



CITY OF BOULDER
PLANNING BOARD MEETING AGENDA
DATE: August 28, 2014
TIME: 6 p.m.
PLACE: Council Chambers, 1777 Broadway

1. CALL TO ORDER

2. APPROVAL OF MINUTES

The [July 17, 2014](#) minutes are scheduled for approval.

3. PUBLIC PARTICIPATION

4. DISCUSSION OF DISPOSITIONS, PLANNING BOARD CALL-UPS/CONTINUATIONS

5. PUBLIC HEARING ITEMS

- A. CONTINUATION OF A SITE REVIEW AMENDMENT** for development of an existing surface parking lot into a 163 room Residence Inn hotel at the Village Shopping Center, case no. [LUR2013-00057](#). The planned extended stay hotel is located on an approximate 1.65 acre site on the southwest corner of Canyon Boulevard and 26th Street in the Village Shopping Center, 2525 Arapahoe Ave., and 2550 Canyon Blvd. The hotel is proposed to be 128,346 square feet in a 4-5 story building. Below grade parking is proposed under the north wing of the hotel along Canyon Boulevard. Podium parking is proposed on the first floor of the south wing, with surface parking along the interior west property line. The applicant intends to pursue Vested Rights per section 9-2-19, B.R.C. 1981

Applicants: Bill Martinic, Stonebridge Properties
Property Owners: Gart Properties

- B. Public hearing and consideration a request to rezone a 0.99 acre parcel located at 5400 Spine Road** currently zoned Industrial-General (IG) to Business – Community 2 (BC-2) for consistency with the Boulder Valley Comprehensive Plan and the Gunbarrel Community Center Plan

Applicant: Brian Bair
Owner: Winfield Partners, LLC

6. MATTERS FROM THE PLANNING BOARD, PLANNING DIRECTOR, AND CITY ATTORNEY

- A. North Boulder Subcommunity Plan Update**

7. DEBRIEF MEETING/CALENDAR CHECK

8. ADJOURNMENT

**CITY OF BOULDER PLANNING BOARD
MEETING GUIDELINES**

CALL TO ORDER

The Board must have a quorum (four members present) before the meeting can be called to order.

AGENDA

The Board may rearrange the order of the Agenda or delete items for good cause. The Board may not add items requiring public notice.

PUBLIC PARTICIPATION

The public is welcome to address the Board (3 minutes* maximum per speaker) during the Public Participation portion of the meeting regarding any item not scheduled for a public hearing. The only items scheduled for a public hearing are those listed under the category PUBLIC HEARING ITEMS on the Agenda. Any exhibits introduced into the record at this time must be provided in quantities of ten (10) to the Board Secretary for distribution to the Board and admission into the record.

DISCUSSION AND STUDY SESSION ITEMS

Discussion and study session items do not require motions of approval or recommendation.

PUBLIC HEARING ITEMS

A Public Hearing item requires a motion and a vote. The general format for hearing of an action item is as follows:

1. Presentations

- a. Staff presentation (5 minutes maximum*)
- b. Applicant presentation (15 minute maximum*). Any exhibits introduced into the record at this time must be provided in quantities of ten (10) to the Board Secretary for distribution to the Board and admission into the record.
- c. Planning Board questioning of staff or applicant for information only.

2. Public Hearing

Each speaker will be allowed an oral presentation (3 minutes maximum*). All speakers wishing to pool their time must be present, and time allotted will be determined by the Chair. No pooled time presentation will be permitted to exceed ten minutes total.

- Time remaining is presented by a Green blinking light that means one minute remains, a Yellow light means 30 seconds remain, and a Red light and beep means time has expired.
- Speakers should introduce themselves, giving name and address. If officially representing a group, homeowners' association, etc., please state that for the record as well.
- Speakers are requested not to repeat items addressed by previous speakers other than to express points of agreement or disagreement. Refrain from reading long documents, and summarize comments wherever possible. Long documents may be submitted and will become a part of the official record.
- Speakers should address the Land Use Regulation criteria and, if possible, reference the rules that the Board uses to decide a case.
- Any exhibits introduced into the record at the hearing must be provided in quantities of ten (10) to the Secretary for distribution to the Board and admission into the record.
- Citizens can send a letter to the Planning staff at 1739 Broadway, Boulder, CO 80302, two weeks before the Planning Board meeting, to be included in the Board packet. Correspondence received after this time will be distributed at the Board meeting.

3. Board Action

- d. Board motion. Motions may take any number of forms. With regard to a specific development proposal, the motion generally is to either approve the project (with or without conditions), to deny it, or to continue the matter to a date certain (generally in order to obtain additional information).
- e. Board discussion. This is undertaken entirely by members of the Board. The applicant, members of the public or city staff participate only if called upon by the Chair.
- f. Board action (the vote). An affirmative vote of at least four members of the Board is required to pass a motion approving any action. If the vote taken results in either a tie, a vote of three to two, or a vote of three to one in favor of approval, the applicant shall be automatically allowed a rehearing upon requesting the same in writing within seven days.

MATTERS FROM THE PLANNING BOARD, DIRECTOR, AND CITY ATTORNEY

Any Planning Board member, the Planning Director, or the City Attorney may introduce before the Board matters which are not included in the formal agenda.

ADJOURNMENT

The Board's goal is that regular meetings adjourn by 10:30 p.m. and that study sessions adjourn by 10:00 p.m. Agenda items will not be commenced after 10:00 p.m. except by majority vote of Board members present.

*The Chair may lengthen or shorten the time allotted as appropriate. If the allotted time is exceeded, the Chair may request that the speaker conclude his or her comments.

CITY OF BOULDER
PLANNING BOARD ACTION MINUTES
July 17, 2014
1777 Broadway, Council Chambers

A permanent set of these minutes and a tape recording (maintained for a period of seven years) are retained in Central Records (telephone: 303-441-3043). Minutes and streaming audio are also available on the web at: <http://www.bouldercolorado.gov/>

PLANNING BOARD MEMBERS PRESENT:

Aaron Brockett
Bryan Bowen
Crystal Gray
John Gerstle
Leonard May
Liz Payton
John Putnam

PLANNING BOARD MEMBERS ABSENT:

STAFF PRESENT:

Charles Ferro, Development Review Manager for CP&S
Hella Pannewig, Assistant City Attorney
Lesli Ellis, Comprehensive Planning Manager
Susan Meissner, Administrative Assistant III
Chandler Van Schaack, Planner I
Elaine McLaughlin, Senior Planner
Bev Johnson, Senior Planner
Chris Meschuk, Senior Planner
David Thompson, Transportation Planner
Heidi Hansen, Civil Engineer II
Sam Assefa, Senior Urban Designer
Edward Stafford, Development Review Manager for PW
Marni Ratzel, Senior Transportation Planner
Kathleen Bracke, GO Boulder Manager

1. CALL TO ORDER

Chair, **A. Brockett**, declared a quorum at 5:05 p.m. and the following business was conducted.

2. APPROVAL OF MINUTES

On a motion by **J. Gerstle** and seconded by **J. Putnam**, the Planning Board voted 7-0 to approve the May 15, June 5 and June 19, 2014 minutes as amended (**L. Payton** abstained from the approval of the June 19, 2014 minutes).

3. PUBLIC PARTICIPATION

No one from the public spoke.

4. DISCUSSION OF DISPOSITIONS, PLANNING BOARD CALL-UPS/CONTINUATIONS

- A. Call Up: Wetland Permit LUR2014-00041, Sombrero Marsh Restoration. Expires 07/21/2014
- B. Call Up: Minor Subdivision Review 1401 Kalmia LUR2014-00020. Expires 07/21/2014
- C. Call Up: Staff Level Site Review Amendment (LUR2013-00059) and Final Plat (TEC2013-00073). Expires 7/22/2014

C. Gray, J. Gerstle and L. May called up item 4C. It will be added to a Planning Board agenda within the next 60 days.

5. PUBLIC HEARING ITEMS

- A. **SITE REVIEW AMENDMENT** for development of an existing surface parking lot into a 163 room Residence Inn hotel at the Village Shopping Center, case no. LUR2013-00057. The planned extended stay hotel is located on an approximate 1.65 acre site on the southwest corner of Canyon Boulevard and 26th Street in the Village Shopping Center, 2525 Arapahoe Ave., and 2550 Canyon Blvd. The hotel is proposed to be 128,346 square feet in a 4-5 story building. Below grade parking is proposed under the north wing of the hotel along Canyon Boulevard. Podium parking is proposed on the first floor of the south wing, with surface parking along the interior west property line. The applicant intends to pursue Vested Rights per section 9-2-19, B.R.C. 1981

Applicants: Bill Martinic, Stonebridge Properties
Property Owners: Gart Properties

Staff Presentation:

E. McLaughlin presented the item.

Board Questions:

E. McLaughlin answered questions from the board.

D. Thompson answered questions from the board.

K. Bracke answered questions from the board.

C. Ferro answered questions from the board.

H. Pannewig answered questions from the board.

Applicant Presentation:

Tommy Nigro, from Stonebridge Companies, introduced the item.

Steve Newman, from Newman Architecture, presented the item.

Daniel Aizenman, from Stantec Architecture, presented the item.

Board Questions:

Daniel Aizenman, from Stantec Architecture, answered questions from the board.

E. Stafford answered questions from the board

Public Hearing:

There were no comments from the public.

Board Comments:**Consistency with BVCP:**

L. May thought the project is generally moving in the right direction. He liked that the project was not monolithic and stepped down to four stories along Canyon Boulevard. He was concerned with the pedestrian quality along Canyon.

J. Gerstle thought that the use and zoning were appropriate for the location. He expressed concern regarding the pedestrian experience along Canyon, height and setbacks.

J. Putnam agreed that it met the general BVCP policies but was concerned about the pedestrian experience along Canyon Boulevard.

A. Brockett was a fan of the overall project. He liked that the parking lot would be converted to an urban use and that the building steps down to four stories on Canyon. He would like to look at the pedestrian experience.

B. Bowen agreed with the previous comments. He saw the project progress through BDAB and thought that the building setback and incorporation of cottonwoods were positive but expressed some concern about the pedestrian experience. He was generally happy with the architecture and massing, and liked that the lobby height was low.

C. Gray generally thought the design met the BVCP. She liked the lobby design and height reduction along Canyon, and appreciated that the existing cottonwood trees will remain in place. She expressed concern about the setback along Canyon and loss of landscaping. She would have liked to see more parking reductions but understood the limitations. Embed the mechanical systems in the roof.

L. Payton noted that the Village Shopping Center has a homegrown feel due to the landscaping, human scale and local businesses and expressed concern that the proposed scale and design do not relate to the rest of the center. She thought the streetscape may need a few tweaks and asked that the applicant do everything possible to maintain the health of the cottonwood trees; there are few that large n Boulder.

Height and Number of Stories:

L. May did not have anything to add to his previous comments.

J. Gerstle had some concerns about the height. He did not feel that the project provided sufficient community benefit to warrant the additional height. He would like to see a larger setback along Canyon with landscaping on either side of the sidewalk. He recommended that the applicant add windows along Canyon for displays; he recognized that retail is not permitted.

L. May suggested that any space above the by-right height be required to be net zero. A wider setback along Canyon would be appropriate; the current design is too constrained. Modify the ground use to activate that street and consider moving an active use to the northeast corner to contribute to the pedestrian experience.

J. Putnam did not agree with the previous comments. He shared concern about the pedestrian experience but would prefer to activate it with a public use; it is not necessary to shift the building program on the ground floor. He thought the surface parking lot posed a greater problem for activation and that pushing the setback toward Canyon made sense. He noted that the Village landscaping is currently uninspired in this zone; the proposal is better than what is there now. He did not have concerns about the height and liked that it stepped back along Canyon. He did not think that the project would be viable if it were all four stories. Thought energy consumption is important, it is too much to ask for the additional height to be net zero without a legislative mandate.

A. Brockett thought that the height was appropriate in this zone. He did not have an issue with the tighter setback and thought there was sufficient space for trees; wider setbacks feel more suburban and he thought the urban feel was appropriate in this area. He agreed that more activation on the north side would be positive but thought that the façade was significantly articulated and activated with rooms and balconies. He felt comfortable with the fact that this site and adjacent uses are auto friendly and have internal circulation patterns. He reminded the board that there is no public benefit requirement for height modifications. They must meet the site review criteria which do not cite public benefit.

B. Bowen thought the height, massing and setbacks were appropriate and that the articulation was successful. He appreciated that the design was simplified from previous renditions and thought the overall design and livability site review criteria were met. There is not enough program to make the first level more interesting and engaging; instead allow the rooms and balconies to open to the street. Screen the transformer and parking by more than shrubs.

C. Gray thought that tradeoffs on the site warranted the height modifications. The setback along Canyon does not need to be the full 20 feet, but more landscaping would make for a better pedestrian experience. She appreciated that the building pulled the corner back to accommodate the existing trees. Assure they are given enough space to be viable and are not compromised by the retaining walls and pathways. She would like to see renewable energy sources used on this project.

L. Payton was unclear about the open space requirement and recommended that 10% go toward more space for the trees. She did not think that the context supports a 55 foot building given the lower neighborhood to the east and noted that a three story hotel was approved for this site seven years ago. She liked BDAB's comments but did not think that the design took them into account. She thought that the design as proposed was too busy, the wall articulation did not succeed in creating interest and that the three foot setback along Canyon was too narrow. A ten foot setback could be used to create more organic interest.

L. May agreed with **L. Payton** about the architecture. He thought that the BDAB comments were good and that the current design is too busy. Adding layers of complexity does not lead to a better design. He did not think that the setback, ground level and architecture work well together.

J. Putnam noted that this site sits in the regional center where the city aims to have a more urban model; higher buildings and tighter setbacks support the goals and context. The Pearl apartment buildings across the street are much higher. He did not think that the NW corner of the Village shopping center worked well and could be discussed in the future.

E. McLaughlin clarified that the setbacks along Canyon are ten feet. There is only a three foot setback where the side entry canopy protrudes.

L. May noted that the creation of a successful pedestrian experience will require additional elements in conjunction with the building forward design.

J. Gerstle disagreed with **J. Putnam** about the height requirements. He thought that it was appropriate for the Planning Board to determine whether the city would be better off by granting a height variance.

A. Brockett agreed with **J. Gerstle** that the board should consider the appropriateness of the height; per the city's goals, he thought that this was one of the most appropriate locations for increased height and density. He agreed with **L. Payton** that neighborhoods need appropriate transitions, but noted that this site is far from the neighborhood; there is a row of commercial buildings on the west side of Folsom between the Village Shopping Center and the neighborhood.

C. Gray clarified that she was not advocating for parking lots or suburban development. She thought that some additional landscaping would benefit the pedestrian experience and promote a feeling of safety along a busy street.

L. May did not think that heights under 55 feet were suburban. It is possible to achieve an urban feel with larger setbacks and lower heights.

L. Payton quoted the design guidelines that views to the west should be protected, buildings should appear to be permanent and respect Boulder's small city ambiance. She questioned whether 55 foot buildings were embraced by the community. This is a good site for infill and we want to get rid of the parking lot; we should strive to get the best project possible.

B. Bowen noted that buildings with floors that step back are often criticized in Boulder.

C. Gray thought that the criticisms for "wedding cake" buildings that set higher stories back from the facade normally come from architects. The general public tends to like the friendly and open feeling that they achieve.

J. Gerstle thought that a step back would be desirable along Canyon and would enhance the pedestrian experience. He would like to see a 35 foot height along Canyon; it can rise to 55 feet toward the south.

J. Putnam cautioned there are important tradeoffs and that the board may be asking for too much. This is not an annexation. A certain density of use is needed to enliven the street. Lower heights and larger setbacks will reduce the intensity of use, likely creating more suburban typologies and problems elsewhere.

L. May did not think that everything needed to be built with zero lot lines and at 55 feet to achieve the city's transit and other goals.

B. Bowen noted that the applicant has already reduced the heights in several areas, done a lot to save trees, and worked on the facade to reinforce BDAB's goals. He did not think that being

taller was inherently worse. He thought this was a reasonable building design and did not think that chopping off a story would make the design better.

C. Gray thought the façade along Canyon was the most successful followed by that along 26th Street. She liked the step down, cohesiveness and use of materials. If the lobby were turned toward Canyon, it would feel more suburban.

S. Assefa spoke about the BDAB discussion and review of this building. He noted that the aspect ratio of the height and setbacks makes a place feel comfortable to pedestrians. He thought that larger setbacks undermine urban character in this area. The places that most people love have little to no setbacks.

C. Gray noted that Canyon is a unique street with a variety of zones; this project sits in a transitional section. She would like to see large trees continued in this section and feared that Redbuds will feel like shrubs.

L. Payton thought that the projected use of this building would make it feel suburban in character and bank-like.

S. Assefa thought that it was important to ask what would make the building feel more engaging to the pedestrian. BDAB struggled with this and requested that the materials be simplified. The project has come a long way even though it does entirely comply with the full scope of BDAB comments.

Consistency with BVRC Design Guidelines:

J. Gerstle thought that it would be important to maintain the view and desirable character of the city. It is subjective and fundamental.

Parking Reduction and Transportation Demand Management:

L. Payton generally supports parking reductions but worried that this one could adversely impact the grocery store and McGuckin's. Parking reductions favor young and able bodied people.

C. Gray supported the parking reduction but cautioned that Le Peep customers would likely use their parking. She thought it was important that the applicant provide EcoPasses for longer than two to three years. She did not think that the TDM plans were enforced strongly enough.

B. Bowen would advocate for a larger parking reduction by two or three stalls.

A. Brockett supported the parking reduction.

J. Putnam supported the parking reduction. It would have been helpful to have seen some more analysis. He thought that a B-Cycle station was helpful, but recommended that a fleet of bicycles belonging to the hotel could potentially be even better.

J. Gerstle thought the reduction was appropriate and supported the applicant's provision of employee Eco-Passes for longer than the allotted three year timeframe.

L. May agreed with a parking reduction; he would like to see an Eco-Pass instated for more than three years.

J. Putnam felt uncomfortable requiring that an applicant provide Eco-Passes for longer than three years because they are tied to RTD. The city does not control their fares, etc. This would push farther than the board should push.

Trees:

L. Payton asked that the cottonwood trees get a larger buffer; she recommended that the radius of the buffer equal the tree height. that the additional bugger space could come out of the open space credit that is given for the streetscape.

B. Bowen thought that the requirement for a drip line buffer was reasonable but would like to see assure that the roots are protected. Consider using alternatives to retaining walls such as boulders that would not require frost protection.

