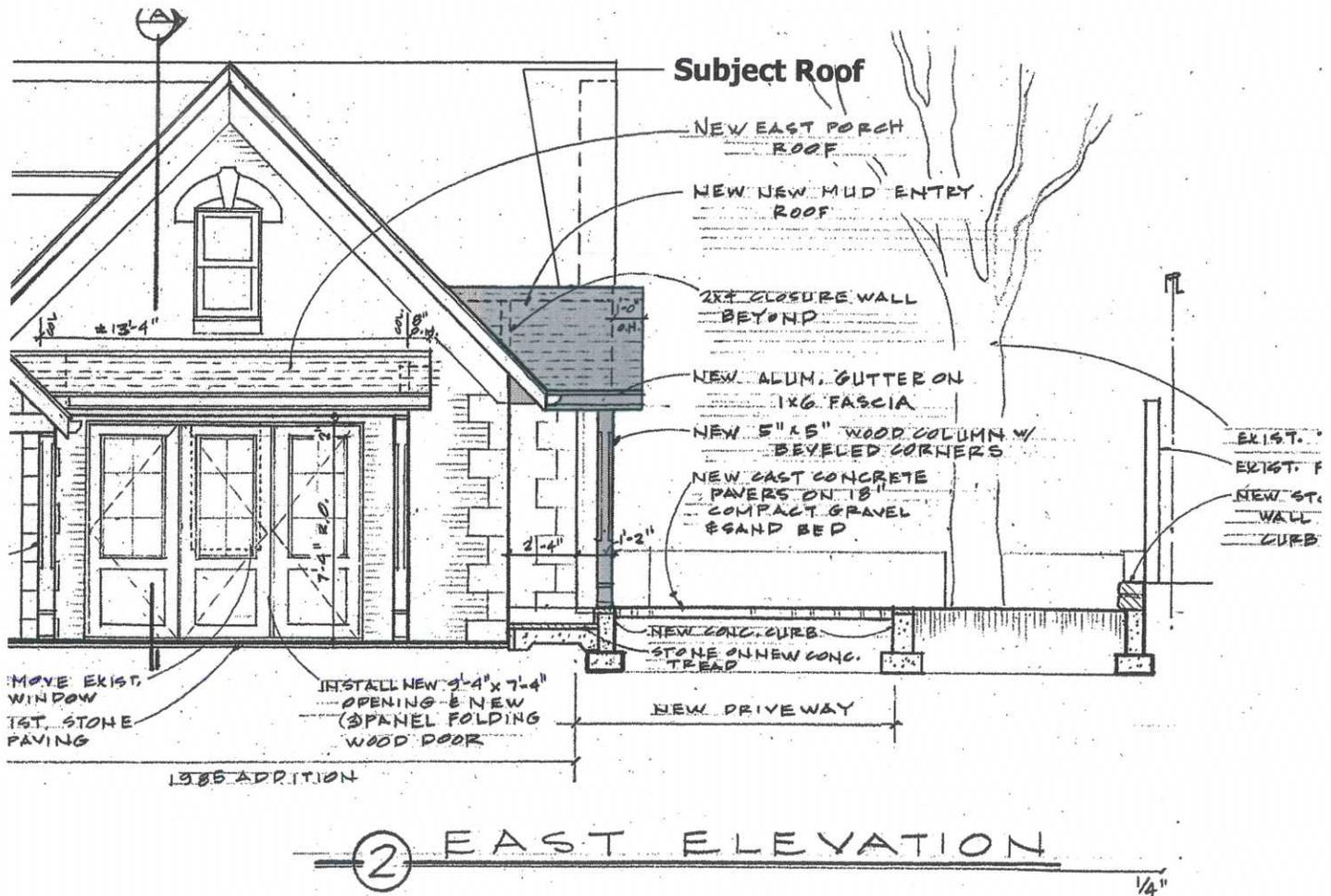
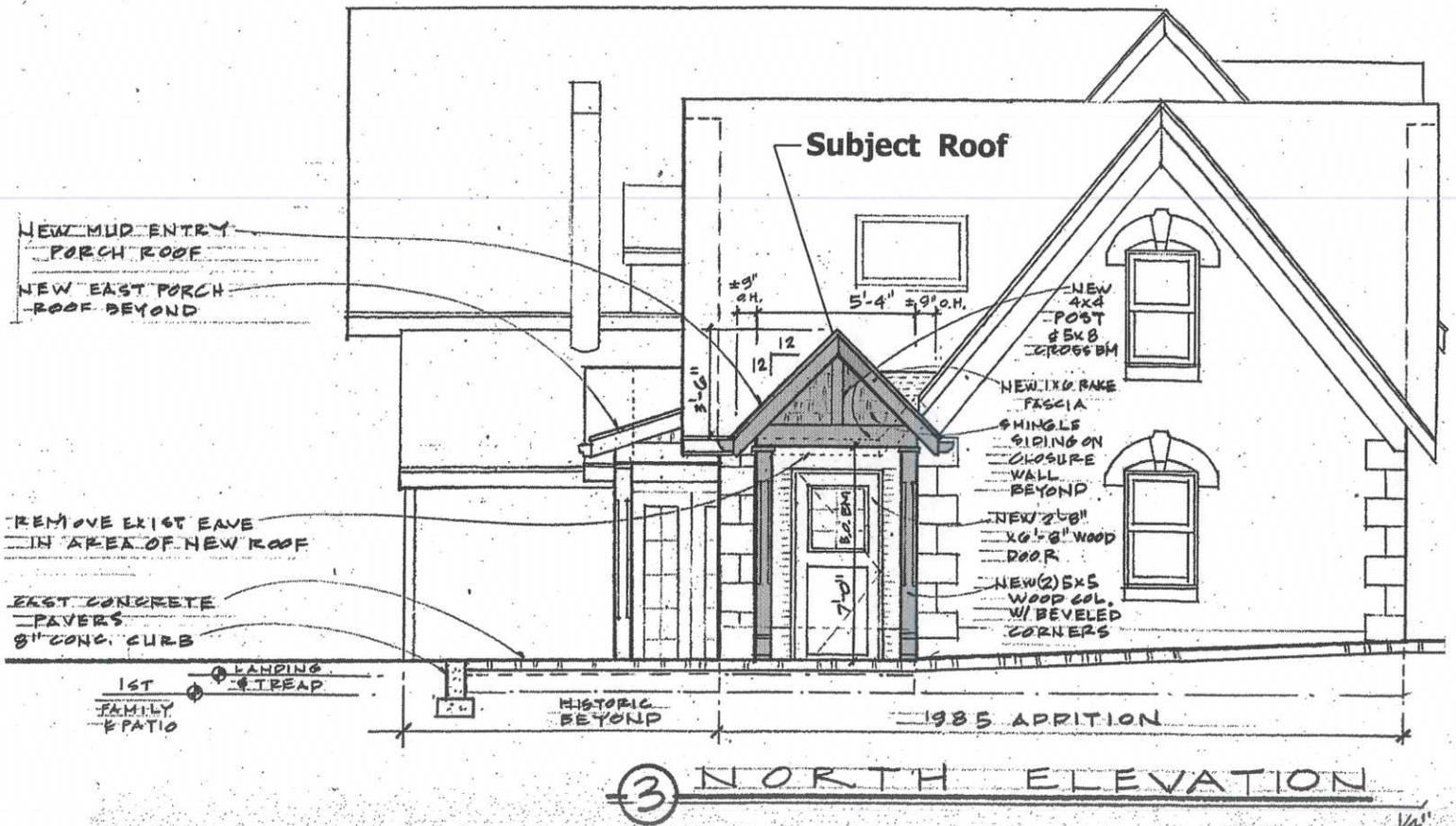


EXHIBIT 'C'

Porch Elevations

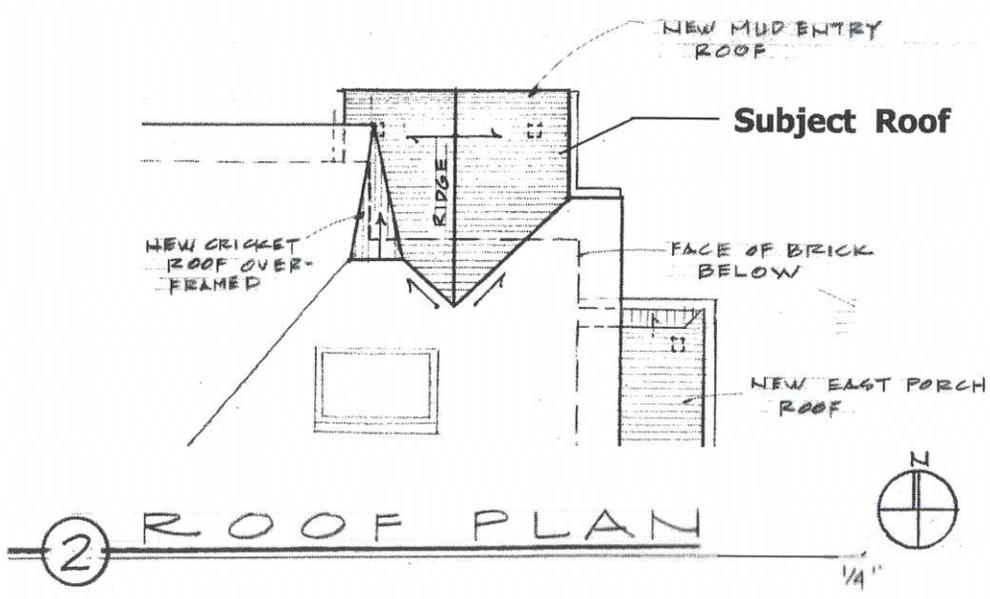
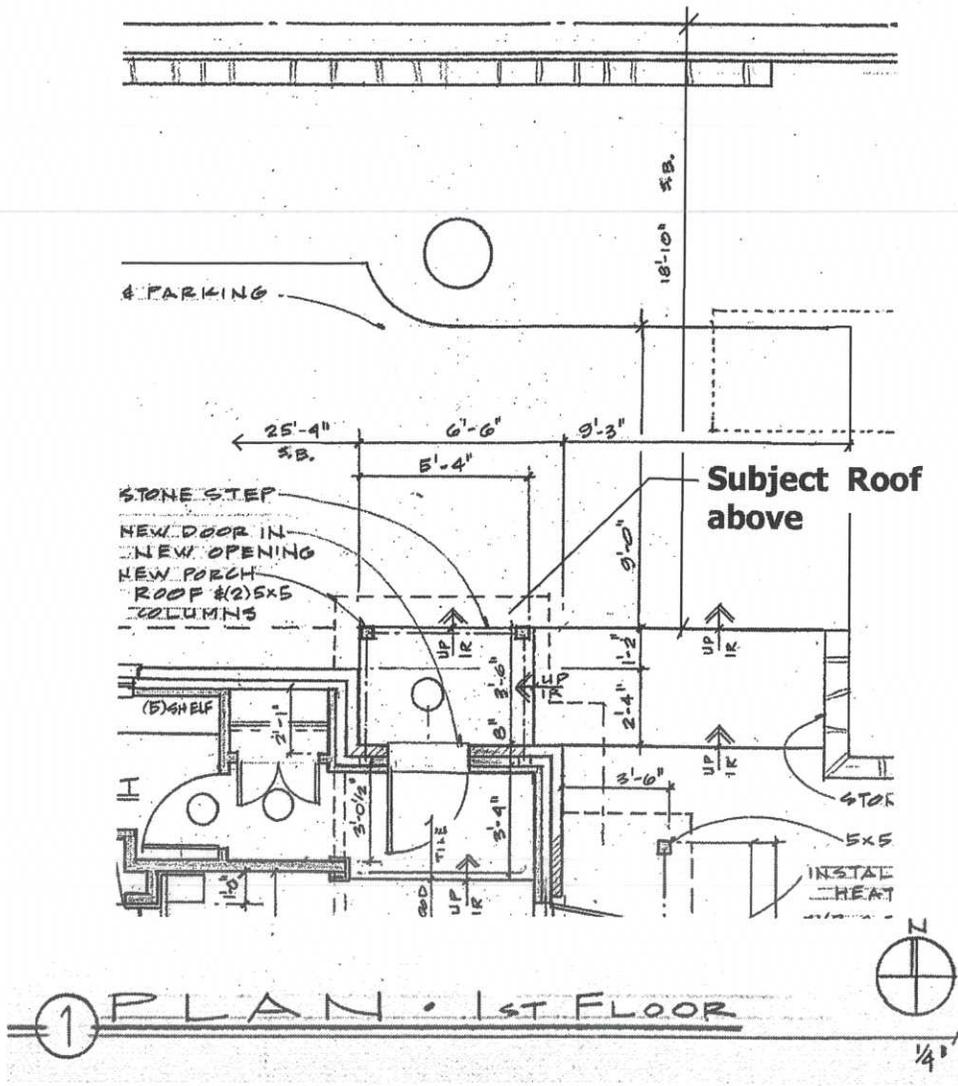


EXHIBIT 'D'

Floor Plan & Roof Plan



North Elevation

Before

New Mud Entry Roof
over new door opening



North Elevation

After

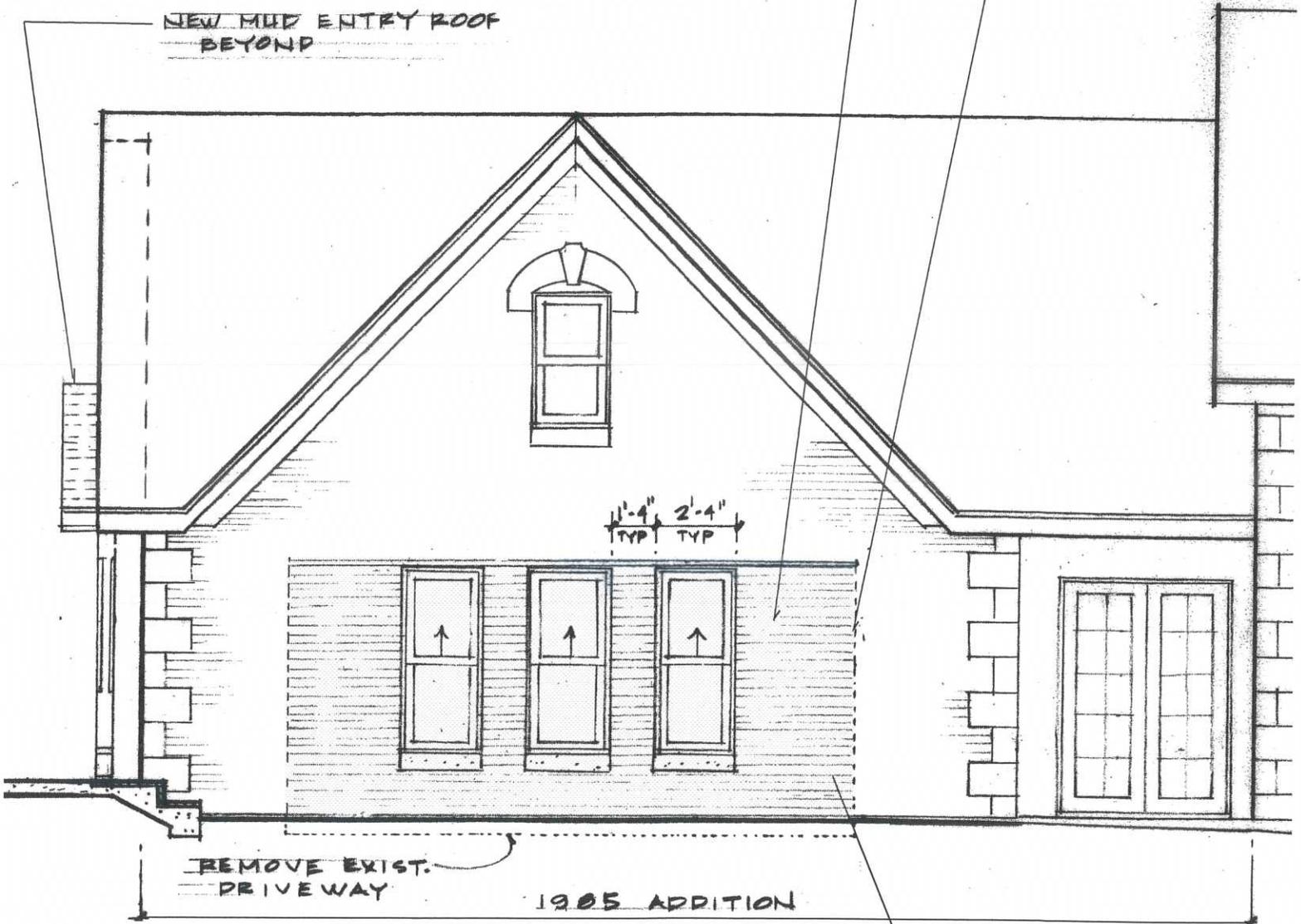
Note: This sketch is for illustrative purposes only. Prior to Landmarks approval the size and detailing of the Porch shown here was reduced at Landmarks request. See the attached North Elevation Exhibit 'C' for the final approved design.

EXHIBIT 'E'
New Mud Entry Porch

LINE OF EXIST. GARAGE
DOOR - REMOVED
STEEL HEADER REMAINS

NEW FRAMING INFILL @
#3) NEW WOOD D.H. WINDOWS
BRICK VENEER @ FORMER
GARAGE DOOR OPENING
W/ STONE SILL CEA. WINDOW
-MATCH EXIST.

NEW MUD ENTRY ROOF
BEYOND



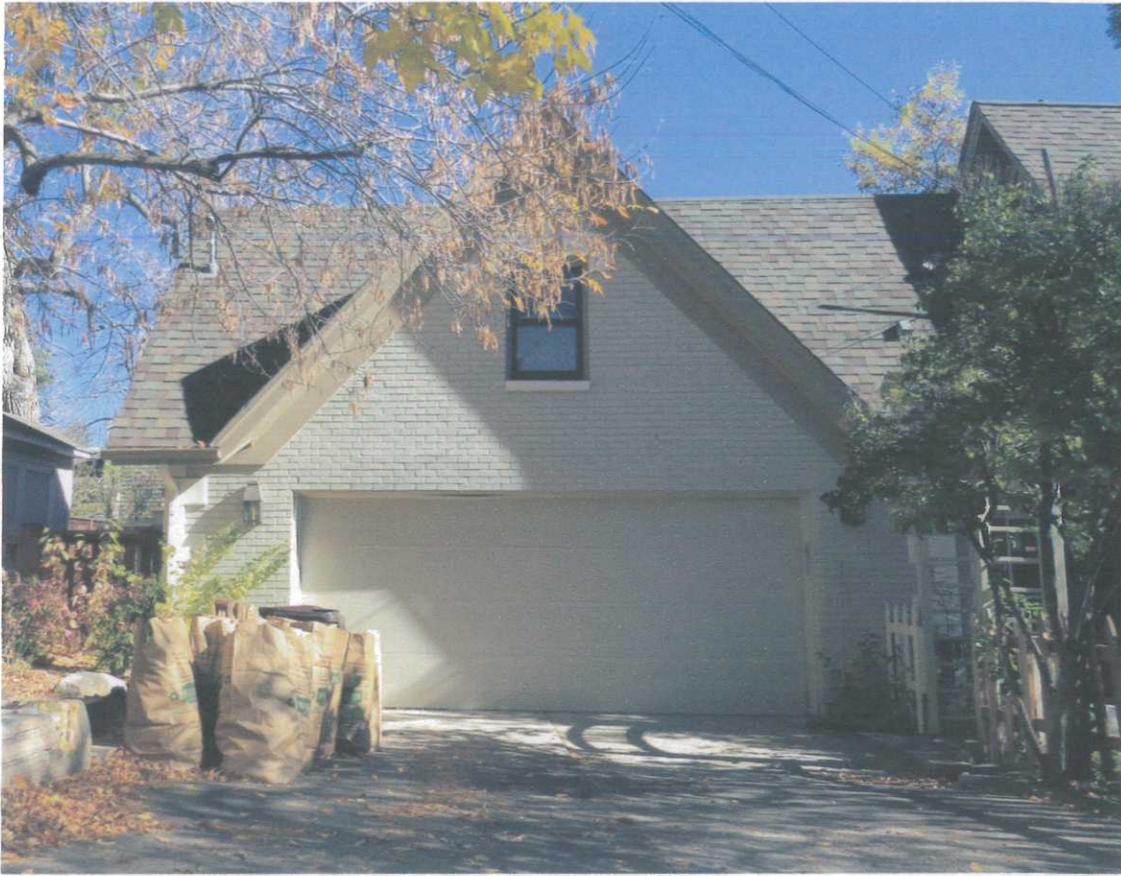
REMOVE EXIST.
DRIVEWAY

1905 ADDITION

Subject Wall

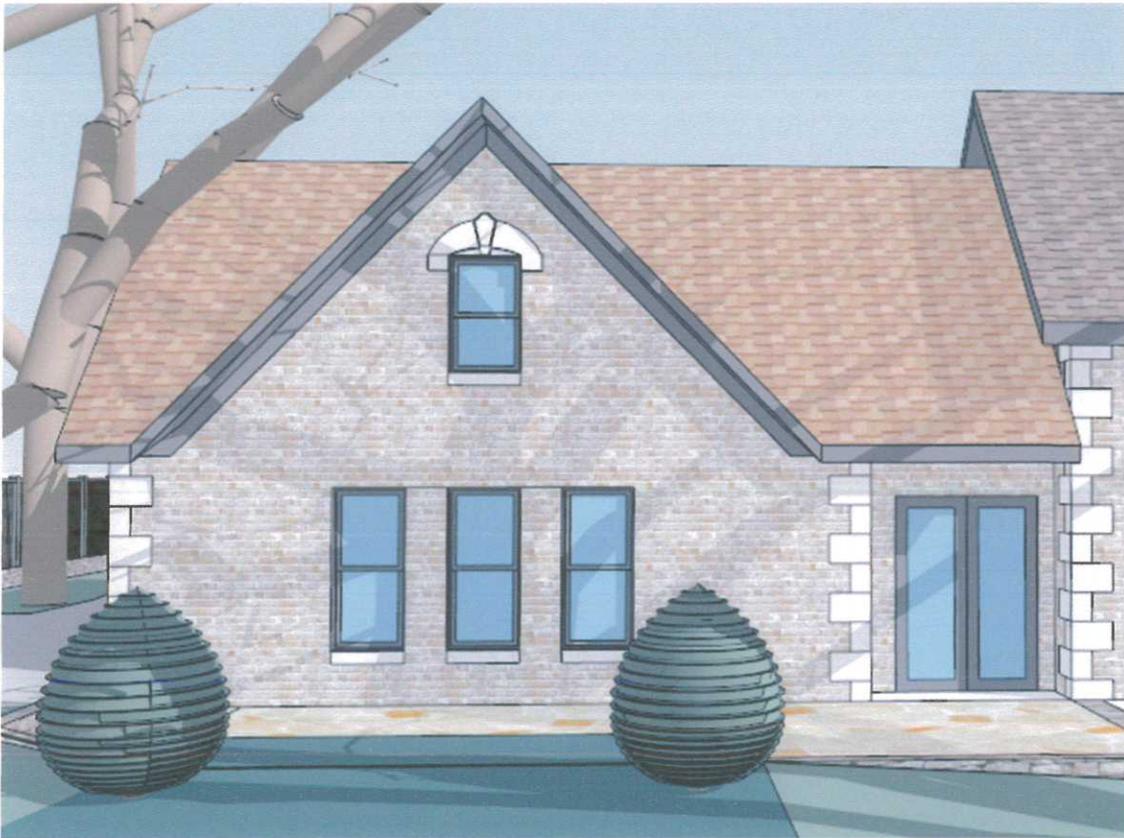
① WEST ELEVATION

EXHIBIT 'F'
West Wall Elevations



West Elevation

Before



West Elevation

After

EXHIBIT 'G'
Proposed New Windows

Landmark Alteration Certificate

Granted to PETER HUGLUND

For the property at 2303 BLUFF ST

This 20th day of JANUARY 2016

The following alterations have been approved:

MODIFICATIONS TO WEST AND NORTH ELEVATIONS OF NON-HISTORIC
ADDITION INCLUDING RELOCATION OF CURB-CUT TO NORTH
AS DETAILED ON L&Z DRAWINGS DATED 1.15.2016.

