

# MEMORANDUM

May 6, 2015

**TO:** Landmarks Board

**FROM:** Lesli Ellis, Comprehensive Planning Manager  
Debra Kalish, Senior Assistant City Attorney  
James Hewat, Senior Historic Preservation Planner  
Marcy Cameron, Historic Preservation Planner  
Angela Smelker, Historic Preservation Intern

**SUBJECT:** Public hearing and consideration of a Landmark Alteration Certificate to remove a second-story gambrel roof at the rear addition and in its place to construct a 529 sq. ft. second story on the contributing house at 801 Maxwell Ave. in the Mapleton Hill Historic District pursuant to Section 9-11-18 of the Boulder Revised Code 1981 (HIS2015-00080).

## STATISTICS:

1. Site: 801 Maxwell Ave.
2. Zoning: RL-1 (Residential-Low 1)
3. Lot size: 6,968 sq. ft.
4. Building Size: 2,359 sq. ft.
5. Proposed new square footage: 243 sq. ft.
6. Applicant: Kristin Lewis
7. Owner: Susan & Michael Shepard
8. Date of Construction: 1902

## STAFF RECOMMENDATION:

If the applicant complies with the conditions listed below, staff considers the proposed restoration of the main house, construction of an addition to the house, and demolition of the existing garage on property to make way for a new smaller garage to be generally consistent with the conditions specified in Section 9-11-18, B.R.C. 1981, the *General Design Guidelines*, and the *Mapleton Hill Design Guidelines*. Staff recommends that the Landmarks Board adopt the following motion:

*I move that the Landmarks Board adopt the staff memorandum dated May 6, 2015, as the findings of the board and approve a Landmark Alteration Certificate for the proposed removal of the second story addition and construction of a new second story addition as shown on plans dated May 6, 2015, finding that they generally meet the standards for issuance of a Landmark Alteration Certificate in Section 9-11-18, B.R.C. 1981, subject to the following conditions:*

#### **CONDITIONS OF APPROVAL**

1. The applicant shall be responsible for constructing the house and garage in compliance with the approved plans dated May 6, 2015, except as modified by these conditions of approval.
2. Prior to submitting a building permit application and final issuance of a Landmark Alteration Certificate, the applicant shall submit design details to the Landmarks design review committee (Ldrc) including: window and door details, wall material details, siding material details, paint colors, roofing material details and details regarding any hardscaping on the property to ensure that the approval is consistent with the *General Design Guidelines* and the *Mapleton Hill Historic District Guidelines* and the intent of this approval.

This recommendation is based upon staff's opinion that the modification of the roof form of a contributing building will be inconsistent with Section 9-11-18, Boulder Revised Code 1981, the *Mapleton Hill Historic District Design Guidelines* and the *General Design Guidelines*.

#### **SUMMARY:**

- On Mar. 25, 2015, the applicant submitted a completed Landmark Alteration Certificate to construct a second level addition that would require the replacement of an existing gambrel roof to the contributing house at 801 Maxwell Ave.
- Because of the unusual configuration of a gambrel roof addition at the rear of Four-Square house, the proposal was forward to the full Landmarks Board for its consideration.
- Constructed in 1902 and within the identified 1865-1946 period of significance for the Mapleton Hill Historic District, the house retains a high level of historic integrity to this period. Staff considers the house should be considered contributing to the Mapleton Hill Historic District.

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- Staff finds that removal of the rear gambrel roof and construction of a new second story addition at the rear of the house would not adversely affect the special character and historic, architectural, or aesthetic interest or value of the property or the district as a whole and is significantly consistent the *General Design Guidelines* and the *Mapleton Hill Historic District Design Guidelines*.
- Staff recommends that prior to submitting a building permit application and final issuance of a Landmark Alteration Certificate, the applicant shall submit design details to the Landmarks design review committee (Ldrc) for review and approval.

**PROPERTY DESCRIPTION:**



*Figure 1. 801 Maxwell Ave. Tax Assessor Card photograph, c.1949  
Photograph Courtesy the Carnegie Branch Library for Local History.*

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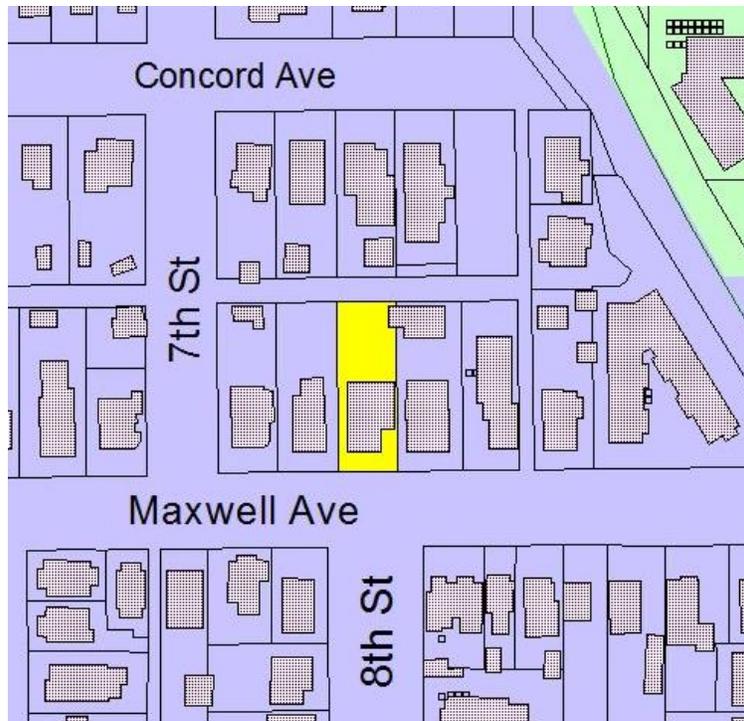


Figure 2. Location map, 801 Maxwell Ave.

The property at 801 Maxwell Ave. is located on the north side of Maxwell Avenue, between 7<sup>th</sup> and 8<sup>th</sup> Streets. An alley runs along the north side of the property. The lot is 6,968 square feet.



Figure 3. View of south elevation (façade), 2015.

The two-story wood frame house was constructed in 1902 and is an example of Four-Square design common in Colorado and around the United States at the turn-of-the twentieth century. It features a hipped roof with widely overhanging eaves, a full-width front porch supported by Doric Order columns double-hung sash and a centrally located ornate second-story window. A bay window is located on the west side and a stuccoed stone chimney is near the rear of the house.

A wood frame gable roofed garage is situated at the north east corner of the property. Three vertical board side-hinged doors face the alley, and a pedestrian door is located on the west elevation. The Historic Building Inventory Record indicated the accessory building was constructed pre-1931.

An unusual feature of the house is a gambrel roof addition at the rear of the house which intersects with the north wall of the Four-Square house. While the exact date of construction of the gambrel addition is unclear, it appears it was built sometime in the 1920s, though maybe earlier. In 2000, a one-story addition was built onto the gambrel roof addition.

