

MEMORANDUM

May 7, 2014

TO: Landmarks Board

FROM: Lesli Ellis, Comprehensive Planning Manager
James Hewat, Senior Historic Preservation Planner
Marcy Cameron, Historic Preservation Planner
Angela Smelker, Historic Preservation Intern

SUBJECT: Public hearing and consideration of a Landmark Alteration Certificate to remove a c.1922 addition and construct a 1,530 sq. ft. addition at the rear of the house at 835 Pine St. in the Mapleton Hill Historic District, per section 9-11-18 of the Boulder Revised Code (HIS2014-00058).

STATISTICS:

1. Site: 835 Pine St.
2. Zoning: RL-1 (Residential-Low 1)
3. Lot size: 11,103 sq. ft.
4. Existing House: 1,630 sq. ft. (approx.)
5. House w/o existing addition: 1,290 sq. ft.
6. Proposed Addition: 1,530 sq. ft. (approx.)
7. Applicant: Jennifer Campbell, Keith Berger
8. Date of Construction: c.1882

STAFF RECOMMENDATION:

If the applicant complies with the conditions listed below, staff considers the proposed construction of an addition will be generally consistent with the conditions specified in Section 9-11-18, B.R.C. 1981, the *General Design Guidelines*, and the *Mapleton Hill Design Guidelines*. Staff recommends that the Landmarks Board adopt the following motion:

The Landmarks Board adopts the staff memorandum dated May 7, 2014 as the findings of the board and approves the removal of the c. 1920 addition and the construction of an addition at the rear of the main house as shown on plans dated 03/27/2014, finding that they generally meet the standards for issuance of a Landmark Alteration Certificate in Chapter 9-11-18, B.R.C. 1981, subject to the following conditions:.

CONDITIONS OF APPROVAL:

1. The applicant shall be responsible for constructing the house in compliance with the approved plans dated 03/27/2014, except as modified by these conditions of approval.
2. Prior to submitting a building permit application and final issuance of the Landmark Alteration Certificate, the applicant shall submit revised designs that reduces the mass and scale of the addition when viewed from Pine St., 9th St. and the alley to ensure that it is subordinate to the historic portion of the house. This might require reduction of the square footage, roof mass and/or the height of the proposed addition.
3. Prior to submitting a building permit application and final issuance of the Landmark Alteration Certificate, the applicant shall submit the following, which shall be subject to the final review and approval of the Landmarks design review committee: revisions to the design to ensure that the fenestration of the addition that is publicly visible, is simpler than that on the main house by reducing the size of window and door openings and changing window profiles to 1/1, double-hung sash (submit window and door details), as well as wall materials, doors, siding material details, paint colors, roofing and any hardscaping on the property to ensure that the approval is consistent with the *General Design Guidelines* and the *Mapleton Hill Historic District Guidelines* and the intent of this approval.

SUMMARY:

- On March 19th, 2014, the Landmarks Design Review Committee (Ldrc) reviewed an application for the removal of a rear addition and the construction of a 1,568 sq. ft. addition to the contributing house. The Ldrc considered that the mass and scale of the addition warranted review by the full board and referred the application to the full Landmarks Board. See Attachment C: Ldrc Notes Dated 03.17.2014.
- The applicant has met with staff to review the proposed design. While the applicant originally proposed retaining a portion of the c.1920s addition, staff does not consider the addition to be an important character-defining feature of the house and considers that its removal would allow for a clearer connection between the historic portion of the house and the new addition that would be more sensitive and reversible.
- Staff finds the proposed new construction to be generally consistent with the criteria for a Landmark Alteration Certificate as per 9-11-18(a) & (b)(1)-(4)

B.R.C. 1981, the *General Design Guidelines* and the *Mapleton Hill Design Guidelines*.

- This recommendation is based upon the understanding that the stated conditions will be reviewed and approved by the Landmarks design review committee (Ldrc) prior to the issuance of a Landmark Alteration Certificate.

PROPERTY HISTORY:



*Figure 1. 835 Pine St. Tax Assessor Card photograph c.1929.
Photograph Courtesy the Carnegie Branch Library for Local History.*

The house at 835 Pine St. was constructed in 1882 by Ira McAllister, who sold it the next year and built a large, three-story house at 1619 Pine St. (Local Landmark 77-3). Ira McAllister established Boulder's longest operating lumber company. McAllister was born in New Hampshire and moved to Boulder in 1887. He established a small sawmill at 15th and Pearl Streets, expanding the business to include a lumber yard, hardware store, and coal supply. He later started lumber yards in Louisville and Lafayette. McAllister was president and general manager of the McAllister Lumber and Supply Company until a few years before his death in 1921. His wife, Lizzie McAllister, died in 1918. The couple, recognized as "among the pillars" of the early community, had four sons: Daniel, William, Milo and Ray. Their eldest son, Daniel, took over management of the lumber company after Ira McAllister retired.

John F. and Margaret Stewart and their daughter Marvinetta Jefferson purchased the house in 1889 and lived there for 50 years. John F. Stewart was born in Ohio in 1828 and died in this house in 1908 at the age of 80. Cited as "one of Boulder's

most highly esteemed citizens," Stewart had settled in Evans, CO, in the early 1870s and the family moved to Boulder in 1881. Stewart was a minister in Boulder and also grew fruit. Following Margaret Stewart's death in 1914, Marvineta Jefferson lived here for many years. Marvinetta Jefferson taught piano lessons in the home and was the music director at the First Congregational Church.

The 1994 Historic Building Survey found the house to be potentially eligible for listing in the National Register of Historic Places, and the property is considered to be contributing to the Mapleton Hill Historic District.

DESCRIPTION:

The property is located on the north side of Pine St. between 8th and 9th Street, in the West Boulder addition to the city, which was platted in 1874. The approximately 1,680 sq. ft. house is located on an 11,103 sq. ft. lot.



Figure 2. Location Map, 835 Pine St.

The one-and-one-half story house was constructed around 1882 and features a steeply-pitched roof with wide, overhang eaves and a wide frieze board. The house is clad in narrow horizontal lap siding with corner boards the house has a symmetrical façade features tall, narrow, two-over-two, double-hung windows with low pedimented lintels. A front gable roofed porch is supported by

chamfered posts. The entrance features a paneled door with round arched panels and a transom with an oval window.



Figure 3. South elevation of 835 Pine St., 2014.

The north (rear) elevation originally featured a frame porch. Sanborn Fire Insurance Maps indicate that between 1922 and 1931, the rear porch was removed and a one-story, frame addition was constructed. The gable-roof addition features a side porch on the west elevation, with a central door and two flanking windows. A large, wide brick chimney was added to the rear of the addition in the 1960, obscuring a large portion of the north elevation. Because of its low visibility and alterations made outside the period-of-significance for the Mapleton Hill Historic District, staff does not consider the rear addition to be an important character-defining feature of the house.