Signed By:

[Signature]
Landmarks Board Member

[Signature]
Landmarks Board Member

[Signature]
Historic Preservation Planner

Expires 180 days from date shown. Issuance of this certificate does not exempt the applicant from complying with all City codes, including land use and building codes.

MEMORANDUM

TO: Brian Holmes, Zoning Administrator
Robbie Wyler, Asst. Zoning Administrator

FROM: James Hewat, Senior Historic Preservation Planner

DATE: March 3rd, 2016

RE: Requested setback variance at 2303 Bluff Street.

Background:

The property is significant for its association with Perry White and his wife Rachel Barlow White came to Colorado in 1860 by wagon train and homesteaded on land five miles west of Longmont at a way station called Pella. Here they planted fruit trees, berry bushes and a truck garden around their log house. White, together with George Webster, is credited with starting the first tree nursery in the area. He also had interests in mines near Springdale and in Leadville. In 1874, Perry sold his farm and bought land from Granville Berkley, Sr. and built this house at 2303 Bluff Street, then some distance from the town of Boulder. White planted an orchard and vegetable garden on the property. The Rachel White sold the house in 1891 and moved to 1824 17th Street (since demolished) where she lived until her death.

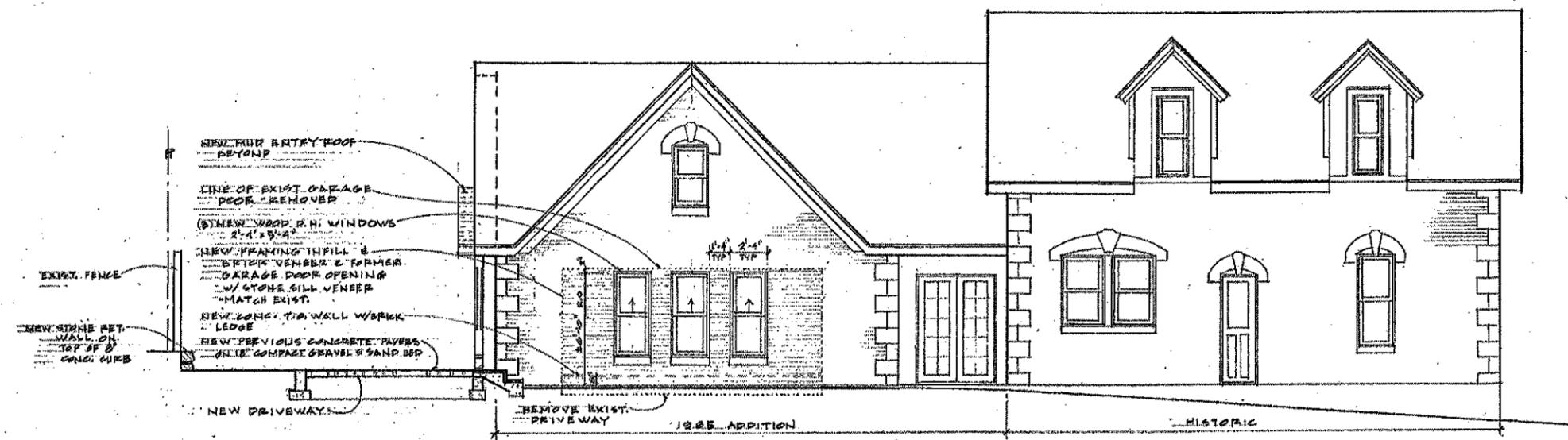
On January 20th, 2016, the Landmarks Design Review Committee (Ldrc) approved the removal of the garage doors on the west face of the non-historic 1980s addition the construction of a small portico on the north wall of this addition and vacation of the curb cut providing access to the garage finding that the changes were consistent with the *General Design Guidelines for Historic Landmarks* and would improve the character of the historic property by eliminating an attached garage where, historically, there was no such feature.

Subsequently, the applicant discovered that the proposed north portico would encroach into the rear setback and that a variance from the Board of Zoning Adjustments was required. On February 24th, 2016 the Ldrc reviewed a request to support the variance under 9.2.3(h)(4) *Designated Historic Property*, of the Boulder Revised Code.

The Landmarks Design Review Committee's Support:

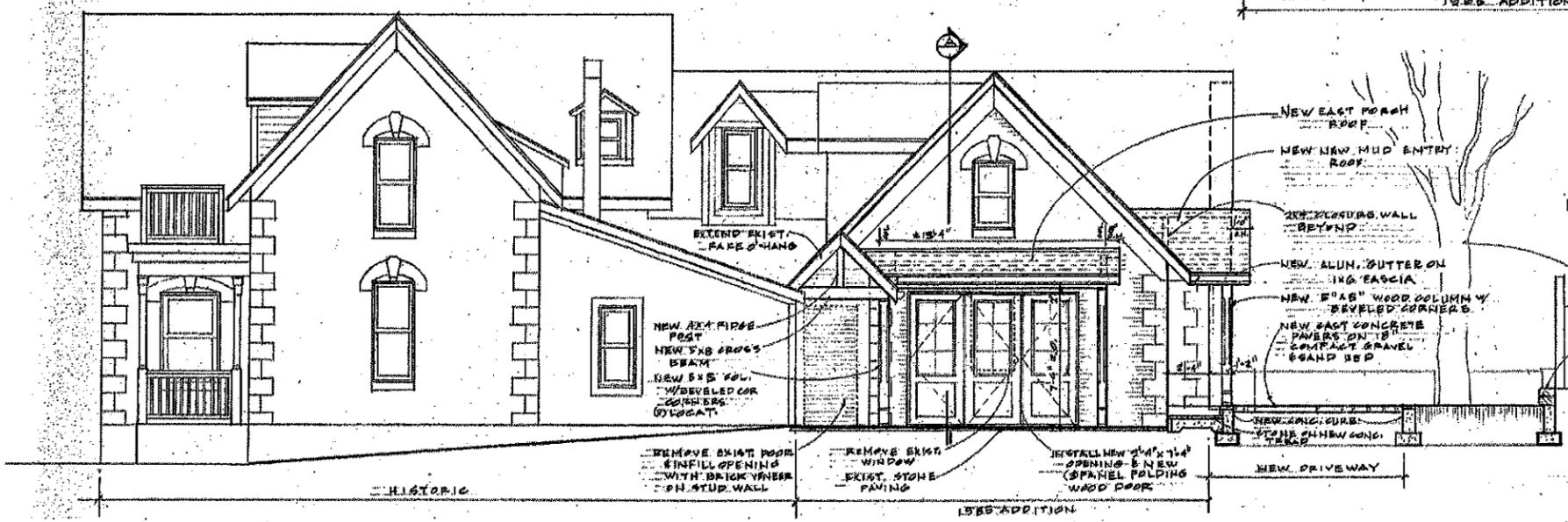
The Landmarks Design Review Committee supports the requested variance into the rear (north) setback and considers that locating a portico at the west side of the house would potentially have an *adverse effect* on the landmark property.

If you have questions regarding this matter, please contact James Hewat at (303) 441-3207.

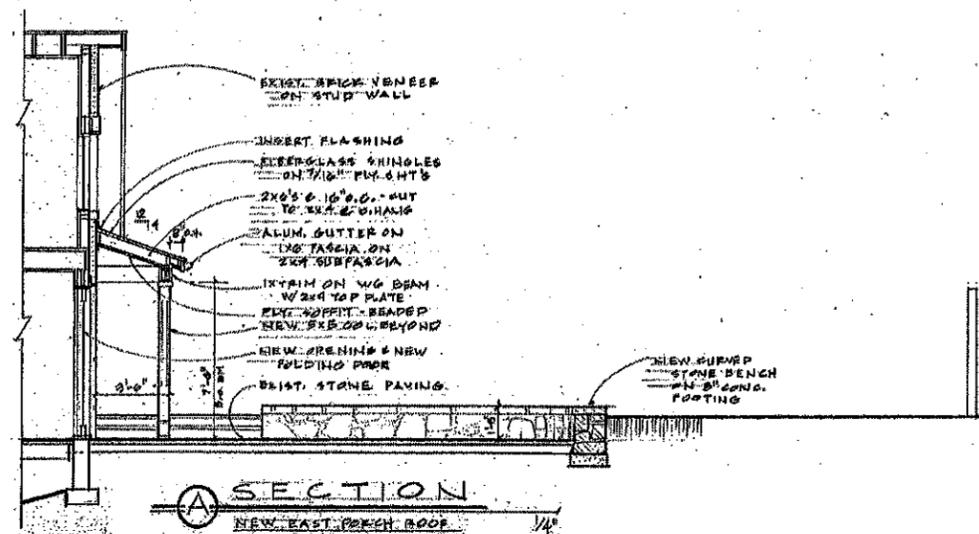


① WEST ELEVATION 1/4"

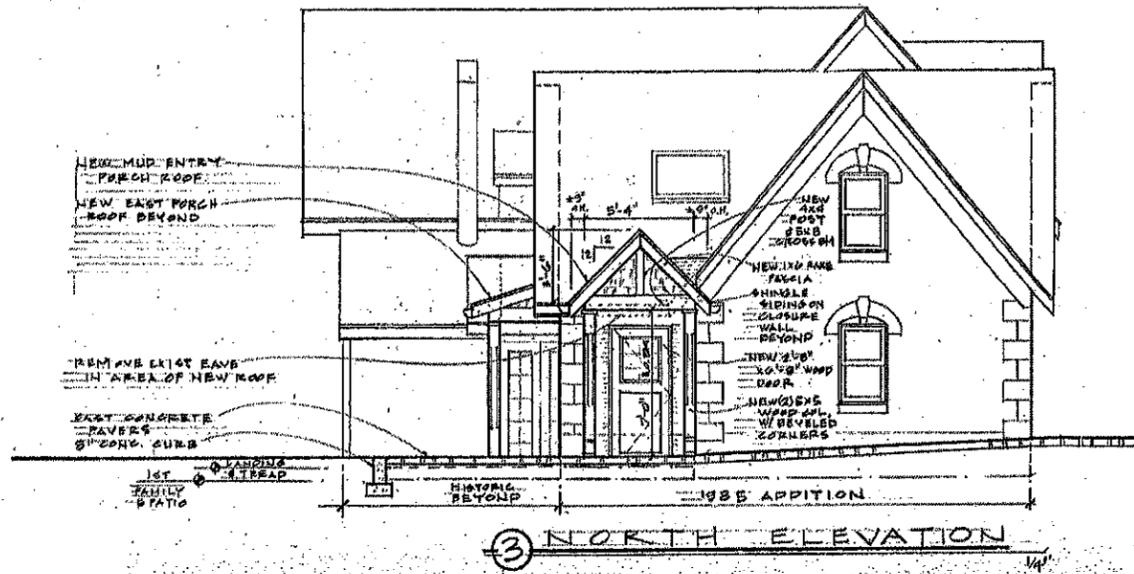
NOTE:
 ALL WOOD TRIM IS CEDAR - 6 MOON SURFACE, 6TK.
 FINISH (1) COAT PRIMER
 (2) COAT FINISH - MATCH EXIST TRIM
 REMOVE ALL KIND GRAIN IN CONCEALED
 CREATIONS PRIOR TO INSTALLATION



② EAST ELEVATION 1/4"

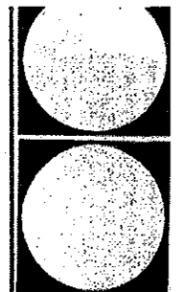


SECTION 1/4"



③ NORTH ELEVATION 1/4"

EXHIBIT 'I.2'
 Elevations - Landmarks Submittal

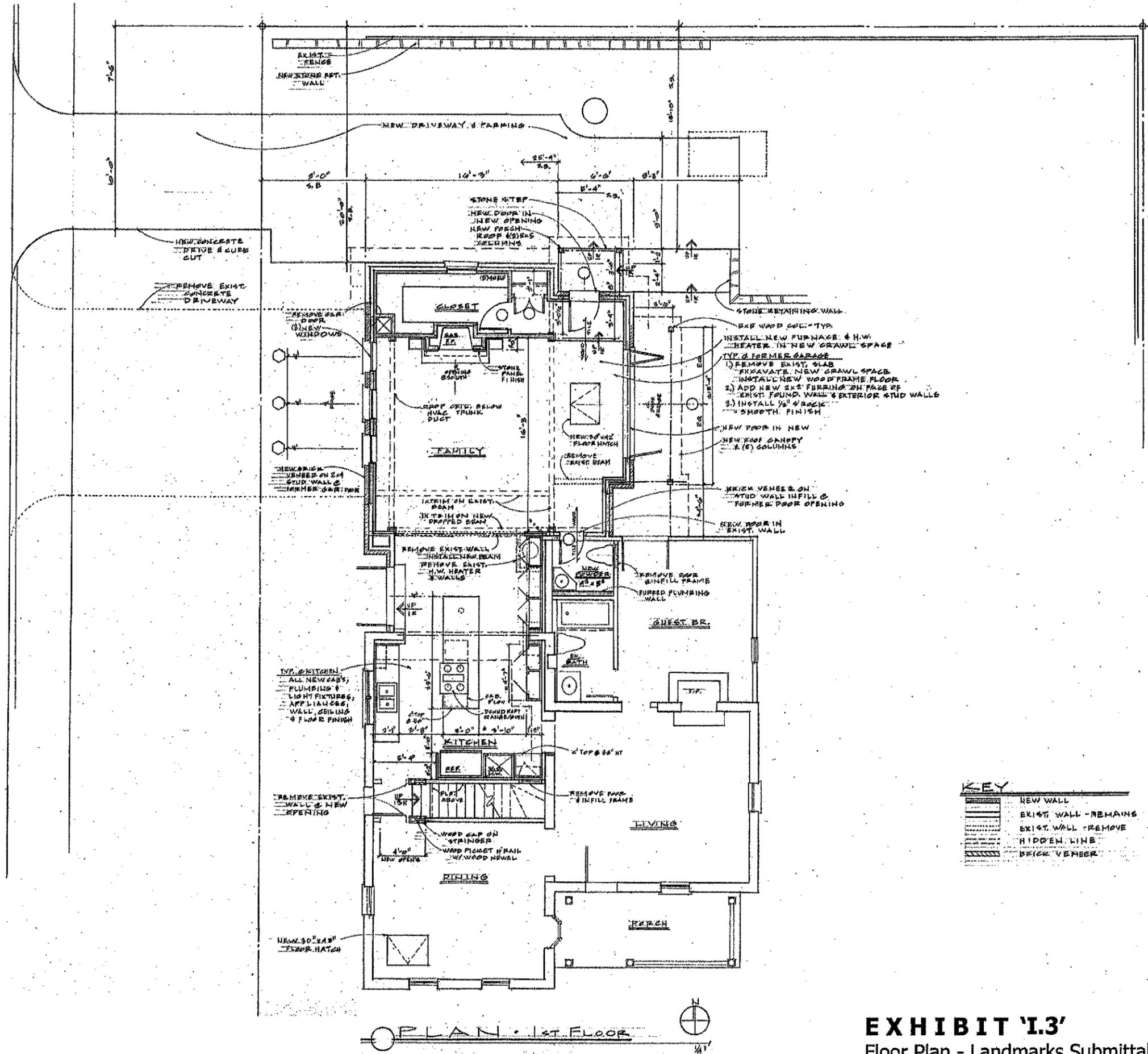


DATE	1/15/16
REVISIONS	1.02 LANDMARKS P.L.C. REVIEW
BOZA	2/16/16



2303 BLUEBERRY STREET
 FAMILY ROOM & DRIVEWAY MODIFICATION
 L.A.C. APPLICATION
 THE WHITE HOUSE, BOULDER, CO





PLAN - 1ST FLOOR

KEY

	NEW WALL
	EXIST. WALL - REMAINS
	EXIST. WALL - REMOVE
	HIDDEN LINE
	BRICK VENEER

DATE	2/15/15
REVISION	1/15/16
2/16/16	
FEELIMINARY	
DESIGN	
DATE	
BOZA	



2303 BLUFF STREET
 FAMILY ROOM RESEAWAY MODIFICATIONS
 CAS APPLICATION
 PERRY WHITE HOUSE, BOULDER, CO

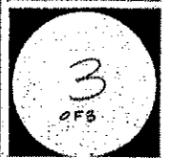


EXHIBIT 'I.3'
 Floor Plan - Landmarks Submittal



City of Boulder Planning and Development Services
1739 Broadway, third floor • PO Box 791 • Boulder, CO 80306
Phone: 303-441-1880 • Fax: 303-441-3241 • Web: boulderplandevlop.net

* REVISION TO FEB 17th
APPLICATION

BOZA VARIANCE APPLICATION

**APPLICATION DEADLINE IS 4:00 P.M. ON THE THIRD WEDNESDAY OF EACH MONTH.
MEETING DATE IS 5:00 P.M. ON THE SECOND THURSDAY OF THE FOLLOWING MONTH.**

Submittal of inaccurate or incomplete information will result in rejection of the application.

GENERAL DATA

(To be completed by the applicant.)

- Street Address or General Location of Property: 2453 7th Street
- Legal Description: Lot _____ Block _____ Subdivision See attached (Or attach description.)
- Existing Use of Property: Single family residential
- Description of proposal:

We are requesting a Solar, Rear/Side Setback and Floor Area Variance for a proposed second story addition. The addition will add one bedroom/bathroom for the growing family.

*Total floor area of existing building: <u>1250</u>	*Total floor area proposed: <u>1625</u>
*Building coverage existing: <u>1045</u>	*Building coverage proposed: <u>1045</u>
*Building height existing: <u>26.39'</u>	*Building height proposed: <u>26.39', 25' addition</u>

*See definitions in Section 9-16-1, B.R.C. 1981.

- ◆ Name of Owner: Nellie and Niels Damraver
- Address: 2453 7th Street Telephone: _____
- City: Boulder State: CO Zip Code: 80304 FAX: _____
- ◆ Name of Contact (if other than owner): Joel Smiley
- Address: 1627 Spruce St Telephone: _____
- City: Boulder State: CO Zip Code: 80302 FAX: _____

STAFF USE ONLY

Doc. No. _____ Date Filed _____ Zone _____ Hearing Date _____
 Application received by: _____ Date Fee Paid _____ Misc. Rect # _____

APPLICATION TYPES

- Setback, building separation, bulk plane, building coverage, porch setback and size, and side yard wall articulation
- Sign Variance
- Mobile Home Spacing Variance
- Size and parking setback requirements for accessory units
- Use of mobile homes for non-residential purposes
- Parking in landscaped front yard setback

APPLICATION REQUIREMENTS

As a minimum, the following items **MUST** be attached and hereby made a part of this application:

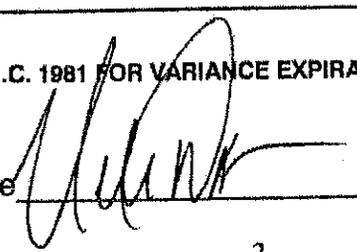
- If applicant is other than owner, the written consent of the owners of the property for which the variance is requested;
- An Improvement Location Certificate or Site Improvement Survey and legal description by a registered surveyor (**4 copies**);
- A site development plan including building heights, setbacks, and proposed floor area (**4 copies**);
- A demolition plan differentiating between proposed and remaining portions of the structure (**4 copies**);
- A written statement thoroughly addressing the criteria for approval - see following pages (**4 copies**);
- Any other information pertinent to the request (**4 copies**);
- An application fee (as prescribed in Section 4-20-43, B.R.C. 1981);
- Sign Posting Acknowledgement Form - see last page.

-Electronic files of all documents are greatly appreciated. If available, please submit them on a CD or thumb drive with your application.

NOTE: The applicant is responsible for posting the property in compliance with city requirements. Signs will be provided to the applicant at the time of submission of the application. The applicant will submit a posting affidavit within 10 days of the date of application. Failure to submit the affidavit may result in the postponement of the hearing date.

NOTE: SEE SECTION 9-2-3(l), B.R.C. 1981 FOR VARIANCE EXPIRATION INFORMATION

Applicant / Owner Signature



Date 2/16/16

**SIGN POSTING REQUIREMENTS
APPLICANT'S ACKNOWLEDGMENT FORM**

Required for Certain Land Use Review, Administrative Review, Technical Document Review, and Board of Zoning Adjustment Applications

CITY CODE REQUIREMENT FOR SIGN POSTING OF LAND USE REVIEW APPLICATIONS - Excerpt of Section 9-4-3(c), B.R.C. 1981: Public Notice of Application: The city manager will provide the following public notice of a development review application:

(1) Posting: After receiving such application, the manager will cause the property for which the application is filed to be posted with a notice indicating that a development review application has been made, the type of review requested, and that interested persons may obtain more detailed information from the planning department. The notice shall meet the following standards:

(A) The notice shall be placed on weatherproof signs that have been provided by the City and placed on the property that is the subject of the application.

(B) All such notice shall be posted no later than ten days after the date the application is filed to ensure that notice is posted early in the development review process.

(C) The signs shall be placed along each abutting street, perpendicular to the direction of travel, in a manner that makes them clearly visible to neighboring residents and passers-by. At least one sign shall be posted on each street frontage.

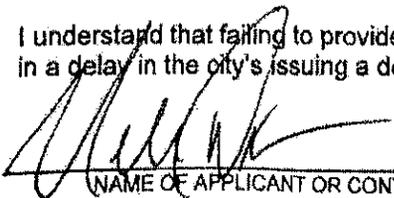
(D) The signs shall remain in place during the period leading up to a decision by the approving authority, but not less than ten days.

(E) On or before the date that the approving authority is scheduled to make a decision on the application the city manager will require the applicant to certify in writing that required notice was posted according to the requirements of this section.

I, Nellie Damrauer, am filing a Land Use Review, Administrative Review, Technical Document Review, or BOZA application [on behalf of] _____ for the property located at 2453 7th St. I have read the city's sign posting requirements above and acknowledge and agree to the following:

(PRINT NAME OF APPLICANT OR CONTACT PERSON) (PRINT NAME OF OWNER(S) IF OTHER THAN APPLICANT/CONTACT) (PRINT PROPERTY ADDRESS OR LOCATION)

1. I understand that I must use the sign(s) that the city will provide to me at the time that I file my application. The sign(s) will include information about my application and property location to provide required public notice.
2. I am responsible for ensuring that the sign(s) is posted on the property described above in such a way that meets the requirements of Section 9-4-3(c), B.R.C. 1981 (listed above), including visibility of the sign(s) and time and duration of the sign(s) posting, and including reposting any signs that are removed, damaged, or otherwise displaced from the site. As necessary, I shall obtain a replacement sign(s) from the city for reposting.
3. I understand that certain future changes to my application, including but not limited to, changes to the project description or adding a review type, may require that I post a new sign(s). The city will notify me if such a reposting is required and provide me with a necessary replacement sign(s).
4. I understand that failing to provide the public notice by sign posting required by the city's land use regulation may result in a delay in the city's issuing a decision or a legal challenge of any issued decision.