A. Brockett felt comfortable with the buffer as proposed because the city arborist approved it.

Site Plan:

B. Bowen would like to see a few modifications to the site plan. The northern setbacks could be aided by removing two parking stalls. Move the transformer out of the landscaping and place it behind a screen. Move the egress stair out of the setback to improve the pedestrian experience. Relocate the crosswalk to the south of the hotel; it will be even more difficult and dangerous when the building is built. He was okay with the narrow sidewalk along Canyon and noted that this is already a bad area for biking.

J. Gerstle cycles along the Canyon sidewalk and thought that this could be an opportunity to improve it.

Energy:

J. Putnam was disappointed that renewable energy options were not discussed or incorporated on site. Energy efficiency and renewable energy sources need to be clarified in the site review criteria. He would not deny the application based upon this, but would like to get more clarity for the future.

L. May did not think that buildings should emit more operational GHGs than their by right solution.

Architectural Articulation:

L. May thought that the plan looked jumbled and that a previous rendition looked more cohesive in the overall volume of the building. He said that it is important to place-make and maximize the quality of projects in the area. He thought that the Canyon façade was pretty close but missed the mark.

A. Brockett did not think that the current design took the BDAB comments into account.

L. Payton did not think that the requirement for enduring materials was met because they will age differently and make the building feel temporary. Simplify by using one type of brick and more natural materials.

L. May noted that the buildings at Boulder Junction have a similar stepping quality and variety of materials. He is afraid that this will look similar.

C. Gray thought that Canyon facade looks okay and that the set back portion will look fine because it is less visible. She disagreed with **L. May's** comment that the previous design was preferable. Her approval would not hinge on what the applicant does with the south side.

J. Gerstle thought the general design was okay but would prefer to see natural and simpler materials, a lower height and larger setback from the street. He requested that the applicant consistently show the bus enclosure on the drawings.

Straw Poll Vote:

L. May would opt for a continuance to give the applicant a chance to respond to the board's comments.

J. Gerstle agreed with **L. May**.

J. Putnam agreed that a continuance would be preferable because he did not think that the applicant would get four votes to approve the project as is. He would like to approve the project.

A. Brockett and **B. Bowen** agreed with **J. Putnam**.

D. Aizenman, architect for the applicant, was given the opportunity to provide some clarification. The setbacks along Canyon are between 8 and 13.5 feet. The side entrance is the only place with a three foot setback. The materials are intended to lighten the structure and be durable. He would be willing to consider changes to the colors and the articulation in the façade. The building would have an illuminated façade at night. Juliet balconies were added to the ground level to activate the façade. The back façade has as much brick and landscaping as possible. He can look into altering the sidewalk and detention pond. He liked the idea of providing a permeable deck and noted that the setback for the cottonwoods exceeds the trees' canopy. For context on the height, the applicants considered the adjacent Marriott and Golden Buff developments for context; both were approved for 55 feet.

Summary of Key Points:

Height:

Three members agreed with the height as presented and four raised concerns.

L. Payton would like to lower the entire hotel to four stories.

C. Gray thought that the height was acceptable as proposed if it were set back further from Canyon.

J. Gerstle thought the building was too high along Canyon but was okay with 55 feet on the south side.

L. May thought that the height should be tied to the pedestrian aspect, landscaping and setbacks.

Setback

Three members were okay with the setback as proposed and, four felt it was too small. The board would support a modest additional setback.

L. May thought that it should be tied to the height and pedestrian experience.

J. Putnam was fine with the setbacks as proposed but would be open to improving them. He liked **B. Bowen's** recommendation to move the transformer and to provide an area of relief and art in that area to enhance the pedestrian interest.

A. Brockett agreed with the setbacks as proposed.

C. Gray liked the entry along Canyon as designed. Create a transition to the narrower setback.

J. Gerstle agreed that the entry on Canyon was reasonable.

L. Payton agreed that the entry on Canyon was okay.

Architecture along Canyon

There was general interest in the simplification of form and material. Most of the board members supported the banding.

B. Bowen thought that the materiality was good and wanted to keep the banding on the brick. The applicant did a great job of making the elevation work given the nature of the building program. He asked that they take more of BDAB's comments into account.

L. May asked that the form and material be simplified and thought the lighter material on the bump outs made the building look more massive. He recommended that the bump outs use the same material as the rest of the building. He would like to see an enhanced pedestrian experience along Canyon.

L. Payton suggested that the same end could be achieved through a cornice or other architectural elements. She did not like the building articulation.

J. Putnam thought that there were qualitative and quantitative elements that will contribute to the comfort of the pedestrian.

A. Brockett, with the help of the other Planning Board members, summarized the key issues that the applicant would need to address in order for the board to consider the height variance. It appeared that the majority agreed that the resolution of these issues could warrant an approval.

- **Key Issues along the North Side:**
 - Enhance the pedestrian interest along Canyon Boulevard.
 - Add a landscaped amenity area near the northwest section that would screen the parking.
 - Some amount of additional setback on the north side and include enhanced landscaping.
 - Simplification of form and material.
- **Show the feasibility for the future incorporation of renewable energy systems on the building.**

- **TDM Plan and Eco Pass**
 - The board would like to see more details on the TDM Plan and for the applicant to provide Eco Passes to employees for an additional amount of time. The board recommended a five year commitment.
- **Improve the pedestrian connection along the South side of the Property**

On a motion by C.Gray and seconded by J.Putnam the Planning Board voted 7-0 to continue case number LUR2013-00057 to a future date to be determined.

B. Public hearing and consideration of Annexation and Initial Zoning of Residential Estate (RE) for the following properties:

1. 4270 19th St.
Applicant: Robert and Elaine Schuman
Owner: Robert and Elaine Schuman
2. 2130 Tamarack Av.
Applicant: Paul and Cindy Baker
Owner: Paul and Cindy Baker

J. Gerstle recused himself from this item.

Staff Presentation:

B. Johnson presented the item.

Board Questions:

B. Johnson answered questions from the board.

Applicant Presentation:

Cindy Baker and **Elaine Schuman**, the applicants, presented to the board.

Motion:

On a motion by B. Bowen and seconded by C. Gray the Planning Board voted 7-0 to recommend to City Council approval of the proposed annexation and initial zoning of Estate Residential (RE) pertaining to request #LUR2014-00046 (4270 19th St.), incorporated this staff memorandum as findings of fact, subject to the following recommended conditions of approval for annexation, including the amendment to item 4B of the Annexation Agreement as shown in handout for Agenda Item 5B::

1. Requirements Prior to First Reading of the Annexation Ordinance. Prior to the scheduling of first reading of the annexation ordinance, the Applicants shall do the following:
 - A. Annexation Agreement. The Applicants will sign the Agreement.
 - B. Title Work. The Applicants will provide the City with title work current to within 30 days of signing this Agreement.
 - C. Written Descriptions. The Applicants shall provide a written description of any nonconforming uses and/or nonstandard buildings existing on each Property, if any.

- D. Easement Dedication. The Applicants shall dedicate to the City, in fee and at no cost, 10.5 feet of right-of-way along the length of the west line of the Property for 19th Street.
- E. Right-of-Way Dedication. The Applicants shall dedicate to the City, in fee and at no cost, 15 feet of right-of-way along the length of the east line of the Property.
2. Connection Requirements. Prior to connection to the City's water and/or sanitary sewer mains, the Applicants shall:
- A. Submit an application to connect to the City's water and/or sanitary sewer mains that meets the requirements of Chapters 11-1 and 11-2, B.R.C. 1981.
 - B. Pay all applicable fees and charges associated with a service line connection to water and/or sanitary sewer mains, including water and wastewater plant investment fees, stormwater and flood management plant investment fees, right-of way, water, and wastewater permit fees, installation fees, and tap fees.
 - C. Construct the individual service line that will connect the Applicants' existing residence to the City's water and/or wastewater mains.
 - D. Pay any assessments, including but not limited to the following:

Water Main	\$ 636.00
Sewer Main	\$ 954.00
Stormwater and Flood PIF	\$19,967.58
 - E. Execute a Promissory Note and Deed of Trust, if Applicants selected Payment Option #B, as described under Paragraph 3.B.i below.
3. Payment Options and Requirements for Fees, Taxes, and Public Improvement Costs. The Applicants select **Option #B** set forth below.
- B. Option #B: Payment Plan. The Applicants shall connect to City water and sanitary sewer mains within 180 days after the effective date of the annexation ordinance, shall comply with the terms of Paragraph 3 above except that the costs, fees and any assessments described in Paragraph 3 shall be paid in accordance with the terms of the following payment plan:
- i. Prior to connection to the City's water and/or sewer mains, the Applicants shall execute a Promissory Note and a Deed of Trust securing said Note and encumbering the Applicants' Property in the principal amount to cover the amounts set forth in Paragraph 3 above. The Note will have a simple interest rate of 3.25 percent per annum, payable in 10 annual installments of principal and interest beginning on October 1, 2015.
- The City Manager may, in her discretion, approve a different time for connection to City water and sanitary sewer mains provided the Applicants demonstrate reasonable diligence to comply with the 180-day deadline and good cause for the extension. The City Manager, in her discretion, may approve for good cause a different time for payment of the first of the 10 annual installments of principal and interest.
- C. City of Boulder Design and Construction Standards. Any other public improvements that are required to be constructed by the terms of this Agreement shall be constructed in accordance with the requirements of the City of Boulder *Design and Construction Standards*.

- D. Use of Existing Wells. The City agrees not to prohibit the Applicants from using existing wells for irrigation purposes, even if the Property is served by the City water utility. Under no circumstances may existing wells be used for domestic water purposes once the Applicants have connected to city water utility. No person is allowed to make any cross connections between a well and the City's municipal water utility. The Parties agree that there shall not be any type of connection between any well and the City water system serving the Property.
- E. Applicants Responsible for Legal Disconnection of On-site Wastewater System. If the Applicants decide to continue to use an existing on-site wastewater system, the Applicants agree that they will connect to the adjacent sanitary sewer main, in accordance with Section 11-2-9, B.R.C. 1981, upon any declaration by Boulder County Public Health to cease and desist using the on-site wastewater system or other declaration that the on-site wastewater system constitutes a threat to the public health. Currently, under Boulder County Public Health Department policy, all on-site wastewater system must be permitted and approved by 2023. At that time, any resident still using an on-site wastewater system must either have their system permitted and approved, or connect to the adjacent sanitary sewer main. At the time of any disconnection of the on-site wastewater system and connection to the City's sanitary sewer main, the Applicants are required to abandon the existing on-site wastewater system in accordance with Boulder County Public Health and State of Colorado regulations.
- F. Historic Drainage. The Applicants agree to convey drainage from the Property in an historic manner that does not materially and adversely affect abutting properties.
- G. Ditch Company Approval. If the Property is abutting an existing irrigation ditch or lateral, the Applicants agree not to relocate, modify, or alter the ditch or lateral until and unless written approval is received from the appropriate ditch company.
- H. Existing Nonstandard Buildings and/or Nonconforming Uses. Existing, nonstandard buildings and/or nonconforming uses will be allowed to continue to be occupied and operated in the City of Boulder. The Applicants shall identify existing nonstandard buildings and/or nonconforming uses at the time of annexation to be considered a legal use under this Agreement. The Applicants and the City agree that this section shall not be construed to permit the Property to constitute a nuisance or to cause a hazard under the City's life safety codes.
- I. New Construction. The Applicant shall ensure that all new construction commenced on the Property after annexation shall comply with all City of Boulder laws, taxes, and fees, except as modified by this Agreement. Any new structure shall front on 19th Street, with the front door and front yard facing 19th Street. Any new garages shall be designed so that garage doors do not dominate the front façade of the structure. Garage doors shall be located no less than 20 feet behind the principle plane of the primary structure.
11. Providing Permanently Affordable Housing. For each additional dwelling unit on the Property that is not deed-restricted as a permanently affordable residence consistent with the requirements of Chapter 9-13, "Inclusionary Housing," B.R.C.

1981, the Applicant shall pay twice the applicable cash-in-lieu amount as required per each market unit in that chapter to the City. This amount is payable prior to issuance of a building permit for each new dwelling unit that is not deed-restricted as a permanently affordable residence consistent with the requirements of Chapter 9-13, "Inclusionary Housing," B.R.C. 1981. The parties acknowledge that the Property has the equivalent of one habitable dwelling unit on such Property at the time of annexation.

On a motion by **B. Bowen** and seconded by **C. Gray** the Planning Board voted 7-0 to recommend to City Council approval of the proposed annexation and initial zoning of Estate Residential (RE) pertaining to request #LUR2014-00047 (2130 Tamarack Av.), incorporated this staff memorandum as findings of fact, subject to the following recommended conditions of approval for annexation, including the amendment to item 4B of the Annexation Agreement as shown in handout for Agenda Item 5B:

1. Requirements Prior to First Reading of the Annexation Ordinance. Prior to the scheduling of first reading of the annexation ordinance, the Applicants shall do the following:
 - A. Annexation Agreement. The Applicants will sign this Agreement.
 - B. Title Work. The Applicants will provide the City with title work current to within 30 days of signing this Agreement.
 - C. Written Descriptions. The Applicants shall provide a written description of any nonconforming uses and/or nonstandard buildings existing on the Property, if any.
 - D. Easement Dedications. The Applicants shall dedicate to the City, at no cost, a flood control easement from 60 feet on either side of the centerline of Fourmile Canyon Creek as shown on **Exhibit B** of the annexation agreement. The easement shall be in a form acceptable to the city manager. The easement will exclude any principal building containing a dwelling unit on the lot within the flood control easement area that is existing at the time of annexation.

2. Connection Requirements. Prior to connection to the City's water and/or sanitary sewer mains, the Applicants shall:
 - A. Submit an application to connect to the City's water and/or sanitary sewer mains that meets the requirements of Chapters 11-1 and 11-2, B.R.C. 1981.
 - B. Pay all applicable fees and charges associated with a service line connection to water and/or sanitary sewer mains, including water and wastewater plant investment fees, stormwater and flood management plant investment fees, right-of way, water, and wastewater permit fees, installation fees, and tap fees.
 - C. Construct the individual service line that will connect the Applicants' existing residence to the City's water and/or wastewater mains.
 - D. Pay any assessments, including but not limited to the following:

Water Main	\$11,356.91
Sewer Main	\$ 8,465.50
Street	\$ 7,604.49
Stormwater and Flood PIF	\$6,742.38

- E. Execute a Promissory Note and Deed of Trust, if Applicants selected Payment Option #B, as described under Paragraph 3.B.i below.
3. Payment Options and Requirements for Fees, Taxes, and Public Improvement Costs. The Applicants select **Option #B** set forth below.
- B. Option #B: Payment Plan. The Applicants shall connect to City water and sanitary sewer mains within 180 days after the effective date of the annexation ordinance, shall comply with the terms of Paragraph 3 above except that the costs, fees and any assessments described in Paragraph 3 shall be paid in accordance with the terms of the following payment plan:
- i. Prior to connection to the City's water and/or sewer mains, the Applicants shall execute a Promissory Note and a Deed of Trust securing said Note and encumbering the Applicants' Property in the principal amount to cover the amounts set forth in Paragraph 2 above. The Note will have a simple interest rate of 3.25 percent per annum, payable in 10 annual installments of principal and interest beginning on October 1, 2015.

The City Manager may, in her discretion, approve a different time for connection to City water and sanitary sewer mains provided the Applicants demonstrate reasonable diligence to comply with the 180-day deadline and good cause for the extension. The City Manager, in her discretion, may approve for good cause a different time for payment of the first of the 10 annual installments of principal and interest.

4. City of Boulder Design and Construction Standards. Any other public improvements that are required to be constructed by the terms of this Agreement shall be constructed in accordance with the requirements of the City of Boulder *Design and Construction Standards*.
5. Use of Existing Wells. The City agrees not to prohibit the Applicants from using existing wells for irrigation purposes, even if the Property is served by the City water utility. Under no circumstances may existing wells be used for domestic water purposes once the Applicants have connected to city water utility. No person is allowed to make any cross connections between a well and the City's municipal water utility. The Parties agree that there shall not be any type of connection between any well and the City water system serving the Property.
6. Applicants Responsible for Legal Disconnection of On-site Wastewater System. If the Applicants decide to continue to use an existing on-site wastewater system, the Applicants agree that it will connect to the adjacent sanitary sewer main, in accordance with Section 11-2-9, B.R.C. 1981, upon any declaration by Boulder County Public Health to cease and desist using the on-site wastewater system, or other declaration that the on-site wastewater system constitutes a threat to the public health. Currently, under Boulder County Public Health Department policy, all on-site wastewater system must be permitted and approved by 2023. At that time, any resident still using an on-site wastewater system must either have their system permitted and approved, or connect to the adjacent sanitary sewer main. At the time of any disconnection of the on-site wastewater system and connection to the City's sanitary sewer main, the Applicants are required to abandon the existing on-site

wastewater system in accordance with Boulder County Public Health and State of Colorado regulations.

7. Historic Drainage. The Applicants agree to convey drainage from the Property in an historic manner that does not materially and adversely affect abutting properties.
8. Ditch Company Approval. If the Property is abutting an existing irrigation ditch or lateral, the Applicants agree not to relocate, modify, or alter the ditch or lateral until and unless written approval is received from the appropriate ditch company.
9. Existing Nonstandard Buildings and/or Nonconforming Uses. Existing, nonstandard buildings and/or nonconforming uses will be allowed to continue to be occupied and operated in the City of Boulder. The Applicants shall identify existing nonstandard buildings and/or nonconforming uses at the time of annexation to be considered a legal use under this Agreement. The Applicants and the City agree that this section shall not be construed to permit the Property to constitute a nuisance or to cause a hazard under the City's life safety codes.
10. New Construction. The Applicant shall ensure that all new construction commenced on the Property after annexation shall comply with all City of Boulder laws, taxes, and fees, except as modified by this Agreement. Any new structure shall front on Tamarack Avenue, with the front door and front yard facing Tamarack Avenue. Any new garages shall be designed so that garage doors do not dominate the front façade of the structure. Garage doors shall be located no less than 20 feet behind the principle plane of the primary structure.
11. Flood Control Easement Conditions.
 - A. The City will allow existing accessory structures identified in the agreement to remain within the Flood Control Easement Area until removed, destroyed, demolished, or relocated.
 - B. The City can require removal of pre-existing accessory buildings if removal of such buildings is required to implement a specific flood mitigation project.
 - C. The Applicants shall neither construct any new buildings nor rebuild or reconstruct any pre-existing accessory buildings within the Flood Control Easement Area.
12. Providing Permanently Affordable Housing. For each additional dwelling unit on the Property that is not deed-restricted as a permanently affordable residence consistent with the requirements of Chapter 9-13, "Inclusionary Housing," B.R.C. 1981, the Applicant shall pay twice the applicable cash-in-lieu amount as required per each market unit in that chapter to the City. This amount is payable prior to issuance of a building permit for each new dwelling unit that is not deed-restricted as a permanently affordable residence consistent with the requirements of Chapter 9-13, "Inclusionary Housing," B.R.C. 1981. The parties acknowledge that the Property has the equivalent of one habitable dwelling unit on such Property at the time of annexation.