Figure 4. Rear elevation proposed for removal, northeast corner 835 Pine St., 2014.



Figure 5. Rear elevation proposed for removal, north elevation, 835 Pine St., 2014.



Figure 6. South Elevation, 835 Pine St., 2014.



Figure 7. View from 9th Street, facing west. 845 Pine in foreground.



Figure 8. North elevation, view from alley, 835 Pine St., 2014.

PROPOSED ADDITION

Drawings show the existing c.1922 addition (comprised of about 336 sq. ft.) to be removed and in its place the construction a two story addition to add approximately 1,528 sq. ft. to the remaining 1,290 sq. ft. house. The total building coverage would be approximately 2,818 sq. ft. on the 11,103 sq. ft. lot. There are no accessory buildings on the property.



Figure 9. Existing (L) and Proposed (R) Site Plans.



Figure 10. Proposed South Elevation (façade)

The south elevation shows the proposed rear addition extending to the east of the existing house, resulting in the side-gable roof being visible from the street though set back approximately 75' from the south property line. A single, divided light window is shown on the south elevation of the addition. A projecting hipped roof is shown at the east elevation. The gable roof is shown to be 6" lower than the roof line of the main portion of the house.



Figure 11: Existing East Elevation



Figure 12: Proposed East Elevation

The east elevation, which would be visible from 9th St., shows the two-story addition connected to the existing house by a narrower, lower two-story connector. The proposed connector rear addition is shown to extend 34 ft. from the north wall of the existing house (the east wall of the main portion of house is 30' in length).

The east wall of the connector is shown to be 12' long, set in 3 ft. from the northeast corner of the house, and to be 3' lower than the height of the main portion house. The second level of the connector features three divided light casement windows while first level is fenestrated with divided light door with a transom above, and a double hung window with a divided light transom above. A shed roof porch extends over the entrance of the connector. The east elevation of the two-story addition features three divided light windows on the first level and two divided light windows on the second level. A hipped roof extends over the first floor windows.

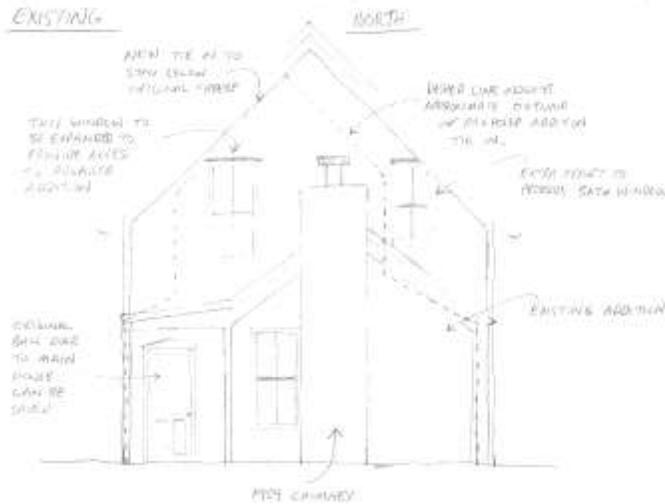


Figure 13. Existing North Elevation

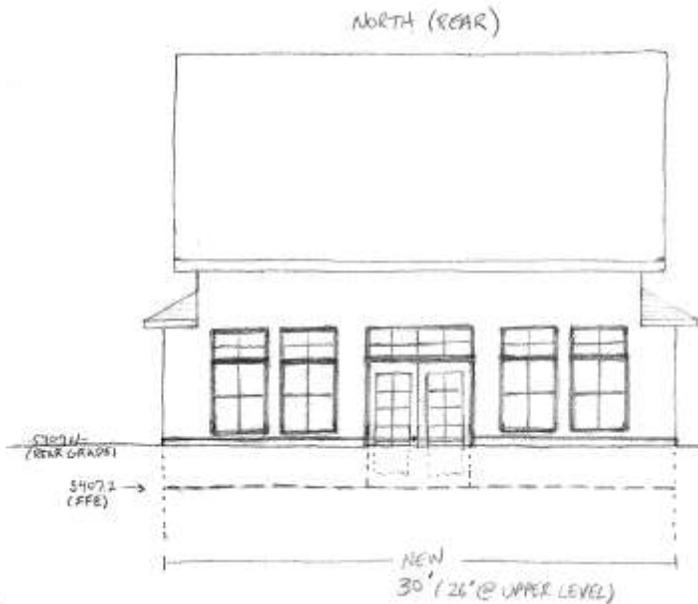


Figure 14: Proposed North Elevation (rear)

Plans show the north (rear) elevation of the addition to feature a pair of French doors at the center of the rear elevation, with two large divided light windows flanking each side. The lower portion of the north elevation will not be publicly visible due to the sloping grade of the lot. The eaves of the hipped roofs protrude from either side of the north elevation.