(NAME OF APPLICANT OR CONTACT PERSON)

2/16/16
DATE

Please keep a copy of this signed form for your reference. If you have any questions about the sign posting requirements or to obtain a replacement sign, please call 303-441-1880.

Solar Exception is Requested for:

2453 7th Street

Boulder, CO

Owners: Nellie and Niels Damrauer

Legal description: The East 60.00 feet of the South 20.00 feet of Lot K, and the East 60.00 feet of the North 20.00 feet of Lot J, in Canfield's, a Subdivision of a portion of Block 3, Mapleton Addition to the City of Boulder, County of Boulder, State of Colorado

Affected Lot:

628 Maxwell

Boulder, CO

Owner: Catherine Schweiger

Legal description: The West 70.00 feet of the North 20.00 of Lot J, and the West 70.00 feet of Lots K and L, in Canfield's, a Subdivision of a portion of Block 3, Mapleton Addition to the City of Boulder, County of Boulder, State of Colorado

Catherine Schweiger is familiar with the solar exception application (including actual shadow analyses) and the effect the exception would have on her lot, and has no objection to the granting of the exception. The attached letter form for Catherine's approval is completed, signed, notarized, and included with this application.

Affected Lot:

2455 7th Street

Boulder, CO

Owner: Nini Coleman

Legal description: The East 60.00 feet of Lot L and the East 60.00 feet of the North 10.00 feet of Lot K in Canfield's, a Subdivision of a portion of Block 3, Mapleton Addition to the City of Boulder, County of Boulder, State of Colorado

Nini Coleman is familiar with the solar exception application (including actual shadow analyses) and the effect the exception would have on her lot, and has no objection to the granting of the exception. The attached letter form for Nini's approval is completed, signed, notarized, and included with this application.

April 4th, 2016

Board of Zoning Adjustments- April 14th Meeting

RE: Solar Variance for 2453 7th Street

The family of 2453 7th Street would like to propose a small addition to the rear second floor. This addition will include one bedroom/bathroom and a dormer for the existing tub to use as a shower, which will help this growing family to stay in the house and neighborhood they love. Due to the unusually small size and shape of the lot, any feasible addition creates the need for a Solar Variance. The design team has worked hard to ensure that the proposed addition will cause the least amount of solar shading while still providing the family with some relief.

CRITERIA (CITY CODE EXCERPT OF SECTION 9-9-17(f)(6), B.R.C. 1981):

(d) In order to grant an exception, the city manager, where no objection has been filed, or the Board of Zoning Adjustment, where timely objection has been filed or where the city manager has made an adverse determination, must find that each of the following requirements have been met:

(A) Because of basic solar access protection requirements and the land use regulations:

(i) Reasonable use cannot otherwise be made of the lot for which the exception is requested.

2453 7th Street is an unusually small lot for the neighborhood and zoning district with a square footage of only 2,394 and dimensions of approximately 60'-0" x 40'-0". The code minimum lot size for RL-1 zoning district is 7,000 sf and a lot size under 3,000 sf is extremely rare. This unusual lot size is too small for a first floor expansion and it is too small for any second story addition of reasonable use to not shadow the adjacent property. In the addition design we have pulled the addition and new roof as far South as is feasible in order to reduce the solar shadow cast. With these design adjustments, the proposed addition creates a very small solar breach and will reduce the total amount of solar energy available at 628 Maxwell Ave by 4.19% and by 5.14% at 2455 7th Street.

(ii) The part of the adjoining lot or lots that the proposed structure would shade is inherently unsuitable as a site for a solar energy system; or

(iii) Any shading would not significantly reduce the solar potential of the protected lot; and

The proposed addition will shadow 628 Maxwell only in the morning, and 2455 7th Street only in the afternoon. At 10 am it will shadow the East edge of 628 Maxwell property in a space which is unsuitable for the best solar potential. The best solar potential at 628 Maxwell is on the South roof of the house, which is on the opposite side of the property from where the solar shadow will take place. By noon, the proposed structure will no longer shadow the property at 628 Maxwell. From noon till 2pm there will be a new shadow cast on 2455 7th Street. Primarily this shadow will be cast on the side of the building, while the best solar potential is on the roof. The actual shadow cast on the roof will only be 17 sf located on the very edge of the roof eave, which will not significantly reduce the solar potential of the protected lot.

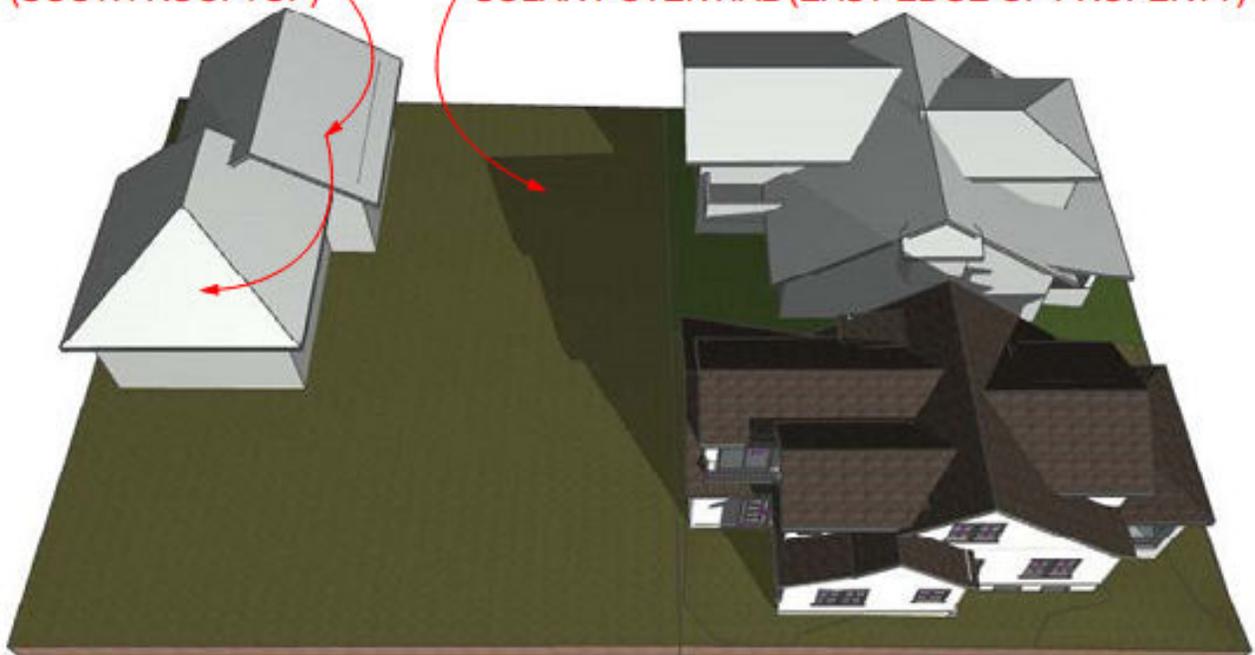
(see images on pages 3-5)



1 EXISTING 10AM SHADOW FROM 2453 7TH STREET

628 MAXWELL BEST SITE FOR SOLAR POTENTIAL (SOUTH ROOFTOP)

PROPOSED STRUCTURE WOULD SHADE AREA OF 628 MAXWELL THAT IS INHERENTLY UNSUITABLE FOR SOLAR POTENTIAL (EAST EDGE OF PROPERTY)

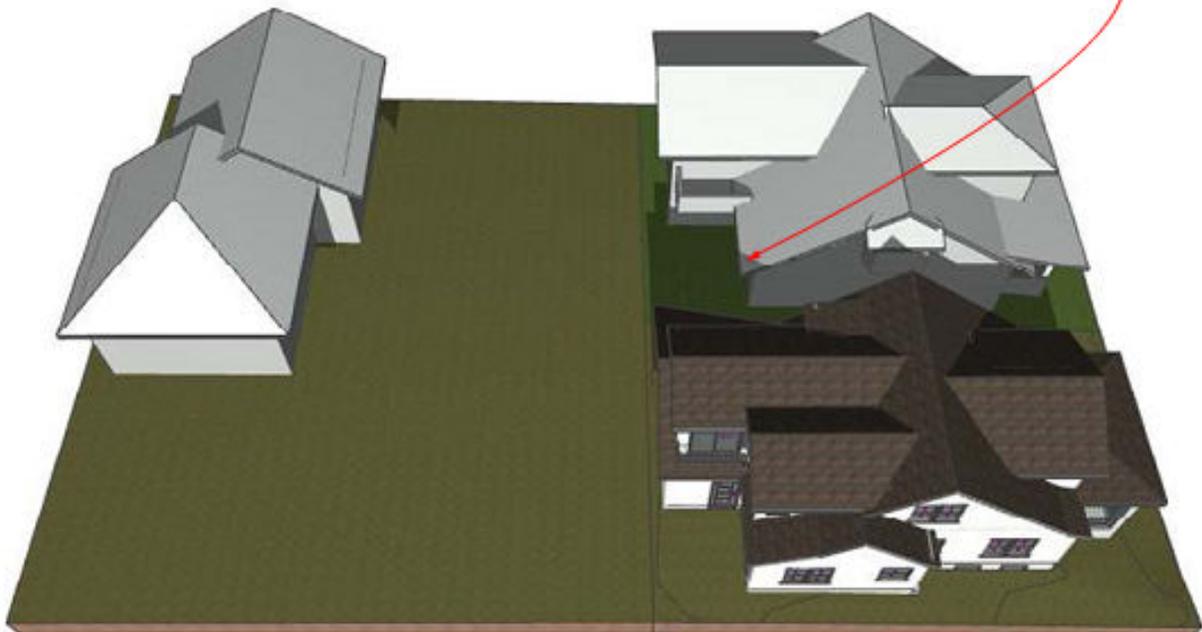


2 PROPOSED 10AM SHADOW FROM 2453 7TH STREET



1 EXISTING 12PM SHADOW FROM 2453 7TH STREET

VERY MINIMAL REDUCTION (7 SF) IN SOLAR POTENTIAL AT 12 PM. LOCATION IS UNLIKELY FOR SOLAR INSTALLATION DUE TO EDGE OF EAVE LOCATION

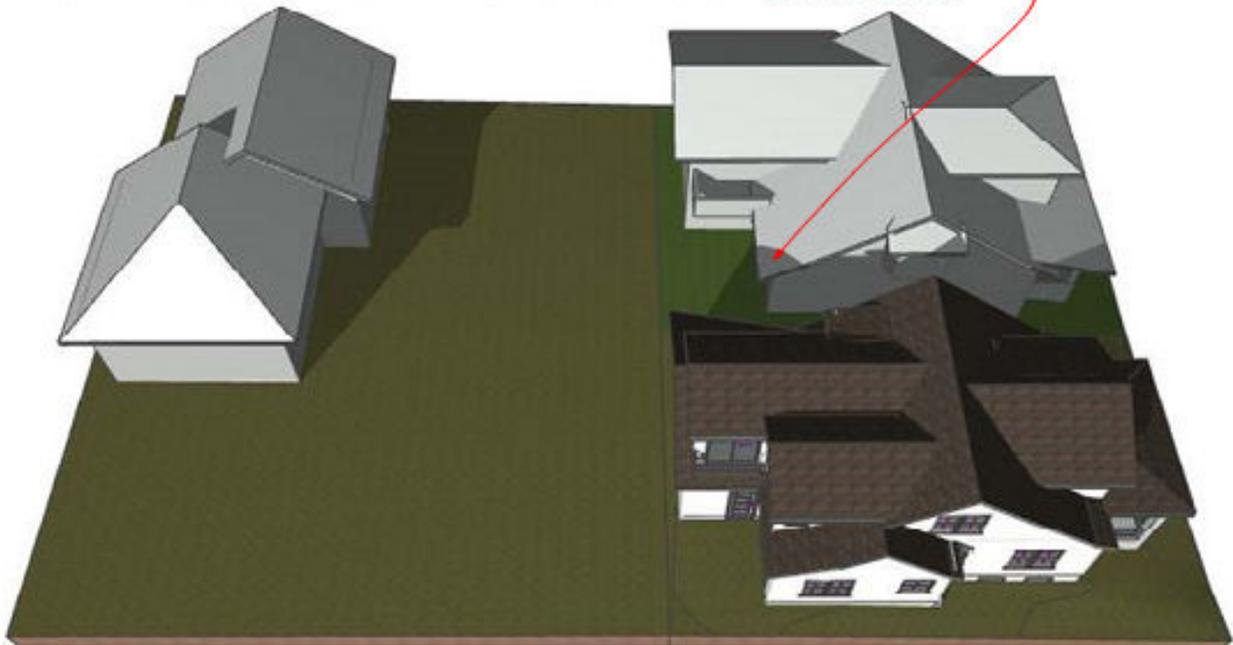


2 PROPOSED 12PM SHADOW FROM 2453 7TH STREET



1 EXISTING 2PM SHADOW FROM 2453 7TH STREET

VERY MINIMAL REDUCTION (17 SF) IN SOLAR POTENTIAL AT 2 PM. LOCATION IS UNLIKELY FOR SOLAR INSTALLATION DUE TO EDGE OF EAVE LOCATION



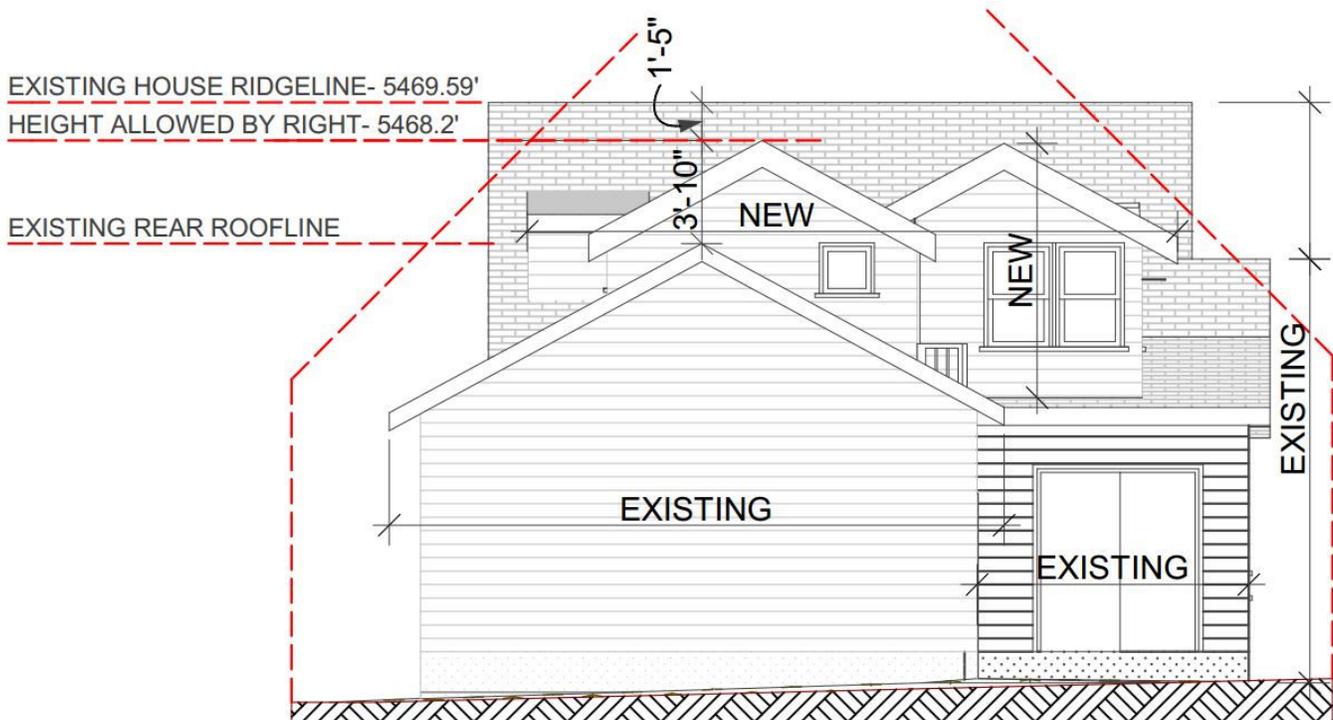
2 PROPOSED 2PM SHADOW FROM 2453 7TH STREET

(iv) Such situations have not been created by the applicant;

The unusually small size, narrowness and shallowness of the lot has not been created by the applicant. Due to the size of the lot, it is not possible to create an addition on the first floor so we need to look at designs on the second floor which will create a solar breech. The applicant would like to propose a modest one bedroom/one bathroom addition and a small dormer roof which will allow the working Boulder family to stay in their house and in the Mapleton neighborhood that they have grown to love. The owners, who bought the house in 2003, and are established members of the community with the husband working in research at CU and the wife working as a veterinarian at the Boulder Humane Society. Since the house was purchased they have welcomed 2 boys and the growing family is running out of room in their current home. Since buying the home in 2003, the Mapleton Hill neighborhood has changed and it is not an option to buy a larger house while staying in the neighborhood and community they have been a part of for so long. This modest proposal will allow for a new bedroom and bathroom, which will give this family a comfortable home to stay in.

(B) Except for actions under paragraphs (D), (E), and (F), the exception would be the minimal action that would afford relief in an economically feasible manner;

This proposal is modest in size and bulk, asking only for a one bed/bath addition and a dormer roof to allow for a full height shower. The proposed new bedroom is very reserved in size at 9'-0" x 10'-7" with a bathroom size of approximately 8' x 8'. We looked at reducing the bathroom size however; for feasibility, this new wall needs to structurally bear on the existing bearing wall below. The addition has been designed to be the smallest of that which will afford the relief of a small bedroom and a bathroom to the growing family. It has been designed to step inward from the existing house on each side and the new walls or roofs will not project outward from the existing footprint. There will be no change to the Building Coverage. The proposed rooflines have carefully been designed to be 1'-5" under that of the height of the existing ridgeline and only 3'-10" above the existing rear roofline, while matching the pitch of the existing house.



1

WEST / REAR ELEVATION

(C) The exception would cause the least interference possible with basic solar access protection for other lots; The proposed addition is modest in size and is designed to have the least impact on the solar access protection for the surrounding lots. The addition is designed to sit as far South as possible to reduce the solar shadow cast on the neighboring property. The addition is designed to keep within the existing house footprint and is less than the principle building height (SEE WEST / REAR ELEVATION ON PAGE 6). The proposed addition will only impact the solar access by 234 sf at 628 Maxwell Ave and by 17 sf on the roof at 2455 7th Street (SEE GRAPHICS ON PAGE 3, 4 AND 5).

(D) If the proposed structure is located in an historic district designated by the city council according to Section 9-11-3, B.R.C. 1981, and if it conformed with the requirements of this chapter, its roof design would be incompatible with the character of the development in the historic district;

This proposed addition is designed to not alter the essential character of the neighborhood and has been designed in accordance to the Mapleton Hill Historic District Design Guidelines. We have designed the roof to match the pitch of the existing roof. A design with a lower pitch roof, which might create less solar interference, would be incompatible with the character of Mapleton Hill Historic District Design Guidelines. Landmarks Design Review Committee has reviewed the proposal and is in support of the roof design and addition. Landmarks has issued a Landmark Alteration Certificate for the proposed design.

(E) If part of the proposed roof which is to be reconstructed or added to would be incompatible with the design of the remaining parts of the existing roof so as to detract materially from the character of the structure, provided that the roof otherwise conformed with the requirements of this chapter;

We have designed the roof to match the pitch of the existing roof. A design with a lower pitch roof, which might create less solar interference, would be incompatible with the character of Mapleton Hill Historic District Design Guidelines.

(F) If the proposed interference with basic solar access protection would be due to a solar energy system to be installed, such system could not be feasible located elsewhere on the applicant's lot;

The proposed change is not due to a proposed solar energy system.

(G) If an existing solar system would be shaded as a result of the exception, the beneficiary of that system would nevertheless still be able to make reasonable use of it for its intended purpose;

The proposed change will not shade an existing solar energy system.

(H) The exception would not cause more than an insubstantial breach of solar access protected by permit as defined in Subsection 9-16-1, B.R.C. 1981;

The proposed addition and the proposed roof will reduce the total amount of solar energy available at 628 Maxwell Ave by 4.19% and will reduce the total amount of solar energy available at 2455 7th Street by 5.14% (a reduction in .71% at the solar potential roof location, the other 4.3% falls on a location unsuitable for solar potential.)

(I) All other requirements for the issuance of an exception have been met. The applicant bears the burden of proof with respect to all issues of fact.

All other Application Requirements have been met.

April 4th, 2016

Board of Zoning Adjustments- April 14th Meeting

RE: Rear and Side Yard Setback Variance for 2453 7th Street

No changes to the existing setback. Due to the unusual lot size allowable setbacks would only leave 19'-3" x 10'-0" of buildable area, in an area which already has the existing house located within it, leaving no room for an addition.

RE: Floor Area Variance for 2453 7th Street

2453 7th Street has a lot size of 2,394 sf and is located in RL-1 zoning district. The existing house has 1,250 sf existing floor area where 1,484 sf allowed and we are proposing 1,625 sf. A minimum size lot per code for RL-1 (7,000 sf RE: 9-8-1) has an allowable Floor Area of 3,500 sf.