#### **PROPERTY HISTORY:**

Deed research shows that Chester B. and Ida Ashcraft owned the property from 1902 to 1954. Chester was born in 1867 in New York and taught school in Illinois. In 1897, he married Ida Stevenson, a dressmaker from Illinois. The couple moved to Boulder in 1901, and Chester came to be known as a well known Boulder contractor, designer, and cabinet worker. They had five children: Eva Belle, Alice, Robert, Edith, and Dorothy. Chester and Ida both died of old age in 1954. Given Chester Ashcraft's background as a contractor, the 1996 Historic Building Inventory Record suggests that 801 Maxwell Avenue may have been designed and built by him.

The house at 801 Maxwell Ave. passed to Dorothy and Myron Chesebro in 1954. One of Chester and Ida's daughters were named Dorothy, so it is possible that Dorothy Ashcraft married Myron Chesebro and they lived in the house after Dorothy's parents died. Susan and Michael Shepard have owned the home since 1993.

#### **PAST ALTERATIONS:**

Sanborn maps show that the house has always been two-stories, excluding the two porches located on the first levels. On the 1906 Sanborn maps, two lines near the rear of the house suggest that this section consisted of a different roof form

than the hipped box on the front portion of the house. This delineation disappears on the 1931 Sanborn map, suggesting that either the second story might have been modified, or that there was no need to mark this change in roof form for insurance purposes.

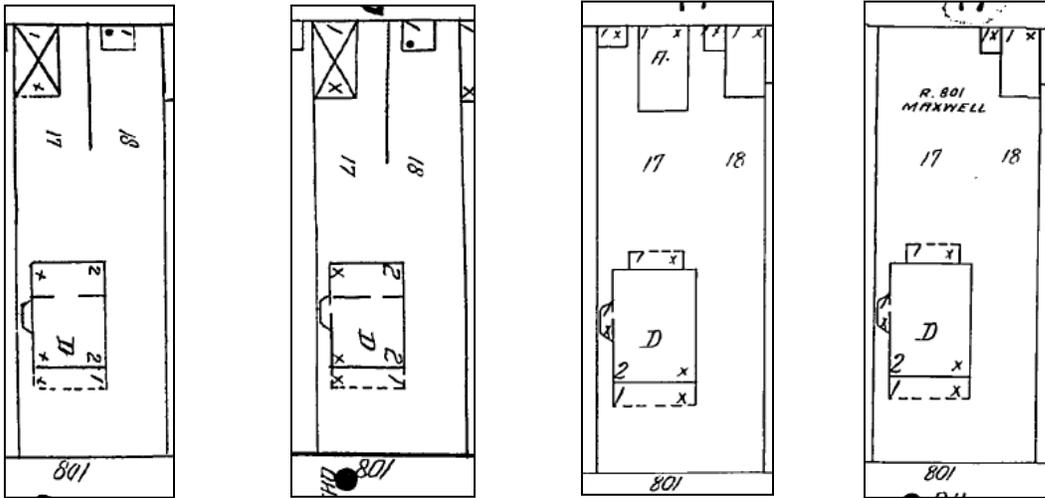


Figure 4. Sanborn Maps L-R: 1906, 1922, 1931, and 1931-1960. Both the rear porch and existing accessory building were constructed between 1922 and 1931.



Figure 5. 1922 Sanborn Map (left) and 2013 aerial view of 801 Maxwell Ave. Red outlined area depicts the Gambrel roof section of the house.

In 2000, the current owners carried out a first floor addition that extended from the east elevation of the house.

The 1995 Accessory Building Survey identifies the building as a contributing resource to the Mapleton Hill Historic District, stating that it “represents Ashcraft’s work as a house designer and builder. This house is a well-preserved example of the Four-Square form of residential design, popular in Colorado during the early twentieth century.”

**PROPOSED ALTERATION:**

Alterations to 801 Maxwell Ave. include the construction of a second level addition that will extend from the North elevation (rear) of the existing house. This will require the replacement of an existing gambrel roof structure.



*Figure 6. View of north elevation (rear), 2015.*

A proposed site plan of the second level shows the removal of the 286 sq. ft. Gambrel roof section replaced with an addition that will add an additional 243 sq. ft. to make the house 2,602 sq. ft. The garage is 220 sq. ft. With the proposed addition, the floor area on the property will be approximately 2,822 sq. ft. The maximum allowed in this Residential Low-1 (RL-1 zoned district is 3,494 sq. ft. The proposed alterations will not expand beyond the existing footprint of the house.

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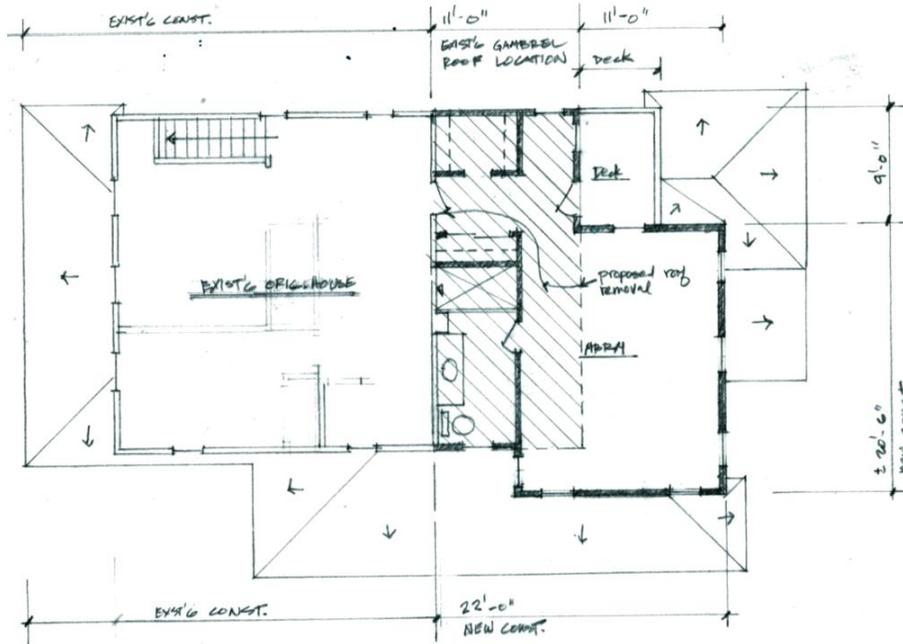


Figure 7. Proposed second level addition, 2015.

The fenestration of the first level of the north (rear) elevation are shown to be left intact with the second story to feature a clipped hip roof and to be fenestrated with one over one, double-hung windows and a small balcony at the west side shown to be accessed by a single door on north face of the original house.