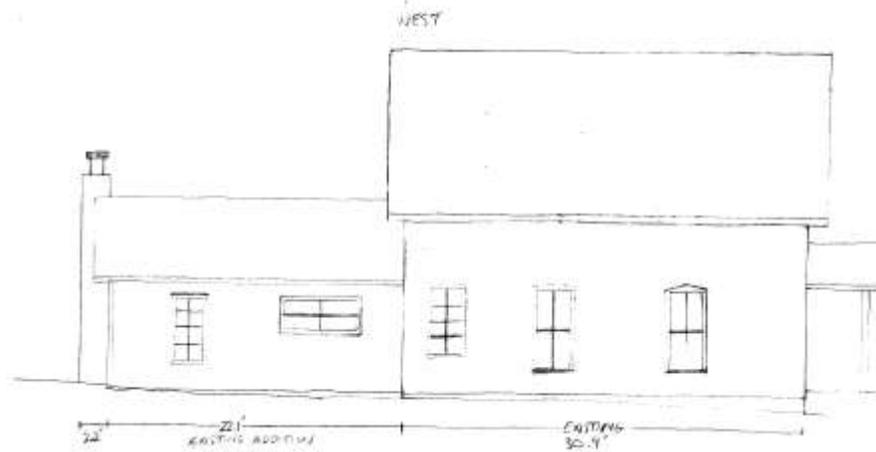


Figure 15: Proposed West Elevation

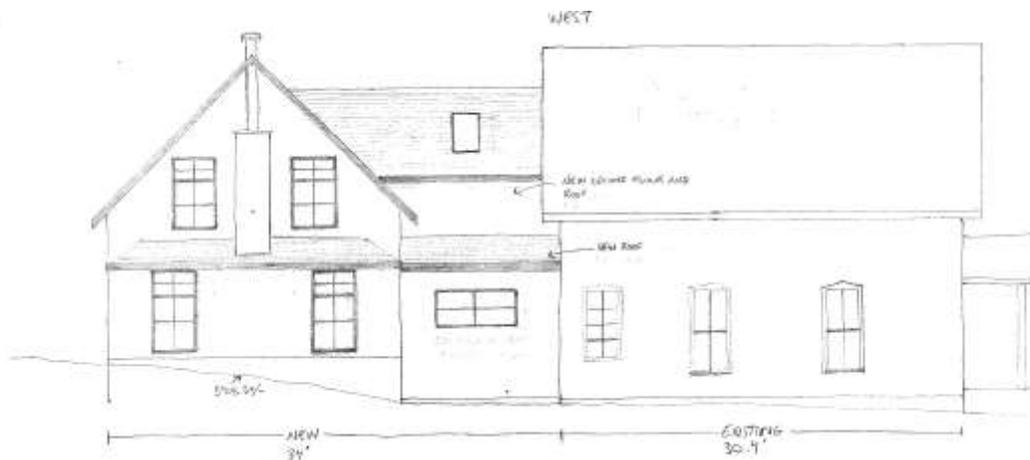


Figure 16: Proposed West Elevation

The west elevation features a single, horizontal window on the first level of the connector and a skylight on the connector above. The addition features four divided light windows, with a chimney in the center of the wall.

The materiality for the new addition, including the window and door types, is not specified.

CRITERIA FOR THE BOARD'S DECISION

Subsection 9-11-18(b) and (c), B.R.C. 1981, sets forth the standards the Landmarks Board must apply when reviewing a request for a Landmark Alteration Certificate.

(b) Neither the Landmarks Board nor the City Council shall approve a Landmark Alteration Certificate unless it meets the following conditions:

- (1) The proposed work preserves, enhances, or restores and does not damage or destroy the exterior architectural features of the landmark or the subject property within an historic district;
 - (2) The proposed work does not adversely affect the special character or special historic, architectural, or aesthetic interest or value of the landmark and its site or the district;
 - (3) The architectural style, arrangement, texture, color, arrangement of color, and materials used on existing and proposed constructions are compatible with the character of the existing landmark and its site or the historic district;
 - (4) With respect to a proposal to demolish a building in an historic district, the proposed new construction to replace the building meets the requirements of paragraphs (b)(2) and (3) above.
- (c) In determining whether to approve a landmark alteration certificate, the Landmarks Board shall consider the economic feasibility of alternatives, incorporation of energy-efficient design, and enhanced access for the disabled.

ANALYSIS

1. Does the proposed application preserve, enhance, or restore, and not damage or destroy the exterior architectural features of the landmark or the subject property within a historic district?

Staff does not consider the c.1922 addition to be a character-defining feature, due to its location at the rear of the house and the non-sensitive addition of a large chimney in the 1960s and resulting loss of historic integrity. Staff finds that, provided the listed conditions are met, the proposal will be generally compatible and consistent with the *General Design Guidelines* and the *Mapleton Hill Historic District Guidelines* (see Design Guidelines Analysis section).

2. Does the proposed application adversely affect the special character or special historic, architectural, or aesthetic interest or value of the district?

The staff finds that, provided the listed conditions are met, the proposed application will not adversely affect the special character or special historic, architectural, or aesthetic interest or value of the landmark property as it will be generally compatible with the *General Design Guidelines* and the *Mapleton Hill Design Guidelines* in terms of mass, scale, height, design and color (see Design Guidelines Analysis section).

3. *Is the architectural style, arrangement, texture, color, arrangement of color, and materials used on existing and proposed structures compatible with the character of the historic district?*

Staff finds that, provided the listed conditions are met, the proposed new construction will be generally compatible with the architectural form, arrangement, texture, color, arrangement of color, and materials used on the proposed building and will be generally compatible with the character of the historic district in terms of mass, scale, height, setback, and design (see Design Guidelines Analysis section).

4. *Does the proposal to demolish the building within the Mapleton Hill Historic District and the proposed new construction to replace the proposed demolished building meet the requirements of paragraphs 9-11-18(b)(2), 9-11-18(b)(3) and 9-11-18(b)(4) of this section?*

Not applicable.

ANALYSIS:

The Historic Preservation Ordinance sets forth the standards the Landmarks Board must apply when reviewing a request for a Landmark Alteration Certificate. The Board has adopted the *General Design Guidelines* to help interpret the historic preservation ordinance. The following is an analysis of the proposed new construction with respect to relevant guidelines. Design guidelines are intended to be used as an aid to appropriate design and not as a checklist of items for compliance.

The following is an analysis of the proposal’s compliance with the appropriate sections of the *General Design Guidelines*.

GENERAL DESIGN GUIDELINES -ADDITIONS TO HISTORIC BUILDINGS, 4.0.

4.1	Protection of Historic Structures and Sites		
	The primary concern of the Landmarks Board in reviewing additions to historic structures is the protection of the existing structure and the character of the site and district.		
	Guideline	Analysis	Meets Guideline?

.1	<i>Construct new additions so that there is a least possible loss of historic fabric and so that the character-defining features of the historic building are not destroyed, damaged or destroyed</i>	Addition is proposed at rear of contributing house and has been altered with addition of large chimney; staff does not consider the 1920s addition to be a significant character defining feature of the house.	Yes
.2	<i>New additions should be constructed so that they may be removed in the future without damaging the historic structure.</i>	The addition is to be attached to the historic portion of the building by a lower section that will require removal of one window on the north (rear) elevation but will not damage or destroy the eaves or roofline of the historic portion of the house.	Yes
.3	<i>It is not appropriate to construct an addition that will detract from the overall historic character of the principal building and/or the site, or if it will require the removal of significant building elements or site features.</i>	Staff does not consider the 1920s addition to be a character-defining feature of the principal building, and the proposal will not require the removal of significant trees. However, the proposed mass and scale of the addition may detract from the building's historic character.	Maybe
4.2	Distinction from Historic Structures		
	<i>All additions should be discernible from the historic structure. When the original design is duplicated the historic evolution of the building becomes unclear. Instead, additional should be compatible with the historic architecture but clearly recognizable as new construction.</i>		
	Guideline	Analysis	Meets Guideline?
.1	<i>Distinguish an addition from the historic structure, but maintain visual continuity between the two. One common method is to step the addition back and/or set it in slightly from the historic structure.</i>	Connector is proposed to be set in to create a clear break between the historic portion of the house and the proposed new construction. East wall of new construction is shown to project 8' east of historic portion of house.	Yes
.2	<i>Do not directly copy historic elements. Instead, interpret historic elements in simpler ways in the addition.</i>	In form, the addition respects the symmetry and simplicity of the historic portion of the house, and does not seek to replicate historic elements.	Yes
.3	<i>Additions should be simpler in detail than the original structure. An addition that exhibits a more ornate style or implies an earlier period of architecture than that of the original is inappropriate.</i>	Original house is very simple in form and detailing; Addition's form is relatively simple though proposed 4/4 double-hung window profile more articulated than 2/2 double hung on main house. Revise at Ldrc.	No
.4	<i>The architectural styles of additions should not imitate the historic style</i>	Proposed addition is complementary to the style of the historic building but does	Maybe