C. Public hearing to receive feedback on proposed changes to the Parking Standards of Title 9, "Land Use Code," B.R.C. 1981 relative to 1) identified inconsistencies and

standards that are often problematic and require update and 2) new bicycle parking standards by land use. The proposed changes were identified as part of the Access Management and Parking Strategy (AMPS) process relative to parking citywide.

Staff Presentation:

K. Guiler and **M. Ratzel** presented the item.

Board Questions:

K. Guiler answered questions from the board.

Bill Fox, the transportation consultant, answered questions from the board.

Public Hearing:

No one from the public spoke.

Board Comments:

C. Gray expressed concern that Topic 2: Driveway Parking Standards would encourage people to park over the sidewalk. For Topic 7, she wanted to assure that there would not be unintended consequences.

Topic 7: Simplifying Parking Requirements for Restaurants, Brewpubs and Taverns

L. May wanted to assure that restaurant seating patterns were taken into account and questioned whether the number of people at a restaurant changes depending on the weather; the client base may just move between interior and exterior seats.

A. Brockett noted that this could significantly raise the parking requirements for businesses. He requested more analysis and examples to provide a better understanding of the ramifications.

J. Putnam agreed with **A. Brockett**. He would like to see more analysis to avoid unintended consequences.

A. Brockett recommended restricting the percentage of restaurants by square footage. Develop tiers depending on the number of restaurants.

Topic 1: Updating RH-1 Parking Standards

C. Gray opposed the addition of curb cuts for homes with access to an alley; she felt that they decrease the walkability of neighborhoods.

L. May thought **C. Gray's** point was legitimate. Remove curb cuts where alley access is available.

L. Payton disagreed with **C. Gray's** comment about curb cuts. She did not want to create conflict where none currently exist.

B. Bowen recommended that the revised code remove the parking requirement for projects with 60% or more one-bedroom units.

J. Gerstle was interested in learning more about this and requested additional analysis on this topic.

J. Putnam suggested moving **B. Bowen's** parking reduction recommendation to Phase 2 unless information is already readily available.

L. May noted that this could perform differently based upon the location.

Topic 2: Making Driveway Parking Standards for RL-2 Consistent with other Districts

A. Brockett noted that the board previously received a great deal of analysis on RH-2 parking standards that were virtually identical to the proposed RH-1 parking standards. This is a simplified version of that, therefore he felt comfortable with this proposal.

Topic 3: Specifying Non-Residential Parking Requirements in the RH-6 Zoning District

The board felt comfortable with topic three.

Topic 4: Updating Accessible Parking Requirements

A. Brockett looked at NCA117.1, the ADAG. Both documents specify the size, arrangement and clearances requirement for the stalls, but they do not specify the number. The ADA specifies the number. He thought it was either one or both.

J. Putnam thought the concept made sense but prior to approval he would want to assure that the federal standard is keeping up with Boulder's demographics.

Topic 5: Reducing the Parking Rate for Low Parking Demand Nonresidential Land Uses

The board felt comfortable with topic five.

Topic 6: Simplifying Parking Standards for Retail Centers (Restaurants, Brewpubs and Taverns)

A. Brockett noted that restaurants currently require more parking than other retail uses. He suggested restricting the percentage of restaurants by square footage. Include two or three tiers. Reduce the complexity.

Topic 8: Add Duplex to Single Family Detached

The board saw little distinction between single family residential and duplexes.

C. Gray wanted to avoid unintended consequences in locations such as the Hill. She recommended that staff discuss this concept with neighbors on the Hill. Nonconforming duplexes could reduce the parking requirements.

B. Bowen noted that this is currently a hole in the code. There is not currently a requirement.

C. Gray cited an email from her neighbor that that there are many VRBO rentals and old properties that have been turned into apartments where parking requirements are not enforced.

B. Bowen asked that there be requirements to make parking lots more user friendly. Add sidewalks, and increase tree count and hardscape permeability requirements.

C. Gray exited the meeting at 11:06pm.

Bike Parking Code Requirements and Design Standards:

J. Putnam noted that hotels may not need the same bike rack requirements and suggested that

outlets for electric bikes be added to the standards. He also recommended drafting standards for bike repair spaces in housing complexes with smaller unit sizes.

J. Gerstle agreed with **J. Putnam's** hotel comment.

A. Brockett commented on the difference between office and retail bike parking requirements. Office bike parking should have a 50:50 short term and long term bike parking ratio with the exception of medical offices; they behave more like retail spaces.

B. Bowen thought that this was fantastic and applauded staff for going this far with the revisions.

6. MATTERS FROM THE PLANNING BOARD, PLANNING DIRECTOR, AND CITY ATTORNEY

L. Payton asked whether it would be possible to add an automatic "PB" prefix to the subject line of all emails addressed to boulderplanningboard. **S. Meissner** will look into this with IT.

L. May requested that packets be loaded onto the staff laptop for reference. He asked to schedule a retreat to discuss some earmarked items. He will send them to the board via email.

B. Bowen noted that BDAB is interested in having some walking tours and events with the Planning Board. They are revising the Downtown Design Guidelines.

7. DEBRIEF MEETING/CALENDAR CHECK

C. Ferro noted that we will likely have 3 to four meetings for the next few months. August 28th may need to be added to accommodate the call up item from tonight. **S. Meissner** will poll the board on dates.

8. ADJOURNMENT

The Planning Board adjourned the meeting at 11:45 p.m.

APPROVED BY

Board Chair

Date

**CITY OF BOULDER
PLANNING BOARD AGENDA ITEM
MEETING DATE: August 28, 2014**

AGENDA TITLE: CONTINUATION OF A SITE REVIEW AMENDMENT for development of an existing surface parking lot into a 163 room Residence Inn hotel at the Village Shopping Center, case no. LUR2013-00057. The planned extended stay hotel is located on an approximate 1.65 acre site on the southwest corner of Canyon Boulevard and 26th Street in the Village Shopping Center, 2525 Arapahoe Ave., and 2550 Canyon Blvd. The hotel is proposed to be 128,346 square feet in a 4-5 story building. Below grade parking is proposed under the north wing of the hotel along Canyon Boulevard. Podium parking is proposed on the first floor of the south wing, with surface parking along the interior west property line. The applicant intends to pursue Vested Rights per section 9-2-19, B.R.C. 1981

Applicants: Bill Martinic, Stonebridge Properties
Property Owners: Gart Properties

REQUESTING DEPARTMENT:

Community Planning & Sustainability

David Driskell, Executive Director

Susan Richstone, Deputy Director

Charles Ferro, Development Review Manager

Elaine McLaughlin, Senior Planner

OBJECTIVE:

1. Hear applicant and staff presentations.
2. Hold public hearing.
3. Planning Board action to approve, approve with conditions, or deny the Site Review application.

SUMMARY:

Proposal: Site Review Amendment of a previously approved Site Review LUR2006-00091. Proposed is a 163-room Residence Inn Hotel within the Village Shopping Center. The application includes a request for a 10.5 percent parking reduction for the entire center.

Project Name: Residence Inn at Village Shopping Center

Location: 2550 Canyon Boulevard and 2525 Arapahoe Avenue

Size of Tract: 1.65 Acres

Zoning: Business Regional-1 (BR-1)

Comprehensive Plan: Regional Business

KEY ISSUE: Do the resubmitted plans address the Planning Board recommended refinements?

BACKGROUND:

This item is continued from the July 17, 2014 Planning Board hearing. At that hearing, several key issues were identified and discussed as follows:

1. Is the proposed project consistent with Boulder Valley Comprehensive Plan policies?
2. Does the proposed project, including the requested modifications to height, number of stories, and setbacks meet the Site Review criteria of Land Use Code Section 9-2-14(h), B.R.C. 1981?
3. Is the proposed project consistent with the Boulder Valley Regional Center Design Guidelines?
4. Does the proposed parking reduction of 10.5 percent meet the criteria of Section 9-2-14(h)(2)(K), B.R.C. 1981?

The Planning Board generally supported the proposed modifications and requested the applicant to return in a continuation of the public hearing, with the revisions to better meet the Site Review criteria.

A draft of the Planning Board minutes are provided in [Attachment A](#) and the July 17, 2014 staff memo is provided [here](#).

SUMMARY OF PLANNING BOARD RECOMMENDED REFINEMENTS:

The specific direction given to the applicant by the Planning Board to refine project plans is as follows:

- ITEM 1: **Simplify the façade of the building**, particularly along Canyon Boulevard, this could include utilizing two brick colors instead of three and by having less wall returns;
- ITEM 2: Along Canyon Boulevard, **create a greater building setback from the right of way**, add more plantings and a second row of trees along the northern façade; further screen the parking lot from Canyon Boulevard, add a bus shelter;
- ITEM 3: Provide **a walkway along the south side** of the building;
- ITEM 4: Provide an **extended period for EcoPass** provision to employees.
- ITEM 5: Provide **rough-in electrical conduit for future roof mounted photovoltaic** panel array.

APPLICANT RESPONSE TO PLANNING BOARD RECOMMENDATIONS:

The applicant provided revised plans along with a written statement indicating how the revised plans responded to the Planning Board's comments, refer to [Attachment C](#).

ITEM 1: The applicant simplified the façade of the building through the following:

- Reduced number of brick colors to two;
- Reduced wall returns keeping some to be consistent with the design guidelines; and
- Reduced the "banding" on the building, keeping some to be consistent with the design guidelines.

Refer to Figures 1a and 1b for the comparison of "before" and "after" of the Canyon Boulevard elevations and 2a and 2b for perspectives. The brick was extended to the fourth story per BDAB's comment:

"North Elevation (facing Canyon)

- ✧ *Raise brick one more story so there are 4 stories of brick. The 5th level is setback so this makes sense as a place to transition material.*
- ✧ *Carry brick around corners (northwest and northeast) to complete the masonry massing."*



Figure 1a: Original North Elevation from July 17, 2014 Planning Board Hearing



Figure 1b: Revised North Elevation in response to planning board comments



Figure 1c: Original Perspective looking southeast from Planning Board Hearing



Figure 1d: Perspective looking south east: Revised

ITEM 2: Regarding the request to increase the building setback along Canyon Boulevard, the setback originally ranged from 8 feet to 13 feet, with a three-foot setback for the entry element along Canyon Boulevard and in response to the request from Planning Board the setback was revised to be a larger setback of 14.5 feet to 17.5 feet. The three foot setback for just entry element remains in place per Planning Board. The stair access to the below grade parking was moved outside of the setback to the west, an additional landscape area was added all along Canyon Boulevard. Within the setback, the applicant has added Pear trees which are taller growing with a more upright habit, creating a canopy of a double row of trees per Planning Board's request. Figure 2a below is the original setback reviewed at the July 17, 2014 Planning Board hearing, Figure 2b is the revised setback, and Figure 2c is a composite illustrating how the setbacks have increased. The applicant also moved the stairway access to the west side of the building which resulted in a loss of three parking spaces which doesn't affect the overall parking reduction.

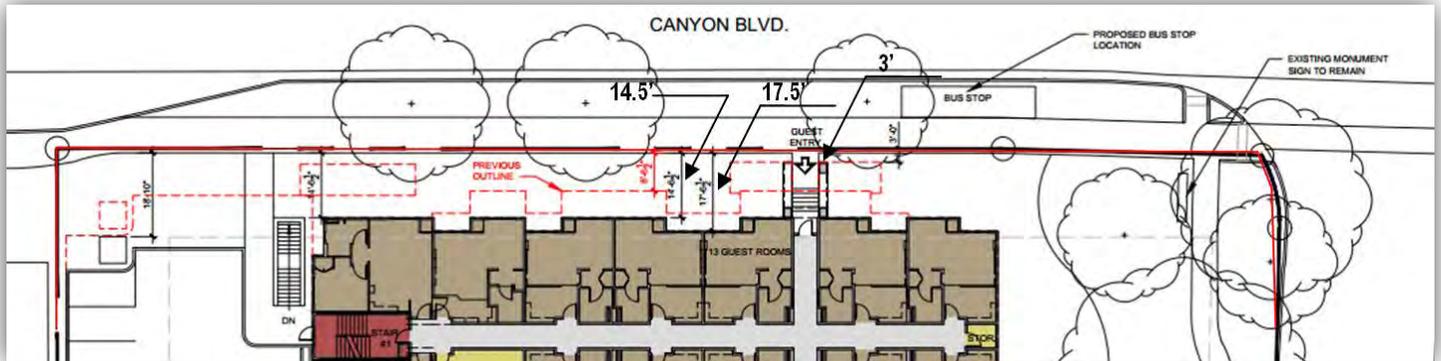


Figure 2a: Original Canyon Boulevard setback compared to proposed setback

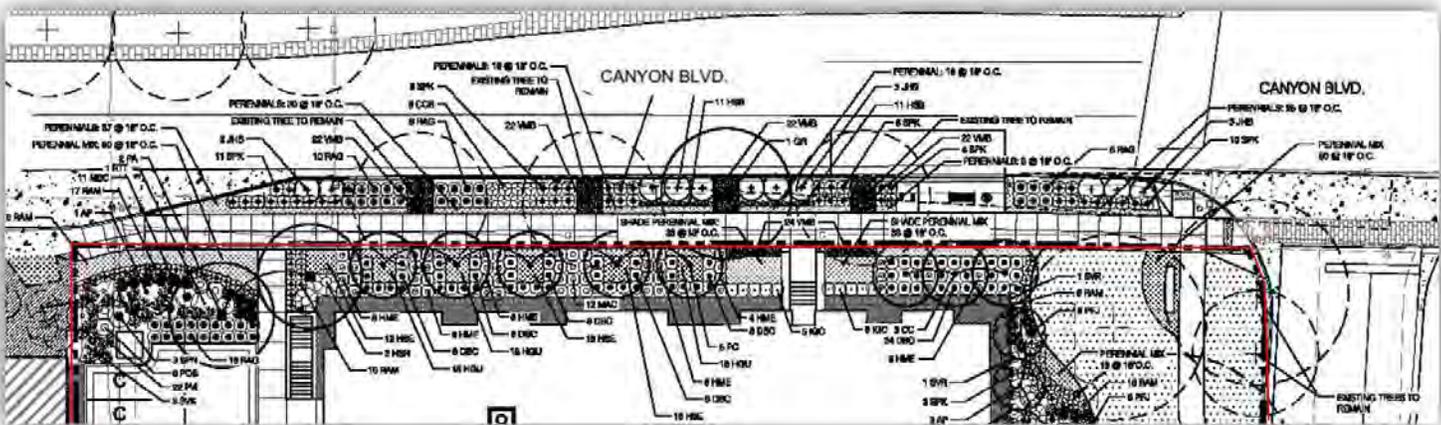


Figure 2b: Revised Canyon Boulevard setback with landscaping and trees added

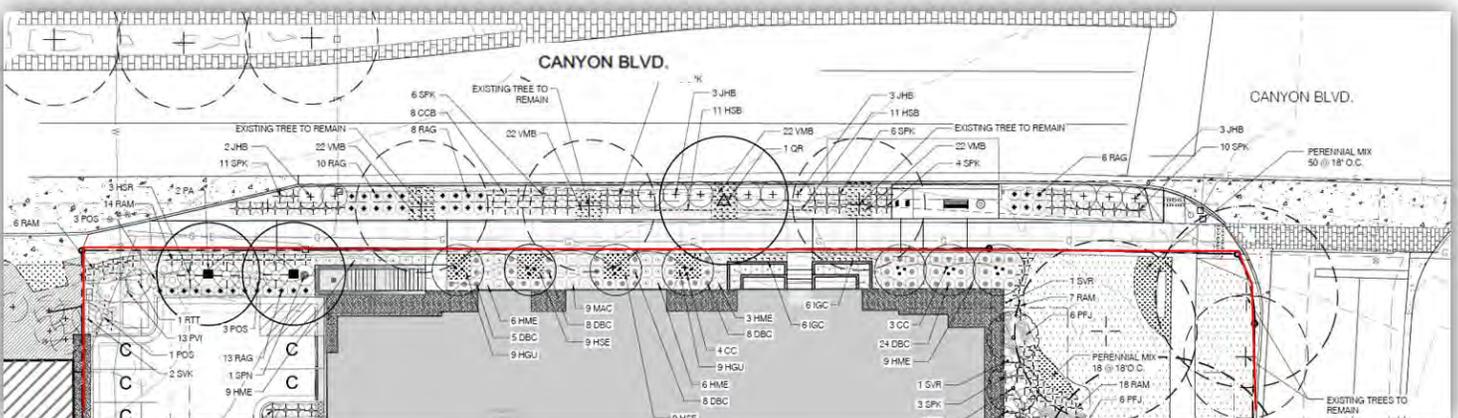


Figure 2c: Original Canyon Boulevard setback and landscaping

ITEM 3: Regarding the request to place a walkway along the south side of the building, the applicant is now showing a four foot walk along the landscaped area on the south side, with a cross-walk that connects to the walkway adjacent to McGuckin Hardware. For the portion of the walkway that interfaces with the required detention pond, the walkway is planned to be cantilevered such that the ponds requirements for storage capacity remains the same.

Figure 3a illustrates the original plans reviewed by Planning Board, Figure 3b illustrates the revision, and Figure 3c is a cross-section that illustrates the cantilevered walkway.