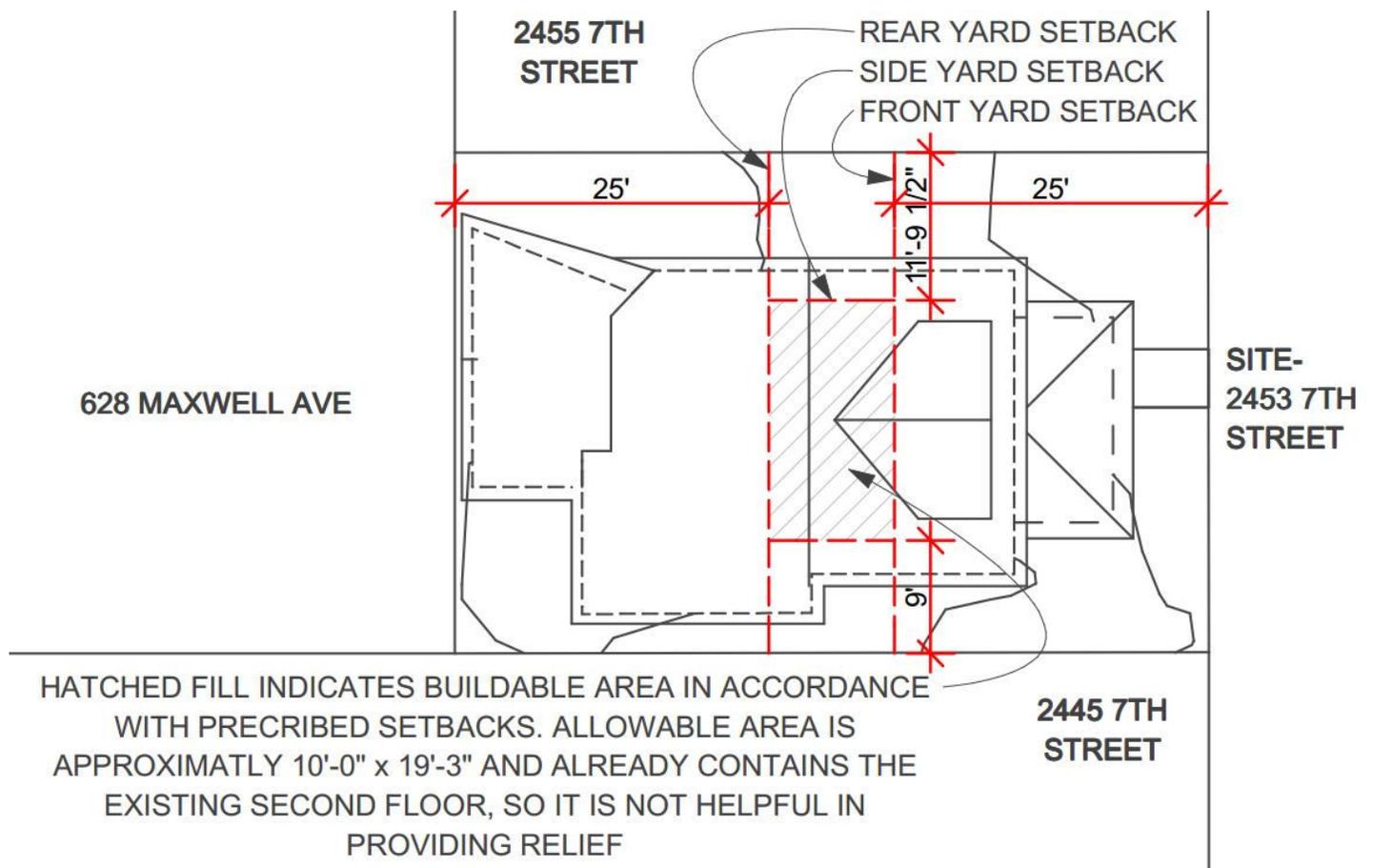
We are requesting a Variance for the Rear/Side Yard Setback and Floor Area for a small addition in the rear of the existing home located at 2453 7th Street. The family of would like to propose an small addition comprised of a bedroom and a bathroom which would allow this working Boulder family to live and remain in their home and neighborhood. All design studies that would be in compliance with the existing prescribed setbacks have proved to be unobtainable and unrealistic. Below we have detailed how the proposed addition would be to the satisfaction of all requirements outlined in paragraph (1) and paragraph (5) of the Subsection. The modest proposed addition falls within the existing building footprint, so there will be no change to the existing setback or Building Coverage.

(1) Physical Conditions or Disability

(A) There are: (i) Unusual physical circumstances or conditions, including, without limitation, irregularity, narrowness or shallowness of the lot, or exceptional topographical or other physical conditions peculiar to the affected property;

From the attached survey, the total lot area is 2,394sf and the lot dimensions are approximately 60'-0" deep by 40'-0" wide. The prescribed setbacks (25'-0" front yard setback, 25'-0" rear yard setback, 11'-9 1/2" North side yard setback, 9'-0" South yard setback) for this lot would only allow for a 10'-0" deep by 19'-3" wide strip of buildable land.

Unfortunately, this buildable area already has a second floor located on it, so an addition in this by-right area is not an option. A third story addition in this area would be met with its own set of difficulties including height, solar and neighborhood compatibility and was ruled out as a viable option. This unusually small narrowness and shallowness of the lot is uncharacteristic of the neighborhood and a house of this 10' x 19.25' prescribed size would be unreasonably small. Due to the unusual size of the lot, only 1,484 sf of Floor Area would be allowed in comparison to a code minimum 7,000 sf RL-1 lot where 3,500 sf Floor Area would be allowed.



(B) The unusual circumstances or conditions do not exist throughout the neighborhood or zoning district in which the property is located;

2453 7th Street is an unusually small lot with a square footage of only 2,394 sf and dimensions of approximately 60'-0" x 40'-0". This size of lot is unusually small for the neighborhood and the RL-1 zoning district where a 7,000 sf lot size is the code minimum and a lot size less than 3,000 sf is extremely rare. The existing house is 1,250 sf and the 2,394 sf lot size in

RL-1 zoning district will allow 1,484 sf of Floor Area. A code minimum 7,000 sf lot of this RL-1 neighborhood would have an allowable maximum floor area of 3,500 sf. The proposed addition will create a house with a SF of 1,625sf, so we are asking for a floor area variance of 141 sf which is still less than half of the allowable Floor Area for a typical RL-1 lot of this neighborhood.



(C) Because of such physical circumstances or conditions the property cannot reasonably be developed in conformity with the provisions of this chapter;

We believe that the 19'-3" by 10'-0" / 1,484 sf strip of building area allowed in conformity with the existing prescribed setbacks would not allow for a reasonable development for a new home or a reasonable addition to the existing home. This unusually small 19'-3" by 10'-0" buildable area falls where there is an existing second story, making it impossible for us to utilize this by-right area for an addition. Any addition would require a setback variance due to the physical circumstances of the lot.

(D) Any unnecessary hardship has not been created by the applicant.

The unusually small size, narrowness and shallowness of the lot has not been created by the applicant. The applicant would like to propose a modest one bedroom/one bathroom addition which will allow the working Boulder family to stay in their house and in the Mapleton neighborhood that they have grown to love. The owners, who bought the house in 2003, and are established members of the community with the husband working in research at CU and the wife working as a veterinarian at the Boulder Humane Society. Since the house was purchased they have welcomed 2 boys and the growing family is running out of room in their current home. Since buying the home in 2003, the Mapleton Hill neighborhood has changed and it is not an option to buy a larger house while staying in the neighborhood and community they have been a part of for so long. This modest proposal will allow for a new bedroom and bathroom, which will give this family a comfortable home to stay in.

(5) Requirements for All Variance Approvals

(A) Would not alter the essential character of the neighborhood or district in which the lot is located;

This proposed addition will not alter the essential character of the neighborhood and has been designed in accordance to the Mapleton Hill Historic District Design Guidelines. Landmarks Design Review Committee has reviewed the design proposal, is in support of the addition and has issued a Landmark Alteration Certificate.

(B) Would not substantially or permanently impair the reasonable use and enjoyment or development of adjacent property;

We believe that the proposed addition will not impair the reasonable use, enjoyment or development of any adjacent properties because the addition will be on the back of the house, not visible from 7th Street and there will be no changes to the Building Coverage. The size and design of the proposed addition is appropriate with the neighborhood and the surrounding houses. Even with the proposed addition, 2453 7th Street will still be one of the smallest homes in the neighborhood. The rear addition is lower than the existing roof by 1'-5" and stepped in from the existing exterior walls to reduce the bulk and visibility.



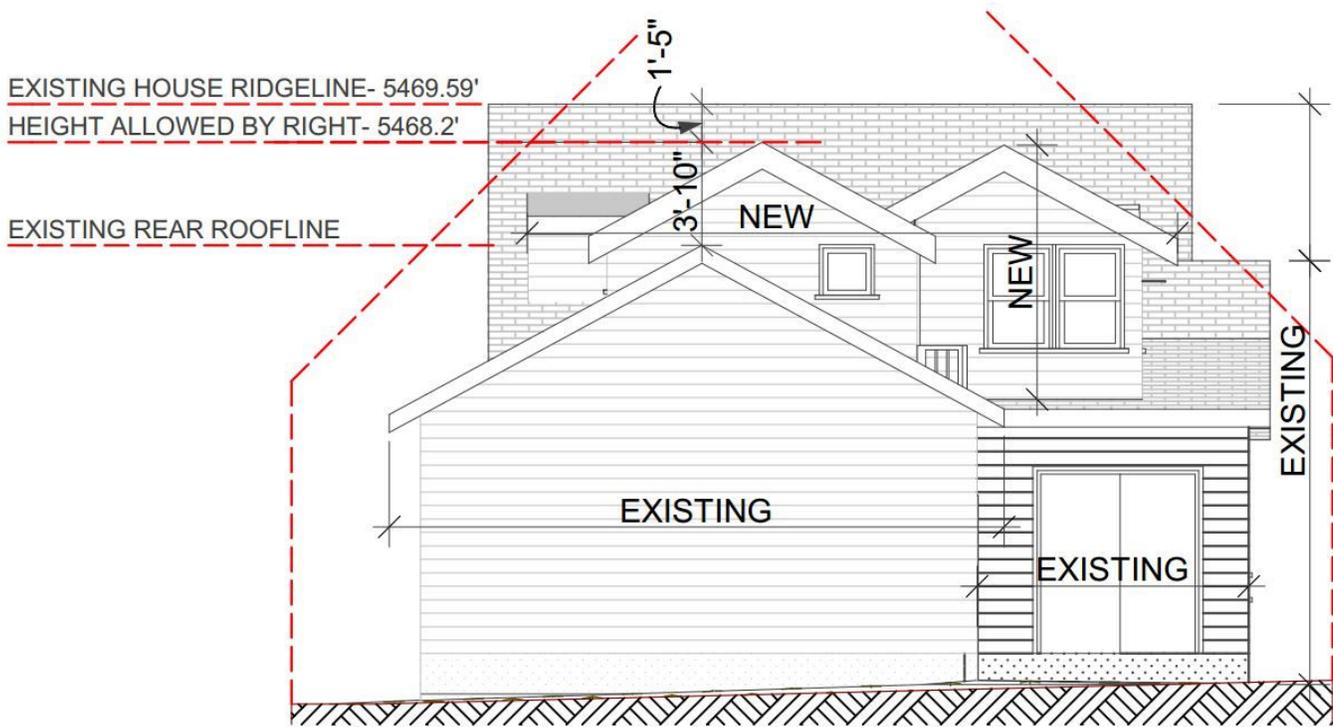
View from the South East property corner (addition is not visible)



View from the North East property corner (addition is not visible)

(C) Would be the minimum variance that would afford relief and would be the least modification of the applicable provisions of this title; and

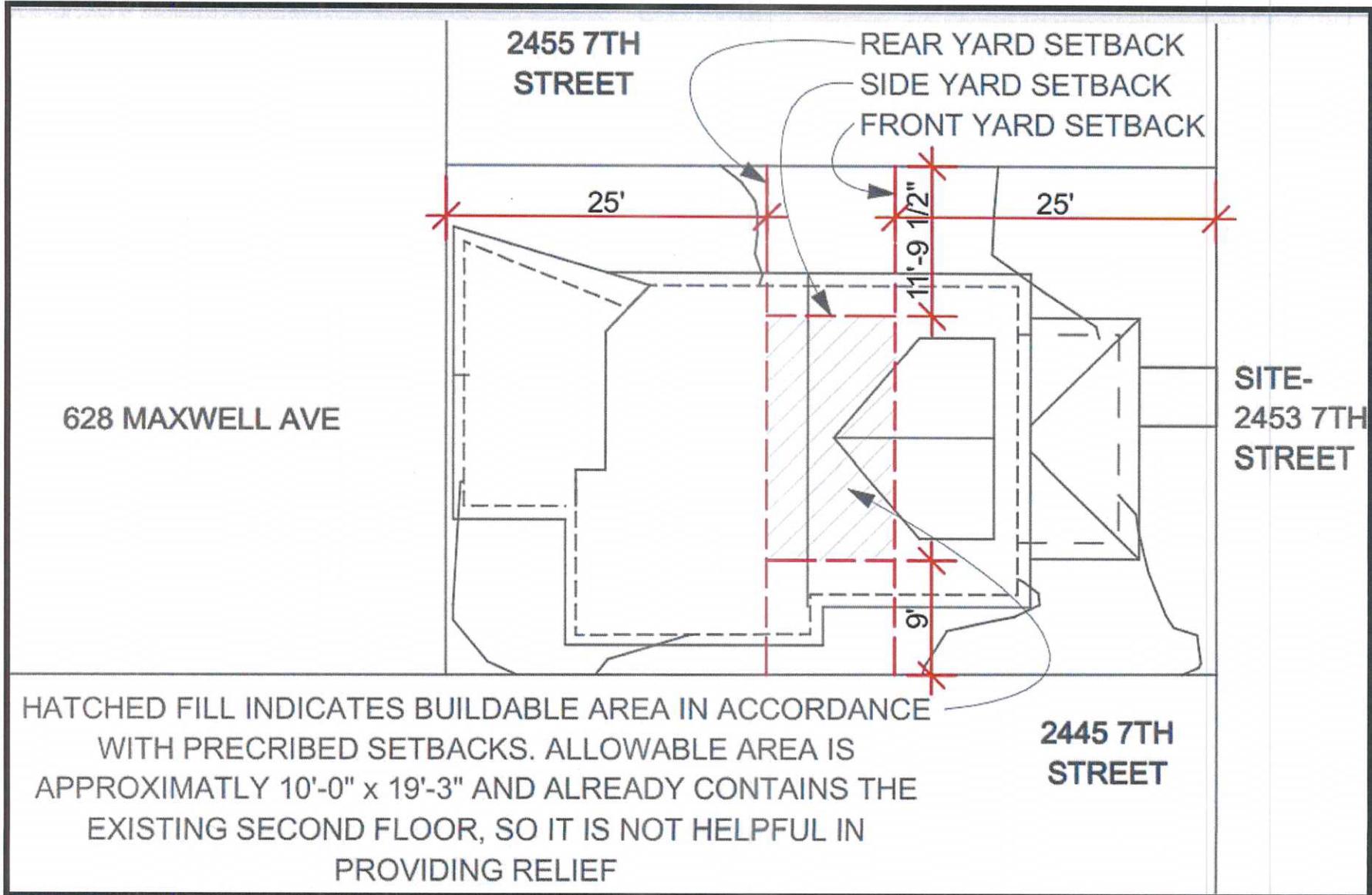
This proposal is modest in size and bulk, asking only for a one bed/bath addition and a small dormer roof. It has been designed to step inward from the existing house and will not project outward from the existing footprint. The proposed rooflines have carefully been designed to be 1'-5" under that of the height of the existing ridgeline, while matching the pitch of the existing house (SEE IMAGE BELOW). The new roofline is less than 4' above the existing rear roofline. The addition has been designed to be the smallest of that which will afford the relief of a small bedroom and a bathroom to the growing family. The proposed new bedroom is modest in size at 9'-0" x 10'-7" with a bathroom size of approximately 8' x 8'. We studied proposals which would farther reduce the size of the proposed addition, but after structural studies this design is the minimum square footage that will be structurally feasible as we will bear on an existing structural wall below the addition.



1 WEST / REAR ELEVATION

(D) Would not conflict with the provisions of Section 9-9-17, "Solar Access," B.R.C.1981.

Due to the unusual physical characteristics of 2453 7th Street, including the narrowness and shallowness of the lot, there will be a change to the solar shadow. The affected neighbors (628 Maxwell and 2455 7th Street) are very supportive of the proposed addition and they have both signed and notarized a letter which states that they have no objection to the granting of the exception. A proposal for a Solar Variance is also included in this BOZA packet.



Wyler, Robbie

From: Laura Schaeffer [schaeffer.lr@gmail.com]
Sent: Thursday, April 07, 2016 8:54 AM
To: Wyler, Robbie
Subject: Fwd: Nellie n Neil's addition

----- Forwarded message -----

From: <rwgesten@gmail.com>
Date: Thu, Apr 7, 2016 at 7:11 AM
Subject: Nellie n Neil's addition
To: schaeffer.lr@gmail.com

I live across the street from Nellie, Neil's, Bruno, and Leo, whom we all love and think their proposed upgrade on their home would be a positive to our neighborhood. Approval would be a good thing.

Richard Gesten
2440 7th St

Sent from my iPhone

--

Laura Schaeffer, LEED AP
720.243.6599 (cell)

Wyler, Robbie

From: Laura Schaeffer [schaeffe.l.r@gmail.com]
Sent: Thursday, April 07, 2016 7:23 PM
To: Wyler, Robbie
Subject: Fwd: Damrauer Docket No.: BOZ2016-05

Sent from my iPad

Begin forwarded message:

From: Catherine Schweiger <cschweiger@indra.com>
Date: April 7, 2016 at 7:17:04 PM MDT
To: schaeffe.l.r@gmail.com
Subject: Damrauer Docket No.: BOZ2016-05

Planning Staff and members of the Board of Zoning Adjustment

I have reviewed the proposed plans for the expansion of floor area for Niels and Nellie Damrauer's home at 2453 7th Street. My home at 628 Maxwell shares a west boundary with the Damrauer's property. I have no objection to the proposed expansion that is contained entirely within the existing footprint of the house. Although there will be new windows facing my property, this is not a significant intrusion on my privacy as my house sits well to the west on my small lot.

We live in quite close quarters here in the 600 block of Maxwell! There is something a bit comforting about having more eyes on my house and garden as I "age in place". The sounds of the Damrauer children learning language skills drifting through our shared privacy fence have been good sounds. I look forward to the sounds of teenaged children—most times. I am fortunate to have such good neighbors and support the Damrauer's in their desire to have a little more space for their family.

Respectfully
Catherine Schweiger

Wyler, Robbie

From: Laura Schaeffer [schaeffer.lr@gmail.com]
Sent: Friday, April 08, 2016 9:55 AM
To: Wyler, Robbie
Subject: Fwd: In support of Damrauers

Another one for you-

----- Forwarded message -----

From: **Mona Esposito** <voesposito@gmail.com>
Date: Fri, Apr 8, 2016 at 9:01 AM
Subject: In support of Damrauers
To: Laura Schaeffer <schaeffer.lr@gmail.com>

For the city:

I am a neighbor of Nellie and Niels and have seen the plans and proposed addition at 2453 7th Street. I am in support of the design and I think that this would be a positive addition for the family and for the neighborhood.
Thank you
Mona Esposito

Sent from my iPhone

--

Laura Schaeffer, LEED AP
720.243.6599 (cell)

2453 7TH STREET

RL-1 ZONING

LOW SPOT 25' FROM PORCH
 EXISTING BUILDING HEIGHT-
 PROPOSED BUILDING HEIGHT (NO CHANGE TO HIGH POINT OF ROOF)-
 PROPOSED HEIGHT OF ADDITION-

5443.2'
 5469.59' (26.39')
 5469.59' (26.39')
 5468.2' (25.0')

REAR YARD SETBACK (PER TABLE 7-1)-
 EXISTING REAR YARD SETBACK-
 SETBACK REQUESTED FOR NEW ADDITION-

25'-0"
 1'-4 1/2"
 2'-6"

NO CHANGE TO FRONT YARD SETBACK-

-

EXISTING COMBINED SIDE YARD SETBACK- (6'-1/2" + 3'-1 1/2")-
 NORTH SIDE YARD EXISTING
 NORTH SIDE YARD REQUIRED
 NORTH SIDE YARD TO PROPOSED BUILDING
 SOUTH SIDE YARD EXISTING
 SOUTH SIDE YARD REQUIRED
 SOUTH SIDE YARD TO PROPOSED BUILDING

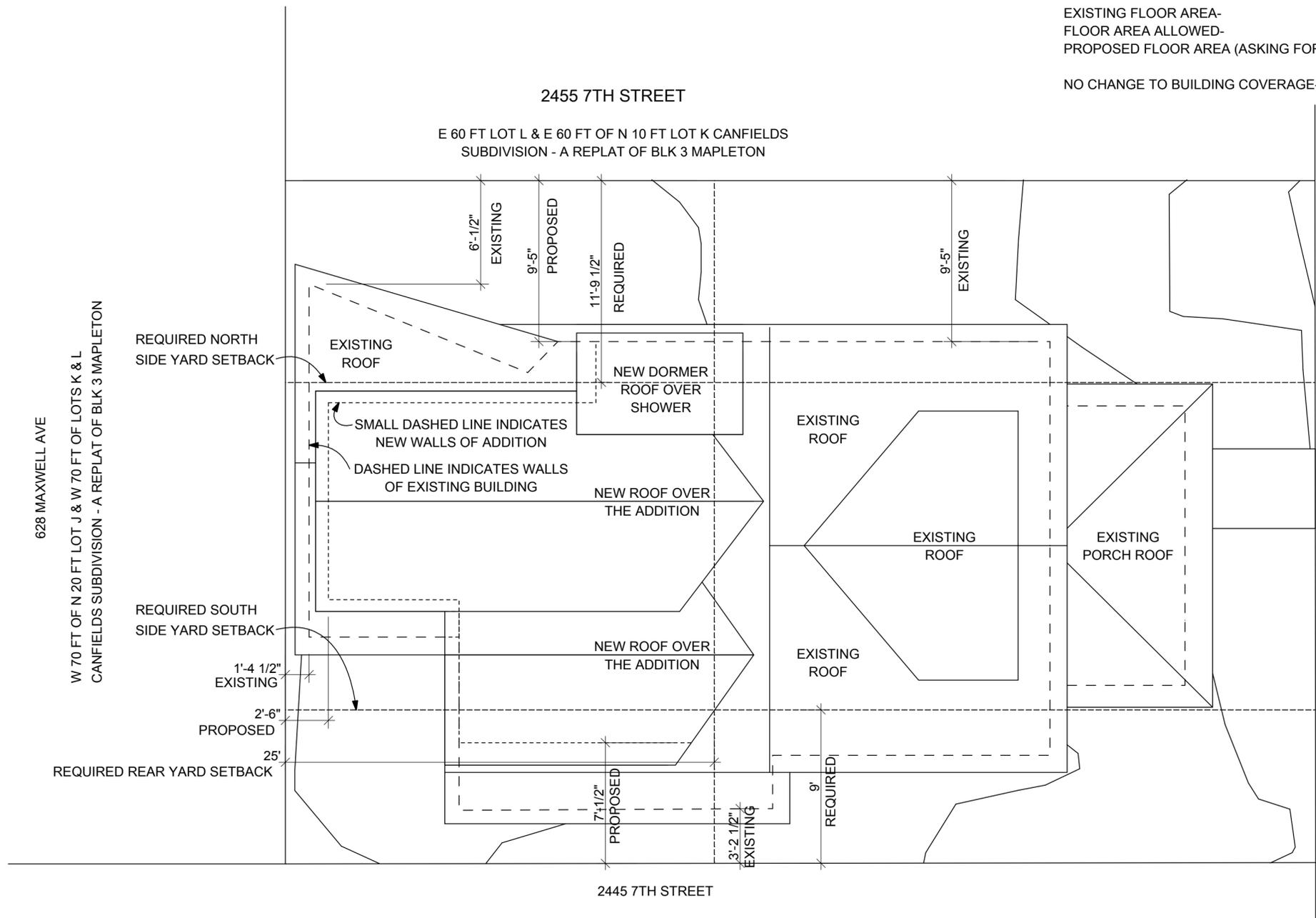
9'-2"
 6'-1/2"
 11'-9 1/2"
 9'-5"
 3'-1 1/2"
 9'-0"
 7'-1/2"

EXISTING FLOOR AREA-
 FLOOR AREA ALLOWED-
 PROPOSED FLOOR AREA (ASKING FOR A VARIANCE OF 141 SF)-

1,250 SF
 1,484 SF
 1,625 SF

NO CHANGE TO BUILDING COVERAGE-

-



7TH STREET

SITE: 2453 7TH STREET
 E 60 FT OF N 20 FT LOT J
 & E 60 FT OF S 20 FT LOT
 K CANFIELDS
 SUBDIVISION - A REPLAT
 OF BLK 3 MAPLETON