	<i>but must be compatible with it. Contemporary style additions are possible, but require the utmost attention to these guidelines to be successful. The use of two distinct historic styles, such as adding Tudor-style half-timbering to a Classic Cottage, is inappropriate.</i>	not seek to replicate it. Steps might be taken to simply detailing (see above).	
4.3	Compatibility with Historic Buildings		
	<i>Introducing new construction that contrasts sharply with an existing historic structure or site detracts from the visual continuity that marks our historic districts. While additions should be distinguishable from the historic structure, they must not contrast so sharply as to detract from the original building and/or the site. Additions should never overwhelm historic structures or the site, in mass, scale or detailing.</i>		
	Guideline	Analysis	Meets Guideline?
.1	<i>An addition should be subordinate to the historic building, limited in size and scale so that it does not diminish or visually overpower the building.</i>	Addition nearly doubles the size of the existing historic house. Vertical proportion of the building will be maintained and the addition will be clearly differentiated from the existing historic structure. Consider reducing height and mass of addition to make more subordinate to the main portion of the historic house.	Maybe
.2	<i>Design an addition to be compatible with the historic building in mass, scale, materials and color. For elevations visible from public streets, the relationship of solids to voids in the exterior walls should also be compatible.</i>	Relationship of solids to voids on the east and west elevations of the proposed addition is compatible with those found on historic house. Amount of glazing at north (rear) elevation may not be appropriate and size of window openings appear somewhat out of scale. South facing window on addition is awkwardly located and detailed Resolve at Ldrc.	Maybe
.4	<i>Reflect the original symmetry or asymmetry of the historic building.</i>	Strict symmetry of original house is reflected on the north and east elevations. Fenestration on the south and east elevations should follow same relationship. Resolve at Ldrc.	Maybe
.5	<i>Preserve the vertical and horizontal proportion of a building's mass.</i>	The vertical form of house will remain, though the addition's visibility (8') from the south elevation will alter this proportion. The addition retains the same	Yes

		vertical massing and is clearly delineated from the original portion of the house.	
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4.4 Compatibility with Historic Site and Setting			
<i>Additions should be designed and located so that significant site features, including mature trees, are not lost or obscured. The size of the addition should not overpower the site or dramatically alter its historic character.</i>			
	Guideline	Analysis	Meets Guideline?
.1	<i>Design new additions so that the overall character of the site, site topography, character-defining site features and trees are retained.</i>	Character of the long, narrow site will be maintained, and significant site features are not proposed for removal.	Yes
.2	<i>Locate new additions on an inconspicuous elevation of the historic building, generally the rear one. Locating an addition to the front of a structure is inappropriate because it obscures the historic facade of a building.</i>	Addition is at the rear of the historic house but will be visible to the public along 9 th St and from the alley. This is the only face of the building practical to construct and addition, but consideration should be given to reducing its mass and scale when viewed from Pine & 9 th Streets and from the alley.	Maybe
.3	<i>Respect the established orientation of the original building and typical alignments in the area.</i>	Addition does not affect historic orientation and alignments of the building along the streetscape.	Yes
.4	<i>Preserve a backyard area between the house and the garage, maintaining the general proportion of built mass to open space found within the area. See Guideline 2.1.1.</i>	Property does not have an accessory building; addition will maintain general proportion of built mass to open space.	Yes

4.5 Key Building Elements			
<i>Roofs, porches, dormers, windows and doors are some of the most important character-defining elements of any building. As such, they require extra attention to assure that they compliment the historic architecture. In addition to the guidelines below, refer also to Section 3.0 Alterations for related suggestions.</i>			
	Guideline	Analysis	Meets Guideline?
.1	<i>Maintain the dominant roofline and orientation of the roof form to the street.</i>	Dominant roofline and orientation of the roof to the street will be maintained. Roofline of addition will be 6" lower than the original	Maybe

		building and separated by a connector with a roof that is approximately 3'6" lower than the roof line of the original building. However, side gable addition will be visible from public ways. Consider lowering and/or reducing roof mass of addition. Resolve at Ldrc.	
.2	<i>Rooflines on additions should be lower than and secondary to the roofline of the original building.</i>	Roofline of addition is show to be 6" lower than the existing historic roof and connected by a portion that is approximately 3'6" lower.	Yes
.3	<i>The existing roof form, pitch, eave depth, and materials should be used for all additions.</i>	The proposed roof proportions and materials are generally compatible with the historic house.	Yes
.5	<i>Maintain the proportion, general style, and symmetry or asymmetry of the existing window patterns.</i>	Windows on addition are symmetrical and generally in keeping with the historic house; Scale of windows on north (rear) should be reduced to maintain traditional window size and pattern. Window on south elevation of addition shown at intersection of two roof forms; placement and scale should be revised. Windows at west elevation should follow symmetrical pattern and the space between the eave and opening should be increased. Size and profile of windows on addition should be changed to be smaller and simpler – suggest 1/1, double hung sash. Revise at Ldrc.	Maybe
.6	<i>Use window shapes that are found on the historic building. Do not introduce odd-shaped windows such as octagonal, triangular, or diamond-shaped</i>	With the exception of the French door/windows on the proposed north elevation, windows are generally in keeping with the historic house.	Yes

MAPLETON HILL DESIGN GUIDELINES –MAJOR EXTERIOR RENOVATION, ADDITIONS AND SECOND STORIES, T.

F.	Massing		
	<p>While the specific details of the historic architectural styles of Mapleton Hill vary considerably, the most significant and identifiable feature of a building is its massing. Buildings of Italianate styling are square and vertical. Bungalows are low and rectangular, while Queen Anne styling is asymmetrical with many projections and details. Replication of stylistic detailing is not encouraged or necessary, however, the form which defines the building, should be respected.</p>		
	Guideline	Analysis	Meets Guideline?