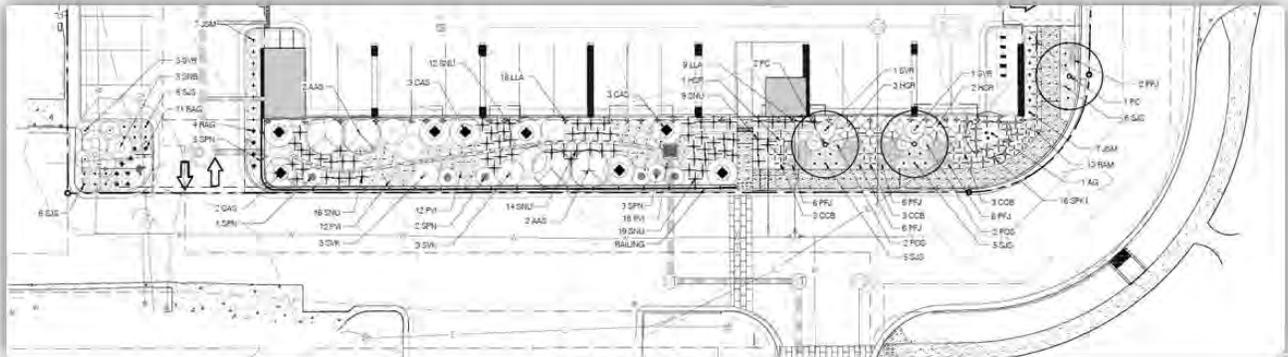


Figure 3a: Original south landscape setback without a walkway

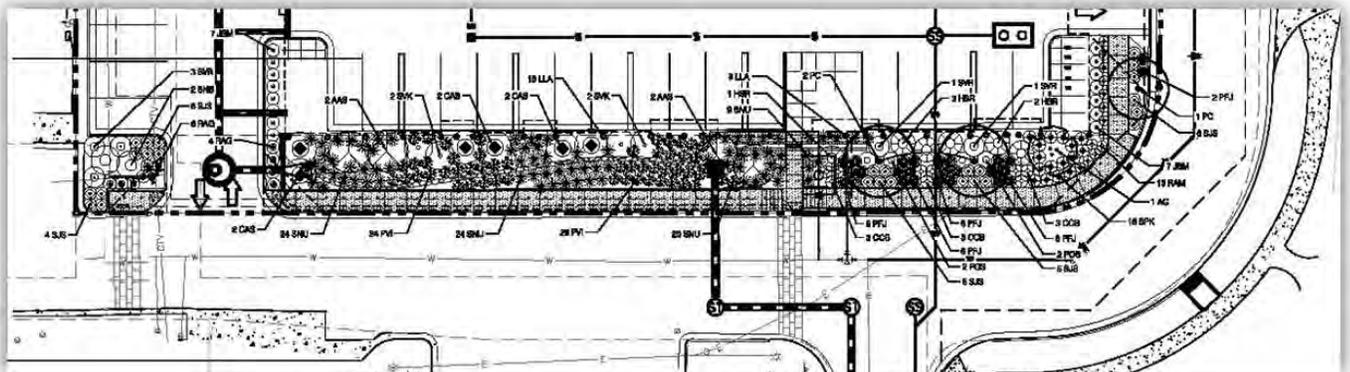


Figure 3b: Revised south landscape setback with a walkway proposed to cantilever over the detention

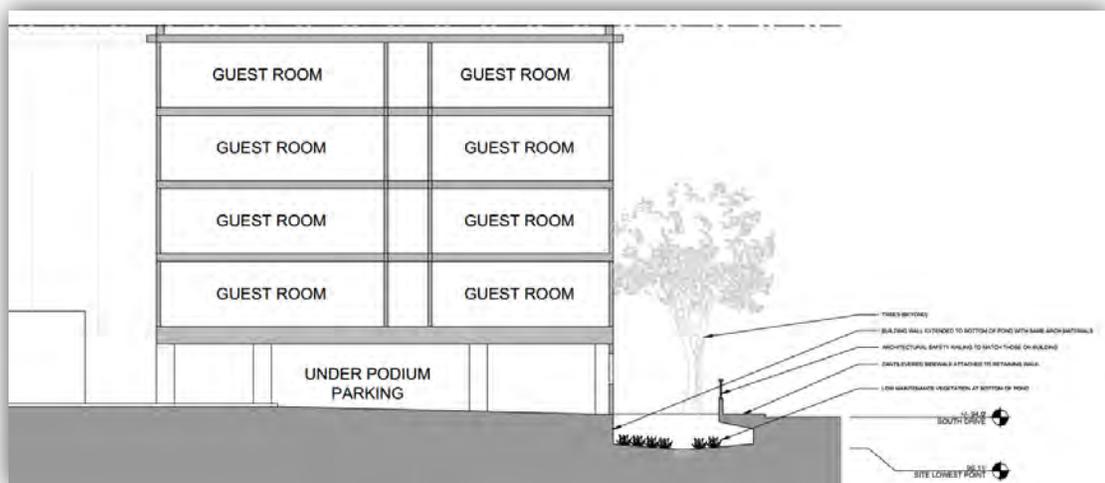


Figure 3c: Cross section illustrating walkway proposed to cantilever over the detention

ITEM 4: At the request of the Planning Board, the applicant has also agreed to evaluate two additional years of the Eco Pass program and potentially extend the three year period of time typically required for provision of EcoPasses through the TDM plan. This is reflected in Condition of Approval number 5. Following is an excerpt from the updated Traffic Study, page 38 regarding EcoPasses:

Business Eco Pass Participation

Residence Inn will provide escrow/bond/letter of credit to be used to provide five years of participation in RTD's Business Eco Pass Program. Hotel management will note the usage and benefit of the subsidized transportation program through its duration. The amount will be based on the City of Boulder Eco Pass formula. Overall, it is anticipated that Residence Inn will have a relatively low number of employees (approximately 40).

ITEM 5: At the request of the Planning Board, the applicant will also rough-in electrical conduit for future rooftop photovoltaic panels.

PUBLIC NOTIFICATION:

Required public notice was given in the form of written notification mailed to all property owners within 600 feet of the project site and a sign posted on the property for at least 10 days. All notice requirements of section 9-4-3, B.R.C. 1981, have been met. No public comments were received on the application.

STAFF FINDINGS AND RECOMMENDATION:

Staff finds that with the proposed modifications the application satisfies the Site Review criteria of Subsection 9-2-14(h), B.R.C. 1981, if the conditions listed below are incorporated into the approval of this application. Therefore, staff recommends that Planning Board approve Site Review case no. LUR2013-00057, incorporating the staff memoranda as August 28, 2014 public hearings as findings of fact and the attached Site Review criteria checklist as findings of fact, and subject to the recommended Conditions of Approval below:

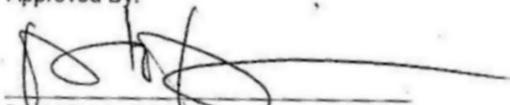
1. The Applicant shall ensure that the **development shall be in compliance with all approved plans** dated August 15, 2014 on file in the City of Boulder Planning Department, except to the extent that the development may be modified by the conditions of this approval.
2. The Applicant shall **comply with all previous conditions** contained in any previous approvals, except to the extent that any previous conditions may be modified by this approval, including, but not limited to, the following: P-77-5, P-81-3, P-91-30, LUR2006-00091, and ADR2013-00088.
3. Prior to a building permit application, the Applicant shall submit a Technical Document Review application for the following items, subject to the approval of the City Manager:
 - a. **Final architectural plans**, including material samples and colors, to ensure compliance with the intent of this approval and compatibility with the surrounding area. The architectural intent shown on the approved plans dated – August 15, 2014 is acceptable. Planning staff will review plans to assure that the architectural intent is performed.
 - b. A **final site plan** illustrating the approved site configuration.
 - c. A **final utility plan** meeting the City of Boulder Design and Construction Standards.
 - d. A **final storm water report and plan** meeting the City of Boulder Design and Construction Standards.
 - e. **Final transportation plans** meeting the City of Boulder Design and Construction Standards and CDOT Access Code Standards for all transportation improvements. These plans must include, but are not limited to: street plan and profile drawings, street cross-sectional drawings, signage and striping plans in conformance with Manual on

Uniform Traffic Control Devices (MUTCD) standards, transportation detail drawings, geotechnical soils report, and pavement analysis.

- f. A **CDOT access permit** meeting the CDOT Access Code Standards for all transportation improvements within the CDOT right-of-way for the change in use of the existing permit.
 - g. A **detailed landscape plan**, including size, quantity, and type of plants existing and proposed; type and quality of non-living landscaping materials; any site grading proposed; and any irrigation system proposed, to ensure compliance with this approval and the City's landscaping requirements. Removal of trees must receive prior approval of the Planning Department. Removal of any tree in City right of way must also receive prior approval of the City Forester.
 - h. A **detailed outdoor lighting plan** showing location, size, and intensity of illumination units, indicating compliance with section 9-9-16, B.R.C.1981.
4. Prior to a building permit application, the Applicant shall submit a **Final Plat**, subject to the review and approval of the City Manager, and execute a **subdivision agreement** meeting the requirements of Chapter 9-12, "Subdivision," B.R.C. 1981, which provide, without limitation and at no cost to the City, for the following:
- a. The **dedication, to the City, of all easements necessary** to serve the development, including, but not limited to, the following:
 - i. "No-build" easements located along the west and south property lines.
 - ii. An approximately 1.5-foot wide public access easement along the north property line.
 - iii. A public access easement located along the east property line and a portion of the south property line varying in width from approximately 6.46' at the south property line to 20-feet at the northeast corner of the property.
 - iv. A utility easement located in the northwest portion of the property, adjacent to the existing water line easement, varying in width as necessary to provide a minimum 25' width utility easement.
 - v. A utility easement located south of the south property line, wrapping around the southeast corner of the property, and extending north along either side of the east property line to the south end of the vehicle pull-out.
 - vi. A drainage and utility easement along the south property line.
 - b. The **construction of all public improvements** necessary to serve the development, including, but not limited to, the following:
 - i. An 8-foot wide sidewalk located along the south side of Canyon Boulevard.
 - ii. A 5-foot sidewalk located along the east property line.
 - iii. An RTD transit stop along with a shelter located on the south side of Canyon Boulevard.
 - iv. A detention pond located along the south property line.
 - v. An 8" water main extension at the southeast of the property extending north along the private access drive.
 - vi. An 8" sanitary sewer main extension south of the property within the private access drive.
 - vii. A 15" storm sewer lateral and main extension from the drainage outlet structure south to a connection with the existing storm sewer main at the inlet in the private access drive.
 - viii. A fire hydrant east of the proposed building, north of the tuck-under parking entrance near the east property line.

- ix. The fire hydrant in the southwest corner of the property to replace a hydrant to be removed to accommodate the south parking entrance.
- c. A **financial guarantee**, in a form acceptable to the Director of Public Works, in an amount equal to the cost of constructing all public improvements necessary to serve the development.
5. Applicant shall provide eco-passes or, if not available, a similarly effective transportation option in promoting alternate modes to the single-occupant vehicle use, subject to approval by the City Manager, to the employees of the development for a minimum of five years after the issuance of a certificate of occupancy. Prior to a building permit application, the Applicant shall submit a **financial guarantee**, in a form acceptable to the Director of Public Works, in an amount equal to the cost of providing eco-passes to the employees of the development for three years after the issuance of a certificate of occupancy to secure the provision of eco-passes.
6. The Applicant shall ensure that **all surface parking spaces are available** in a manner consistent with the Declaration of Covenant recorded in the records of the Boulder County Clerk and Recorder at Film No. 1314, Reception, No. 637601 on August 1, 1984 ("Declaration"). The Applicant agrees that the terms of such Declaration as provided in Paragraph 4 of the Declaration shall not be terminated without the prior consent of the City of Boulder Planning Board.

Approved By:



David Driskell, Executive Director
Department of Community Planning and Sustainability

ATTACHMENTS:

- A. [July 17, 2014 Planning Board Draft Minutes](#)
- B. [Site Review Criteria and Design Guideline Consistency Analyses](#)
- C. [Applicant's Revised Written Statements and Revised Plans](#)

**CITY OF BOULDER
PLANNING BOARD ACTION MINUTES
July 17, 2014
1777 Broadway, Council Chambers**

A permanent set of these minutes and a tape recording (maintained for a period of seven years) are retained in Central Records (telephone: 303-441-3043). Minutes and streaming audio are also available on the web at: <http://www.bouldercolorado.gov/>

PLANNING BOARD MEMBERS PRESENT:

Aaron Brockett
Bryan Bowen
Crystal Gray
John Gerstle
Leonard May
Liz Payton
John Putnam

PLANNING BOARD MEMBERS ABSENT:

STAFF PRESENT:

Charles Ferro, Development Review Manager for CP&S
Hella Pannewig, Assistant City Attorney
Lesli Ellis, Comprehensive Planning Manager
Susan Meissner, Administrative Assistant III
Chandler Van Schaack, Planner I
Elaine McLaughlin, Senior Planner
Bev Johnson, Senior Planner
Chris Meschuk, Senior Planner
David Thompson, Transportation Planner
Heidi Hansen, Civil Engineer II
Sam Assefa, Senior Urban Designer
Edward Stafford, Development Review Manager for PW
Marni Ratzel, Senior Transportation Planner
Kathleen Bracke, GO Boulder Manager

1. CALL TO ORDER

Chair, **A. Brockett**, declared a quorum at 5:05 p.m. and the following business was conducted.

2. APPROVAL OF MINUTES

On a motion by **J. Gerstle** and seconded by **J. Putnam**, the Planning Board voted 7-0 to approve the May 15, June 5 and June 19, 2014 minutes as amended (**L. Payton** abstained from the approval of the June 19, 2014 minutes).

3. PUBLIC PARTICIPATION

No one from the public spoke.

4. DISCUSSION OF DISPOSITIONS, PLANNING BOARD CALL-UPS/CONTINUATIONS

- A. Call Up: Wetland Permit LUR2014-00041, Sombrero Marsh Restoration. Expires 07/21/2014
- B. Call Up: Minor Subdivision Review 1401 Kalmia LUR2014-00020. Expires 07/21/2014
- C. Call Up: Staff Level Site Review Amendment (LUR2013-00059) and Final Plat (TEC2013-00073). Expires 7/22/2014

C. Gray, J. Gerstle and L. May called up item 4C. It will be added to a Planning Board agenda within the next 60 days.

5. PUBLIC HEARING ITEMS

- A. SITE REVIEW AMENDMENT for development of an existing surface parking lot into a 163 room Residence Inn hotel at the Village Shopping Center, case no. LUR2013-00057. The planned extended stay hotel is located on an approximate 1.65 acre site on the southwest corner of Canyon Boulevard and 26th Street in the Village Shopping Center, 2525 Arapahoe Ave., and 2550 Canyon Blvd. The hotel is proposed to be 128,346 square feet in a 4-5 story building. Below grade parking is proposed under the north wing of the hotel along Canyon Boulevard. Podium parking is proposed on the first floor of the south wing, with surface parking along the interior west property line. The applicant intends to pursue Vested Rights per section 9-2-19, B.R.C. 1981

Applicants: Bill Martinic, Stonebridge Properties
Property Owners: Gart Properties

Staff Presentation:

E. McLaughlin presented the item.

Board Questions:

E. McLaughlin answered questions from the board.

D. Thompson answered questions from the board.

K. Bracke answered questions from the board.

C. Ferro answered questions from the board.

H. Pannewig answered questions from the board.

Applicant Presentation:

Tommy Nigro, from Stonebridge Companies, introduced the item.

Steve Newman, from Newman Architecture, presented the item.

Daniel Aizenman, from Stantec Architecture, presented the item.

Board Questions:

Daniel Aizenman, from Stantec Architecture, answered questions from the board.

E. Stafford answered questions from the board

Public Hearing:

There were no comments from the public.

Board Comments:**Consistency with BVCP:**

L. May thought the project is generally moving in the right direction. He liked that the project was not monolithic and stepped down to four stories along Canyon Boulevard. He was concerned with the pedestrian quality along Canyon.

J. Gerstle thought that the use and zoning were appropriate for the location. He expressed concern regarding the pedestrian experience along Canyon, height and setbacks.

J. Putnam agreed that it met the general BVCP policies but was concerned about the pedestrian experience along Canyon Boulevard.

A. Brockett was a fan of the overall project. He liked that the parking lot would be converted to an urban use and that the building steps down to four stories on Canyon. He would like to look at the pedestrian experience.

B. Bowen agreed with the previous comments. He saw the project progress through BDAB and thought that the building setback and incorporation of cottonwoods were positive but expressed some concern about the pedestrian experience. He was generally happy with the architecture and massing, and liked that the lobby height was low.

C. Gray generally thought the design met the BVCP. She liked the lobby design and height reduction along Canyon, and appreciated that the existing cottonwood trees will remain in place. She expressed concern about the setback along Canyon and loss of landscaping. She would have liked to see more parking reductions but understood the limitations. Embed the mechanical systems in the roof.

L. Payton noted that the Village Shopping Center has a homegrown feel due to the landscaping, human scale and local businesses and expressed concern that the proposed scale and design do not relate to the rest of the center. She thought the streetscape may need a few tweaks and asked that the applicant do everything possible to maintain the health of the cottonwood trees; there are few that large n Boulder.

Height and Number of Stories:

L. May did not have anything to add to his previous comments.

J. Gerstle had some concerns about the height. He did not feel that the project provided sufficient community benefit to warrant the additional height. He would like to see a larger setback along Canyon with landscaping on either side of the sidewalk. He recommended that the applicant add windows along Canyon for displays; he recognized that retail is not permitted.

L. May suggested that any space above the by-right height be required to be net zero. A wider setback along Canyon would be appropriate; the current design is too constrained. Modify the ground use to activate that street and consider moving an active use to the northeast corner to contribute to the pedestrian experience.

J. Putnam did not agree with the previous comments. He shared concern about the pedestrian experience but would prefer to activate it with a public use; it is not necessary to shift the building program on the ground floor. He thought the surface parking lot posed a greater problem for activation and that pushing the setback toward Canyon made sense. He noted that the Village landscaping is currently uninspired in this zone; the proposal is better than what is there now. He did not have concerns about the height and liked that it stepped back along Canyon. He did not think that the project would be viable if it were all four stories. Thought energy consumption is important, it is too much to ask for the additional height to be net zero without a legislative mandate.

A. Brockett thought that the height was appropriate in this zone. He did not have an issue with the tighter setback and thought there was sufficient space for trees; wider setbacks feel more suburban and he thought the urban feel was appropriate in this area. He agreed that more activation on the north side would be positive but thought that the façade was significantly articulated and activated with rooms and balconies. He felt comfortable with the fact that this site and adjacent uses are auto friendly and have internal circulation patterns. He reminded the board that there is no public benefit requirement for height modifications. They must meet the site review criteria which do not cite public benefit.

B. Bowen thought the height, massing and setbacks were appropriate and that the articulation was successful. He appreciated that the design was simplified from previous renditions and thought the overall design and livability site review criteria were met. There is not enough program to make the first level more interesting and engaging; instead allow the rooms and balconies to open to the street. Screen the transformer and parking by more than shrubs.

C. Gray thought that tradeoffs on the site warranted the height modifications. The setback along Canyon does not need to be the full 20 feet, but more landscaping would make for a better pedestrian experience. She appreciated that the building pulled the corner back to accommodate the existing trees. Assure they are given enough space to be viable and are not compromised by the retaining walls and pathways. She would like to see renewable energy sources used on this project.

L. Payton was unclear about the open space requirement and recommended that 10% go toward more space for the trees. She did not think that the context supports a 55 foot building given the lower neighborhood to the east and noted that a three story hotel was approved for this site seven years ago. She liked BDAB's comments but did not think that the design took them into account. She thought that the design as proposed was too busy, the wall articulation did not succeed in creating interest and that the three foot setback along Canyon was too narrow. A ten foot setback could be used to create more organic interest.