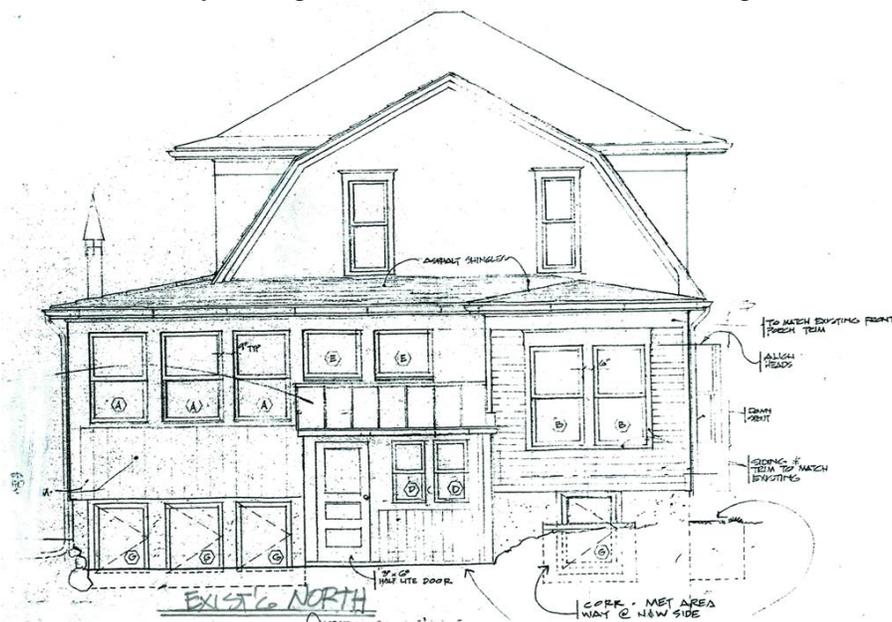
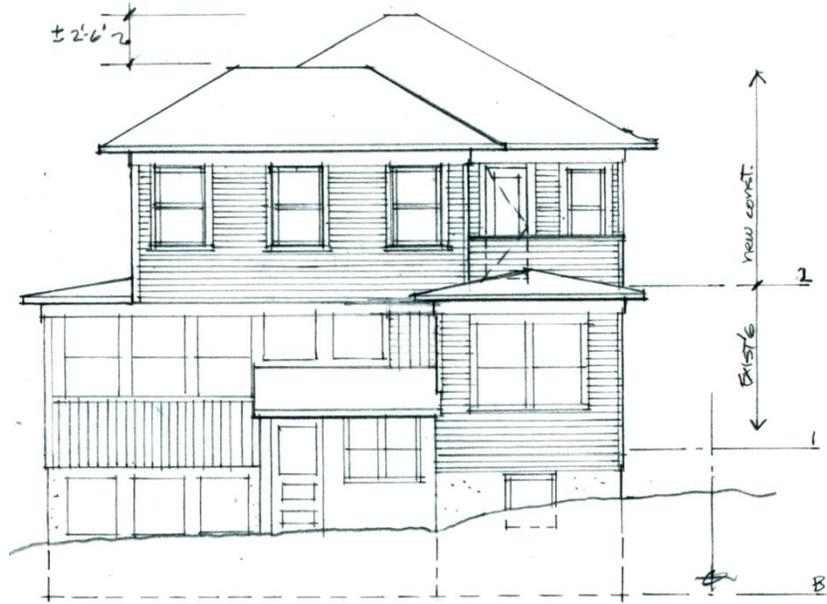


Figure 8. Existing north elevation, 2015



*Figure 9. Proposed north elevation, 2015*

The proposed addition is shown to extend approximately 4 ft. east from the east wall of the Four-Square portion of the house. This new wall is shown to feature a tow over two, double-hung window and will have some visibility from Maxwell Avenue.



*Figure 10. Existing south elevation (façade), 2015*



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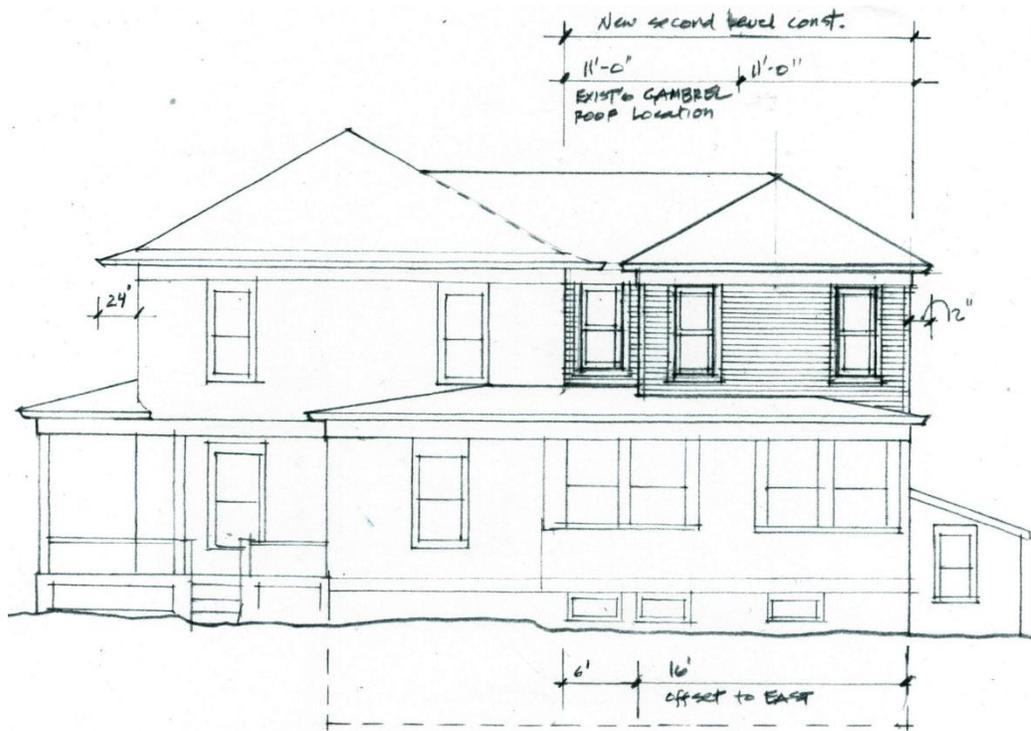


Figure 13. Proposed east elevation, 2015



Figure 14. South and east elevations, 2015

The proposed west elevation shows the new second story to be fenestrated with two, double-hung windows and a balcony that will have some visibility from

Maxwell Avenue when viewed from the south west. Plans show the entire addition to be sheathed in narrow wood clapboard siding. No details were provided for proposed windows, doors and roofing.



Figure 15. Existing west elevation, 2015



Figure 16. Proposed west elevation, 2015



*Figure 17. West elevation, 2015.*

### **CRITERIA FOR THE BOARD'S DECISION**

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Subsections 9-11-18(b) and (c), B.R.C. 1981, set forth the standards the Landmarks Board must apply when reviewing a request for a Landmark Alteration Certificate.

- (b) Neither the Landmarks Board nor the City Council shall approve a Landmark Alteration Certificate unless it meets the following conditions:
- (1) The proposed work preserves, enhances, or restores and does not damage or destroy the exterior architectural features of the landmark or the subject property within an historic district;
  - (2) The proposed work does not adversely affect the special character or special historic, architectural, or aesthetic interest or value of the landmark and its site or the district;
  - (3) The architectural style, arrangement, texture, color, arrangement of color, and materials used on existing and proposed constructions are compatible with the character of the existing landmark and its

- site or the historic district;
- (4) With respect to a proposal to demolish a building in an historic district, the proposed new construction to replace the building meets the requirements of paragraphs (b)(2) and (3) above.
- (c) In determining whether to approve a landmark alteration certificate, the Landmarks Board shall consider the economic feasibility of alternatives, incorporation of energy-efficient design, and enhanced access for the disabled.