1.	<i>Any addition to a building should preserve the existing symmetry or asymmetry.</i>	The addition will extend 8' from the west side of the existing historic building, and will be set back approximately 65' from the south (front) property line. Staff considers that this may detract from the symmetry of the existing historic building. Consider reducing scale of this form to mitigate. Resolve at Ldrc.	Maybe
2.	<i>The vertical or horizontal proportion of a building's mass should be preserved.</i>	The addition will extend 8' from the west side of the existing historic building, and will be set back approximately 65' from the south (front) property line. However, staff considers that visibility from 9 th St. and alley in addition may adversely affect the building overall mass. Consider reducing scale of this form to mitigate. Resolve at Ldrc.	Maybe
3.	<i>The impact of the massing of large additions should be reduced by using one story elements or minimum plate heights instead of introducing a full second story.</i>	The roofline of the addition does not extend above that of the existing historic building.	Yes

T.	Major Exterior Renovation, Additions and Second Stories.		
	Large additions and additional stories to a building frequently change the character of the structure. The diversity that characterizes the historic district is a result of the variety in the sizes of buildings and the differing architectural styles. A design response that respects this diversity is most appropriate.		
	Guideline	Analysis	Meets Guideline?
.4	<i>New additions should be designed and constructed so that the character-defining features of the historic building are not radically changed, obscured, damaged or destroyed in the process of rehabilitation.</i>	Addition proposed at rear of historic building; Staff does not consider the 1920s addition to be a character defining feature of the building.	Yes
.5	<i>New design and construction should always be differentiated from older portions of a building; however, the addition should respect the existing roof forms, and building scale and massing.</i>	Proposed addition is differentiated between old and new in terms of separation, design and materiality. Staff considers that visibility from 9 th St. and alley in addition may adversely affect the building overall mass. Consider reducing scale of this form to mitigate. Resolve at Ldrc.	Maybe

Staff considers that although the rear addition was constructed during the period-of-significance, due to its the diminutive character and non-historic alteration, the rear addition should not be considered an important character-defining feature of the house. Given this, and that the rear is the only feasible location for an addition, staff considers its removal will not adversely affect the historic integrity of the property.

Steps have been taken to distinguish the addition from the historic house, primarily by way of the connector. However, nearly doubling the square footage of the current house, at 1,518 sq. ft., the mass and scale of the new addition is large relative to the 1,290 sq. ft. historic portion of the house that will remain once the rear addition is removed. To this end, staff considers that steps should be taken reduce the mass and scale of the proposed addition when viewed from Pine Street, 9th Street and the alley. This might include reducing the overall square footage, height and or roof mass of the addition. Likewise, revisions should be made to the design to ensure that the fenestration of the addition that is publicly visible, is simpler than that on the main house. These revisions could likely be reviewed and approved by the Landmarks design review committee.

If such modifications to the design are made, staff considers the proposed construction of an addition will be generally consistent with the historic preservation ordinance, Section 4 of the *General Design Guidelines* and Sections F and T of the *Mapleton Hill Design Guidelines*.

PUBLIC COMMENT

Staff has received no public comment regarding this case.

FINDINGS:

Provided the conditions outlined in the staff recommendation are met, staff recommends that the Landmarks Board approve the application and adopt the following findings:

1. The proposed new construction meets the standards in 9-11-18 of the Boulder Revised Code.
2. The proposed construction will not have an adverse effect on the value of the landmark property, as it will be generally compatible in terms of mass, scale, or orientation with other buildings in the district.
3. In terms of mass, scale, and orientation the proposed construction will

Memo to the Landmarks Board
Re: Landmark Alteration Certificate for 835 Pine St.

be generally consistent with Section 9-11-18 B.R.C., Section 4 of the *General Design Guidelines* and Sections F and T of the *Mapleton Hill Design Guidelines*.

ATTACHMENTS:

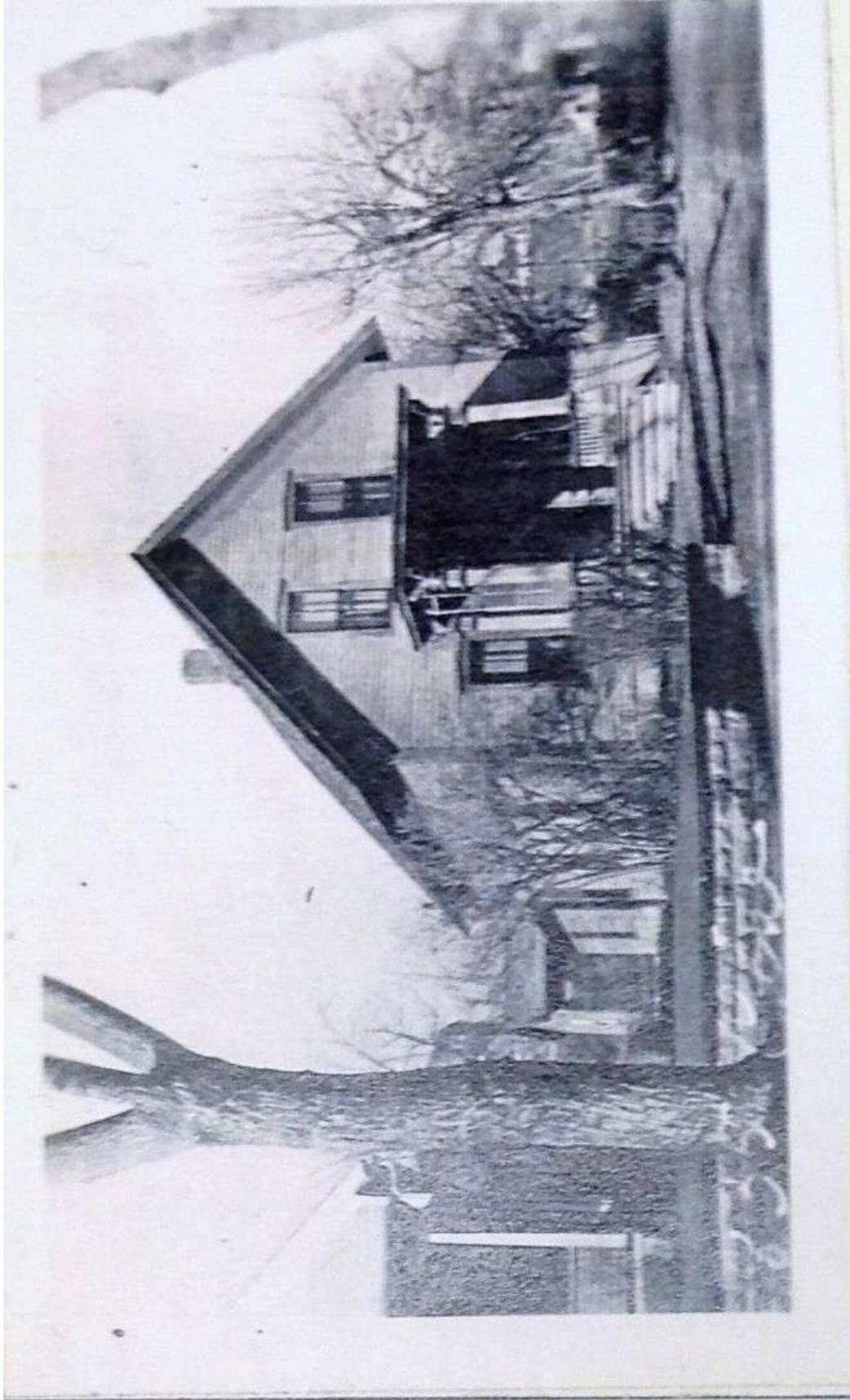
- A: Tax Assessors Card
- B: Photographs
- C: Applicant's Materials