DAMRAUER REMODEL

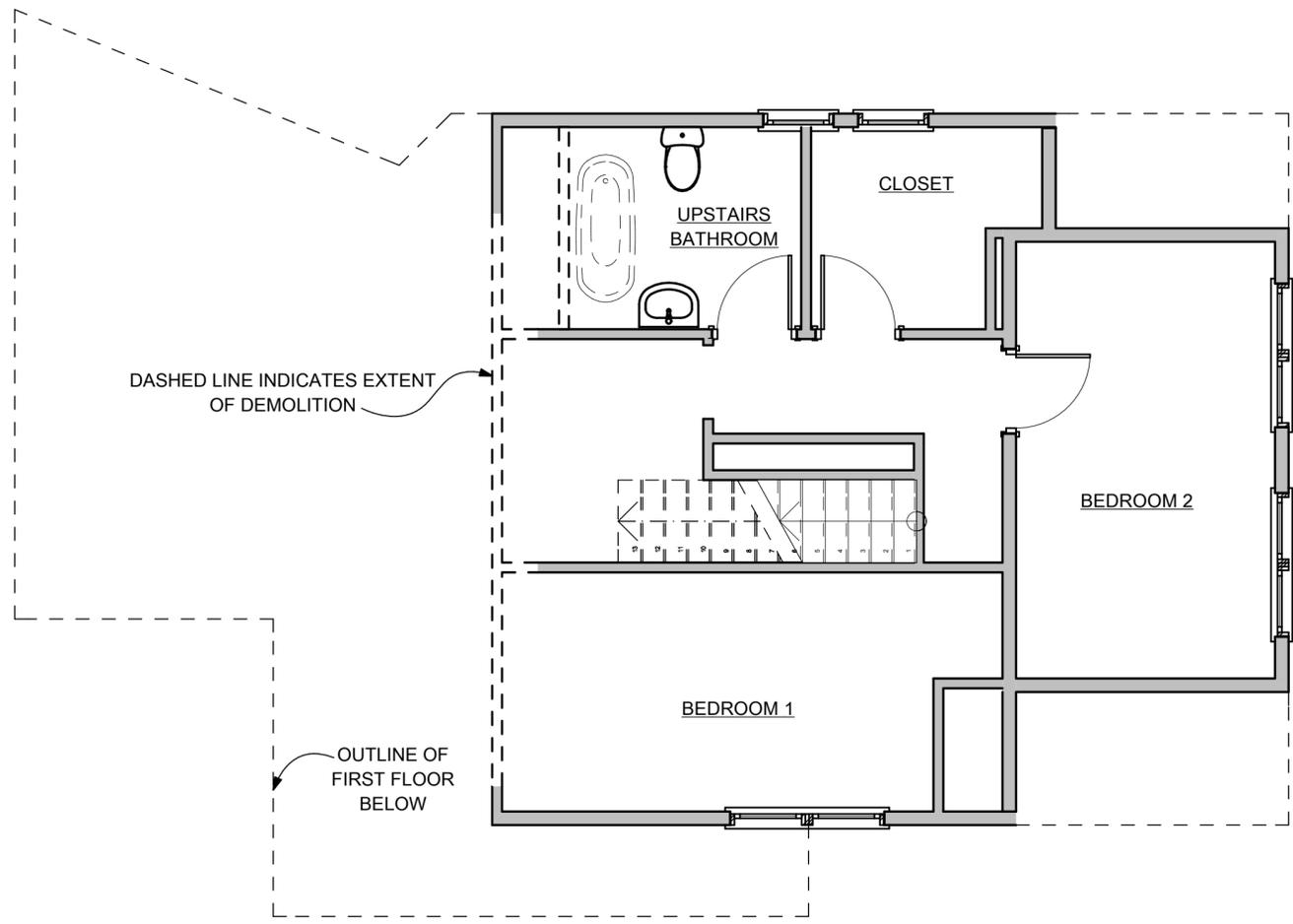
4/7/2016

SITE PLAN

2453 7TH STREET

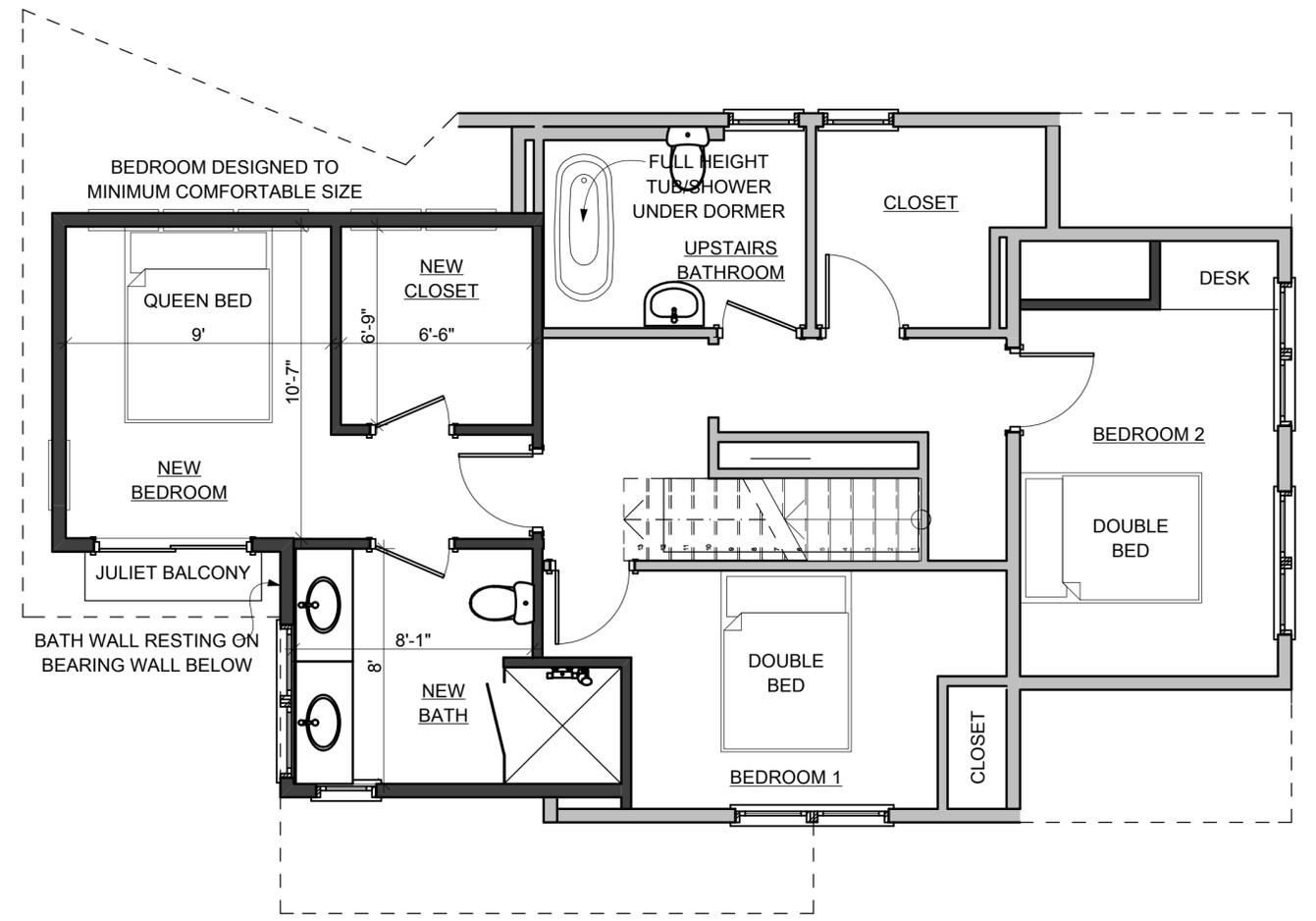
BOULDER, CO 80304

1



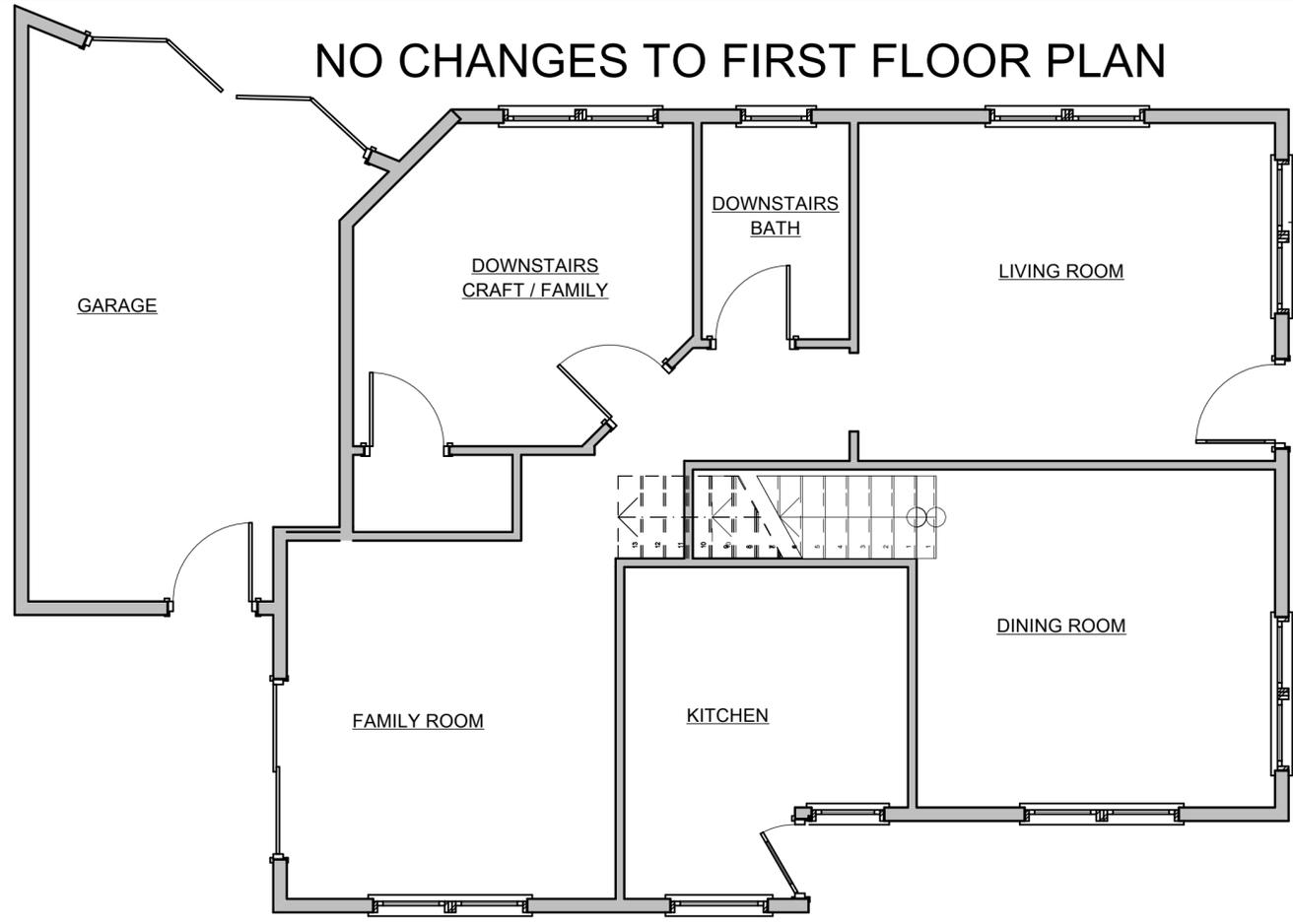
1 DEMO/EXISTING SECOND FLOOR

1/4" = 1'-0"



2 PROPOSED SECOND FLOOR PLAN

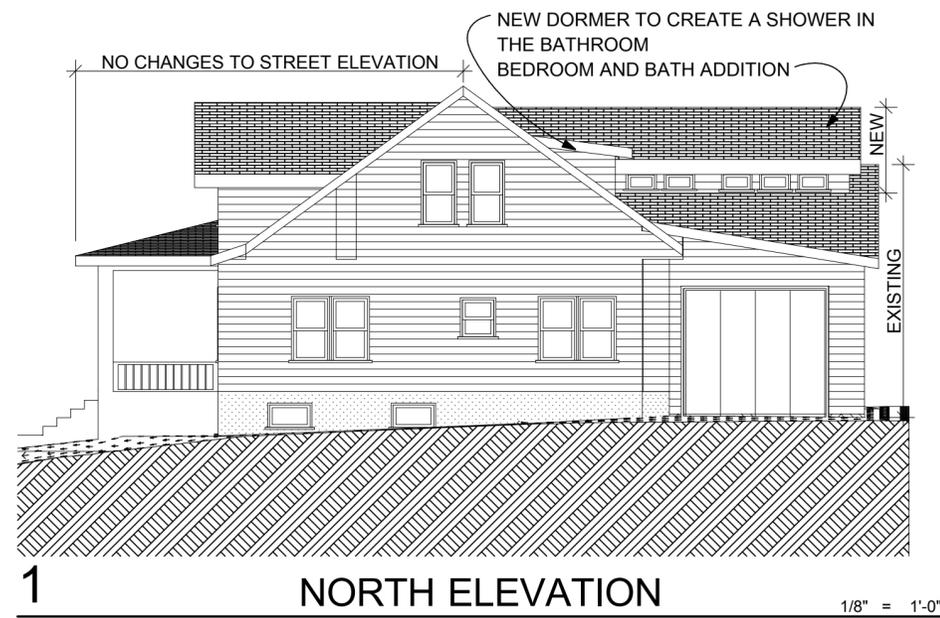
1/4" = 1'-0"



3 FIRST FLOOR PLAN

1/4" = 1'-0"

DAMRAUER REMODEL 4/7/2016
 2453 7TH STREET
 BOULDER, CO 80304
 EXISTING AND PROPOSED FLOOR PLANS
 2



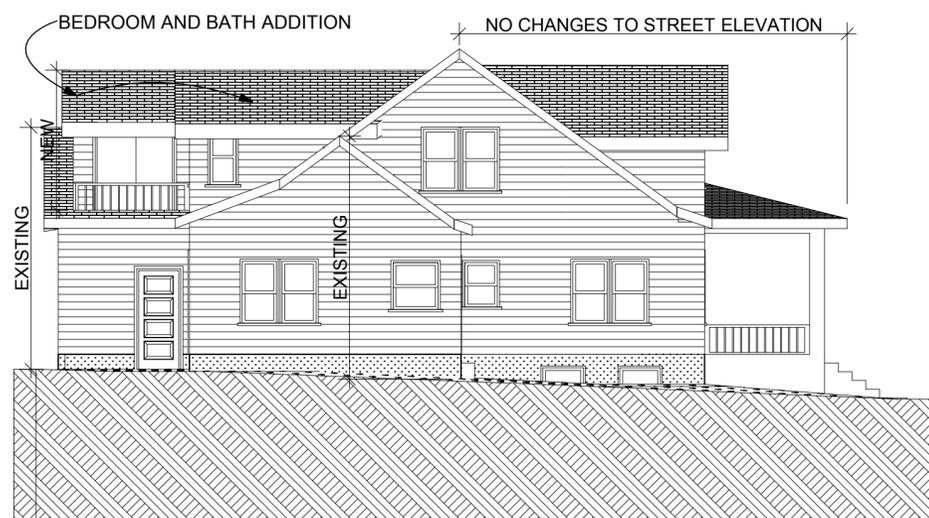
1 NORTH ELEVATION

1/8" = 1'-0"



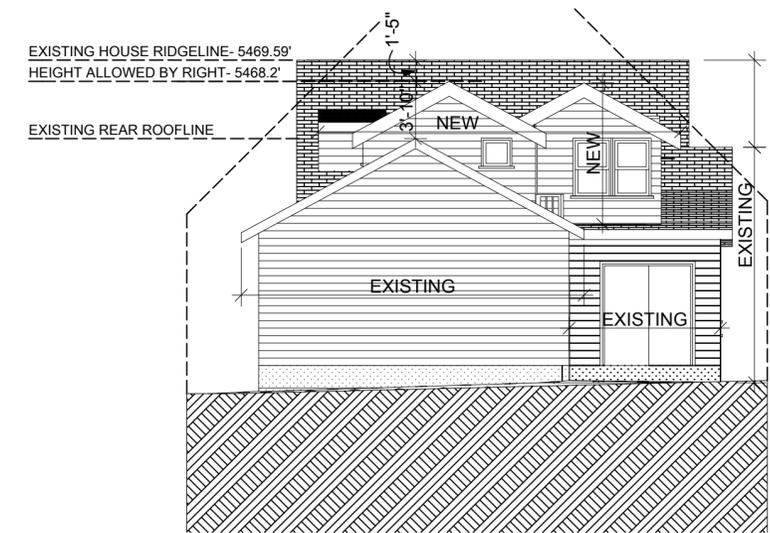
2 EAST ELEVATION

1/8" = 1'-0"



3 SOUTH ELEVATION

1/8" = 1'-0"



4 WEST ELEVATION

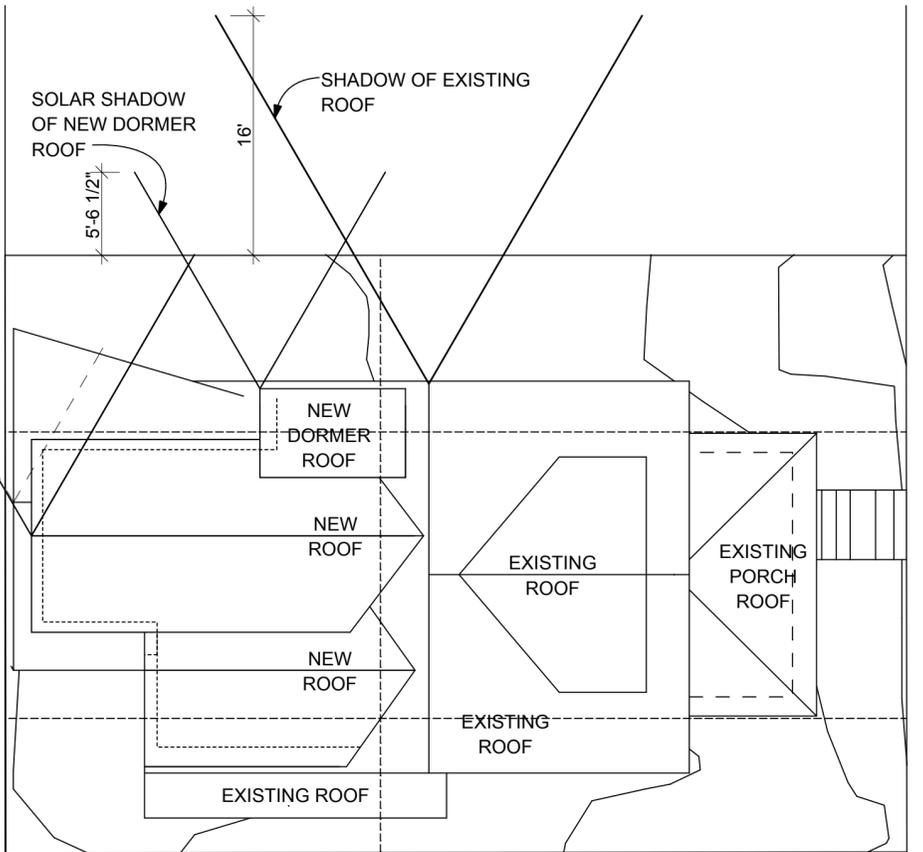
1/8" = 1'-0"

DAMRAUER REMODEL
 4/7/2016
 ELEVATIONS
 2453 7TH STREET
 BOULDER, CO 80304

3

DASHED LINE INDICATES SOLAR SHADOW LENGTH FOR EXISTING GARAGE ROOF

10 am SOLAR SHADOW LENGTH FOR PROPOSED NEW ROOF (DIFFERENCE OF 7'-2" ON DEC 21ST)

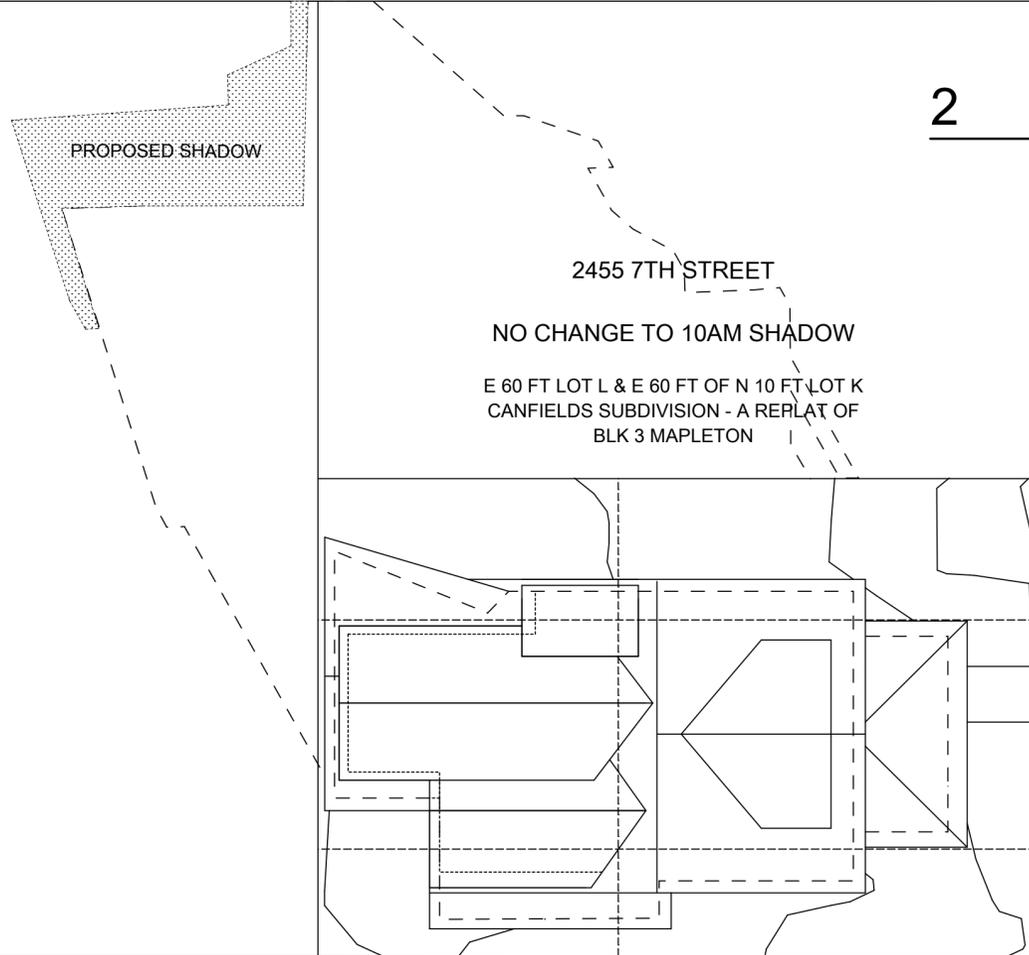


10 am Affected Lot:
 628 Maxwell
 Boulder, CO
 Owner: Catherine Schweiger
 Legal description: The West 70.00 feet of the North 20.00 of Lot J, and the West 70.00 feet of Lots K and L, in Canfield's, a Subdivision of a portion of Block 3, Mapleton Addition to the City of Boulder, County of Boulder, State of Colorado

Catherine is familiar with the solar exception application (including actual shadow analyses) and the effect the exception would have on her lot, and has no objection to the granting of the exception. The attached letter form for Catherine's approval is completed, signed, notarized, and included with this application.