L. May agreed with **L. Payton** about the architecture. He thought that the BDAB comments were good and that the current design is too busy. Adding layers of complexity does not lead to a better design. He did not think that the setback, ground level and architecture work well together.

J. Putnam noted that this site sits in the regional center where the city aims to have a more urban model; higher buildings and tighter setbacks support the goals and context. The Pearl apartment buildings across the street are much higher. He did not think that the NW corner of the Village shopping center worked well and could be discussed in the future.

E. McLaughlin clarified that the setbacks along Canyon are ten feet. There is only a three foot setback where the side entry canopy protrudes.

L. May noted that the creation of a successful pedestrian experience will require additional elements in conjunction with the building forward design.

J. Gerstle disagreed with **J. Putnam** about the height requirements. He thought that it was appropriate for the Planning Board to determine whether the city would be better off by granting a height variance.

A. Brockett agreed with **J. Gerstle** that the board should consider the appropriateness of the height; per the city's goals, he thought that this was one of the most appropriate locations for increased height and density. He agreed with **L. Payton** that neighborhoods need appropriate transitions, but noted that this site is far from the neighborhood; there is a row of commercial buildings on the west side of Folsom between the Village Shopping Center and the neighborhood.

C. Gray clarified that she was not advocating for parking lots or suburban development. She thought that some additional landscaping would benefit the pedestrian experience and promote a feeling of safety along a busy street.

L. May did not think that heights under 55 feet were suburban. It is possible to achieve an urban feel with larger setbacks and lower heights.

L. Payton quoted the design guidelines that views to the west should be protected, buildings should appear to be permanent and respect Boulder's small city ambiance. She questioned whether 55 foot buildings were embraced by the community. This is a good site for infill and we want to get rid of the parking lot; we should strive to get the best project possible.

B. Bowen noted that buildings with floors that step back are often criticized in Boulder.

C. Gray thought that the criticisms for "wedding cake" buildings that set higher stories back from the facade normally come from architects. The general public tends to like the friendly and open feeling that they achieve.

J. Gerstle thought that a step back would be desirable along Canyon and would enhance the pedestrian experience. He would like to see a 35 foot height along Canyon; it can rise to 55 feet toward the south.

J. Putnam cautioned there are important tradeoffs and that the board may be asking for too much. This is not an annexation. A certain density of use is needed to enliven the street. Lower heights and larger setbacks will reduce the intensity of use, likely creating more suburban typologies and problems elsewhere.

L. May did not think that everything needed to be built with zero lot lines and at 55 feet to achieve the city's transit and other goals.

B. Bowen noted that the applicant has already reduced the heights in several areas, done a lot to save trees, and worked on the facade to reinforce BDAB's goals. He did not think that being

taller was inherently worse. He thought this was a reasonable building design and did not think that chopping off a story would make the design better.

C. Gray thought the façade along Canyon was the most successful followed by that along 26th Street. She liked the step down, cohesiveness and use of materials. If the lobby were turned toward Canyon, it would feel more suburban.

S. Assefa spoke about the BDAB discussion and review of this building. He noted that the aspect ratio of the height and setbacks makes a place feel comfortable to pedestrians. He thought that larger setbacks undermine urban character in this area. The places that most people love have little to no setbacks.

C. Gray noted that Canyon is a unique street with a variety of zones; this project sits in a transitional section. She would like to see large trees continued in this section and feared that Redbuds will feel like shrubs.

L. Payton thought that the projected use of this building would make it feel suburban in character and bank-like.

S. Assefa thought that it was important to ask what would make the building feel more engaging to the pedestrian. BDAB struggled with this and requested that the materials be simplified. The project has come a long way even though it does entirely comply with the full scope of BDAB comments.

Consistency with BVRC Design Guidelines:

J. Gerstle thought that it would be important to maintain the view and desirable character of the city. It is subjective and fundamental.

Parking Reduction and Transportation Demand Management:

L. Payton generally supports parking reductions but worried that this one could adversely impact the grocery store and McGuckin's. Parking reductions favor young and able bodied people.

C. Gray supported the parking reduction but cautioned that Le Peep customers would likely use their parking. She thought it was important that the applicant provide EcoPasses for longer than two to three years. She did not think that the TDM plans were enforced strongly enough.

B. Bowen would advocate for a larger parking reduction by two or three stalls.

A. Brockett supported the parking reduction.

J. Putnam supported the parking reduction. It would have been helpful to have seen some more analysis. He thought that a B-Cycle station was helpful, but recommended that a fleet of bicycles belonging to the hotel could potentially be even better.

J. Gerstle thought the reduction was appropriate and supported the applicant's provision of employee Eco-Passes for longer than the allotted three year timeframe.

L. May agreed with a parking reduction; he would like to see an Eco-Pass instated for more than three years.

J. Putnam felt uncomfortable requiring that an applicant provide Eco-Passes for longer than three years because they are tied to RTD. The city does not control their fares, etc. This would push farther than the board should push.

Trees:

L. Payton asked that the cottonwood trees get a larger buffer; she recommended that the radius of the buffer equal the tree height. that the additional bugger space could come out of the open space credit that is given for the streetscape.

B. Bowen thought that the requirement for a drip line buffer was reasonable but would like to see assure that the roots are protected. Consider using alternatives to retaining walls such as boulders that would not require frost protection.

A. Brockett felt comfortable with the buffer as proposed because the city arborist approved it.

Site Plan:

B. Bowen would like to see a few modifications to the site plan. The northern setbacks could be aided by removing two parking stalls. Move the transformer out of the landscaping and place it behind a screen. Move the egress stair out of the setback to improve the pedestrian experience. Relocate the crosswalk to the south of the hotel; it will be even more difficult and dangerous when the building is built. He was okay with the narrow sidewalk along Canyon and noted that this is already a bad area for biking.

J. Gerstle cycles along the Canyon sidewalk and thought that this could be an opportunity to improve it.

Energy:

J. Putnam was disappointed that renewable energy options were not discussed or incorporated on site. Energy efficiency and renewable energy sources need to be clarified in the site review criteria. He would not deny the application based upon this, but would like to get more clarity for the future.

L. May did not think that buildings should emit more operational GHGs than their by right solution.

Architectural Articulation:

L. May thought that the plan looked jumbled and that a previous rendition looked more cohesive in the overall volume of the building. He said that it is important to place-make and maximize the quality of projects in the area. He thought that the Canyon façade was pretty close but missed the mark.

A. Brockett did not think that the current design took the BDAB comments into account.

L. Payton did not think that the requirement for enduring materials was met because they will age differently and make the building feel temporary. Simplify by using one type of brick and more natural materials.

L. May noted that the buildings at Boulder Junction have a similar stepping quality and variety of materials. He is afraid that this will look similar.

C. Gray thought that Canyon facade looks okay and that the set back portion will look fine because it is less visible. She disagreed with **L. May's** comment that the previous design was preferable. Her approval would not hinge on what the applicant does with the south side.

J. Gerstle thought the general design was okay but would prefer to see natural and simpler materials, a lower height and larger setback from the street. He requested that the applicant consistently show the bus enclosure on the drawings.

Straw Poll Vote:

L. May would opt for a continuance to give the applicant a chance to respond to the board's comments.

J. Gerstle agreed with **L. May**.

J. Putnam agreed that a continuance would be preferable because he did not think that the applicant would get four votes to approve the project as is. He would like to approve the project.

A. Brockett and **B. Bowen** agreed with **J. Putnam**.

D. Aizenman, architect for the applicant, was given the opportunity to provide some clarification. The setbacks along Canyon are between 8 and 13.5 feet. The side entrance is the only place with a three foot setback. The materials are intended to lighten the structure and be durable. He would be willing to consider changes to the colors and the articulation in the façade. The building would have an illuminated façade at night. Juliet balconies were added to the ground level to activate the façade. The back façade has as much brick and landscaping as possible. He can look into altering the sidewalk and detention pond. He liked the idea of providing a permeable deck and noted that the setback for the cottonwoods exceeds the trees' canopy. For context on the height, the applicants considered the adjacent Marriott and Golden Buff developments for context; both were approved for 55 feet.

Summary of Key Points:

Height:

Three members agreed with the height as presented and four raised concerns.

L. Payton would like to lower the entire hotel to four stories.

C. Gray thought that the height was acceptable as proposed if it were set back further from Canyon.

J. Gerstle thought the building was too high along Canyon but was okay with 55 feet on the south side.

L. May thought that the height should be tied to the pedestrian aspect, landscaping and setbacks.

Setback

Three members were okay with the setback as proposed and, four felt it was too small. The board would support a modest additional setback.

L. May thought that it should be tied to the height and pedestrian experience.

J. Putnam was fine with the setbacks as proposed but would be open to improving them. He liked **B. Bowen's** recommendation to move the transformer and to provide an area of relief and art in that area to enhance the pedestrian interest.

A. Brockett agreed with the setbacks as proposed.

C. Gray liked the entry along Canyon as designed. Create a transition to the narrower setback.

J. Gerstle agreed that the entry on Canyon was reasonable.

L. Payton agreed that the entry on Canyon was okay.

Architecture along Canyon

There was general interest in the simplification of form and material. Most of the board members supported the banding.

B. Bowen thought that the materiality was good and wanted to keep the banding on the brick. The applicant did a great job of making the elevation work given the nature of the building program. He asked that they take more of BDAB's comments into account.

L. May asked that the form and material be simplified and thought the lighter material on the bump outs made the building look more massive. He recommended that the bump outs use the same material as the rest of the building. He would like to see an enhanced pedestrian experience along Canyon.

L. Payton suggested that the same end could be achieved through a cornice or other architectural elements. She did not like the building articulation.

J. Putnam thought that there were qualitative and quantitative elements that will contribute to the comfort of the pedestrian.

A. Brockett, with the help of the other Planning Board members, summarized the key issues that the applicant would need to address in order for the board to consider the height variance. It appeared that the majority agreed that the resolution of these issues could warrant an approval.

- **Key Issues along the North Side:**
 - Enhance the pedestrian interest along Canyon Boulevard.
 - Add a landscaped amenity area near the northwest section that would screen the parking.
 - Some amount of additional setback on the north side and include enhanced landscaping.
 - Simplification of form and material.
- **Show the feasibility for the future incorporation of renewable energy systems on the building.**

- **TDM Plan and Eco Pass**
 - The board would like to see more details on the TDM Plan and for the applicant to provide Eco Passes to employees for an additional amount of time. The board recommended a five year commitment.
- **Improve the pedestrian connection along the South side of the Property**

On a motion by C.Gray and seconded by J.Putnam the Planning Board voted 7-0 to continue case number LUR2013-00057 to a future date to be determined.

B. Public hearing and consideration of Annexation and Initial Zoning of Residential Estate (RE) for the following properties:

1. 4270 19th St.
Applicant: Robert and Elaine Schuman
Owner: Robert and Elaine Schuman
2. 2130 Tamarack Av.
Applicant: Paul and Cindy Baker
Owner: Paul and Cindy Baker

J. Gerstle recused himself from this item.

Staff Presentation:

B. Johnson presented the item.

Board Questions:

B. Johnson answered questions from the board.

Applicant Presentation:

Cindy Baker and **Elaine Schuman**, the applicants, presented to the board.

Motion:

On a motion by B. Bowen and seconded by C. Gray the Planning Board voted 7-0 to recommend to City Council approval of the proposed annexation and initial zoning of Estate Residential (RE) pertaining to request #LUR2014-00046 (4270 19th St.), incorporated this staff memorandum as findings of fact, subject to the following recommended conditions of approval for annexation, including the amendment to item 4B of the Annexation Agreement as shown in handout for Agenda Item 5B::

1. Requirements Prior to First Reading of the Annexation Ordinance. Prior to the scheduling of first reading of the annexation ordinance, the Applicants shall do the following:
 - A. Annexation Agreement. The Applicants will sign the Agreement.
 - B. Title Work. The Applicants will provide the City with title work current to within 30 days of signing this Agreement.
 - C. Written Descriptions. The Applicants shall provide a written description of any nonconforming uses and/or nonstandard buildings existing on each Property, if any.

- D. Easement Dedication. The Applicants shall dedicate to the City, in fee and at no cost, 10.5 feet of right-of-way along the length of the west line of the Property for 19th Street.
 - E. Right-of-Way Dedication. The Applicants shall dedicate to the City, in fee and at no cost, 15 feet of right-of-way along the length of the east line of the Property.
2. Connection Requirements. Prior to connection to the City’s water and/or sanitary sewer mains, the Applicants shall:
- A. Submit an application to connect to the City’s water and/or sanitary sewer mains that meets the requirements of Chapters 11-1 and 11-2, B.R.C. 1981.
 - B. Pay all applicable fees and charges associated with a service line connection to water and/or sanitary sewer mains, including water and wastewater plant investment fees, stormwater and flood management plant investment fees, right-of way, water, and wastewater permit fees, installation fees, and tap fees.
 - C. Construct the individual service line that will connect the Applicants’ existing residence to the City’s water and/or wastewater mains.
 - D. Pay any assessments, including but not limited to the following:

Water Main	\$ 636.00
Sewer Main	\$ 954.00
Stormwater and Flood PIF	\$19,967.58
 - E. Execute a Promissory Note and Deed of Trust, if Applicants selected Payment Option #B, as described under Paragraph 3.B.i below.
3. Payment Options and Requirements for Fees, Taxes, and Public Improvement Costs. The Applicants select **Option #B** set forth below.
- B. Option #B: Payment Plan. The Applicants shall connect to City water and sanitary sewer mains within 180 days after the effective date of the annexation ordinance, shall comply with the terms of Paragraph 3 above except that the costs, fees and any assessments described in Paragraph 3 shall be paid in accordance with the terms of the following payment plan:
 - i. Prior to connection to the City’s water and/or sewer mains, the Applicants shall execute a Promissory Note and a Deed of Trust securing said Note and encumbering the Applicants’ Property in the principal amount to cover the amounts set forth in Paragraph 3 above. The Note will have a simple interest rate of 3.25 percent per annum, payable in 10 annual installments of principal and interest beginning on October 1, 2015.

The City Manager may, in her discretion, approve a different time for connection to City water and sanitary sewer mains provided the Applicants demonstrate reasonable diligence to comply with the 180-day deadline and good cause for the extension. The City Manager, in her discretion, may approve for good cause a different time for payment of the first of the 10 annual installments of principal and interest.
 - C. City of Boulder Design and Construction Standards. Any other public improvements that are required to be constructed by the terms of this Agreement shall be constructed in accordance with the requirements of the City of Boulder *Design and Construction Standards*.

- D. Use of Existing Wells. The City agrees not to prohibit the Applicants from using existing wells for irrigation purposes, even if the Property is served by the City water utility. Under no circumstances may existing wells be used for domestic water purposes once the Applicants have connected to city water utility. No person is allowed to make any cross connections between a well and the City's municipal water utility. The Parties agree that there shall not be any type of connection between any well and the City water system serving the Property.
- E. Applicants Responsible for Legal Disconnection of On-site Wastewater System. If the Applicants decide to continue to use an existing on-site wastewater system, the Applicants agree that they will connect to the adjacent sanitary sewer main, in accordance with Section 11-2-9, B.R.C. 1981, upon any declaration by Boulder County Public Health to cease and desist using the on-site wastewater system or other declaration that the on-site wastewater system constitutes a threat to the public health. Currently, under Boulder County Public Health Department policy, all on-site wastewater system must be permitted and approved by 2023. At that time, any resident still using an on-site wastewater system must either have their system permitted and approved, or connect to the adjacent sanitary sewer main. At the time of any disconnection of the on-site wastewater system and connection to the City's sanitary sewer main, the Applicants are required to abandon the existing on-site wastewater system in accordance with Boulder County Public Health and State of Colorado regulations.
- F. Historic Drainage. The Applicants agree to convey drainage from the Property in an historic manner that does not materially and adversely affect abutting properties.
- G. Ditch Company Approval. If the Property is abutting an existing irrigation ditch or lateral, the Applicants agree not to relocate, modify, or alter the ditch or lateral until and unless written approval is received from the appropriate ditch company.
- H. Existing Nonstandard Buildings and/or Nonconforming Uses. Existing, nonstandard buildings and/or nonconforming uses will be allowed to continue to be occupied and operated in the City of Boulder. The Applicants shall identify existing nonstandard buildings and/or nonconforming uses at the time of annexation to be considered a legal use under this Agreement. The Applicants and the City agree that this section shall not be construed to permit the Property to constitute a nuisance or to cause a hazard under the City's life safety codes.
- I. New Construction. The Applicant shall ensure that all new construction commenced on the Property after annexation shall comply with all City of Boulder laws, taxes, and fees, except as modified by this Agreement. Any new structure shall front on 19th Street, with the front door and front yard facing 19th Street. Any new garages shall be designed so that garage doors do not dominate the front façade of the structure. Garage doors shall be located no less than 20 feet behind the principle plane of the primary structure.
11. Providing Permanently Affordable Housing. For each additional dwelling unit on the Property that is not deed-restricted as a permanently affordable residence consistent with the requirements of Chapter 9-13, "Inclusionary Housing," B.R.C.

1981, the Applicant shall pay twice the applicable cash-in-lieu amount as required per each market unit in that chapter to the City. This amount is payable prior to issuance of a building permit for each new dwelling unit that is not deed-restricted as a permanently affordable residence consistent with the requirements of Chapter 9-13, "Inclusionary Housing," B.R.C. 1981. The parties acknowledge that the Property has the equivalent of one habitable dwelling unit on such Property at the time of annexation.

On a motion by **B. Bowen** and seconded by **C. Gray** the Planning Board voted 7-0 to recommend to City Council approval of the proposed annexation and initial zoning of Estate Residential (RE) pertaining to request #LUR2014-00047 (2130 Tamarack Av.), incorporated this staff memorandum as findings of fact, subject to the following recommended conditions of approval for annexation, including the amendment to item 4B of the Annexation Agreement as shown in handout for Agenda Item 5B:

1. Requirements Prior to First Reading of the Annexation Ordinance. Prior to the scheduling of first reading of the annexation ordinance, the Applicants shall do the following:
 - A. Annexation Agreement. The Applicants will sign this Agreement.
 - B. Title Work. The Applicants will provide the City with title work current to within 30 days of signing this Agreement.
 - C. Written Descriptions. The Applicants shall provide a written description of any nonconforming uses and/or nonstandard buildings existing on the Property, if any.
 - D. Easement Dedications. The Applicants shall dedicate to the City, at no cost, a flood control easement from 60 feet on either side of the centerline of Fourmile Canyon Creek as shown on **Exhibit B** of the annexation agreement. The easement shall be in a form acceptable to the city manager. The easement will exclude any principal building containing a dwelling unit on the lot within the flood control easement area that is existing at the time of annexation.