## DESIGN GUIDELINE ANALYSIS

*1. Does the proposed application preserve, enhance, or restore, and not damage or destroy the exterior architectural features of the landmark or the subject property within a historic district?*

The house was constructed in 1902, within the period of significance for the Mapleton Hill Historic District. Although somewhat altered, the building does retain its original form, massing, scale, and materiality and should be considered contributing to the Mapleton Hill Historic District.

The existence of a gambrel roof addition on a Four-Square house is unusual and likely unique to the Mapleton Historic District. However, given its diminutive scale comprising less than 300 sq. ft. of floor area and location at the rear of the house, staff considers it is not an important character defining feature of this property and that its removal to make way for a larger rear addition will not damage or destroy the features of the property and is appropriate.

*2. Does the proposed application adversely affect the special character or special historic, architectural, or aesthetic interest or value of the district?*

Staff finds that removal of the rear gambrel roof and construction of a new second story addition at the rear of the house would not adversely affect the special character and historic, architectural, or aesthetic interest or value of the property and district as a whole. Staff considers the proposal is significantly consistent with the *General Design Guidelines* and the *Mapleton Hill Historic District Design Guidelines* treatment of contributing buildings in terms of mass, scale, height, design and color (see Design Guidelines Analysis section).

*3. Is the architectural style, arrangement, texture, color, arrangement of color, and materials used on existing and proposed structures compatible with the character of the historic district?*

Staff finds that the proposed removal of the gambrel roof and construction of a new second-story addition is compatible with the character of the historic district and consistent with the *General Design Guidelines* and the *Mapleton Hill Historic District Design Guidelines*.

4. Does the proposal to demolish the building within the Mapleton Hill Historic District and the proposed new construction to replace the proposed demolished building meet the requirements of paragraphs 9-11-18(b)(2), 9-11-18(b)(3) and 9-11-18(b)(4) of this section?

N/A

**ANALYSIS:**

The Historic Preservation Ordinance sets forth the standards the Landmarks Board must apply when reviewing a request for a Landmark Alteration Certificate. The Board has adopted the *General Design Guidelines* to help interpret the Historic Preservation Ordinance. The following is an analysis of the proposed new construction with respect to relevant guidelines. Design guidelines are intended to be used as an aid to appropriate design and not as a checklist of items for compliance.

The following is an analysis of the proposal’s compliance with the appropriate sections of the *General Design Guidelines* and the *Mapleton Hill Historic District Design Guidelines*.

**GENERAL DESIGN GUIDELINES**

**3. ALTERATIONS**

3.1	ROOFS, SKYLIGHTS, AND SOLAR PANELS		
	<i>The roof is one of the primary character-defining features of a historic building, and the repetition of similar roof types creates part of the visual consistency that defines a historic area. Alterations or additions to roofs must be given careful consideration to ensure that they do not compromise the integrity of the historic structure. Typical roof shapes are gabled or hipped. Shed roofs sometimes occur on historic additions and accessory structures. Buildings within a district may have a combination of these roof types.</i>		
	GUIDELINES:	ANALYSIS:	CONFORMS
.1	<i>Retain and preserve the original roof form of a historic structure.</i>	The original and dominant hip roof on the Four-Square portion of the	YES

	<ul style="list-style-type: none"> <li>▪ <i>Maintain the roof form, slope, height, and orientation to the street.</i></li> <li>▪ <i>Preserve the original depth of the overhang along the eaves.</i></li> <li>▪ <i>Any alterations to a roof should be compatible with the form, pitch, plate height and massing of the historic roof.</i></li> <li>▪ <i>Raising the roof to accommodate a full or partial upper story addition is inappropriate – consider the addition of a dormer instead.</i></li> </ul>	house will be maintained. Staff does not consider the rear facing and secondary gambrel roof form an important character defining feature of the house.	
.2	<p><i>Preserve the character of the original roofing and its details.</i></p> <ul style="list-style-type: none"> <li>▪ <i>Although historical accuracy in roofing materials is not required, attempt to preserve the type, unit scale, and texture of the original roofing.</i></li> <li>▪ <i>Avoid removing historically important roofing or wood trim that is in salvageable condition. Retain and repair roof detailing such as brackets, cornices, parapets, bargeboards and gable-end shingles.</i></li> </ul>	Staff does not consider the rear facing and secondary gambrel roof form an important character defining feature of the house and that its removal will not adversely affect the historic character of the property or district as a whole.	YES
<b>3.6</b>	<b>EXTERIOR MATERIALS: WALLS, SIDING AND MASONRY</b>		
	<i>Brick, stone, horizontal wood-lapped siding, stucco, and wood shingles are common finish materials found in historic districts and on historic structures. Over the years, the materials used in residential construction have not changed dramatically, but the scale of materials has become larger. Narrower lap siding, smaller brick and shingles used alone or in various combinations often distinguish older homes from newer ones. Brick and stone masonry were traditionally left natural while wood surfaces were painted.</i>		
	<b>GUIDELINES:</b>	<b>ANALYSIS:</b>	<b>CONFORMS</b>
.1	<i>Original historic finish materials should be preserved and repaired.</i>	Original wood siding proposed to be replaced with narrow, wooden lap siding to match the new addition to the house. Details to be	MAYBE

		submitted to the Ldrc for review and approval.	
.2	<p><i>New finish materials should be compatible with, but not seek to replicate, original finish materials. Use materials that are similar in scale, proportion, texture and finish to those used historically.</i></p> <ul style="list-style-type: none"> <li>▪ <i>Use authentic materials - materials made to look like other materials, such as concrete that is scored to look like brick, are not appropriate</i></li> </ul>	Proposed material appropriate for approved new addition. Details to be submitted to the Ldrc for review and approval.	MAYBE
<b>3.7</b>	<b>WINDOWS, STORM WINDOWS AND SHUTTERS</b>		
	<i>Windows, the elements that surround them, and their relationship to one another are one of the most important character-defining elements of a historic building and should be preserved...</i>		
	<b>GUIDELINES:</b>	<b>ANALYSIS:</b>	<b>CONFORMS</b>
.1	<p><i>Retain and preserve existing historic windows, including their functional and decorative features, such as frames, glass, sashes, muntins, sills, heads, moldings, surrounds and hardware. Because windows near the façade are particularly critical to the character of historic buildings, their protection may supercede the protection of historic windows elsewhere. In some cases, it may be appropriate to use window elements from rear or side elevations to repair those on the front</i></p>	It is unclear whether double-hung windows on the gambrel roof addition will be reused on new addition. Confirm plans for review and approval by the Ldrc.	MAYBE
.2	<p><i>Preserve original window locations; do not move windows from their historic placement.</i></p>	Window and doors are shown to be maintained on the Four-Square portion of house with exception of the northwest corner where new window and door opening are shown. Consider reusing double-hung window from gambrel roof addition in this location.	MAYBE
<b>3.8</b>	<b>Doors</b>		

	<i>The original size and proportion of a front door, the details of the door, the door surround, and the placement of the door all contribute to the character of the entrance.</i>		
	<b>GUIDELINES:</b>	<b>ANALYSIS:</b>	<b>CONFORMS</b>
.1	<i>Whenever possible, retain and preserve all original doors and door openings.</i>	Window and doors are shown to be maintained on Four-Square portion of house with exception of the northwest corner where new window and door opening are shown.	YES

#### 4. ADDITIONS TO HISTORIC BUILDINGS

New additions should not compromise the integrity of the original structure or site, whether through direct destruction of historic features and materials or through their location, size, height or scale.