5,595 TOTAL LOT SF
 593 SF EXISTING SHADOW CASTING
 234 SF OF NEW SHADOW CASTING

PROPOSED ADDITION WILL REDUCE THE TOTAL AMOUNT OF SOLAR ENERGY AVAILABLE BY 4.19%



2

ADJUSTED SOLAR SHADOW

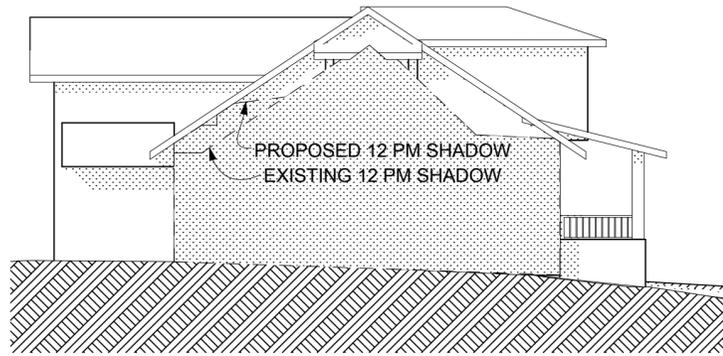
1/8" = 1'-0"

1

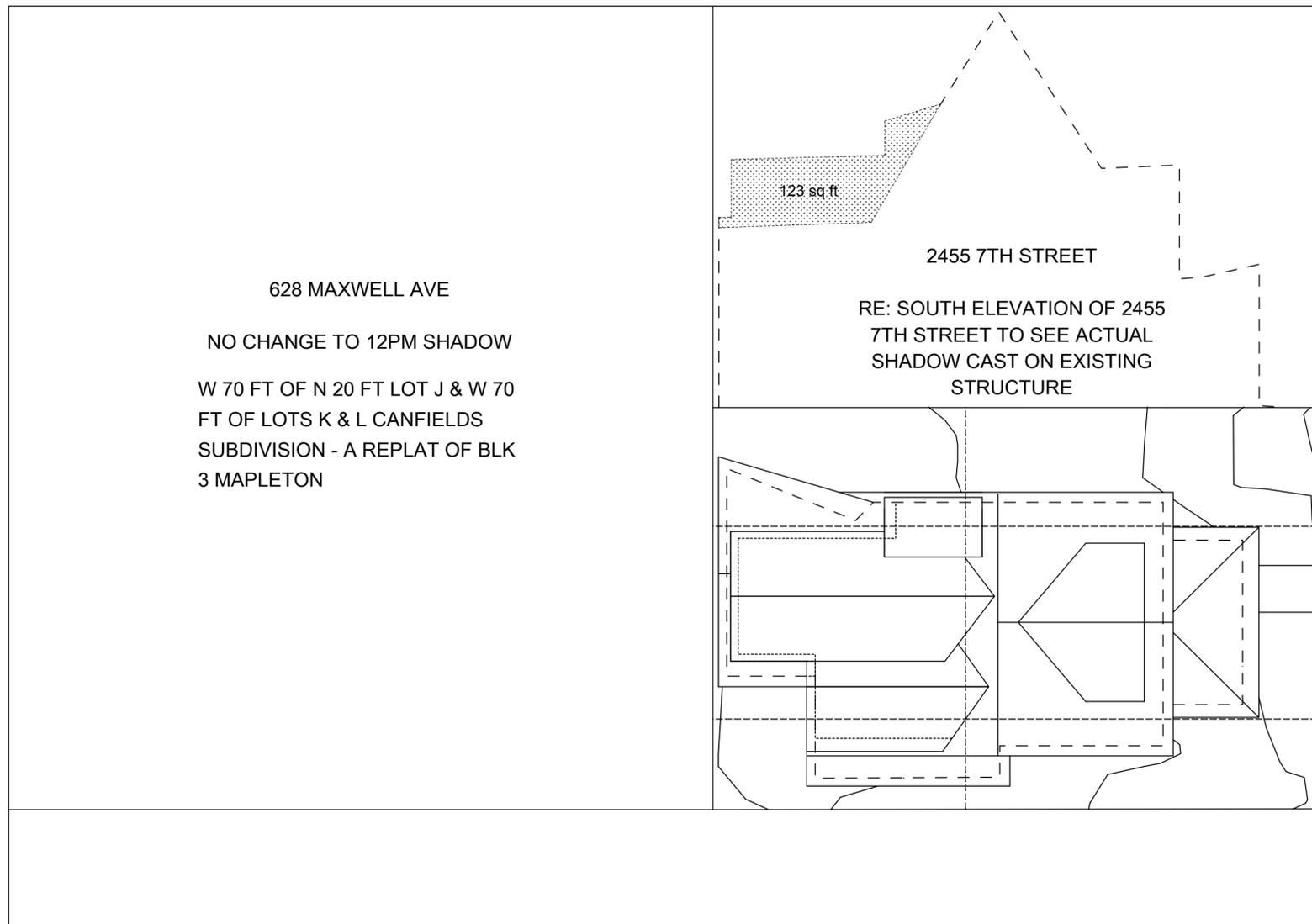
10 AM SOLAR SHADOW

1" = 10'

DAMRAUER REMODEL 4/7/2016
 2453 7TH STREET BOULDER, CO 80304
 10 AM SOLAR SHADOW
 4



2 2455 12PM SOUTH ELEVATION 1" = 10'



628 MAXWELL AVE
 NO CHANGE TO 12PM SHADOW
 W 70 FT OF N 20 FT LOT J & W 70
 FT OF LOTS K & L CANFIELDS
 SUBDIVISION - A REPLAT OF BLK
 3 MAPLETON

123 sq. ft.

2455 7TH STREET

RE: SOUTH ELEVATION OF 2455
 7TH STREET TO SEE ACTUAL
 SHADOW CAST ON EXISTING
 STRUCTURE

12 pm Affected Lot:
 2455 7th Street
 Boulder, CO
 Owner: Nini Coleman

Legal description: The East 60.00 feet of Lot L and the East 60.00 feet of the North 10.00 feet of Lot K in Canfield's, a Subdivision of a portion of Block 3, Mapleton Addition to the City of Boulder, County of Boulder, State of Colorado

Nini Coleman is familiar with the solar exception application (including actual shadow analyses) and the effect the exception would have on her lot, and has no objection to the granting of the exception. The attached letter form for Nini's approval is completed, signed, notarized, and included with this application.

2393 TOTAL LOT SF
 1237 SF EXISTING SHADOW CASTING
 123 SF OF NEW SHADOW ON UNDEVELOPED LOT
 7 SF OF NEW SHADOW CAST ON AN AREA WITH SOLAR POTENTIAL

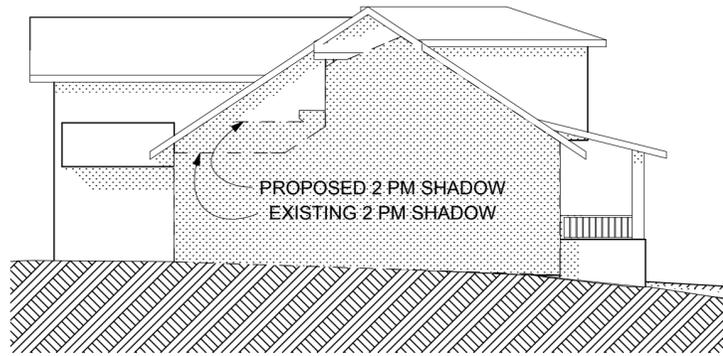
PROPOSED ADDITION WILL REDUCE THE TOTAL AMOUNT OF SOLAR ENERGY AVAILABLE ON THE UNDEVELOPED LOT BY 5.14% (A REDUCTION IN .71% AT THE SOLAR POTENTIAL ROOF LOCATION, THE OTHER 4.3% FALLS ON A LOCATION UNSUITABLE FOR SOLAR POTENTIAL)

1

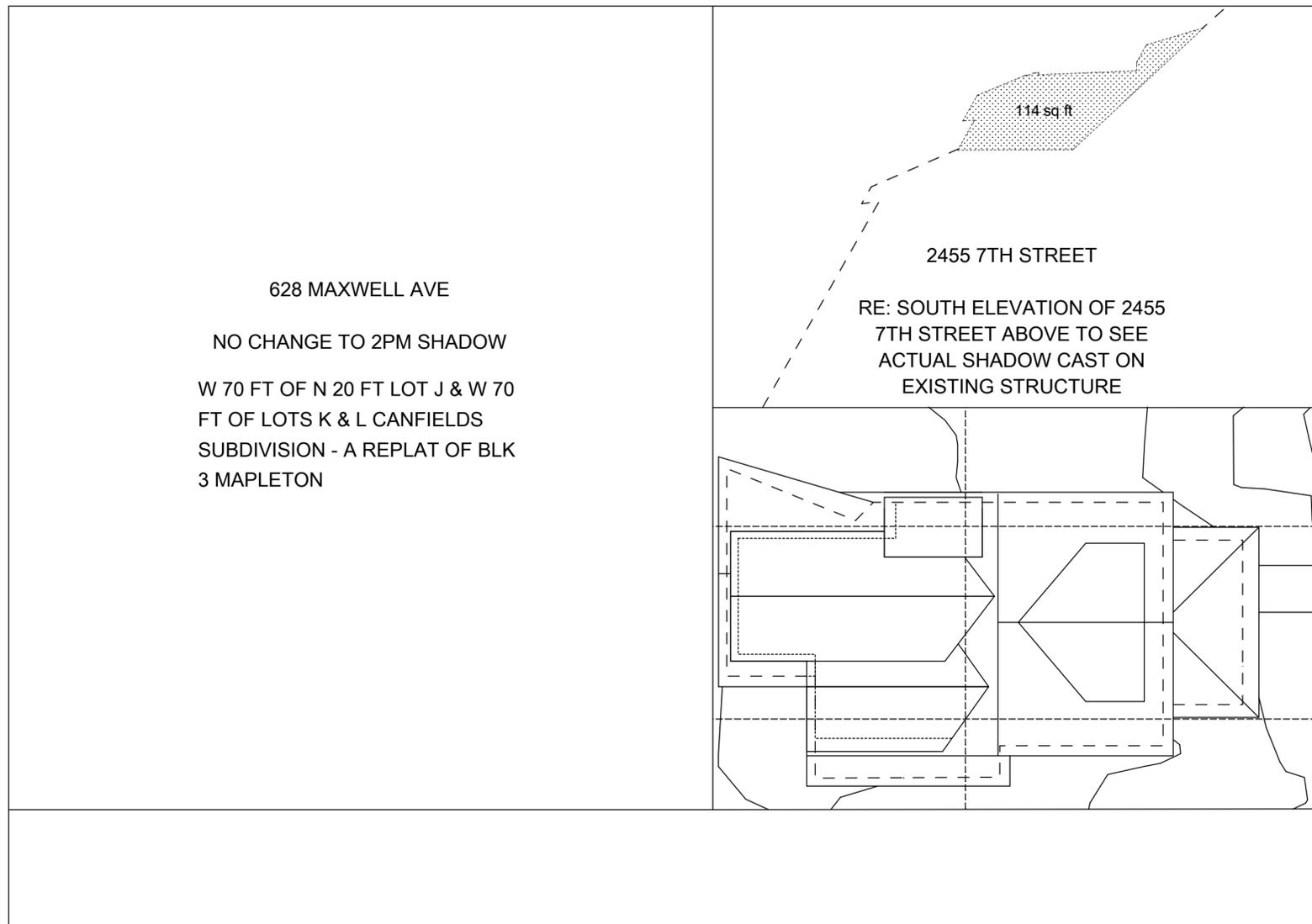
12 PM SOLAR SHADOW

1" = 10'

DAMRAUER REMODEL	4/7/2016	5
2453 7TH STREET	12 PM SOLAR	
BOULDER, CO 80304	SHADOW	



2 2455 SOUTH 2PM ELEVATION 1" = 10'



2 pm Affected Lot:

2455 7th Street
Boulder, CO

Owner: Nini Coleman

Legal description: The East 60.00 feet of Lot L and the East 60.00 feet of the North 10.00 feet of Lot K in Canfield's, a Subdivision of a portion of Block 3 Mapleton Addition to the City of Boulder, County of Boulder, State of Colorado

Nini Coleman is familiar with the solar exception application (including actual shadow analyses) and the effect the exception would have on her lot, and objection to the granting of the exception. The attached letter form for Nini approval is completed, signed, notarized, and included with this application

2393 TOTAL LOT SF

1450 SF EXISTING SHADOW CASTING

114 SF OF NEW SHADOW ON UNDEVELOPED LOT

17 SF OF NEW SHADOW CAST ON AN AREA WITH SOLAR POTENTIAL

PROPOSED ADDITION WILL REDUCE THE TOTAL AMOUNT OF SOLAR ENERGY AVAILABLE ON THE UNDEVELOPED LOT BY 4.77% (A REDUCTION OF 0.72% AT THE SOLAR POTENTIAL ROOF LOCATION, THE OTHER 4.05% FALLS ON A LOCATION UNSUITABLE FOR SOLAR POTENTIAL)

1

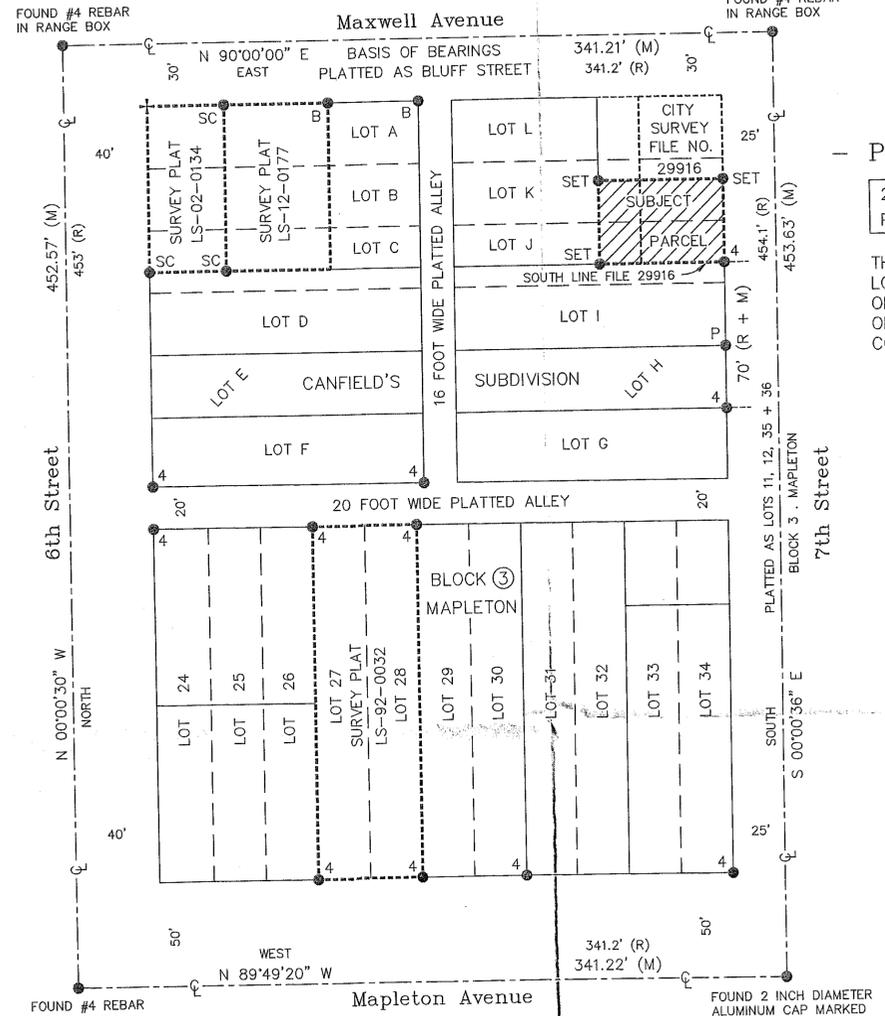
2PM SOLAR SHADOW

1" = 10'

DAMRAUER REMODEL 4/7/2016
 2453 7TH STREET
 BOULDER, CO 80304
 2 PM SOLAR SHADOW
 6

- Recorded Plat Information -
 CANFIELD'S SUBDIVISION
 PLAT BOOK 2 PAGE 118 - 28 JULY 1896
 PLAT OF MAPLETON
 PLAT BOOK 2 PAGE 71 - 21 JULY 1888

- Survey Overview -
 SCALE - 1 INCH = 40 FEET



- Improvement Survey Plat -

2453 - 7th Street . Boulder
 a portion of Lots K and J
 CANFIELD'S SUBDIVISION
 located in the southeast quarter of Section 25
 Township 1 North . Range 71 West of the 6th P.M.
 Boulder County . Colorado
 SHEET 1 OF 1 . AREA = 2394 SQUARE FEET

- Property Description -

2453 - 7TH STREET
 PROVIDED BY LAWYERS TITLE INSURANCE COMPANY

THE EAST 60.00 FEET OF THE SOUTH 20.00 FEET OF LOT K, AND THE EAST 60.00 FEET OF THE NORTH 20.00 FEET OF LOT J, IN CANFIELD'S, A SUBDIVISION OF A PORTION OF BLOCK 3, MAPLETON ADDITION TO THE CITY OF BOULDER, COUNTY OF BOULDER, STATE OF COLORADO.

- Line Table -

L1 - NORTH 00-00-36 WEST / 39.90 FEET (M) NORTH / 40 FEET (R)
L2 - NORTH 89-59-45 EAST / 60.0 FEET (M) EAST / 60 FEET (R)
L3 - SOUTH 00-00-36 EAST / 39.91 FEET (M) SOUTH / 40 FEET (R)
L4 - NORTH 90-00-00 WEST / 60.0 FEET (M) WEST / 60 FEET (R)

DEGREES-MINUTES-SECONDS / U.S. DECIMAL FEET

- Notes - (CONTINUED)

- 9) BOOK 490 PAGE 24 GRANTS A RIGHT OF WAY OVER AND ACROSS THE ENTIRE SUBJECT PARCEL FOR THE PURPOSE OF MAINTAINING, OPERATING, USING AND REPAIRING A SANITARY SEWER PIPELINE.
- 10) THE 18 INCH WIDE EAVE ON THE WEST SIDE OF THE GARAGE EXTENDS UP TO 1 INCH INTO THE AIRSPACE OF THE ADJOINING PARCEL. THE NEIGHBOR'S LANDSCAPING AT GROUND LEVEL EXTENDS TO THE WEST EDGE OF THE EXISTING GARAGE.
- 11) THE OVERHANG ATTACHED TO THE RESIDENCE AT 2455 7TH STREET EXTENDS 8 INCHES INTO THE AIRSPACE OF THE SUBJECT PARCEL. THERE IS A 0.7' EAVE ON THE SOUTH SIDE OF THE OVERHANG WHICH EXTENDS AN ADDITIONAL 0.7 FEET INTO THE AIRSPACE OF THE SUBJECT PARCEL.

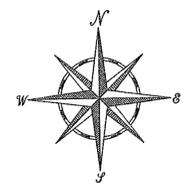
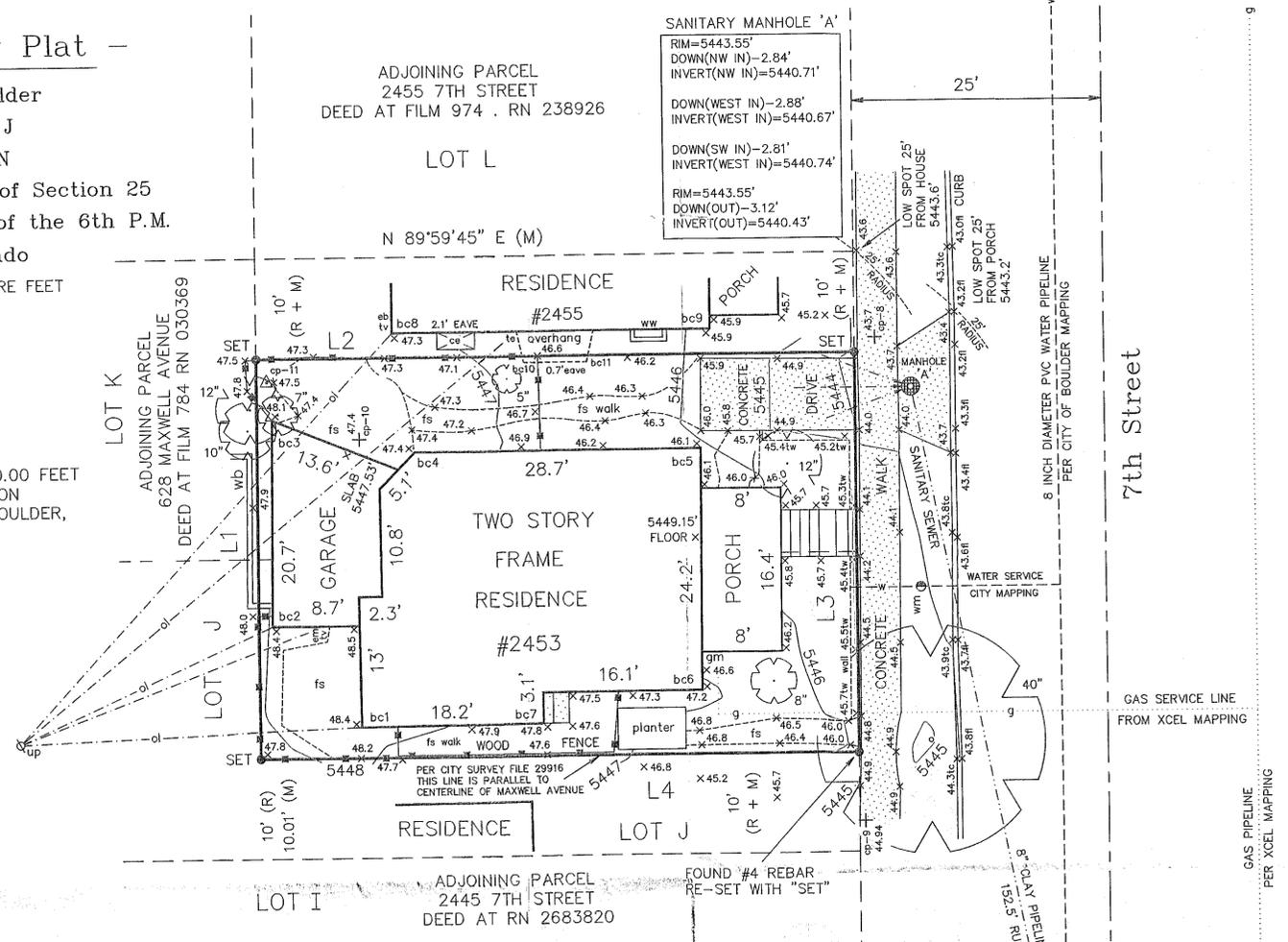
- Legend -

- WOOD BORDER . . . wb
- WOOD PLANTER . . . p
- UTILITY POLE . . . up
- FLAGSTONE . . . fs
- WATER METER . . . wm
- COVERED . . . COV
- GAS METER . . . gm
- ELECTRIC METER . . . em
- ELECTRIC BOX . . . eb
- OVERHEAD UTILITY LINES . . . ol
- TELEPHONE CONNECTION . . . te
- TELEVISION CONNECTION . . . tv
- CRAWLSPACE ENTRY . . . ce
- CENTERLINE . . . C
- CONTROL POINT . . . cp
- WINDOW WELL . . . ww

- Notes -

- 1) LAWYERS TITLE INSURANCE COMPANY CASE NUMBER 82850 WAS ENTIRELY RELIED UPON FOR EASEMENTS OF RECORD. NO EASEMENTS ARE SHOWN ON THE RECORDED PLAT.
- 2) ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
- 3) BASIS OF BEARINGS : PER RECORDED PLAT, I HELD THE BEARING NORTH 90°00'00" EAST, ALONG THE CENTERLINE OF MAXWELL AVENUE BETWEEN THE INTERSECTION SURVEY MONUMENTS SHOWN HEREON.
- 4) THE SUBJECT PARCEL CONTAINS AN AREA OF 2394 SQUARE FEET.
- 5) CONTOUR INFORMATION AND SPOT SHOT ELEVATIONS ARE SHOWN AT THE REQUEST OF THE CLIENT. BENCHMARK - ALL ELEVATIONS SHOWN ARE BASED UPON CITY OF BOULDER BENCHMARK ID# "X7-1-1" - A #4 REBAR IN A RANGE BOX IN THE INTERSECTION OF MAXWELL AVENUE AND 7TH STREET. ELEVATION = 5441.61 FEET, NAVD'88 DATUM.
- 6) UNDERGROUND UTILITY LINES ARE SHOWN PER MAPS SUPPLIED BY THE CITY OF BOULDER AND PUBLIC SERVICE COMPANY AS SUPPLEMENTED BY VISIBLE SURFACE EVIDENCE.
- 7) THE EAST FENCE IS LOCATED OFF THE PROPERTY LINE AS SHOWN. NO OTHER CONFLICTING BOUNDARY EVIDENCE WAS OBSERVED AT THIS TIME.
- 8) THIS SURVEY RETRACES A CITY SURVEY PREPARED BY POWELSON + SEELY ON 2 APRIL 1912 (CITY SURVEY FILE NO. 29916). IN ADDITION, THREE (3) OTHER SURVEYS IN THIS BLOCK WERE CONSULTED IN THE PREPARATION OF THIS SURVEY PLAT.