2. Connection Requirements. Prior to connection to the City's water and/or sanitary sewer mains, the Applicants shall:
 - A. Submit an application to connect to the City's water and/or sanitary sewer mains that meets the requirements of Chapters 11-1 and 11-2, B.R.C. 1981.
 - B. Pay all applicable fees and charges associated with a service line connection to water and/or sanitary sewer mains, including water and wastewater plant investment fees, stormwater and flood management plant investment fees, right-of way, water, and wastewater permit fees, installation fees, and tap fees.
 - C. Construct the individual service line that will connect the Applicants' existing residence to the City's water and/or wastewater mains.
 - D. Pay any assessments, including but not limited to the following:

Water Main	\$11,356.91
Sewer Main	\$ 8,465.50
Street	\$ 7,604.49
Stormwater and Flood PIF	\$6,742.38

- E. Execute a Promissory Note and Deed of Trust, if Applicants selected Payment Option #B, as described under Paragraph 3.B.i below.
3. Payment Options and Requirements for Fees, Taxes, and Public Improvement Costs. The Applicants select **Option #B** set forth below.
- B. Option #B: Payment Plan. The Applicants shall connect to City water and sanitary sewer mains within 180 days after the effective date of the annexation ordinance, shall comply with the terms of Paragraph 3 above except that the costs, fees and any assessments described in Paragraph 3 shall be paid in accordance with the terms of the following payment plan:
- i. Prior to connection to the City's water and/or sewer mains, the Applicants shall execute a Promissory Note and a Deed of Trust securing said Note and encumbering the Applicants' Property in the principal amount to cover the amounts set forth in Paragraph 2 above. The Note will have a simple interest rate of 3.25 percent per annum, payable in 10 annual installments of principal and interest beginning on October 1, 2015.

The City Manager may, in her discretion, approve a different time for connection to City water and sanitary sewer mains provided the Applicants demonstrate reasonable diligence to comply with the 180-day deadline and good cause for the extension. The City Manager, in her discretion, may approve for good cause a different time for payment of the first of the 10 annual installments of principal and interest.

4. City of Boulder Design and Construction Standards. Any other public improvements that are required to be constructed by the terms of this Agreement shall be constructed in accordance with the requirements of the City of Boulder *Design and Construction Standards*.
5. Use of Existing Wells. The City agrees not to prohibit the Applicants from using existing wells for irrigation purposes, even if the Property is served by the City water utility. Under no circumstances may existing wells be used for domestic water purposes once the Applicants have connected to city water utility. No person is allowed to make any cross connections between a well and the City's municipal water utility. The Parties agree that there shall not be any type of connection between any well and the City water system serving the Property.
6. Applicants Responsible for Legal Disconnection of On-site Wastewater System. If the Applicants decide to continue to use an existing on-site wastewater system, the Applicants agree that it will connect to the adjacent sanitary sewer main, in accordance with Section 11-2-9, B.R.C. 1981, upon any declaration by Boulder County Public Health to cease and desist using the on-site wastewater system, or other declaration that the on-site wastewater system constitutes a threat to the public health. Currently, under Boulder County Public Health Department policy, all on-site wastewater system must be permitted and approved by 2023. At that time, any resident still using an on-site wastewater system must either have their system permitted and approved, or connect to the adjacent sanitary sewer main. At the time of any disconnection of the on-site wastewater system and connection to the City's sanitary sewer main, the Applicants are required to abandon the existing on-site

wastewater system in accordance with Boulder County Public Health and State of Colorado regulations.

7. Historic Drainage. The Applicants agree to convey drainage from the Property in an historic manner that does not materially and adversely affect abutting properties.
8. Ditch Company Approval. If the Property is abutting an existing irrigation ditch or lateral, the Applicants agree not to relocate, modify, or alter the ditch or lateral until and unless written approval is received from the appropriate ditch company.
9. Existing Nonstandard Buildings and/or Nonconforming Uses. Existing, nonstandard buildings and/or nonconforming uses will be allowed to continue to be occupied and operated in the City of Boulder. The Applicants shall identify existing nonstandard buildings and/or nonconforming uses at the time of annexation to be considered a legal use under this Agreement. The Applicants and the City agree that this section shall not be construed to permit the Property to constitute a nuisance or to cause a hazard under the City's life safety codes.
10. New Construction. The Applicant shall ensure that all new construction commenced on the Property after annexation shall comply with all City of Boulder laws, taxes, and fees, except as modified by this Agreement. Any new structure shall front on Tamarack Avenue, with the front door and front yard facing Tamarack Avenue. Any new garages shall be designed so that garage doors do not dominate the front façade of the structure. Garage doors shall be located no less than 20 feet behind the principle plane of the primary structure.
11. Flood Control Easement Conditions.
 - A. The City will allow existing accessory structures identified in the agreement to remain within the Flood Control Easement Area until removed, destroyed, demolished, or relocated.
 - B. The City can require removal of pre-existing accessory buildings if removal of such buildings is required to implement a specific flood mitigation project.
 - C. The Applicants shall neither construct any new buildings nor rebuild or reconstruct any pre-existing accessory buildings within the Flood Control Easement Area.
12. Providing Permanently Affordable Housing. For each additional dwelling unit on the Property that is not deed-restricted as a permanently affordable residence consistent with the requirements of Chapter 9-13, "Inclusionary Housing," B.R.C. 1981, the Applicant shall pay twice the applicable cash-in-lieu amount as required per each market unit in that chapter to the City. This amount is payable prior to issuance of a building permit for each new dwelling unit that is not deed-restricted as a permanently affordable residence consistent with the requirements of Chapter 9-13, "Inclusionary Housing," B.R.C. 1981. The parties acknowledge that the Property has the equivalent of one habitable dwelling unit on such Property at the time of annexation.

C. Public hearing to receive feedback on proposed changes to the Parking Standards of Title 9, "Land Use Code," B.R.C. 1981 relative to 1) identified inconsistencies and

standards that are often problematic and require update and 2) new bicycle parking standards by land use. The proposed changes were identified as part of the Access Management and Parking Strategy (AMPS) process relative to parking citywide.

Staff Presentation:

K. Guiler and **M. Ratzel** presented the item.

Board Questions:

K. Guiler answered questions from the board.

Bill Fox, the transportation consultant, answered questions from the board.

Public Hearing:

No one from the public spoke.

Board Comments:

C. Gray expressed concern that Topic 2: Driveway Parking Standards would encourage people to park over the sidewalk. For Topic 7, she wanted to assure that there would not be unintended consequences.

Topic 7: Simplifying Parking Requirements for Restaurants, Brewpubs and Taverns

L. May wanted to assure that restaurant seating patterns were taken into account and questioned whether the number of people at a restaurant changes depending on the weather; the client base may just move between interior and exterior seats.

A. Brockett noted that this could significantly raise the parking requirements for businesses. He requested more analysis and examples to provide a better understanding of the ramifications.

J. Putnam agreed with **A. Brockett**. He would like to see more analysis to avoid unintended consequences.

A. Brockett recommended restricting the percentage of restaurants by square footage. Develop tiers depending on the number of restaurants.

Topic 1: Updating RH-1 Parking Standards

C. Gray opposed the addition of curb cuts for homes with access to an alley; she felt that they decrease the walkability of neighborhoods.

L. May thought **C. Gray's** point was legitimate. Remove curb cuts where alley access is available.

L. Payton disagreed with **C. Gray's** comment about curb cuts. She did not want to create conflict where none currently exist.

B. Bowen recommended that the revised code remove the parking requirement for projects with 60% or more one-bedroom units.

J. Gerstle was interested in learning more about this and requested additional analysis on this topic.

J. Putnam suggested moving **B. Bowen's** parking reduction recommendation to Phase 2 unless information is already readily available.

L. May noted that this could perform differently based upon the location.

Topic 2: Making Driveway Parking Standards for RL-2 Consistent with other Districts

A. Brockett noted that the board previously received a great deal of analysis on RH-2 parking standards that were virtually identical to the proposed RH-1 parking standards. This is a simplified version of that, therefore he felt comfortable with this proposal.

Topic 3: Specifying Non-Residential Parking Requirements in the RH-6 Zoning District

The board felt comfortable with topic three.

Topic 4: Updating Accessible Parking Requirements

A. Brockett looked at NCA117.1, the ADAG. Both documents specify the size, arrangement and clearances requirement for the stalls, but they do not specify the number. The ADA specifies the number. He thought it was either one or both.

J. Putnam thought the concept made sense but prior to approval he would want to assure that the federal standard is keeping up with Boulder's demographics.

Topic 5: Reducing the Parking Rate for Low Parking Demand Nonresidential Land Uses

The board felt comfortable with topic five.

Topic 6: Simplifying Parking Standards for Retail Centers (Restaurants, Brewpubs and Taverns)

A. Brockett noted that restaurants currently require more parking than other retail uses. He suggested restricting the percentage of restaurants by square footage. Include two or three tiers. Reduce the complexity.

Topic 8: Add Duplex to Single Family Detached

The board saw little distinction between single family residential and duplexes.

C. Gray wanted to avoid unintended consequences in locations such as the Hill. She recommended that staff discuss this concept with neighbors on the Hill. Nonconforming duplexes could reduce the parking requirements.

B. Bowen noted that this is currently a hole in the code. There is not currently a requirement.

C. Gray cited an email from her neighbor that that there are many VRBO rentals and old properties that have been turned into apartments where parking requirements are not enforced.

B. Bowen asked that there be requirements to make parking lots more user friendly. Add sidewalks, and increase tree count and hardscape permeability requirements.

C. Gray exited the meeting at 11:06pm.

Bike Parking Code Requirements and Design Standards:

J. Putnam noted that hotels may not need the same bike rack requirements and suggested that

outlets for electric bikes be added to the standards. He also recommended drafting standards for bike repair spaces in housing complexes with smaller unit sizes.

J. Gerstle agreed with **J. Putnam's** hotel comment.

A. Brockett commented on the difference between office and retail bike parking requirements. Office bike parking should have a 50:50 short term and long term bike parking ratio with the exception of medical offices; they behave more like retail spaces.

B. Bowen thought that this was fantastic and applauded staff for going this far with the revisions.

6. MATTERS FROM THE PLANNING BOARD, PLANNING DIRECTOR, AND CITY ATTORNEY

L. Payton asked whether it would be possible to add an automatic "PB" prefix to the subject line of all emails addressed to boulderplanningboard. **S. Meissner** will look into this with IT.

L. May requested that packets be loaded onto the staff laptop for reference. He asked to schedule a retreat to discuss some earmarked items. He will send them to the board via email.

B. Bowen noted that BDAB is interested in having some walking tours and events with the Planning Board. They are revising the Downtown Design Guidelines.

7. DEBRIEF MEETING/CALENDAR CHECK

C. Ferro noted that we will likely have 3 to four meetings for the next few months. August 28th may need to be added to accommodate the call up item from tonight. **S. Meissner** will poll the board on dates.

8. ADJOURNMENT

The Planning Board adjourned the meeting at 11:45 p.m.

APPROVED BY

Board Chair

Date

Attachment B: SITE REVIEW CRITERIA CONSISTENCY ANALYSIS

(1) Boulder Valley Comprehensive Plan:

- √ (A) **The proposed site plan is consistent with the land use map and the service area map and, on balance, the policies of the Boulder Valley Comprehensive Plan.**

The project site is located within one of three regional activity centers as identified within the BVCP on page 20,

“Boulder’s commercial, entertainment, educational and civic centers are focused in concentrated nodes of activities at a variety of scales distributed throughout the community. At the highest level of intensity are the city’s three regional centers. They form a triangle at Boulder’s geographic center: the Historic Downtown, the Boulder Valley Regional Center (BVRC), and the University of Colorado (CU) with the University Hill business district, which also serves as a neighborhood center for the surrounding area. Each regional center has a distinct function and character, provides a wide range of activities and draws from the entire city as well as the region.”

The site has a BVCP land use designation of Regional Business, defined as:

“Within these areas are located the major shopping facilities, offices, financial institutions, and government and cultural facilities serving the entire Boulder Valley and abutting communities. These areas will continue to be refurbished and upgraded and will remain the dominant focus for major business activities in the region.”

The project site is zoned Business Regional-1, which is defined as:

“Business centers of the Boulder Valley, containing a wide range of retail and commercial operations, including the largest regional-scale businesses, which serve outlying residential development; and where the goals of the Boulder Urban Renewal Plan are implement” (section 9-5-2(c)(2)(l), B.R.C. 1981).

The proposed hotel serves regional needs by permitting visitors to stay within Boulder rather than commute in from hotels in other outlying areas while visiting. As a part of the Boulder Valley Regional Center, the site is in close proximity to the restaurants and retail at the Village Shopping Center, Twenty-Ninth Street, as well as downtown Boulder. The hotel, offering extended stay opportunities, is also in proximity to employment centers of the downtown, the university, and those east of 30th Street for visiting professionals. The development proposal has been found to be consistent with the following BVCP policies:

- 2.03 Compact Development Pattern
- 2.05 Design of Community Edges and Entryways
- 2.17 Variety of Activity Centers
- 2.18 Role of the Central Area
- 2.21 Commitment to a Walkable and Accessible City
- 2.22 Improve Mobility Grid
- 2.23 Trail Corridors/Linkages
- 2.30 Sensitive Infill and Redevelopment
- 2.32 Physical Design for People
- 2.33 Environmentally Sensitive Urban Design
- 2.34 Importance of Street Tress and Streetscape
- 2.35 Outdoor Lighting/Light Pollutions
- 2.37 Enhanced Design for Private Sector Projects

- N/A (B) **The proposed development shall not exceed the maximum density associated with the Boulder Valley Comprehensive Plan residential land use designation. Additionally, if the density of existing residential development within a three-hundred-foot area surrounding the site is at or exceeds the density permitted in**

the Boulder Valley Comprehensive Plan, then the maximum density permitted on the site shall not exceed the lesser of:

Not applicable.

N/A (i) The density permitted in the Boulder Valley Comprehensive Plan, or,

N/A (ii) The maximum number of units that could be placed on the site without waiving or varying any of the requirements of chapter 9-8, "Intensity Standards," B.R.C. 1981.

√(C) The proposed development's success in meeting the broad range of BVCP policies considers the economic feasibility of implementation techniques require to meet other site review criteria.

To meet BVCP policies related to design for the public realm at a human scale, the applicant is proposing a building with a high density residential appearance, with facades of high quality finish materials and buildings with reduced setbacks along the street. This will help to establish a more urban streetscape for an area that today is an existing parking lot.

(2) Site Design: Projects should preserve and enhance the community's unique sense of place through creative design that respects historic character, relationship to the natural environment, multi-modal transportation connectivity and its physical setting. Projects should utilize site design techniques which are consistent with the purpose of site review in subsection (a) of this section and enhance the quality of the project. In determining whether this subsection is met, the approving agency will consider the following factors:

√(A) Open Space: Open space, including, without limitation, parks, recreation areas, and playgrounds:

√(i) Useable open space is arranged to be accessible and functional and incorporates quality landscaping, a mixture of sun and shade and places to gather;

Open space provided meets the required 20 percent, and is slightly over that requirement. One of the key open space features is utilization of the iconic corner trees as an urban design amenity. Because the trees have community value the applicant redesigned the building to enfold the area encompassed by the trees into an outdoor patio area and amenity for the site rather than removing the trees that have become a familiar and well-regarded element at the entry to the Village Shopping Center.

Useable open space is also provided by the streetscapes that are planned to be urban in configuration, as well as interior fitness facilities within the building.

N/A (ii) Private open space is provided for each detached residential unit;
The development proposal does not include residential units.

√ (iii) The project provides for the preservation of or mitigation of adverse impacts to natural features, including, without limitation, healthy long-lived trees, significant plant communities, ground and surface water, wetlands, riparian areas, drainage areas and species on the federal Endangered Species List, "Species of Special Concern in Boulder County" designated by Boulder County, or prairie dogs (*Cynomys ludovicianus*), which is a species of local concern, and their habitat;

The applicant is preserving the healthy, long-lived trees on the site and including them as an amenity into the site plan.

√(iv) The open space provides a relief to the density, both within the project and from surrounding development;

Acknowledging the regional activity center location of the site, the proposed preservation of the mature trees in an open space area will allow these amenities to continue to provide a relief to the density of the

project and the surroundings. The purpose of the open space will not only be to provide a functional, outdoor space serving the hotel, but will allow the iconic character of the trees to remain at the entry to the Village Shopping Center.

- √(v) **Open space designed for active recreational purposes is of a size that it will be functionally useable and located in a safe and convenient proximity to the uses to which it is meant to serve;**

The streetscapes provide a more appealing walkable context than exists today and while these areas can account for just 10 percent of the required open space, they do serve as a recreational amenity in an urban context. Similarly, while the area encompassed by the indoor recreational facilities that include the fitness room and indoor swimming pool can account for just 25 percent of the usable open space for the site, they will serve as recreational amenities for the users of the site as is required in this criteria.

- √(vi) **The open space provides a buffer to protect sensitive environmental features and natural areas;**

The site plan protects the sensitive environmental features of the large mature trees by providing a buffer around the drip line of the trees from the building and amenitizing the buffer to utilize it as an outdoor patio space.

- √(vii) **If possible, open space is linked to an area- or city-wide system.**

The enhanced streetscapes will integrate into the existing urban fabric and the larger, city-wide walkway system.

N/A (B) *Open Space in Mixed Use Developments (Developments that contain a mix of residential and non-residential uses)*

√ (C) **Landscaping**

- √(i) **The project provides for aesthetic enhancement and a variety of plant and hard surface materials, and the selection of materials provides for a variety of colors and contrasts and the preservation or use of local native vegetation where appropriate;**

The location of the existing mature trees is planned to be augmented with plantings and landscape materials. There are other open space areas along the internal access drive that serve as drainage facilities which are augmented with landscape plantings to create variety in appearance.

- √(ii) **Landscape design attempts to avoid, minimize, or mitigate impacts to important native species, plant communities of special concern, threatened and endangered species and habitat by integrating the existing natural environment into the project;**

The existing, mature trees will be preserved on the site and integrated into the site plan.

- √(iii) **The project provides significant amounts of plant material sized in excess of the landscaping requirements of sections 9-9-12, "Landscaping and Screening Standards" and 9-9-13, "Streetscape Design Standards," B.R.C. 1981;**

The proposed landscape plan includes a variety of plant materials in excess of the landscape requirements.

- √(iv) **The setbacks, yards, and useable open space along public rights-of-way are landscaped to provide attractive streetscapes, to enhance architectural features, and to contribute to the development of an attractive site plan.**

The proposed landscape plan will create attractive streetscapes especially along Canyon Boulevard and 26th Street to enhance the architecture.