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CLASS OF BUILDING	HEIGHT	ROOF	LIGHT	DESCRIPTION
1-Single Residence 2-Duplex 3-Bungalow, Apt., Or. 4-Flat or Terrace 5-Apartment House 6-Hotel 7-Store Building 8-Office Building 9-Hospital or Institution 10-Bank Building 11-Theater 12-Warehouse 13-Factory 14-Public Garage 15-Private Garage 16-Service Station 17-Hot House or Gr. House 18-Poultry House 19-Barn or Stable	No. of Stories Foundation Basement Quartz Half Three-Quarter Full Cement Floor Finished Walls and Ceiling Laundry	CONSTRUCTION Wood Shingle Composition Shingle Tar and Gravel Prepared Paper Sheet Iron Copper Concrete Tile Clay Tile Slate Asbestos Shingle Tin STYLE Gable Hip Flat Gambrel Mansard Lorain FLUORING Old Style Mud No. Bath Tubs No. Shower Baths No. Toilets No. Lavatories No. Urinals No. Laundry Tubs No. Sinks Sanitary Closets Cess Pool HEATING Stove Hot Air Hot Water Boiler No. Registers No. Heating Appliances Air-Conditioned FUEL Coal Oil Gas Electricity	Electricity Gas Oil PRIVATE GARAGE Sire Construction Floor Roof Heat SHEED AND BARRIS Ins. Gas LOCAL IMPROVEMENTS Street Paving Alley Paving Sewer Water Storm Sewer Sanitary Sewer Electricity Gas Telephones MISCELLANEOUS Sillboards Buffet Cabinets Book Cases Beam Ceiling Incinerator Flu Lights Refrigerator or Cooler Key Windows Decorative Windows Porches	ROOMS Living Room Dining Room Breakfast Room Kitchen Breakfast Room Bed Room Bath Room Toilet Room Shower Room Sleeping Porch Sun Room Dew Storage Room Office Halls FURNISH Individual Painted, Plain Painted, Ornaments Papered Painted or Tiled Hardwood Floor Hardwood Floor Hardwood Floor Tie Marble or Onyx Wall Paper Sillboard Cabinet Wainscoting Metal Ceiling REMARKS

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Attachment B: Current Photographs



835 Pine St., view of south (front) elevation, 2014.



835 Pine St., view of west elevation, 2014.

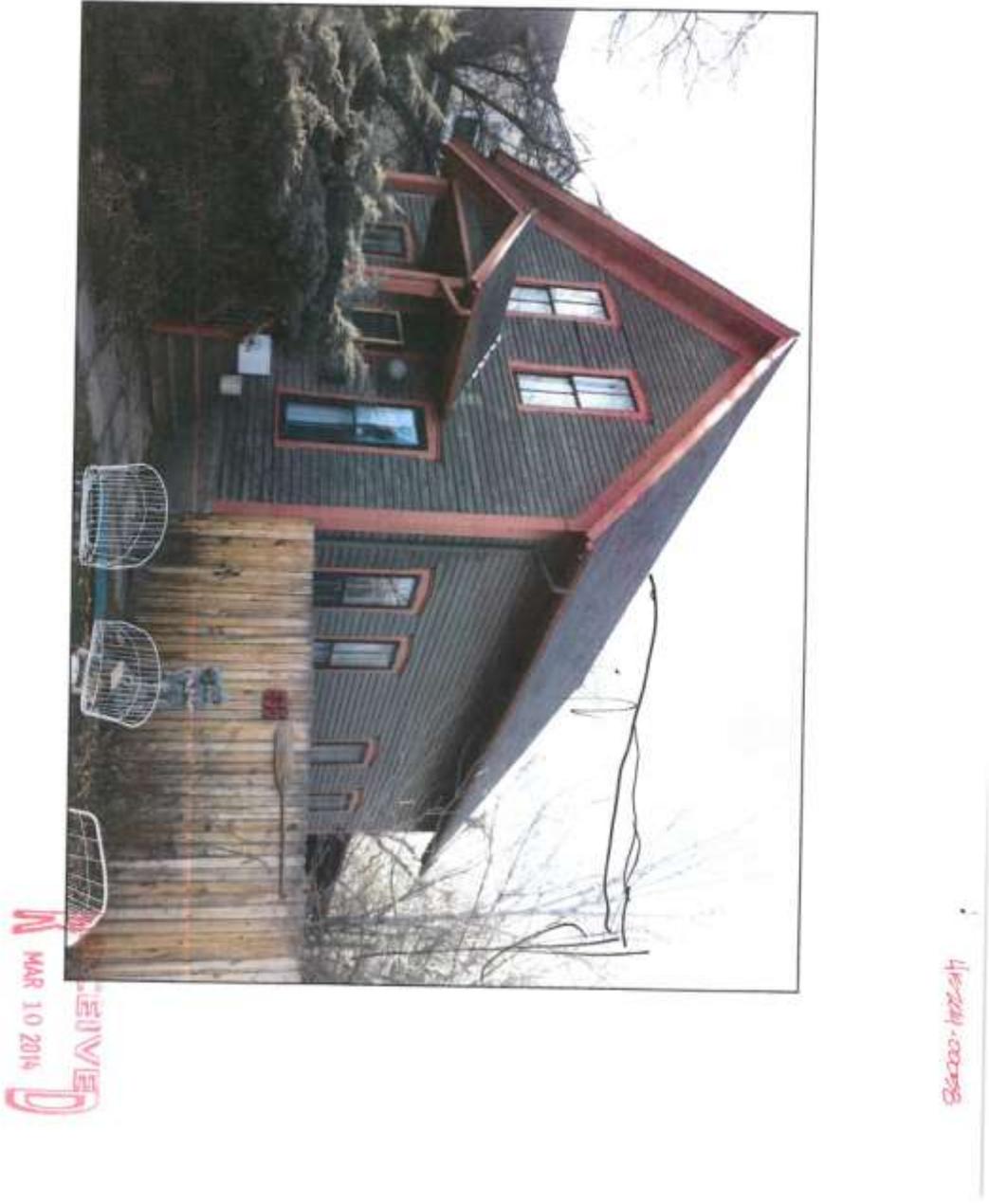
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835 Pine St., view of east elevation, 2014.