- SET #5 REBAR WITH 1 1/2" ALUMINUM CAP MARKED "STADELE / LS 26300" ● SET
- FOUND #4 REBAR . . . ● 4
- FOUND 3/4" PIPE . . . ● P
- FOUND #5 REBAR WITH 1 INCH DIAMETER YELLOW PLASTIC CAP SET BY SCOTT COX + ASSOCIATES COLORADO PLS 24310 ● SC
- FOUND REBAR WITH 1 1/2 INCH DIAMETER COPPER CAP SET BY DEXTER BRINKER COLORADO LS 2928 ● B
- FOUND CHISELED CROSS +
- MEASURED OR CALCULATED . . (M) BY THIS SURVEY
- RECORD OR PLATTED . . (R) MEASUREMENT



ONE (1) FOOT CONTOUR INTERVAL

- Building Corner Tie Table -

BUILDING CORNER 1 (bc1) 3.0 FEET SOUTH TO PROPERTY LINE	BUILDING CORNER 8 (bc8) 2.5 FEET SOUTH TO PROPERTY LINE
BUILDING CORNER 2 (bc2) 1 FOOT 4 INCHES WEST TO PROPERTY LINE	BUILDING CORNER 9 (bc9) 2.5 FEET SOUTH TO PROPERTY LINE
BUILDING CORNER 3 (bc3) 1.5 FEET WEST TO PROPERTY LINE	BUILDING CORNER 10 (bc10) 8 INCHES NORTH TO PROPERTY LINE *
BUILDING CORNER 4 (bc4) 9 FEET 5 INCHES NORTH TO PROPERTY LINE	BUILDING CORNER 11 (bc11) 8 INCHES NORTH TO PROPERTY LINE *
BUILDING CORNER 5 (bc5) 9 FEET 5 INCHES NORTH TO PROPERTY LINE 15.5 FEET EAST TO PROPERTY LINE	BUILDING CORNER 12 (bc12) ALL BUILDING TIES ARE PERPENDICULAR TO PROPERTY LINES - U.S. DECIMAL FEET OR U.S. FEET AND INCHES
BUILDING CORNER 6 (bc6) 15.6 FEET EAST TO PROPERTY LINE	
BUILDING CORNER 7 (bc7) 3 FEET 3 INCHES SOUTH TO PROPERTY LINE	

Surveyor's Statement

I, LEE STADELE, A DULY REGISTERED LAND SURVEYOR, LICENSED IN THE STATE OF COLORADO, HEREBY STATE FOR AND ON BEHALF OF FLAGSTAFF SURVEYING, INC., THAT A SURVEY OF THE ABOVE DESCRIBED PREMISES WAS CONDUCTED BY ME AND UNDER MY DIRECT SUPERVISION, RESPONSIBILITY AND CHECKING DURING AUGUST 2015; THAT SAID SURVEY AND THE ATTACHED PRINT HEREON WERE MADE IN SUBSTANTIAL ACCORDANCE WITH C.R.S. 38-51-102 (9) "IMPROVEMENT SURVEY PLAT". I FURTHER STATE THAT A TOPOGRAPHIC SURVEY WAS PREPARED ON THIS SITE AND THAT THE ELEVATIONS SHOWN ARE ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

- Flagstaff Surveying Inc. -

LEE STADELE
 REGISTERED PROFESSIONAL LAND SURVEYOR
 COLORADO LICENSE NUMBER 26300

TABLE MESA SHOPPING CENTER
 637 SOUTH BROADWAY . SUITE C
 BOULDER . COLORADO . 80305
 303.499.9737

17213a-1.dwg . 10 August 2015
 SHEET 1 OF 1



City of Boulder Planning and Development Services
1739 Broadway, third floor • PO Box 791 • Boulder, CO 80306
Phone: 303-441-1880 • Fax: 303-441-3241 • Web: boulderplandevop.net

BOZA VARIANCE APPLICATION

APPLICATION DEADLINE IS 4:00 P.M. ON THE THIRD WEDNESDAY OF EACH MONTH.
MEETING DATE IS 5:00 P.M. ON THE SECOND THURSDAY OF THE FOLLOWING MONTH.

Submittal of inaccurate or incomplete information will result in rejection of the application.

GENERAL DATA

(To be completed by the applicant.)

- Street Address or General Location of Property: 2770 ILLIFF ST.
- Legal Description: Lot 20 Block 4 Subdivision ROLLING HILLS (Or attach description.)
- Existing Use of Property: RESIDENTIAL

Description of proposal:
CONVERT EXISTING COVERED DECK TO LIVING SPACE. A VARIANCE WAS GRANTED IN 2000 FOR THE EXISTING DECK COVER. THERE WILL BE NO CHANGE TO THE EXISTING ROOF STRUCTURE. INFILL FRAMING AND EXTERIOR CLADDING AND WINDOWS TO BE ADDED.

*Total floor area of existing building: <u>2,556 SQ.FT.</u>	*Total floor area proposed: <u>2,774 SQ.FT.</u>
*Building coverage existing: <u>2,114 SQ.FT.</u>	*Building coverage proposed: <u>2,117 SQ.FT.</u>
*Building height existing: <u>15' 4"</u>	*Building height proposed: <u>15' 4"</u>

*See definitions in Section 9-16-1, B.R.C. 1981.

- ◆ Name of Owner: ROBERT SIEGRIST + SUE HINTZ-SIEGRIST
- Address: 2770 ILLIFF ST. Telephone: 303 543-9871
- City: BOULDER State: CO Zip Code: 80305 FAX: 303 543-9871
- ◆ Name of Contact (if other than owner): _____
- Address: _____ Telephone: _____
- City: _____ State: _____ Zip Code: _____ FAX: _____

STAFF USE ONLY

Doc. No. 00006 Date Filed 3.14.16 Zone RL-1 Hearing Date _____
 Application received by: [Signature] Date Fee Paid 3.14.16 Misc. Rect # _____

IMPROVEMENT LOCATION CERTIFICATE

BIG HORN LAND SURVEYING
LONGMONT, COLORADO

FLOOD CERTIFICATION

The herein shown property is in zone C,
minimal flood, as shown on FEMA
flood insurance rate map 080024,
dated August 4, 1988.

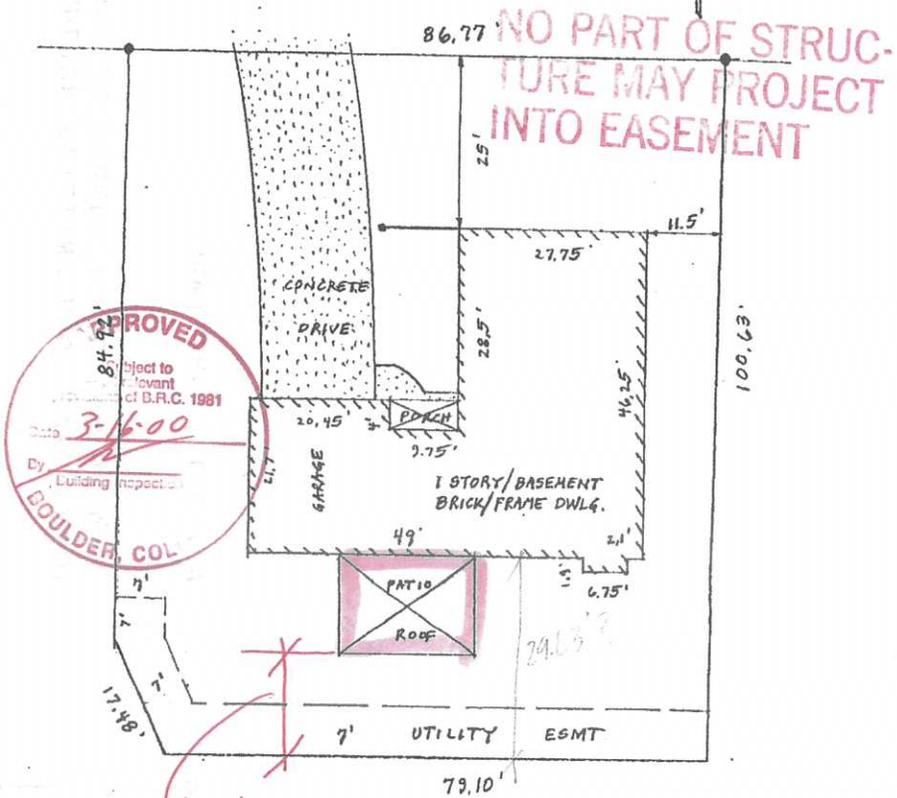
-LEGEND-

●- Found pin.

EASEMENT SOURCE

Recorded subdivision plat.

ILIFF ST.



16' min.
per variance
approval
(measured to face
of column)

Reviewed for conformance with all
Land Use Regulations and all other applicable laws.

by: GK date: 3/16/00
Zoning Administrator

I hereby certify that this improvement location certificate was prepared for
FIRSTBANK of BOULDER at GUNBARREL- Seigrist (Survey charge- 90.00).
THAT IT IS NOT A LAND SURVEY PLAT OR IMPROVEMENT SURVEY PLAT, and that it is not to be
relied upon for the establishment of fence, building, or other future improvement lines.
I further certify that the improvements on the above shown parcel on this date, July
12, 1994, except utility connections, are entirely within the boundaries of the parcel,
except as shown, that there are no encroachments upon the described premises by Improve-
ments on any adjoining premises, except as indicated, and that there is no apparent evidence
or sign of any easement crossing or burdening any part of said parcel, except as noted.

LEGAL DESCRIPTION

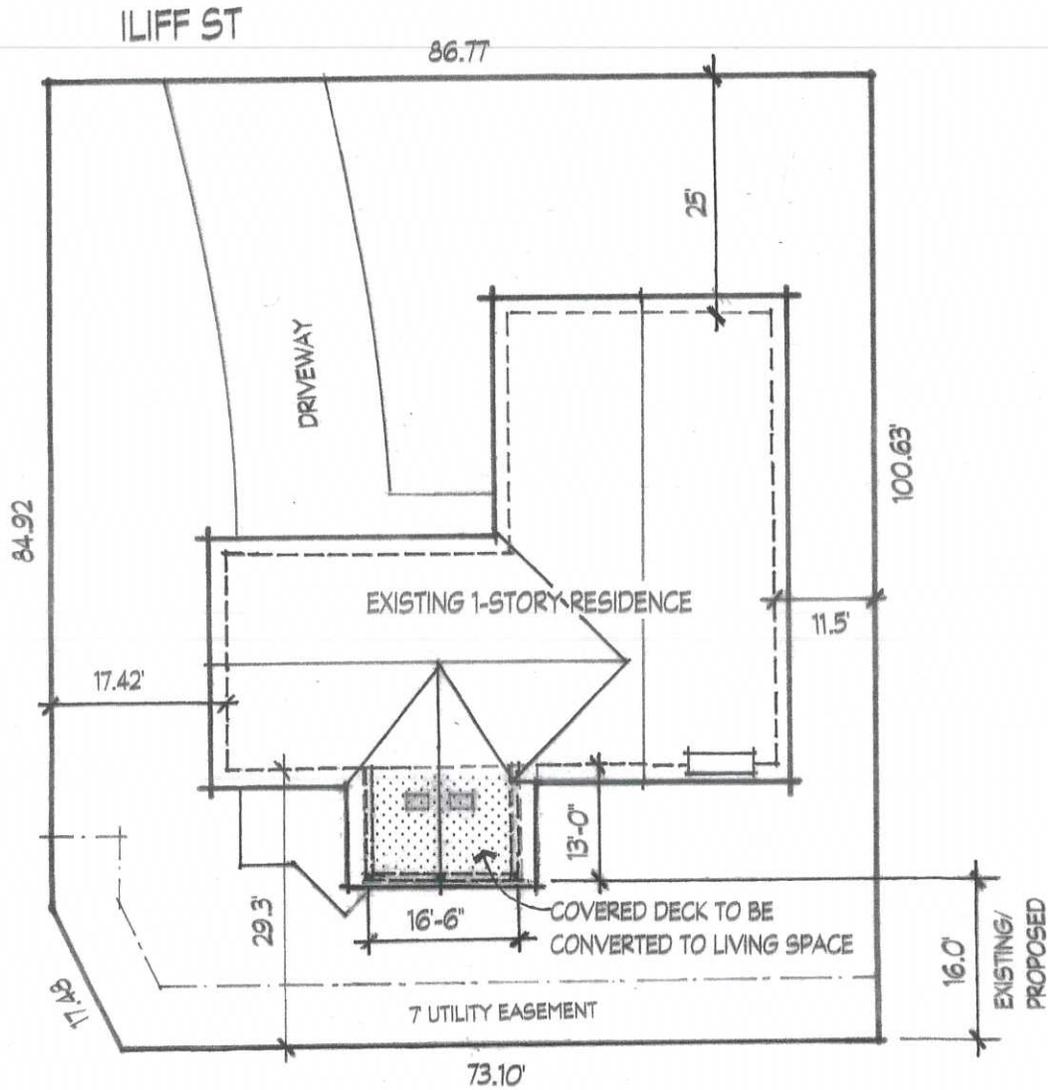
Lot 20, Block 4, ROLLING HILLS SUBDIVISION, Boulder County, Colorado.

ADDRESS- 2770 Iliff St., Boulder.
JOB NO.- 94-7-191-839
SCALE -1"= 20'

Allen L Royer
ALLEN L. ROYER L.S.# 11682



BOARD OF ZONING ADJUSTMENTS VARIANCE APPLICATION
 SIEGRIST RESIDENCE, 2770 ILIFF ST., BOULDER, CO



SITE DEVELOPMENT PLAN

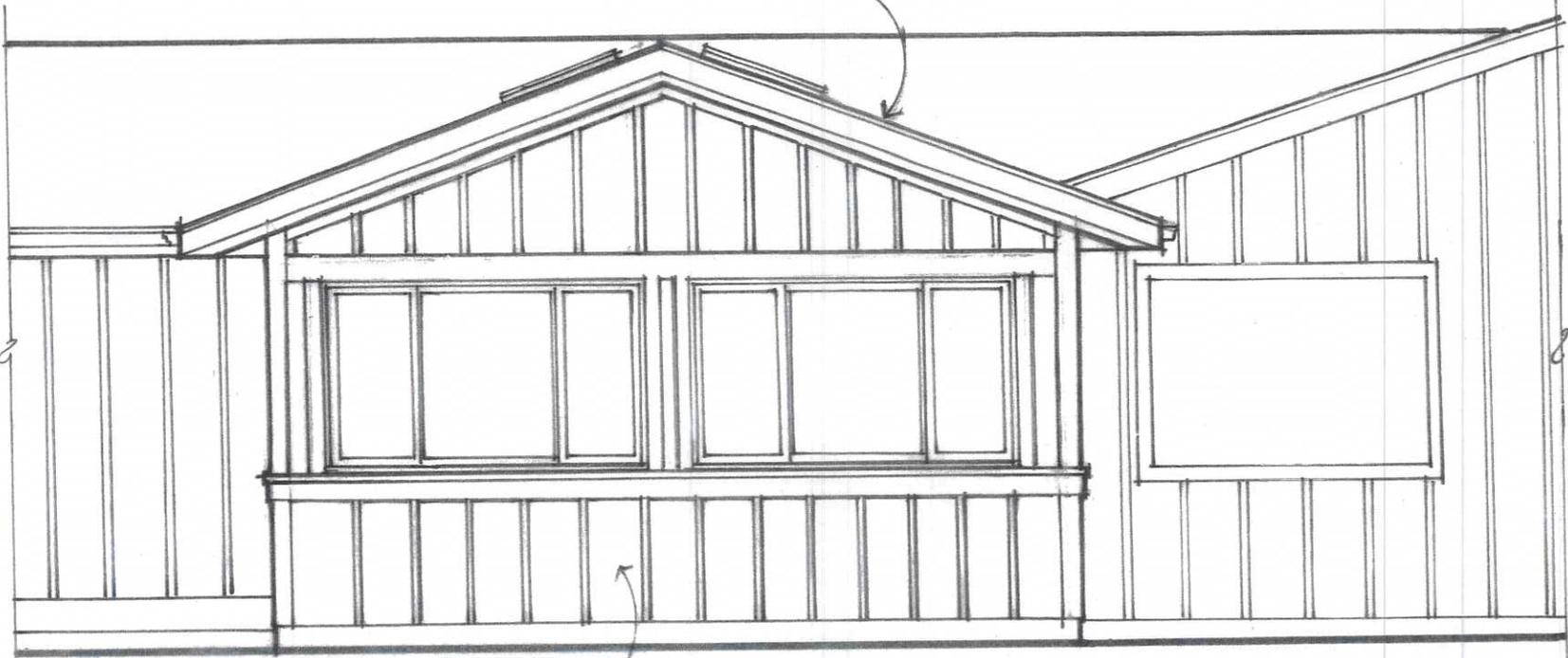
SCALE: 1" = 20'

PROPOSED CONVERSION OF COVERED DECK TO LIVING SPACE

- EXISTING ROOF STRUCTURE AND EXTERIOR FINISH TO REMAIN, EXISTING RIDGE AT 13'-4" ABOVE ADJACENT GRADE
- EXISTING STRUCTURAL POSTS TO REMAIN, WALLS TO BE INFILLED BETWEEN POSTS WITH WOOD FRAMING AND WINDOWS, EXTERIOR FINISH TO BE SIDING TO MATCH EXISTING
- EXISTING DECK SURFACE TO BE REMOVED, NEW FLOORING TO BE INSTALLED.

BOARD OF ZONING ADJUSTMENTS VARIANCE APPLICATION
SIEGRIST RESIDENCE, 2770 ILIFF ST., BOULDER, CO

EXISTING ROOF STRUCTURE AND EXTERIOR FINISH TO REMAIN



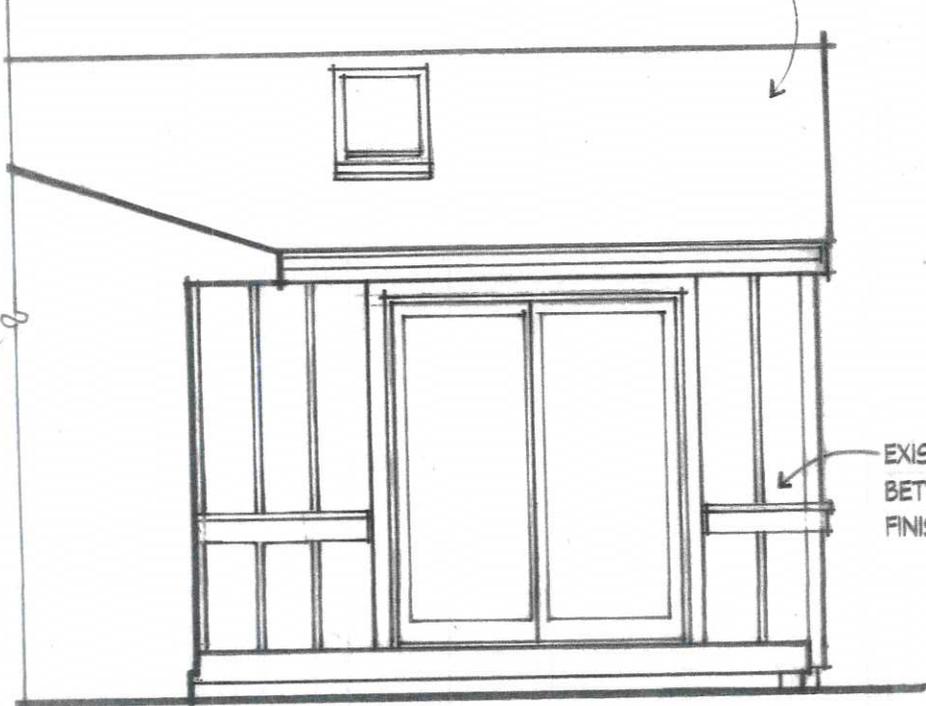
EXISTING STRUCTURAL POSTS TO REMAIN, WALLS TO BE INFILLED BETWEEN POSTS WITH WOOD FRAMING AND WINDOWS, EXTERIOR FINISH TO BE SIDING TO MATCH EXISTING

PROPOSED SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

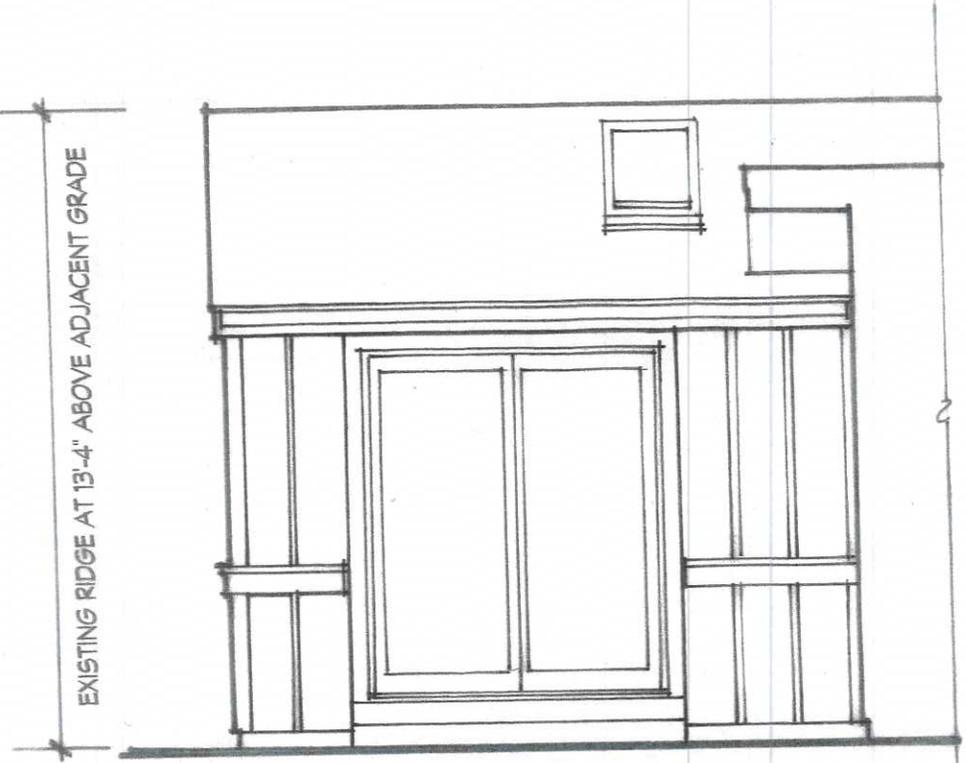
BOARD OF ZONING ADJUSTMENTS VARIANCE APPLICATION
SIEGRIST RESIDENCE, 2770 ILIFF ST., BOULDER, CO

EXISTING ROOF STRUCTURE AND EXTERIOR FINISH TO REMAIN.