√ (D) Circulation: Circulation, including, without limitation, the transportation system that serves the property, whether public or private and whether constructed by the developer or not:

√ (i) High speeds are discouraged or a physical separation between streets and the project is provided;

The site is accessed by 26th Street, a private street that has a distinct curve at the site that naturally slows vehicular traffic. With the parking lot located primarily within a structure or below grade, there is a physical separation between the parking and the streets.

√ (ii) Potential conflicts with vehicles are minimized;

The proposed structured parking serves to minimize conflicts with pedestrians. Today, there are four curb cuts into the surface parking lot on the site. With the proposed project, there will be two curb cuts that will channel the flow of traffic within this area of the Village Shopping Center. The streetscapes along 26th Street and Canyon Boulevard have detached walkways with planting beds to separate pedestrians from autos.

√ (iii) Safe and convenient connections are provided that support multi-modal mobility through and between properties, accessible to the public within the project and between the project and the existing and proposed transportation systems, including, without limitation, streets, bikeways, pedestrian ways and trails;

The existing 26th Street is designed with a pronounced “S” curve at the southeast corner of the site. This inherently slows traffic. In addition, streetscape improvements along 26th Street and Canyon Boulevard are designed enhance the current pedestrian experience and provide access to nearby multi-use paths.

√ (iv) Alternatives to the automobile are promoted by incorporating site design techniques, land use patterns, and supporting infrastructure that supports and encourages walking, biking, and other alternatives to the single-occupant vehicle;

Given the location of the project site that is in proximity to retail and downtown, location of six bus stops, including two super stops nearby, the proposed project augments existing eight-foot, detached walkways to encourage access to transportation alternatives. In addition, the applicant is requesting a 36 percent parking reduction for the project given the proximity to services, bus transit, and enhanced walkways.

√ (v) Where practical and beneficial, a significant shift away from single-occupant vehicle (SOV) use to alternate modes is promoted through the use of travel demand management techniques;

Given the location on the project site and various improvements, including bike parking, and proximity to bus transit stops, the development proposal was found to support multi-modal transit opportunities that, in turn, encourage a shift away from SOV use.

√ (vi) On-site facilities for external linkage are provided with other modes of transportation, where applicable;

The development integrates into existing urban grid which includes multi-use paths and augmented streetscapes as a part of the project to provide connectivity to the larger, city-wide trail system.

√ (vii) The amount of land devoted to the street system is minimized;

Where the site today has four curb cuts into a surface parking lot, the redeveloped site will have two, and place the majority of parking within structures and below grade.

- √ (viii) **The project is designed for the types of traffic expected, including, without limitation, automobiles, bicycles, and pedestrians, and provides safety, separation from living areas, and control of noise and exhaust.**

The development proposal provides the infrastructure to support multiple types of traffic, including automobiles, buses, bicycles and pedestrians by providing sidewalk and multi-use path connections to the surrounding bus stops.

√ (E) **Parking**

- √ (i) **The project incorporates into the design of parking areas measures to provide safety, convenience, and separation of pedestrian movements from vehicular movements;**

Parking is provided within a below-grade, and podium style parking structure internal to the site where traffic is essentially removed from the surface and channeled into the structure below.

- √ (ii) **The design of parking areas makes efficient use of the land and uses the minimum amount of land necessary to meet the parking needs of the project;**

Parking is provided below grade and within a parking structure with minimal surface parking.

- √ (iii) **Parking areas and lighting are designed to reduce the visual impact on the project, adjacent properties, and adjacent streets;**

Parking is provided in a below grade parking structure and otherwise the surface parking lot lighting will meet the city's dark skies ordinance.

- √ (iv) **Parking areas utilize landscaping materials to provide shade in excess of the requirements in Subsection 9-9-6 (d), "Parking Area Design Standards," and Section 9-9-14, "Parking Lot Landscaping Standards," B.R.C. 1981.**

The landscape plans illustrate that the surface parking lot has landscaping and screening that will provide shade. The planned building will also provide shade on the surface parking lot.

√ (F) **Building Design, Livability, and Relationship to the Existing or Proposed Surrounding Area**

- √ (i) **The building height, mass, scale, orientation, and configuration are compatible with the existing character of the area or the character established by an adopted plan for the area;**

The built environment surrounding the site is varied. The Village Shopping Center has been in the present location for approximately 40 years with a variety of architectural styles, massing and scale. There is an inline retail development across Canyon Boulevard as well as the four story Water Street office building, the five story Hub Apartments and the recently approved four and five story hotels at 28th and Canyon Boulevard. There is also a five story Marriott Hotel located east of the site, built in the 1980s. The proposed building is oriented to the street with reduced setbacks, at-grade building entries, and a high density residential appearance with appropriately scaled windows and doors facing the street. Given the intent of the Boulder Valley Regional Center (BVRC), one of three BVCP-identified "regional activity centers" within the city to establish buildings located close to the street with "parking behind and/or beside the buildings" the application is consistent with the criteria for the character established by an adopted plan for the area.

Because the project is subject to the BVRC Design Guidelines, many of the guidelines are focused on creating pedestrian oriented urban infill development such as locating buildings close to the street and maximizing street frontage of buildings. The building's configuration of aligning the building face along the street meets the intent of the guidelines. Similarly, the development proposal meets the intent of several BVRC Design Guidelines for minimizing surface parking, as noted on page 6 of the BVRC guidelines it

states, “reducing the predominance of surface parking lots in the BVRC will necessitate more above, grade, and below ground parking structures.”

√ (ii) The height of buildings is in general proportion to the height of existing buildings and the proposed or projected heights of approved buildings or approved plans for the immediate area;

There are several buildings in near proximity to the site that are in excess of the maximum permitted height (35 feet) and that range in height from 34 feet to over 55 feet, including the Water Street building immediately across Canyon Boulevard, The HUB apartments on 26th Street and the approved hotel redevelopment at 28th and Canyon, the older buildings of which are in excess of 55 feet. While there are a number of buildings within the Village Shopping Center that are one and two stories maximum, the proposed building, with the building forward design helps to knit together the pedestrian orientation of the shopping center.

√ (iii) The orientation of buildings minimizes shadows on and blocking of views from adjacent properties;

The project site is located at the southwest corner of Canyon Boulevard and 26th Street, and as such the shadows cast by the buildings are onto the streets rather than adjacent property. The exception is the property to the west of the site. However, additional setback is planned on the west side of the property that will allow greater sunlight into the property to the west. The project site is located within Solar Area III where solar access is intended to protect rooftops of adjacent buildings. The development proposal will not impede the potential for adjacent properties to utilize solar energy as indicated by the solar analysis.

There is an existing view of the Flatirons toward the southwest though not from an adjacent property but from the intersection of 26th and Canyon Boulevard. That view will no longer be apparent when the building is constructed on the surface parking lot. This would be true with a two to three-story, 35 foot tall building as well. To the northeast, a new 55 foot tall building is also proposed, in that context, with the distance separation from the proposed building some views may be captured within the new hotel.



Existing corner with trees and viewshed

√ (iv) If the character of the area is identifiable, the project is made compatible by the appropriate use of color, materials, landscaping, signs, and lighting;

The character of the area is defined not only by architecture, but by use. The redevelopment of the site as a more urban-configured hotel in proximity to the Village Shopping Center, the downtown, the Twenty Ninth Street retail development, and office with employers east of 30th street is compatible with the area. The character of the area architecturally is varied given the development of the area over time. More contemporary buildings have been built in recent years or have been approved and the contemporary character of the hotel will fit within this context.

- √ (v) **Projects are designed to a human scale and promote a safe and vibrant pedestrian experience through the location of building frontages along public streets, plazas, sidewalks and paths, and through the use of building elements, design details and landscape materials that include, without limitation, the location of entrances and windows, and the creation of transparency and activity at the pedestrian level;**

The proposed building is planned to be built up to the street with architectural details and fenestration that provides pedestrian interest. As initially proposed, the drop off area for the hotel was planned as a vehicular entry with a broad "U-shaped" vehicular porte-cochere that accessed the hotel entry. As redesigned the access to the hotel is in a more pedestrian oriented configuration with a drop off lane along the roadway and a deep, contemporary overhang to access the hotel's entry. The intent in the redesign was to create a more human, pedestrian oriented access into the hotel. This orientation is augmented by contemporary design detailing at the front entry.

- √ (vi) **To the extent practical, the project provides public amenities and planned public facilities;**

The development proposal includes augmenting the streetscapes along both 26th Street (a private internal street serving the Village Shopping Center) as well as along Canyon Boulevard, with new walkways provided along both streets .

- N/A (vii) **For residential projects, the project assists the community in producing a variety of housing types, such as multifamily, townhouses and detached single family units, as well as mixed lot sizes, number of bedrooms and sizes of units;**

Not applicable; the development proposal is not residential.

- N/A (viii) **For residential projects, noise is minimized between units, between buildings, and from either on-site or off-site external sources through spacing, landscaping, and building materials;**

Not applicable; the development proposal is not residential.

- √ (ix) **A lighting plan is provided which augments security, energy conservation, safety, and aesthetics;**

Although a preliminary lighting plan was submitted showing the types and location of the proposed lighting a formal lighting plan meeting the requirements of section 9-9-16, "Lighting, Outdoor," will be required at the time of Technical Document.

- √ (x) **The project incorporates the natural environment into the design and avoids, minimizes, or mitigates impacts to natural systems;**

The proposed project incorporates the long-lived healthy trees that exist on the site into the site design and avoid impacting the trees by keeping the development setback outside of the drip-line of the trees.

- √ (xi) **Buildings minimize or mitigate energy use; support on-site renewable energy generation and/or energy management systems; construction wastes are minimized; the project mitigates urban heat island effects; and the project reasonably mitigates or minimizes water use and impacts on water quality.**

*Per the July 17, 2014 public hearing, the applicant has agreed to provide necessary electrical conduit rough-in for possible future rooftop photovoltaic panels to help meet this review criteria. In addition, the recently adopted City of Boulder Building Code is considered very aggressive and requires that new buildings consume 30% less energy than allowed by 2012 International Energy Conservation Code and the mechanical and electrical systems of the buildings will be designed to the highest possible efficiency. The applicant has provided a preliminary approach for meeting these standards and is provided in **Attachment C**. As noted in the applicant's written statement for energy efficiency:*

"The Applicant and its design team have developed a special design methodology to address the requirements of the City of Boulder's new energy code (IECC 2012 +30%). We are working with a 3rd party engineering consultant to independently create an energy model for the project and recommend energy saving enhancements for the new building. This is an on-going process that will continue into the more detailed technical design phase of the project.

The Boulder Residence Inn will be designed with energy efficiency and sustainability as a high priority. The building envelope will exceed ASHRAE 90.1-2010 and IECC 2012 code requirements to reduce heating and cooling loads. Ventilation for the guestrooms and corridors will be pre-heated/cooled with heat recovery from the guestroom restroom exhaust. The water heaters and kitchen makeup air will be very efficient and use condensing boilers and evaporative cooling. Ventilation for the parking garage will operate with variable flow to provide continuous exhaust and ramp up as needed based on the carbon monoxide level. Guestroom VTAC units will be efficient and provide individual control at each room. The lighting power density will be better than code and utilize occupancy sensors, and water efficient plumbing fixtures will be installed."

- √ (xii) **Exteriors or buildings present a sense of permanence through the use of authentic materials such as stone, brick, wood, metal or similar products and building material detailing;**

The building materials, particularly the use of brick at highly visible areas of the building along Canyon, 26th and at the "terminus" of 26th Street into the Village Shopping Center all utilize brick. Other areas of the building utilize stucco in varying tones that will provide a richness of appearance.

- √ (xiii) **Cut and fill are minimized on the site, the design of buildings conforms to the natural contours of the land, and the site design minimizes erosion, slope instability, landslide, mudflow or subsidence, and minimizes the potential threat to property caused by geological hazards;**

Recognizing that the site is limited in grade, over lot grading will be minimal. However, the development proposal includes underground parking which will result in significant amount of cutting.

- N/A (xiv) **In the urbanizing areas along the Boulder Valley Comprehensive Plan boundaries between Area II and Area III, the building and site design provide for a well-defined urban edge; and**

Not applicable; the project site is within city limits.

- N/A (xv) **In the urbanizing areas located on the major streets shown on the map in Appendix A of this title near the Boulder Valley Comprehensive Plan boundaries between Area II and Area III, the buildings and site design establish a sense of entry and arrival to the City by creating a defined urban edge and a transition between rural and urban areas.**

Not applicable; the project site is within city limits.

- N/A (G) **Solar Siting and Construction: For the purpose of ensuring the maximum potential for utilization of solar energy in the City, all applicants for residential site reviews shall place streets, lots, open spaces, and buildings so as to maximize the potential for the use of solar energy in accordance with the following solar siting criteria:**

Not applicable; the development proposal is not residential.

- N/A (H) **Additional Criteria for Poles Above the Permitted Height: No site review application for a pole above the permitted height will be approved unless the approving agency finds all of the following:**

- n/a (I) **Land Use Intensity Modifications:**

Not Applicable: No intensity modification proposed, a maximum 1.78 FAR is proposed where 2.0 FAR is permitted.

n/a (J) **Additional Criteria for Floor Area Ratio Increase for Buildings in the BR-1 District**

Not Applicable: No Floor Area Ratio Increase is proposed, a maximum 1.78 FAR is proposed where 2.0 FAR is permitted.

√ (K) **Additional Criteria for Parking Reductions: The off-street parking requirements of section 9-9-6, "Parking Standards," B.R.C. 1981.**

- (i) **Process: The city manager may grant a parking reduction not to exceed fifty percent of the required parking. The planning board or city council may grant a reduction exceeding fifty percent.**

The applicant is requesting a parking reduction of 10.5 percent: a total of 883 spaces provided with 987 spaces required.

- (i) **Criteria: Upon submission of documentation by the applicant of how the project meets the following criteria, the agency may approve proposed modifications to the parking requirements of Section 9-9-6, "Parking Standards," B.R.C. (see [tables 9-1](#), [9-2](#), [9-3](#) and [9-4](#)), if it finds that:**

- N/A a. **For residential uses, the probable number of motor vehicles to be owned by occupants of and visitors to dwellings in the project will be adequately accommodated;**

Not applicable; the development proposal does not include mixed-use residential development.

- √ b. **The parking needs of any nonresidential uses will be adequately accommodated through on-street parking or off-street parking;**

Parking for the hotel would be accommodated by surface and structured parking surrounding the hotel along with a below grade parking garage, and in some cases, from other parking throughout the Village Shopping Center. Being surrounded by major roads, any spillover parking from the hotel or other uses on the site on occasions (e.g., holiday shopping) would be minimal and parking demand for the grocery store has been adequately accommodated for the past several years. The site has the ability to take advantage of other modes of travel to access the site, which significantly lowers the need for on-site parking.

The Village has a more neighborhood scale that is connected by existing walkways and multi-use paths to surrounding neighborhoods and the nearby Boulder Creek trail that encourages bike and pedestrian access. In addition, the proximity of the hotel to a number of restaurants within the center as well as the Twenty Ninth Street Mall provide incentive to walk to these uses. The site will be providing more bike parking spaces, both in the form of long term secure parking and short term surface parking, in excess of the spaces required that can also decrease the parking demand. The site has direct access to several major bus lines, including the Hop, the Bolt, the 205 and 206, with a bus stop adjacent to the site and two super stops across the street on Canyon and on 28th Street. These bus facilities provide direct access to downtown and the Twenty Ninth Street Mall as well as the university. The applicant's Transportation Demand Management strategies include provision of EcoPasses to employees, for five years.

- N/A c. **A mix of residential with either office or retail uses is proposed, and the parking needs of all uses will be accommodated through shared parking;**

Not applicable; the development proposal does not include mixed-use residential development.

- √ d. **If joint use of common parking areas is proposed, varying time periods of use will accommodate proposed parking needs; and**

Because the Village Shopping Center contains a variety of retail, commercial and office uses varying time periods of peak parking demand occur throughout the day. These varying time periods will accommodate parking needs given that the parking needs of the hotels within the Village Shopping Center are primarily in at night; the restaurants vary throughout the day and peak in the evening; and the parking needs of the retailers in the center are primarily during the day.

N/A e. If the number of off-street parking spaces is reduced because of the nature of the occupancy, the applicant provides assurances that the nature of the occupancy will not change.

Not applicable; the parking reduction was not base on the nature of the occupancy.

N/A (L) Additional Criteria for Off-Site Parking: The parking required under section 9-9-6, "Parking Standards," B.R.C. 1981, may be located on a separate lot.

Not applicable; the required parking is being accommodated on site.