Attachment B: Applicant's Materials



Memo to the Landmarks Board
Re: Landmark Alteration Certificate for 835 Pine St.



VIEWED
MAR 10 2014

4/22/14 - Hester

Memo to the Landmarks Board
Re: Landmark Alteration Certificate for 835 Pine St.



Memo to the Landmarks Board
Re: Landmark Alteration Certificate for 835 Pine St.



THIS APPLICATION REQUESTS THE CONSTRUCTION OF A NEW ADDITION WITH A FOOT PRINT OF 660 SQ. FT. THE TOTAL AREA OF THE NEW ADDITION AMOUNTS TO 1528 SQ. FT. ON THE UPPER AND LOWER LEVELS. THE EXISTING 1912 ORIGINAL STRUCTURE IS A TWO STORY HOME WITH A SIMPLE RECTANGULAR FOOT PRINT OF 22'3" X 30'5" WHICH IS 1330 SQ. FT. BETWEEN BOTH LEVELS. IN ADDITION THERE IS A 15' X 22' EXISTING ADDITION ON THE REAR OF THE HOME WHICH IS OF UNKNOWN AGE BUT IS SHOWN ON INSURANCE CO. PLATS OF THE AREA DATING BACK TO AT LEAST 1931. THIS ADDITION ADDS 336 MORE SQ. FT. OF PRE 1946 AREA FOR A TOTAL OF 1666 SQ. FT.

THE PROPOSAL CALLS FOR MAINTAINING THE EXISTING 15' X 22' ADDITION AND REBUILDING IN ITS PLACE A TWO STORY VERSION AS A BREEZEWAY TO JOIN THE EXISTING HOME TO THE 22' X 30' TWO STORY ADDITION. THE ORIGINAL PLAN CALLED FOR SAVING A PORTION OF THE ADDITION, BUT AS A RESULT OF MEETING WITH STAFF IT IS APPARENT THAT REMOVING THE EXISTING ADDITION AND REBUILDING IT SO AS TO CREATE THE OPTIMAL CONNECTING BREEZEWAY IS PREFERABLE TO FORGING THE EXISTING STRUCTURE TO SERVE.

AS A RESULT OF AN INITIAL MEETING WITH THE DRC THE PROPOSAL HAS BEEN MODIFIED TO REDUCE OVERALL SQ. FOOTAGE, SHIFT THE BULK OF THE ADDITION WEST, LOWER THE ROOF LINE, AND UTILIZE A BREEZEWAY TO ESTABLISH A CLEAR LINE BETWEEN THE EXISTING AND NEW STRUCTURES.

THE NEW DESIGN FEATURES THE BREEZEWAY SUGGESTED BY STAFF, BUILT IN THE SAME LOCATION AS THE EXISTING ADDITION, PRESERVING MORE OF THE ORIGINAL FOOT PRINT, AND UTILIZING THE SPACE TO ALLOW FOR THE MAIN BULK OF THE ADDITION TO BE REDUCED.

THE MAIN 22'x30' ADDITION IS DESIGNED TO BE SIMILAR, BUT DIFFERENT TO FROM THE EXISTING. IT FEATURES A FOOT PRINT WHICH IS SIGNIFICANTLY SMALLER, AND AN OVERALL HEIGHT WHICH IS 6" LOWER THAN THE EXISTING. THE EXISTING WEST DIMENSION OF THE SECOND FLOOR IS REDUCED BY TWO FEET, IN EACH END TO SHRINK THE MASS OF THE ADDITION WHERE IT IS MOST VISIBLE, AND REDUCE THE OVERALL SQ. FOOTAGE, BUT STILL ALLOW FOR THE FOUR MODEST BEDROOMS THE HOMEOWNERS NEED FOR THEIR FOUR CHILDREN.

THE NEW PROPOSAL HAS A CONNECTING ROOF LINE WHICH IS 2' LOWER THAN THE EXISTING RIDGE AND STAYS BELOW THE EXISTING EAVE. THERE IS NO NEED TO REMOVE ANY OF THE EXISTING ROOF, AND THE PLAN IS EASILY "REVERSIBLE".

THE MAIN STATISTICS FOR THE PROPOSAL ARE AS FOLLOWS.

EXISTING 22.2' x 30.4'	
ORIGINAL STRUCTURE =	1290 SQ.FT.
EXISTING ADDITION (PRE 1946)	336 SQ.FT.
TOTAL EXISTING	<u>1626 SQ.FT.</u>
NEW ADDITION LOWER LEVEL	914 SQ.FT.
NEW ADDITION UPPER LEVEL	614 SQ.FT.
TOTAL NEW	<u>1528 SQ.FT.</u>

THE NEW ADDITION IS 98 SQ.FT. SMALLER THAN THE EXISTING HOME

THE TOTAL SQ FOOTAGE WHICH COMPLETE WILL BE 2,818 SQ.FT. ON A 10,000+ SQ.FT. LOT.

MATERIALS PROPOSED:

THE MAIN BODY OF THE SIDING IS PROPOSED AS A SMOOTH FINISH LAP SIDING WITH A 5"-6" EXPOSURE. THIS IS DIFFERENTIATED FROM THE EXISTING HOMES 4" EXPOSURE LAP SIDING. TRIM TO BE SIMPLE 2x4 AROUND WINDOWS AND DOORS. ALSO A CHANGE FROM THE EXISTING HOMES FANCIER BUILT UP TRIMS AND OGEES. CLEAN + SMOOTH SOFFIT + FASCIA BOARDS. CEDAR SHAKE SHINGLE SIDING IN THE UPPER REACHES OF THE GABLE ENDS.