<b>4.1</b>	<b>Protection of Historic Structures and Sites</b>		
	<i>The primary concern of the Landmarks Board in reviewing additions to historic structures is the protection of the existing structure and the character of the site and district.</i>		
	<b>Guideline</b>	<b>Analysis</b>	<b>Meets Guideline?</b>
.1	<i>Construct new additions so that there is a least possible loss of historic fabric and so that the character-defining features of the historic building are not destroyed, damaged or destroyed</i>	While there will be a loss of historic fabric in removing the rear facing gambrel roof addition, staff does not consider this element an important character defining feature of the house; its removal will not adversely affect the historic character of the property or district as a whole.	YES
.2	<i>New additions should be constructed so that they may be removed in the future without damaging the historic structure.</i>	It is unclear how much of second-story, east wall remains. Proposed floor plan of second story shows that there will be significant amount of wall area between Four-Square house and addition. Confirm at Ldrc.	MAYBE
.3	<i>It is not appropriate to construct an addition that will detract from the overall historic character of the principal</i>	In general, staff considers the removal of the gambrel roof and proposed addition will not detract	YES

	<i>building and/or the site, or if it will require the removal of significant building elements or site features.</i>	from the historic character of the house or property as a whole.	
<b>4.2</b>	<b>Distinction from Historic Building</b>		
	<i>All additions should be discernible from the historic structure. When the original design is duplicated the historic evolution of the building becomes unclear. Instead, additional should be compatible with the historic architecture but clearly recognizable as new construction.</i>		
	<b>Guideline</b>	<b>Analysis</b>	<b>Meets Guideline?</b>
.1	<i>Distinguish an addition from the historic structure, but maintain visual continuity between the two. One common method is to step the addition back and/or set it in slightly from the historic structure.</i>	Proposed addition takes design cues from the Four-Square house creating a visual continuity between the two through simple forms and detailing. Review details at Ldrc.	YES
.2	<i>Do not directly copy historic elements. Instead, interpret historic elements in simpler ways in the addition.</i>	In form, the addition respects the historic house and does not seek to replicate historic elements. Overhangs have been reduced from Four-Square portion. Review details at Ldrc.	YES
.3	<i>Additions should be simpler in detail than the original structure. An addition that exhibits a more ornate style or implies an earlier period of architecture than that of the original is inappropriate.</i>	Proposed addition simpler in fenestration and detailing than historic house. Review details at Ldrc.	YES
.4	<i>The architectural styles of additions should not imitate the historic style but must be compatible with it. Contemporary style additions are possible, but require the utmost attention to these guidelines to be successful. The use of two distinct historic styles, such as adding Tudor-style half-timbering to a Classic Cottage, is inappropriate.</i>	Proposed addition is generally compatible with the Four-Square. Every effort should be made to simplify addition in design so as to ensure subordination to Four-Square house. Review design details at Ldrc.	MAYBE
<b>4.3</b>	<b>Compatibility with Historic Buildings</b>		
	<i>Introducing new construction that contrasts sharply with an existing historic structure or site detracts from the visual continuity that marks our historic districts. While additions should be distinguishable from the historic structure, they must not contrast so sharply as to detract from the original building and/or the site. Additions should never overwhelm historic structures or the site, in</i>		

<i>mass, scale or detailing.</i>			
	<b>Guideline</b>	<b>Analysis</b>	<b>Meets Guideline?</b>
.1	<i>An addition should be subordinate to the historic building, limited in size and scale so that it does not diminish or visually overpower the building.</i>	Proposed addition will have some public visibility by virtue of the house's location on the lot, the second-story addition will be subordinate to the main house in terms of mass, scale and height.	YES
.2	<i>Design an addition to be compatible with the historic building in mass, scale, materials and color. For elevations visible from public streets, the relationship of solids to voids in the exterior walls should also be compatible.</i>	Relationship of solids to voids on the proposed addition generally compatible with the Four-Square house.	YES
.4	<i>Reflect the original symmetry or asymmetry of the historic building.</i>	Symmetry of original house is generally reflected in fenestration addition.	YES
.5	<i>Preserve the vertical and horizontal proportion of a building's mass.</i>	The form of house will not be adversely affected by the proposed addition.	YES
<b>4.4</b>	<b>Compatibility with Historic Site and Setting</b>		
	<i>Additions should be designed and located so that significant site features, including mature trees, are not lost or obscured. The size of the addition should not overpower the site or dramatically alter its historic character.</i>		
	<b>Guideline</b>	<b>Analysis</b>	<b>Meets Guideline?</b>
.1	<i>Design new additions so that the overall character of the site, site topography, character-defining site features and trees are retained.</i>	Proposed addition will not expand from existing addition footprint.	YES
.2	<i>Locate new additions on an inconspicuous elevation of the historic building, generally the rear one. Locating an addition to the front of a structure is inappropriate because it obscures the historic facade of a building.</i>	Addition is at the rear of the historic house and will have some public visibility though is proposed at rear of the house	YES

.3	<i>Respect the established orientation of the original building and typical alignments in the area.</i>	Addition does not affect historic orientation and alignments of the building along the streetscape.	YES
.5	<i>Maintain the proportion, general style, and symmetry or asymmetry of the existing window patterns.</i>	Fenestration on addition references double-hung windows found on main house. Generally maintains the patterns and proportion of solids to void on main house.	YES
.6	<i>Use window shapes that are found on the historic building. Do not introduce odd-shaped windows such as octagonal, triangular, or diamond-shaped</i>	Windows and doors on addition generally reflect those on main house. Review details of fenestration at Ldrc.	YES
<b>4.5</b>	<b>Key Building Elements</b>		
	<i>Roofs, porches, dormers, windows and doors are some of the most important character-defining elements of any building. As such, they require extra attention to assure that they compliment the historic architecture. In addition to the guidelines below, refer also to Section 3.0 Alterations for related suggestions.</i>		
	<b>Guideline</b>	<b>Analysis</b>	<b>Meets Guideline?</b>
.1	<i>Maintain the dominant roofline and orientation of the roof form to the street.</i>	Roof form is proposed to be modified from a Gambrel form to a hipped roof. New hipped roof addition is shown to be secondary to and compatible with existing Four-Square house.	YES
.2	<i>Rooflines on additions should be lower than and secondary to the roofline of the original building.</i>	Proposed roof is lower than and secondary to the main roof of house.	YES
.3	<i>The existing roof form, pitch, eave depth, and materials should be used for all additions.</i>	Proposed roof form for addition is compatible with existing house – note reduced eave depth.	YES
.5	<i>Maintain the proportion, general style, and symmetry or asymmetry of the existing window patterns.</i>	Window pattern proposed to be reconfigured; general symmetry is maintained.	YES
.6	<i>Use window shapes that are found on the historic building. Do not introduce odd-shaped windows such as octagonal, triangular, or diamond-shaped</i>	Proposed double-hung windows reflect type found on house. Window and door details should be reviewed by Ldrc.	YES

**MAPLETON HILL HISTORIC DISTRICT DESIGN GUIDELINES**

The Mapleton Hill Historic District Design Guidelines do not differentiate between contributing and non-contributing buildings. See Design Guideline Analysis section.