PROPOSED WEST ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED EAST ELEVATION

SCALE: 1/4" = 1'-0"

EXISTING STRUCTURAL POSTS TO REMAIN, WALLS TO BE INFILLED BETWEEN POSTS WITH WOOD FRAMING AND WINDOWS, EXTERIOR FINISH TO BE SIDING TO MATCH EXISTING

SIEGRIST STATEMENT ADDRESSING THE VARIANCE CRITERIA

This request is for a variance to convert an existing covered porch to a conditioned sunroom living space at our home, which is located at 2770 Iliff Street, Boulder, Colorado 80305.

The variance is based on criteria paragraphs (1) and (5).

Our statement addressing the criteria is presented below. Several attachments are included in support of the information presented below.

Attachment A – Map of the neighborhood and our property

Attachment B – Map of our property and adjacent properties with topography

Attachment C - Birds eye view of the property

Attachment D - Photographs illustrating the views of our property from the neighboring properties.

(1) Physical Conditions of the Lot

- (A) (i) We are requesting a variance based on the relatively small size and unusual configuration of this lot in comparison to directly adjacent properties and the surrounding neighborhood (Attachment A). The lot is average in street frontage for the neighborhood, but shallow in depth, and due to the cul-de-sac access to the properties on the west, as well as side street access to the properties on the east, the front, side and rear setbacks for each adjacent lot vary. The proposed variance would still provide a separation between this residence and the adjacent residences to the south that is equal to or greater than the average in the neighborhood.

In addition, there is significant grade change across the lot (Attachment B), which complicates achieving proper drainage if construction were to occur elsewhere on the site. There was extensive flooding on the property in September 2013 resulting in damage to the finished floor area in the basement of our home. We are attempting to relocate some of the functions from the finished basement area to the main floor of the house (i.e., family room and a loom for weaving) to minimize the damage should this occur again.

- (ii) As homeowners, we have lived here for over 20 years and are approaching retirement age. We are seeking to renovate the main floor of the residence with aging-in-place and universal design concepts in mind, and want to maintain a home with major living functions on the ground floor level.

- (B) The immediately adjacent lots on the south side of Iliff Street are larger and more irregularly shaped than ours due to the cul-de-sacs and side streets (see Attachment A, B, C). Our lot is unusual since it has a similar street frontage width as most of the deeper lots in the surrounding blocks, but is considerably shallower (front to back) than average. In addition there is more grade change across the lot relative (downward from back to Iliff Street) to its size.
- (C) There is no other land area on the lot where even this modest amount of additional space we are seeking could be reasonably added due to existing drainage, grades and structure unless a variance is granted for the requested conversion of the existing covered deck to a conditioned sunroom living space.
- (D) As the current homeowners, we have made no modifications to the lot that would have created this hardship in the 22 years we have owned it. The footprint and building coverage have not changed since the property was originally constructed. We were granted a variance in 2000 for the replacement of an existing shed roof over a concrete patio with the gabled roof that currently exists (the new porch roofline was modified in terms of its attachment to the main house roof and orientation and pitch to enable proper drainage). The previous shed roof had also been granted a variance for its original construction.

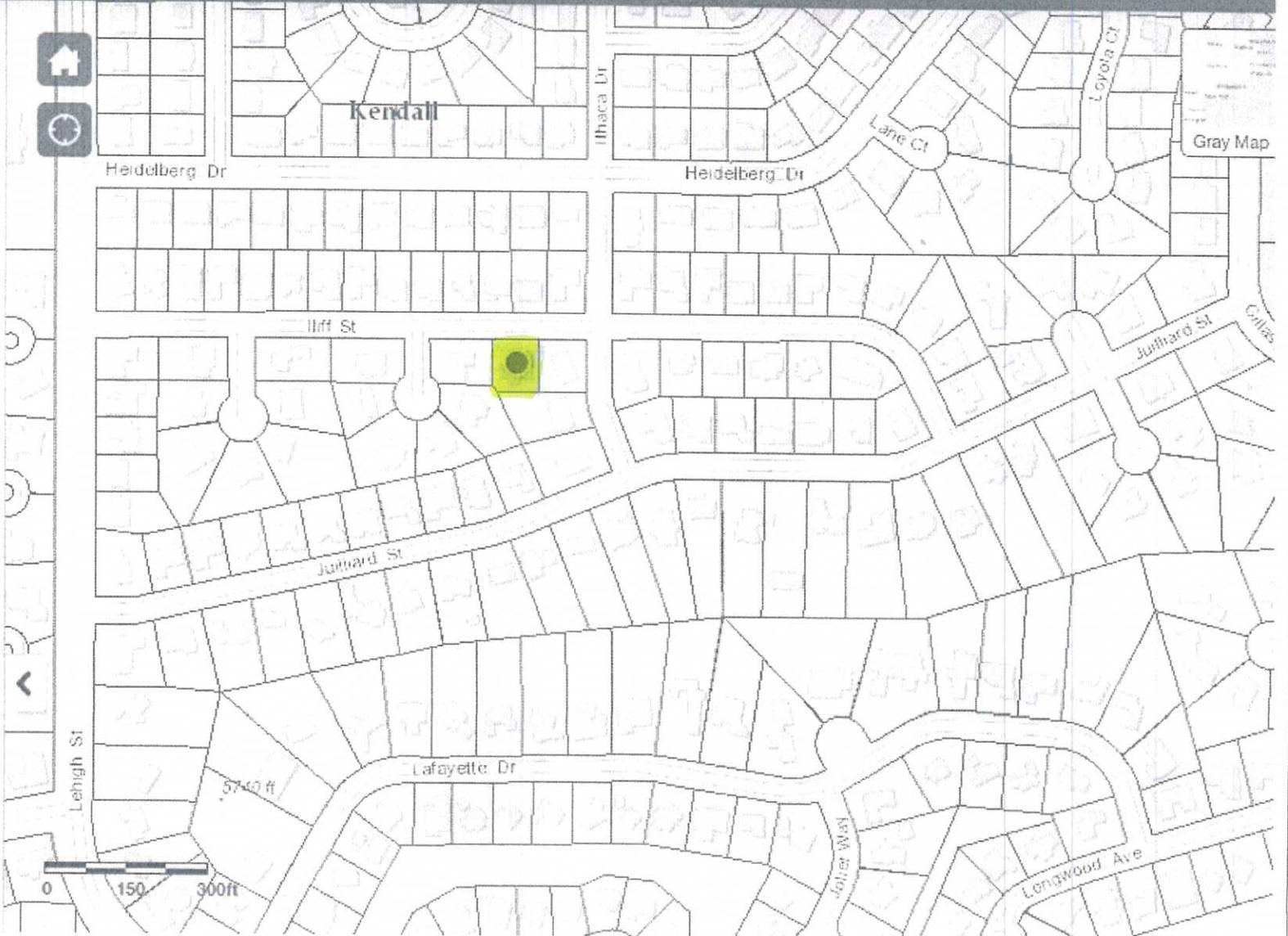
(5) Requirements for all Variance Approvals

- (A) There is nothing in the proposed conversion of the existing covered deck to a sunroom living space that will alter the character of the our home or make it out of line with the character of the neighboring houses and neighborhood (Attachment D). The conversion will keep the existing roof structure as it currently exists. The covered deck is not visible from the street, and because the two residences on the lots to the south sit at a higher elevation, their views will be unchanged as their sightline from that side looks down at our roof.
- (B) The conversion of our covered deck to a sunroom living space definitely will not affect the adjacent properties. There will be no change to neighbors in terms of solar access, views, sound transmission, or enjoyment or development of their properties. In addition, we have spoken with our adjacent neighbors and they are pleased with our proposed plan for a sunroom and have no objections.

- (C) This would be the minimum variance that would afford relief and would be the least modification of the applicable provisions of this variance. We are not increasing the building coverage footprint because we are converting an existing structure. We have thoroughly explored other ways to accomplish the same goals. Other options would have a much greater impact on the aesthetics of our lot and the adjacent properties (we would have to remove two mature trees), and would be less efficient and create a larger carbon footprint by building unneeded square footage (i.e., adding a second floor to the existing single story residence). The proposed conversion of a covered deck space to a conditioned sunroom space is the best option for us because we are using a structure that already exists and we are not adding to the current footprint.
- (D) The proposed conversion does not cast a shadow beyond what is allowed for a 12' solar fence as required.

CITY OF BOULDER COLORADO eMapLink 2770 ILIFF ST - Address Print | Share | Help | Maps | Contact

- Legend** **More**
- Click on map features for additional information
- Address Points
 - + City Trees
 - + Creeks and Ditches
 - + Blueline - Approximate
 - + Contours 1ft NAVD88 2C
 - [X] Airport Influence Zones
 - [X] Boulder Valley Regional
 - + Improvement Districts
 - + Local Historical District
 - [Dashed] City Limits
 - [White] Parcels
 - + Wetlands
 - [Dark Gray] Development Under Re
 - + Geologic Development
 - + Annexation History
 - + Zoning
 - [Light Gray] Schools
 - + Future Land Use
 - [Light Gray] Subcommunities



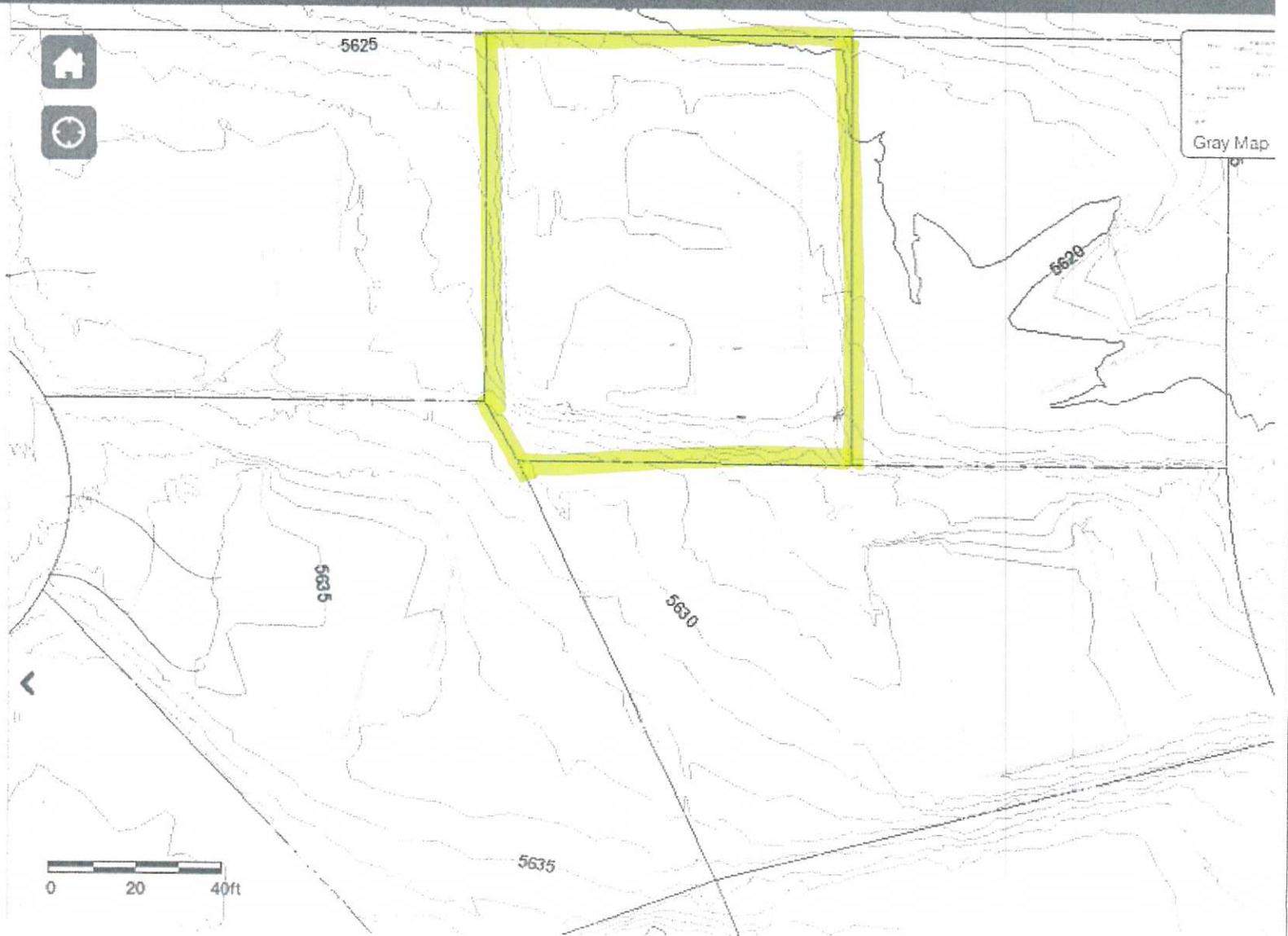
ATTACHMENT A

Legend

More

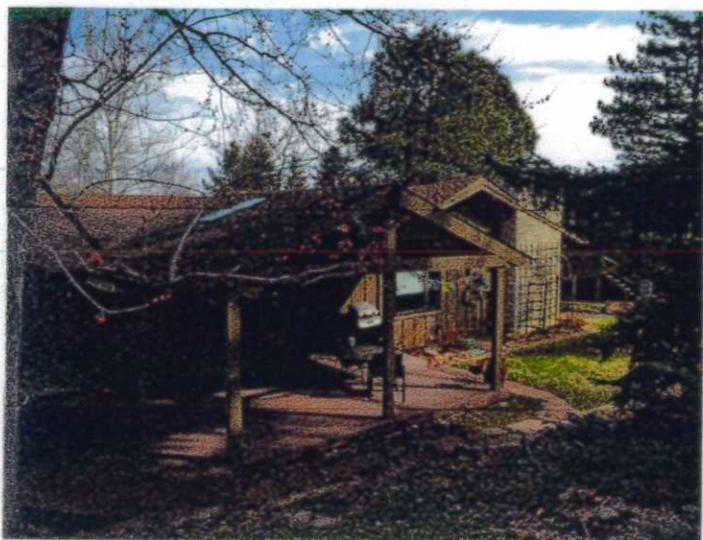
Click on map features for additional information

- Address Points
- + City Trees
- + Creeks and Ditches
- + Blueline - Approximate
- Contours 1ft NAVD88 2C
 - 1ft interval
 - 5ft interval
 - 10ft interval
 - 20ft interval
 - 50ft interval
 - 100ft interval
 - 500ft interval
- Airport Influence Zones
- Boulder Valley Regional
- + Improvement Districts
- + Local Historical District
- City Limits
- Parcels
- + Wetlands

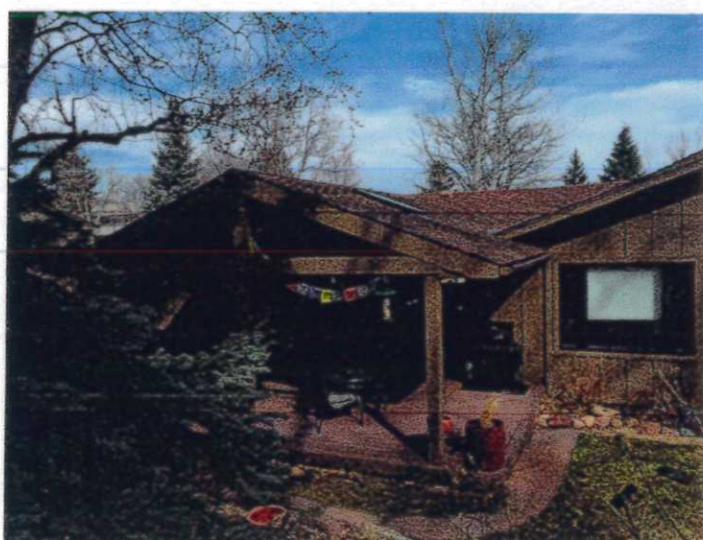


ATTACHMENT B





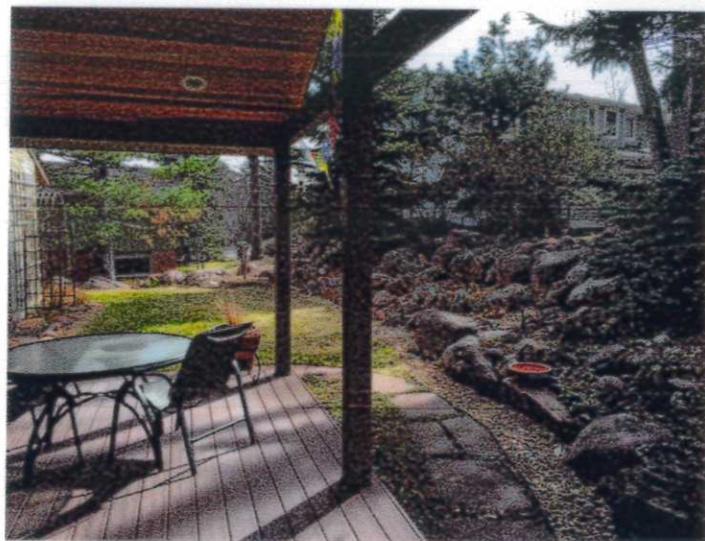
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IMG_0183

CITY OF BOULDER
BOARD OF ZONING ADJUSTMENT
ACTION MINUTES
March 10, 2016, 5 p.m.
1777 Broadway, Council Chambers

Board Members Present: Michael Hirsch (Chair), David Schafer (V. Chair),
Jill Grano

Board Members Absent: Ellen McCready

City Attorney Representing Board: Erin Poe

Staff Members Present: Robbie Wyler, Cindy Spence

1. CALL TO ORDER:

M. Hirsch called the meeting to order at 5:04 p.m.

2. BOARD HEARINGS:

A. Docket No.: BOZ2016-01

Address: 403 Cleveland Place

Applicant: Katherine Pattersen

Setback Variance: As part of a proposal to construct a new single-car detached garage, the applicant is requesting a variance to the side adjacent to street (south) setback. The resulting setback will be approximately 2 feet where 25 feet is required and where no structure exists today. Section of the Land Use Code to be modified: Section 9-7-1, BRC 1981.

Staff Presentation

R. Wyler presented the item to the board.

Board Questions:

R. Wyler answered questions from the Board.

Public Hearing

No one from the public addressed the board.

Board Discussion

- The board agreed that no other possible locations to construct a new single-car detached garage existed on the property due in part to the topography of the lot.

Motion

On a motion by **J. Grano**, seconded by **D. Schafer**, the Board of Zoning Adjustment approved 3-0, (**E. McCready** absent) the application (**Docket 2016-01**) as submitted.

B. Docket No.: BOZ2016-02

Address: 3111 3rd Street

Applicant: Jack & Marilyn Turken

Setback Variance: As part of a proposal to modify an existing non-standard A-frame house, the applicant is requesting a variance to the front (east) yard setback. The resulting setback will be approximately 5.5 feet where 25 feet is required and where 6 feet exists today. Section of the Land Use Code to be modified: Section 9-7-1, BRC 1981.

Staff Presentation

R. Wyler presented the item to the board.

Applicant's Presentation

Nicholas Fiore and **Jane Snyder**, with Mosaic Architects, representing the owners, presented the item to the board.

Public Hearing

1. **Bob Parker** spoke in support of the project.
2. **Pete Burris** spoke in opposition of the project.

Board Questions:

R. Wyler, Nicholas Fiore and **Jane Snyder** answered questions from the Board.

Board Discussion

- **D. Schafer** stated that he did not see how an additional six inches into the setback would negatively impact the neighborhood and line of sight. He added that the requested setback variance would help the existing homeowners and offer minimal relief.
- **M. Hirsch** agreed and stated that the variance would offer more functionality and that the site triangle would be improved for the Burris' home. He stated that he did not have any issue with the window wells and that the overall plan would be a good improvement for the livability of the space.
- **J. Grano** made an observation that other homes on 3rd Street were built up to the property lines. She appreciated that the owners wanted to keep the "A" frame and age in-place. She agreed with the other board members' comments.
- **M. Hirsch** stated that the board is taking the neighbors' comments under consideration.

Motion

On a motion by **D. Schafer**, seconded by **M. Hirsch**, the Board of Zoning Adjustment approved 3-0, (**E. McCready** absent) the application (**Docket 2016-01**) as submitted.

C. Docket No.: BOZ2016-03

Address: 2303 Bluff Street

Applicant: Madeline Vogenthaler & Pete Hoglund

Setback Variance: As part of a proposal to construct a new portico on the north side of the existing non-standard landmarked house as well as modify an existing non-standard wall on the west side of the house as part of a garage conversion to living space, the applicant is requesting a variance to both the rear (north) yard setback and side adjacent to street (west) yard setback. The resulting rear yard setback will be approximately 18.83 feet where 25 feet is required and where approximately 20 feet exists today. The resulting side adjacent to street setback will be approximately 9 feet where 25 feet is required and where 9 feet exists today. Section of the Lane Use Code to be modified: Section 9-7-1, BRC 1981.

- **J. Grano** disclosed that she owns property within 300 feet of 2303 Bluff Street and received official notice of the BOZA meeting.
- **E. Poe** informed the board that **J. Grano** would need to recuse herself as the proximity of her property creates a conflict. Since the current members present are only three, the voting members would be reduced to two members which would not be a full quorum. It was determined that this docket item would need to be continued to the April 14, 2016 BOZA meeting when a full quorum could be possible.
- **R. Wyler** informed the applicant that until the item was formally heard by BOZA, only internal work could be performed through the issuance of a permit. All outside new construction would need a variance before it could be approved; therefore outside work could not be permitted. He stated that he could assist with coordination of a permit, but he could not approve a permit. He suggested doing a phased permit.

Motion

On a motion by **D. Schafer**, seconded by **J. Grano**, the Board of Zoning Adjustment moved to continue 3-0 (**E. McCready** absent) the application (**Docket 2016-01**) as submitted.

3. GENERAL DISCUSSION:

A. Approval of Minutes:

On a motion by **D. Schafer**, seconded by **M. Hirsch**, the Board of Zoning Adjustments voted 3-0 (**E. McCready** absent) to approve the November 12, 2015 minutes.

B. Matters from the Board

- **D. Schafer** informed the board that he may have a conflict with the May 12, 2016 BOZA meeting.

C. Matters from the City Attorney

- There were no matters from the City Attorney.

D. Matters from Planning and Development Services

- **R. Wyler** informed the board that Board & Commissions is actively interviewing potential board members for the vacant BOZA seats. In order to become a full board of five, two vacant seats would need to be filled.

4. ADJOURNMENT:

There being no further business to come before the board at this time, BY MOTION REGULARLY ADOPTED, THE MEETING WAS ADJOURNED AT 6:30 P.M

APPROVED BY

Board Chair

DATE

DRAFT