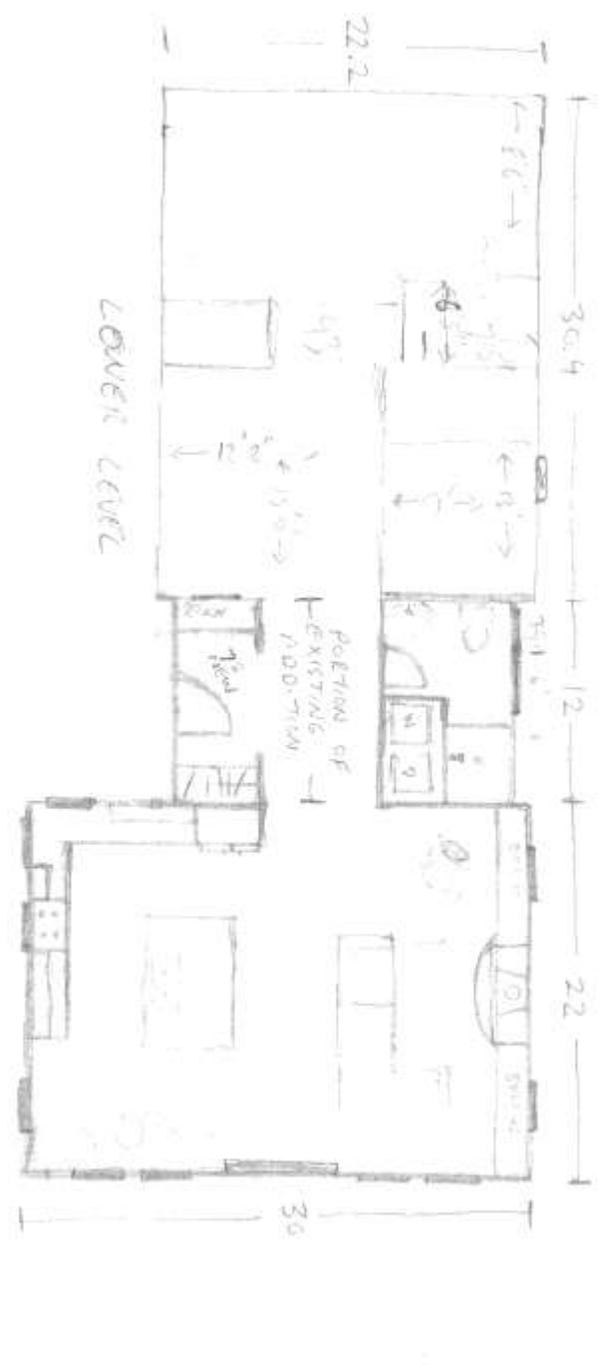
COLORS ARE ENVISIONED AS A CREAM WHITE MAIN BODY WITH ACCENTING GREY TRIM, SOFFIT + FASCIA.

ALL MATERIAL AND COLOR CHOICES TO BE DISCUSSED WITH LDRC AND FINAL DECISION PENDING CONSULTATION AND CONDITIONS OF LAC.

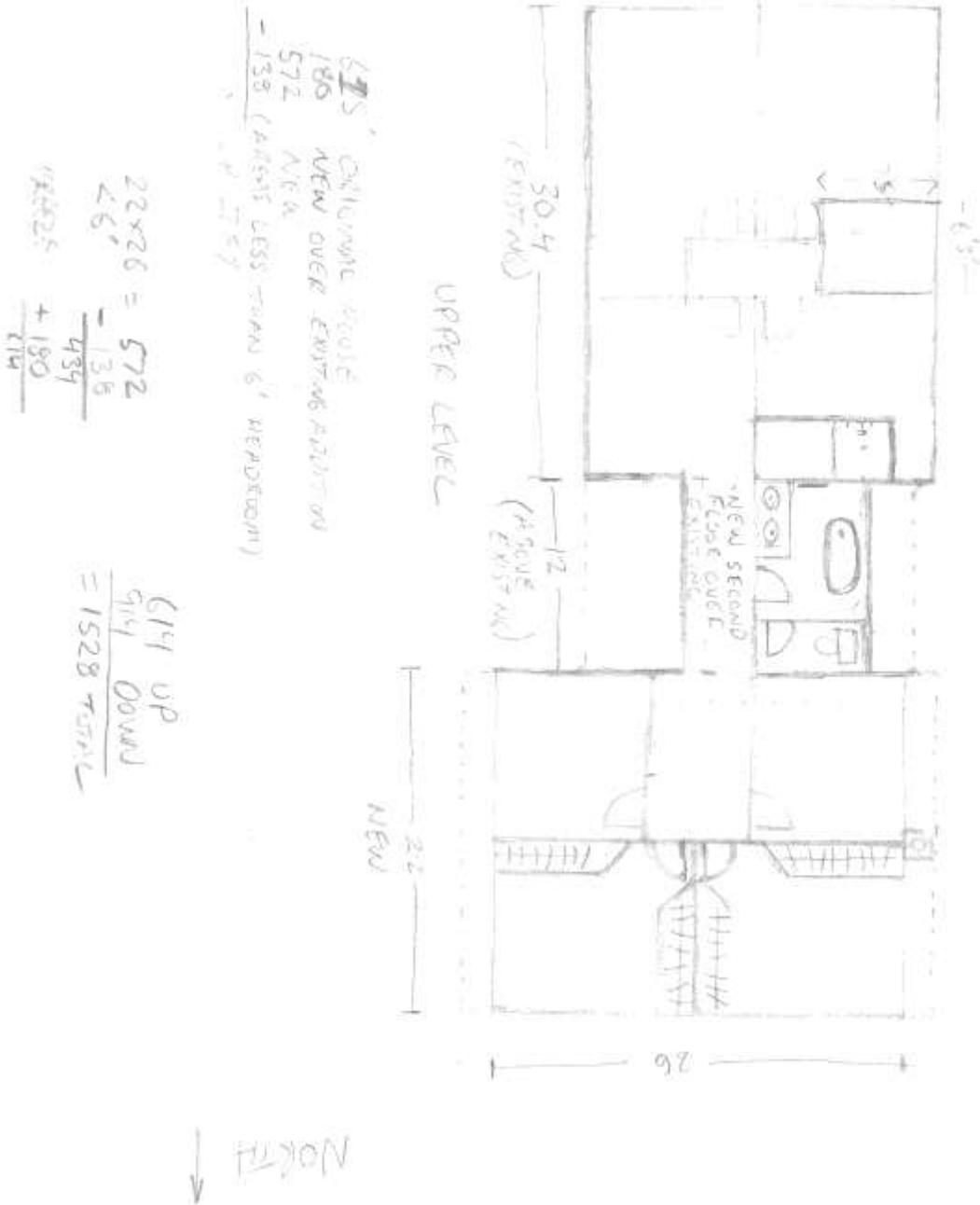
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75' CORNER PLUSE
25'1" BREZZEWAY
FCC NEW ADDITION

738
828
1540



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