<b>T. Major Exterior Renovation, Additions and Second Stories.</b>			
<i>Large additions and additional stories to a building frequently change the character of the structure. The diversity that characterizes the historic district is a result of the variety in the sizes of buildings and the differing architectural styles. A design response that respects this diversity is most appropriate.</i>			
	<b>Guideline</b>	<b>Analysis</b>	<b>Meets Guideline?</b>
.4	<i>New additions should be designed and constructed so that the character-defining features of the historic building are not radically changed, obscured, damaged or destroyed in the process of rehabilitation.</i>	While there will be a loss of historic fabric in removing the rear facing gambrel roof addition, staff does not consider this element an important character defining feature of the house; its removal will not adversely affect the historic character of the property or district as a whole.	YES
.5	<i>New design and construction should always be differentiated from older portions of a building; however, the addition should respect the existing roof forms, and building scale and massing.</i>	Proposed addition is consistent with design of Historic Four-Square house but clearly differentiated from it.	YES

The existing accessory building at 801 Maxwell Ave. was built in 1902, within the period-of-significance for the Mapleton Hill Historic District, and the building retains its original scale, mass and materiality. As such, staff considers it to be a contributing resource to the district.

The existence of a gambrel roof addition on a Four-Square house is unusual and likely unique to the Mapleton Historic District. However, given its diminutive scale comprising less than 300 sq. ft. of floor area and location at the rear of house, staff considers it is not an important character defining of this property and that its removal to make way for a larger rear addition will not damage or destroy the features of the property and appropriate.

Pending the review of some design details by the Landmark Design Review Committee, staff considers the proposed construction of an addition to be generally consistent with Sections 3 and 4 of the *General Design Guidelines* and Sections T of the *Mapleton Hill Design Guidelines* and with Section 9-11-18 (a) & (b)(1)-(4) B.R.C. 1981, for issuance of a landmark alteration certificate, the *General Design Guidelines*, and the *Mapleton Hill Historic District Guidelines*.

**PUBLIC COMMENT:**

No public comment had been received at the time this memo was written.

**FINDINGS:**

Provided the conditions outlined in the staff recommendation are met, staff recommends that the Landmarks Board approve the application and adopt the following findings:

1. The proposed removal of the gambrel roof addition and new construction will meet the standards in Section 9-11-18 of the Boulder Revised Code 1981.
2. The proposed construction will not have an adverse effect on the value of the landmark property, as it will be generally compatible in terms of mass, scale, and orientation with other buildings in the district.
3. In terms of mass, scale, and orientation, the proposal will be generally consistent with Section 9-11-18(a) & (b)(1)-(4) B.R.C.1981, the *General Design Guidelines*, and the *Mapleton Hill Historic District Design Guidelines*.

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**ATTACHMENTS:**

- A: Tax Assessors Card
- B: Photographs
- C: Applicant's Materials





**Attachment B: Current Photographs**



*801 Maxwell Ave., Main house, Façade 2015*



*View of north elevation (rear), 2015.*

Memo to the Landmarks Board  
Landmark Alteration Certificate for 801 Maxwell Ave.

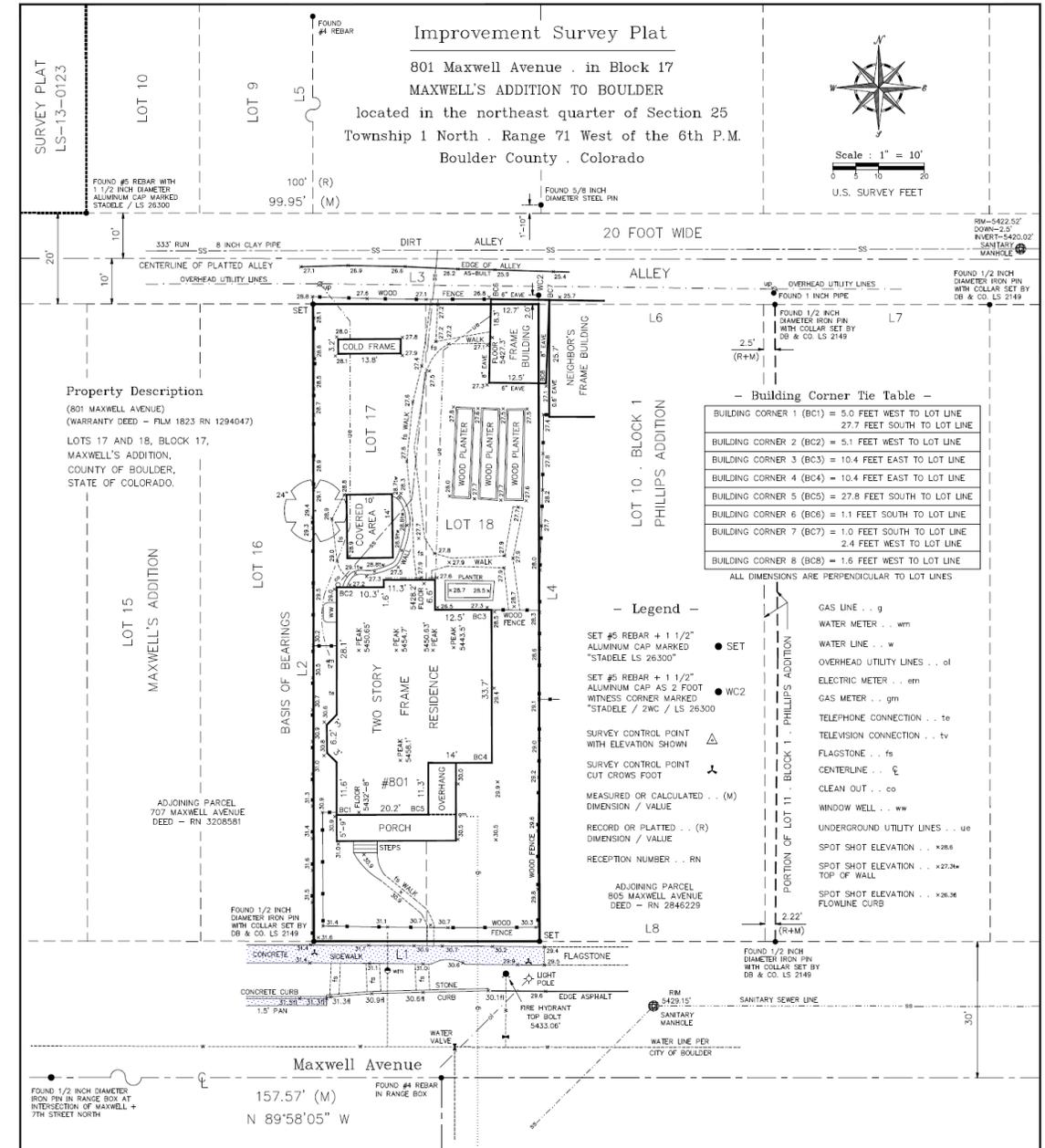


*Southeast corner, 2015*

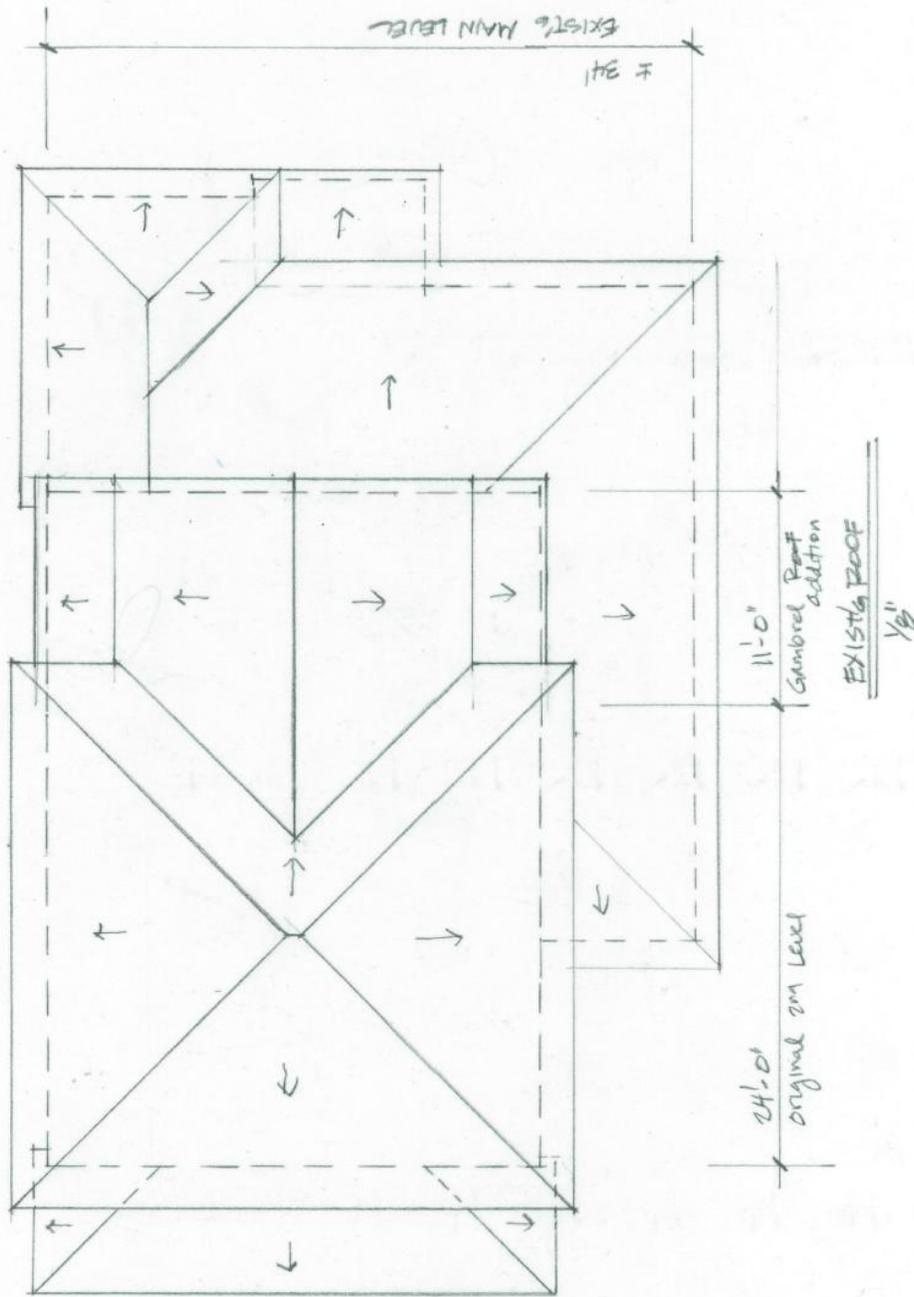


*West elevation, 2015.*

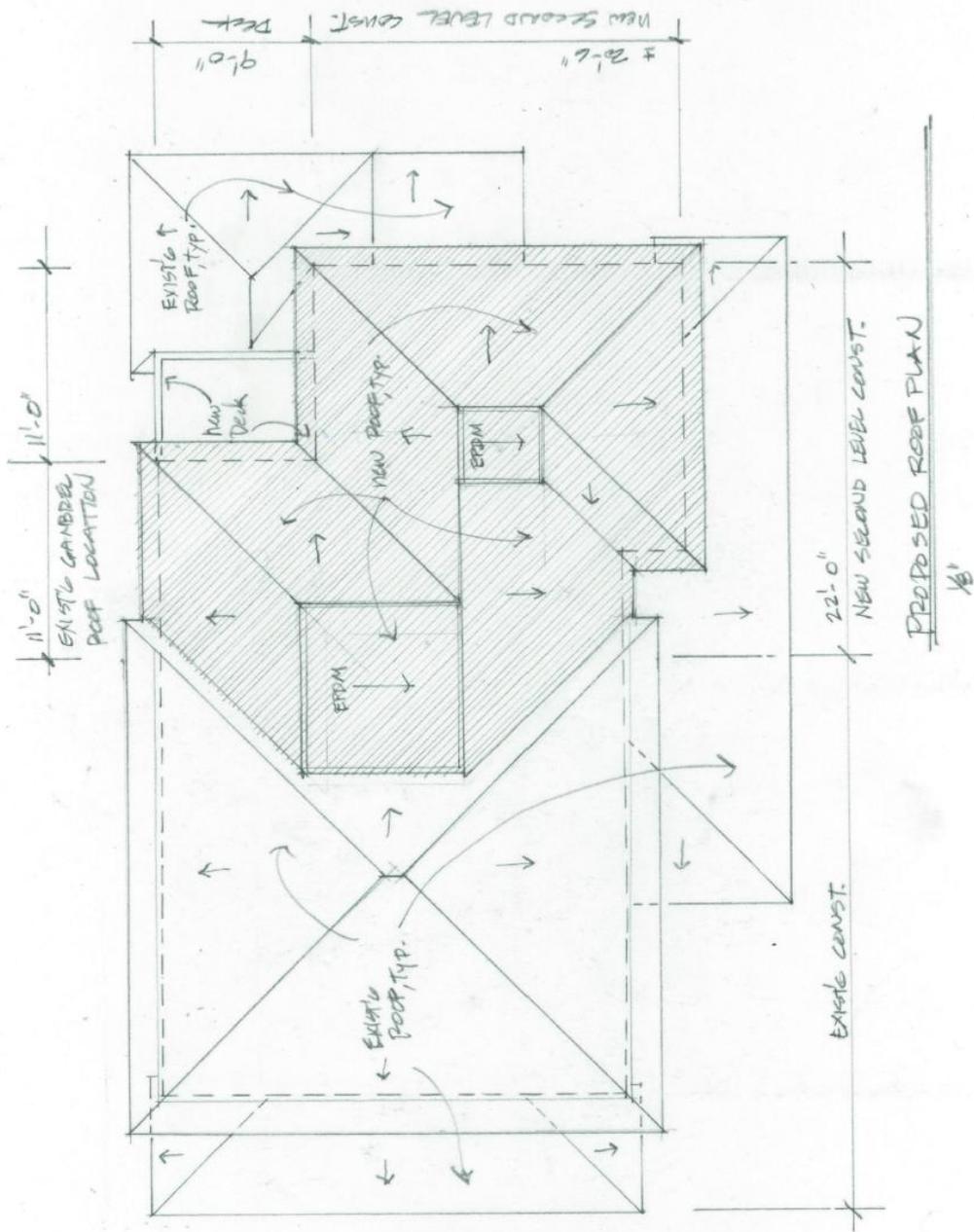
**Attachment C: Plans and Elevations**



Memo to the Landmarks Board  
Landmark Alteration Certificate for 801 Maxwell Ave.

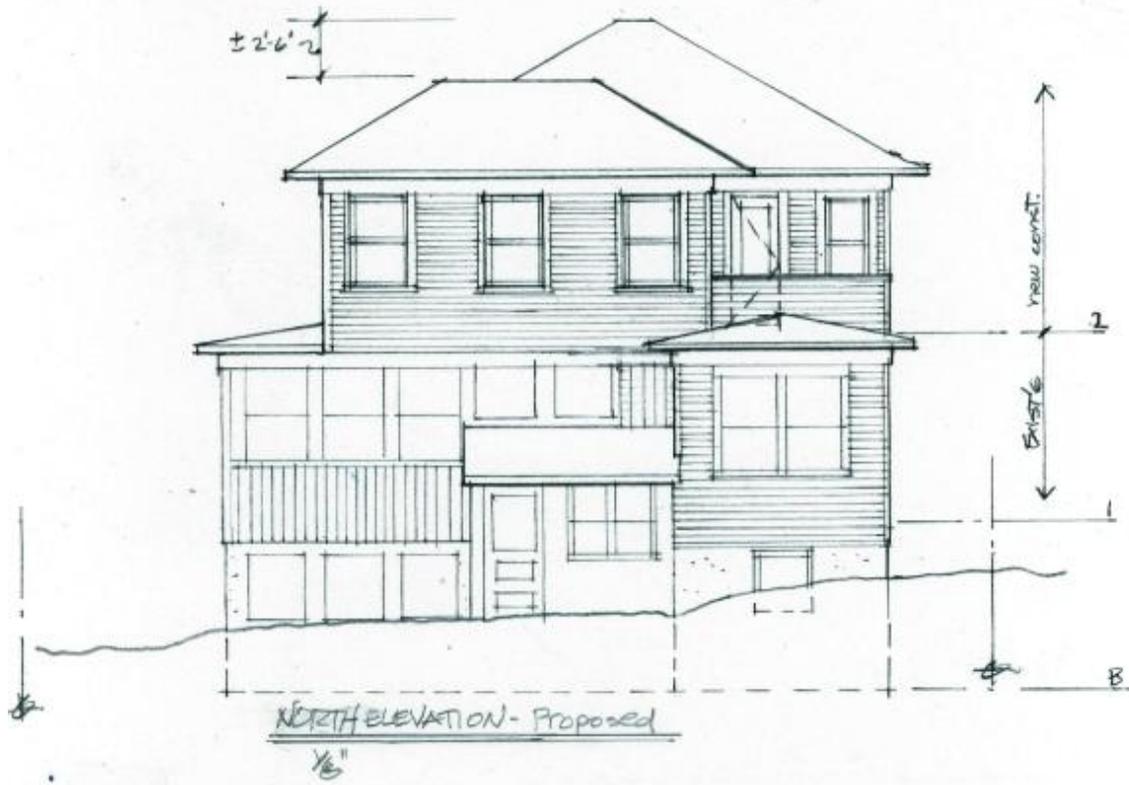


Memo to the Landmarks Board  
Landmark Alteration Certificate for 801 Maxwell Ave.

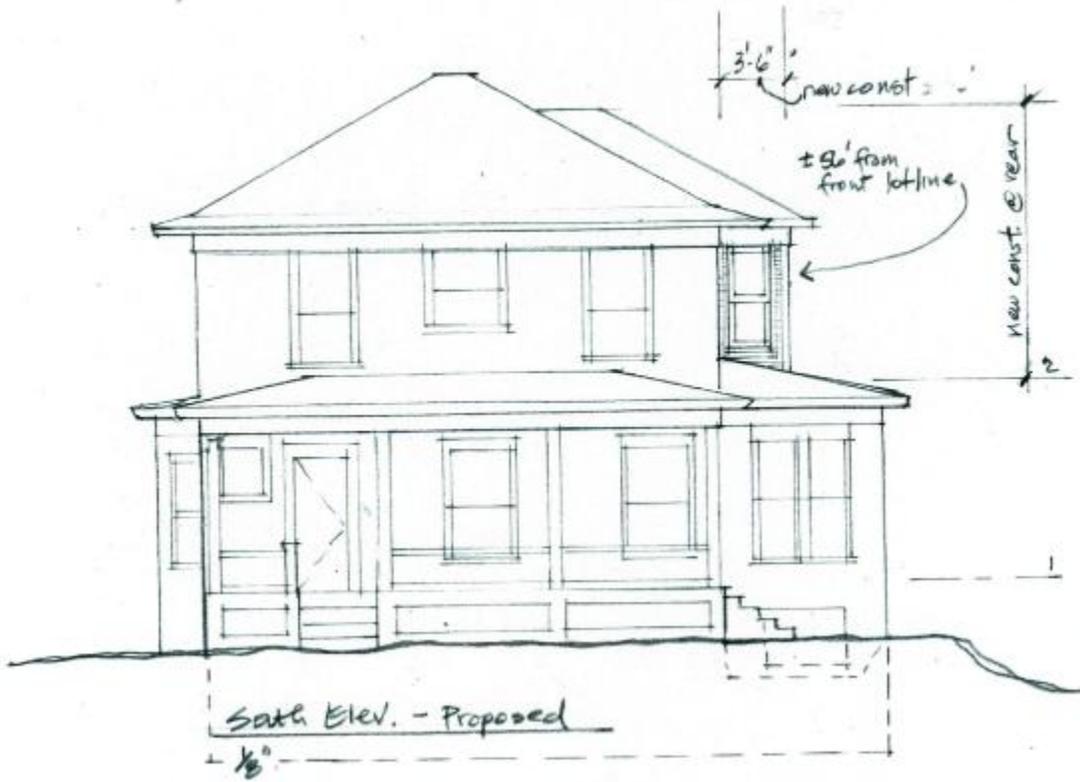




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