BVCP and BVSP DESIGN GUIDELINE	CONSISTENCY ANALYSIS WITH GUIDELINE	Meets Guideline?
<p><u>BVRC</u> 3.1.B Locate Buildings close to the street</p> <p>3.1.D Maximize the street frontage of buildings</p> <p><u>BPSP</u> 2.1. Building Placement Locate buildings close to the street, with parking behind and/or beside the buildings. Streets lined by buildings are more interesting to move along, especially for the pedestrian.</p>	<p>All of these guidelines are related to building placement close to the street to create a street frontage that provides interest to the pedestrian. As noted in the Site Review criteria analysis, the building-forward site design will create pedestrian interest and the will help to establish a sense of vibrancy along the streetscape.</p> 	<p>Yes</p>
<p><u>BVCP:</u> 3.1.C. Locate buildings at street corners</p> <p><u>BPSP</u> Gateways/Corners/Entries If the property is located at a street intersection, place the main building, or part of the building, at the corner.</p>	<p>The corner of the site is anchored by the large iconic trees that have been in that location for several decades. Determined to be in healthy condition by the city forester and the applicant's consultant, these trees if maintained will continue to provide a strong sense of place. Because of the overall need to "balance" the guidelines and the site review criteria that requires preservation of long lived trees, the approach taken to the site design of the building was considered a good design solution.</p> <p>Therefore, the proposed building "wraps" around the trees and instead pulls a broad entry overhang toward the street. While this guideline isn't met in the strictest sense of the guideline with the building at the corner, the need to preserve the trees and establish them as a amenity element for the building and the shopping center outweighed the need to pull the building to the corner in this specific context.</p> 	<p>Partially</p>

<p>BVRC: 3.1.E. Lay out the site to support pedestrian circulation Pedestrian circulation should be an integral part of initial site layout, not added after building locations and vehicular circulation are determined. Organize the site so that buildings frame and reinforce pedestrian circulation.</p>	<p>The proposed site design is integrated into the existing street configuration. The sidewalk widths are augmented as is the streetscape along the building's frontage. The site is organized so that the building will frame the street in an area that currently has little or no definition due to it being a surface parking lot.</p>	<p>Yes</p>
<p>3.1.G. Preserve and capitalize on views to the west Locate buildings and open space to preserve and take advantage of views to the west, northwest and southwest from public spaces on and near the site such as streets and sidewalks.</p>	<p>Inherent in the location of a pedestrian oriented building configuration close to the street is the diminishment of existing views toward the Flatirons from public areas north and east of such a site. While today, views of the Flatirons are obvious, it is the result of a surface parking lot. Instead, views toward the west and up Canyon Boulevard toward the mouth of the Canyon will remain.</p>	<p>Partially</p>
<p>BVRC (Open Space Guidelines): 3.1.F. Useable open space should be integral to the plan; 3.6.A. Provide useable outdoor open space; 3.6.B. Locate and design open space to encourage use; 3.6.E. Provide furnishings and landscaping in open space; and 3.8.A. Provide outdoor furnishings Useable outdoor spaces should be provided that will encourage activity at the street and building entrances...To ensure that useable open space is well-used, it is essential to carefully locate and design it.</p>	<p>The primary open space function is met by the use of the open space created by protection of the iconic trees. The applicant has taken the task of maintaining a large area around the drip line of the trees to create an amenity space for the hotel. An outdoor patio is planned to be placed within the area protecting the trees, cantilevered over the root zone. This will allow for use of the space while protecting the trees. Because the operating characteristics of the Residence Inn are such that the building operates more like an apartment building, with individual guest kitchens, the patio space will be available for guests to provide an outdoor amenity for the building.</p>	<p>Yes</p>
<p>3.1.K. Provide vehicular and pedestrian links Provide transportation links to adjacent properties for automobiles, bicycles and pedestrians.</p>	<p>The site is within an existing street context that has multi-use paths and walkways that provide transportation links to adjacent properties, the proposed project will augment the existing context.</p>	<p>Yes</p>
<p>3.2.A. Internal drives should connect public streets; and 3.2.B. Connect with adjacent parking lots or drives Wherever possible internal access drives should be located to join together existing public streets and/or connect to adjacent private drives...</p>	<p>Because this is an existing site within an existing shopping center, there are internal connections out to the public streets that already exist. The project has enhanced these existing connections with building street faces.</p>	<p>Yes</p>
<p>BVRC: 3.3.A. Provide a complete pedestrian network; and 3.3.B. Provide interior pedestrian links to adjacent properties Provide a complete network of paths that interconnect building entrances, parking and transit stops, public sidewalks and crossings, adjacent properties, adjoining off-street paths and any other key destinations on or adjacent to the site.</p>	<p>The development proposal includes augmenting existing walkway connections through expansion of the walkways as well as enhancement of the streetscape with additional plantings.</p>	<p>Yes</p>

<p>BVRC 3.3.C. Distinguish and enhance pedestrian paths; 3.3.D. Use distinctive paving; 3.3.E. Provide crosswalks; and 3.3.E. Ensure adequate path widths Pedestrian paths should be clearly defined and enjoyable to use.</p>	Pedestrian paths are existing, but will be augmented with integrally colored concrete, particularly within the walkway on 26 th Street which is a private street serving the Village Shopping Center.	Yes
<p>BVRC: 3.4.H. Ensure bicycle parking is ample and secure; 3.4.B. Locate bike racks where visible and convenient; and 3.4.C. Provide shelter and lighting for bike parking Provide two bike parking spaces for every 10 vehicle spaces.</p>	A total of 25 bike parking spaces are provided, including short and long term, secure storage. The guideline recommends a total of two per 10 vehicle spaces, equivalent to 20 spaces.	Yes
<p>BVRC: 3.5.A. Try to minimize parking needs; and 3.5.B. Try to provide structured, rather than surface, parking City parking regulations allow applicants to request a reduction in their automobile parking requirement.</p>	The development proposal has below grade structured parking as well as a 26 percent parking reduction.	Yes
<p>BVRC: 3.7.A. Exceed City landscape standards; 3.7.B. Street corners and site entries should have special landscaping; 3.7.C. Pedestrian areas should have special plantings; 3.7.D. Vehicular areas may have larger-scale plantings; and 3.7.E. Utilize xeriscape techniques The proposed landscape plan includes a variety of plant materials in excess of the landscape requirements.</p>	The proposed landscape plan includes a variety of plant materials in excess of the landscape requirements in creative plant massings and mix of species.	Yes
<p>BVRC: 4.1.A. Identify which type of street(s) the development site fronts 4.2.A. Internal through-streets should be pedestrian friendly Internal (privately-owned) through-streets should look and function like “A” streets, that is, pedestrian- friendly. This may be challenging if the drive passes along interior parking lots. Provide a 6 foot-wide walk on both sides of the drive. Ensure pedestrian interest along the walk by providing storefronts or windows, street trees, landscaping, and/or special lighting. Screen or buffer parking lots if possible. On-street parallel parking is strongly recommended. Also see Guideline 3.2.A.</p>	Canyon Boulevard is considered an “A” street, as is 26 th Street that is an internal, privately owned street. The development proposal utilizes a building forward design that will enhance the pedestrian environment, including locating building entries and store fronts at grade along pedestrian paths as well as utilizing human scale materials and architectural features, including brick, awnings, seating walls, etc.	Yes

BVRC:

**5.1.A Break down the mass of the building; and
5.1.C. Transition to adjacent buildings**

For human scale and visual interest, break down the mass of the building, horizontally and vertically, into a hierarchy of volumes...[additionally,] consider varying building height and massing to make a visual transition to adjacent buildings.

The overall development proposal has been found to be consistent with both the BVRC design guidelines and Site Review criteria, in that it utilizes a building forward design that enhances the pedestrian level. The applicant has indicated that the intent of the design character is to be that of a high density residential building. The overall appearance of the building is residential in character, which is appropriate given the use of the hotel with extended stay opportunities. Visual interest is provided by the use of varying, compatible brick colors along with contemporary entry elements.

In the BDAB review of the proposal, the applicant was encouraged to utilize the brick on the majority of the building face along Canyon Boulevard given the high visibility of that streetface. The applicant further addressed BDAB's comments by extending the same colors of brick to the fourth story.

The south elevation is less visible, particularly because the majority of that building elevation faces the "back of the house" for McGuckin's Hardware, including the loading dock and trash service. For that elevation, it was suggested that brick should be placed primarily at the terminus of 26th Street as it curves.

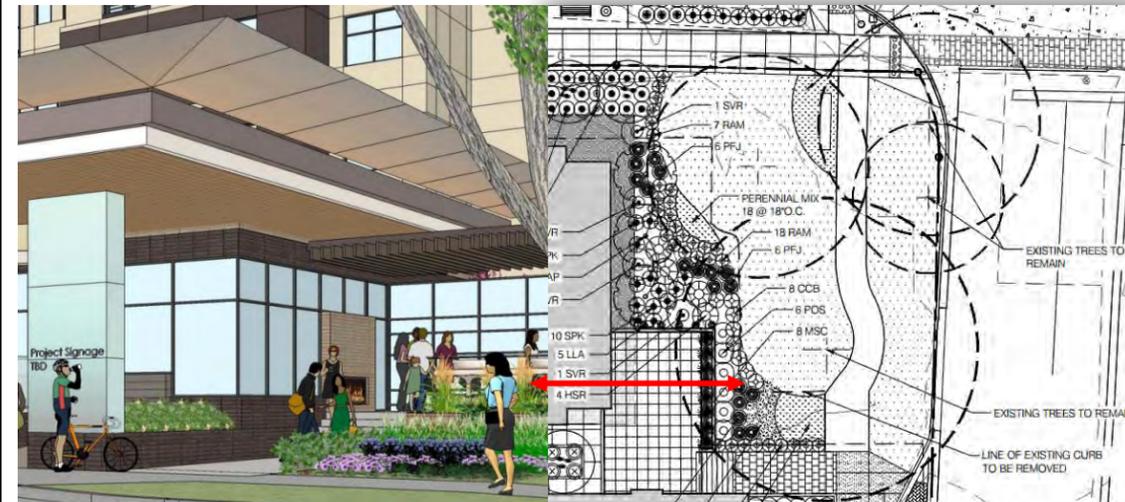
Yes

BVRC:

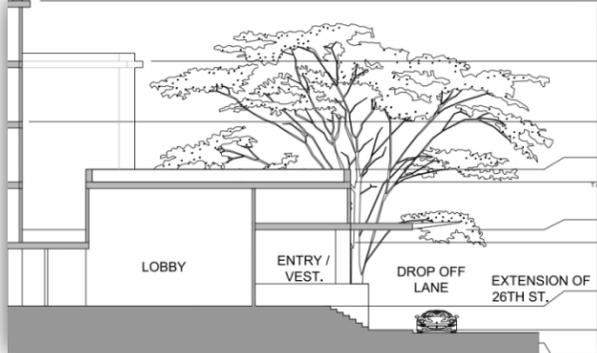
5.1.E. Intermingle the building interior and exterior

Take "the indoors" outdoors by spilling interior spaces (e.g. dining areas, merchandising displays) onto walkways and plazas.

The applicant created an "outdoor room" within the area intended for tree protection. The intent is to not only keep the building from impacting the iconic trees but also to utilize the space as an amenity.



Yes

<p>BVRC: 5.2.A. Orient the building to the street The building should address the street...Orient the main facade to the street, and provide an entrance(s) on the streetside...In general, for walkability, building or store entrances should occur at least approximately every 150 feet.</p>	<p>The main facades of the building are oriented to both 26th Street and Canyon Boulevard. Both sides of the building provide building entrances.</p>	<p>Yes</p>
<p>BVRC: 5.2.C. Emphasize building entrances Use building massing, special architectural features, and changes in the roof line to emphasize building entrances.</p>	<p>The main hotel entrance is emphasized by an elegant roof overhang with a wood ceiling that provides protection for the guests arriving from the on-street drop off lane.</p> 	<p>Yes</p>
<p>BVRC 5.2.D. Avoid large blank walls; 5.2.E. Provide pedestrian interest on the ground level; 5.2.F. Design all sides of the building; 5.2.G. Standardized designs and foreign styles are discouraged 5.2.I. Use human-scale materials; and 5.2.J. Select high-quality exterior materials</p> <p>For visual interest, avoid blank wall surfaces longer than approximately 100 horizontal feet and higher than approximately 20 vertical feet. Effective ways to articulate walls include:</p> <ul style="list-style-type: none"> • Vary the building mass to reflect interior spaces; • Modulate the wall plane with a rhythm of three dimensional forms, like bays, pilasters, recesses <p>Every building in the BVRC should be a notable, enduring contribution to Boulder’s built environment. Exterior building materials should convey solidity and permanence.</p>	<p>The proposed project is consistent with the Site Review and BVRC guidelines with a palette of high quality materials of standard sized brick, wood accents, stucco and metal. Walls of the building are articulated and reflect interior spaces with modulating bays. The design of the building was not found to be a “standardized” corporate Residence Inn design.</p>	<p>Yes</p>

<p>Continued... 5.2.D. Avoid large blank walls; 5.2.E. Provide pedestrian interest on the ground level; 5.2.F. Design all sides of the building; 5.2.G. Standardized designs and foreign styles are discouraged 5.2.I. Use human-scale materials; and 5.2.J. Select high-quality exterior materials</p>	<p>All sides of the building are designed with emphasis placed on the public realm. The “interior” of the site that faces both a “terminus” point of northbound 26th Street as well as the loading docks for McGuckin’s Hardware provide brick and stucco, with brick featured more prominently where most visible. Ornamental screens are used on the first floor along the “internal” street next to the McGuckin’s Hardware for the parking structure.</p>	<p>Yes</p>
<p>BVRC 5.3.A. Locate service areas to minimize visibility; 5.3.B. Screen truck areas; 5.3.C. Enclose trash storage; 5.3.D. Utility boxes and meter should be inconspicuous; and 5.3.E. Minimize the visibility of HVAC systems</p>	<p>The applicant has located the trash service area to be toward the “rear” of the building, accessed off of the service lane that is adjacent to the McGuckin’s “back of house” that includes trash/recycling storage as well as the loading docks. The utility boxes are located within the structured parking. The mechanical screening on the roof is planned as a metal trellis, that has a subtle appearance.</p>	
<p>BVRC 5.2.K. Buildings should be environmentally sound</p> <p>Use environmentally sound building design, construction techniques and materials.</p>	<p>The City of Boulder Building Code requires that new buildings consume 30% less energy than allowed by 2012 International Energy Conservation Code and the mechanical and electrical systems of the buildings will be designed to the highest possible efficiency. Refer to the end of Attachment D, Energy Efficiency Statement from the applicant for more detailed information about the applicant’s approach to environmentally sound and energy efficient building construction and management.</p>	<p>Yes</p>
<p>DESIGN OBJECTIVES for “A” streets</p> <ul style="list-style-type: none"> • Comfortable, lively and interesting for pedestrians • Buildings line street; minimum of parking lots adjacent to street • Facades rich in windows and pedestrian-scale architectural details • Outdoor restaurant/cafe seating and plazas 	<p>See response above to 4.2.A</p>	<p>Yes</p>

APPLICANT DESIGN REVISION NARRATIVE

August 15, 2014

PROJECT NAME: BOULDER RESIDENCE INN AT VILLAGE SHOPPING CENTER
LOCATION: 2550 CANYON BL
REVIEW TYPE: Site Review
REVIEW NUMBER: LUR2013-00057

Project Description

New urban hotel located on approximately 1.65 acres at the southwest corner of Canyon Boulevard and 26th Street in the Village Shopping Center. The hotel interior area is proposed to be 116,314 s.f. with 163 rooms in a 4 to 5 story above-grade building. Below grade basement parking is proposed under the north wing of the hotel along Canyon Boulevard. Podium parking is proposed on the first floor of the south wing along with surface parking along the interior west property line.

Boulder Planning Board Design Issues

The Planning Board identified the following major design issues at its July 17, 2014 meeting and asked the Applicant to resubmit the project for further Board review:

1. Increase the building setback from the property line along the Canyon Boulevard frontage, move basement exit stair & transformer away from public sidewalk; add more landscaping and a second row of trees; improve parking lot landscape screen at northwest corner of property and add a covered RTD bus shelter.
2. Add all necessary electrical conduit rough-in for a possible future roof mounted photovoltaic panel array.
3. Continue the public sidewalk from east to west along the project's south property line to provide for improved pedestrian connections within the Village Shopping Center.
4. Along the Canyon Boulevard frontage, simplify the building's north façade architectural material palette and appearance.
5. Revise TDM to extend offering of Eco Pass to employees.

Applicant Response

1. **INCREASE CANYON BLVD. SETBACK & OTHER IMPROVEMENTS - The Canyon Boulevard building setback has been increased by 6 linear feet, enhanced landscaping has been added, stair & transformer have been relocated and covered bus stop provided.** Wider building setback was achieved by reducing the depth of the hotel rooms facing the street. Please see sheets A2.1 & A2.1.1 for dimensioned site plan that show how the additional 6' setback was created. The increased setback area will be used for additional landscaping between the building and the sidewalk. See sheets L5.0, L1.0 & L2.0 for the improved landscape design along Canyon. Also see sheets A5.6 & A5.7 for pedestrian level views of this improved landscaping area along the Canyon frontage.

2. **PROVIDE FOR FUTURE PV ARRAY - The Applicant will provide necessary electrical conduit rough-in for possible future rooftop photovoltaic panels.** See sheet A2.4 for possible location of future rooftop PV array. The Applicant is committed to make the project as energy efficient and sustainable as possible.
3. **CONTINUOUS SOUTH SIDEWALK - The south sidewalk located between the hotel and the westward extension of 26th Street is now continuous from the property's southeast corner to its southwest corner.** This was achieved by working with City of Boulder engineering staff to design a cantilevered sidewalk structure over the edge of the project's water quality pond. See sheets L5.0, A4.3 & A5.9 for site plan, section drawings and perspective views showing the design of this improved pedestrian connection.
4. **SIMPLIFY CANYON FACADE ARCHITECTURE – Façade fronting Canyon has been simplified.** This was accomplished by reducing number of brick colors, reducing the depth of the protruding bay wall returns by 6 linear feet and lowering the parapet height between 2' – 3' at certain locations along Canyon. At the building's northeast corner we've also added a spandrel glass corner window to break up the expanse of unarticulated brick. A hotel room bath has always been located at the building corner and it necessitates the faux window treatment. Sheets A5.3 - A5.7 shows the Applicant's revised façade design along Canyon. The building's other façades have been adjusted to coordinate with the Canyon façade changes.
5. **ECO PASS EXTENDED PERIOD – TDM Plan has been revised to extend employer provided Eco Passes for employees from a period of 3 years to 5 years.**

Residence Inn at Village Shopping Center

City of Boulder Site Review Submittal

Written Statement

February 17, 2014

Overview

This letter is intended to supplement the description provided with the initial Site Review submittal for LUR2013-00057 for the PUD Amendment and Platting purposes.

A new urban hotel located on approximately 1.65 acres at the southwest corner of Canyon Boulevard and 26th Street in the Village Shopping Center. The Residence Inn by Marriott is an extended stay, limited service hotel. Guest rooms are designed with living, cooking, working and sleeping spaces that make them attractive to travelers for longer stays. As such, the hotel's architectural design has a sophisticated urban residential character reminiscent of a city center townhouse or condominium development.

The hotel has 163 rooms. There are 105 on-site parking spaces split between a basement parking garage under the hotel's north wing along Canyon Blvd; podium parking below the hotel's south wing and surface parking along the interior west property line. The ground floor podium parking is screened by the hotel walls that come all the way down to grade and are articulated with window openings and perforated metal "green" screens that provide fresh air ventilation. The western surface parking lot is screened by the hotel, the existing retail building to the west and a landscaping to the north.

The hotel occupies the corner of Canyon and 26th and the building and its exterior terraces step forward to engage the Canyon sidewalk zone to create a strong urban edge. A prominent secure hotel entry is located on Canyon at mid-block with flanking landscaped ground floor guest room terraces activating this important building façade. An iconic tower element anchors the hotel's corner and draws the eye towards the formal Porte Cochere entry courtyard.

The building's height and shape has been carefully articulated to reduce the scale of the development. The building floor plan has 3 hotel wings arranged in an H-shape similar to many classic urban hotels. To reduce building height along the Canyon frontage, the north hotel wing steps down to a 4-story above grade configuration. The south and center wings are both 5 stories tall.

The building's exterior façade incorporates a repetitive stepping pattern to create an appealing play of light and shadow across each elevation. It also breaks the façade into smaller distinct vertical elements containing residential size windows that provide a human scale to the building. Exterior materials pallet includes stone, brick, metal panel, glass, composite

architectural panels and stucco. Masonry elements anchor the base of the building, composite and metal panels act as accents at important corners and frame balcony and terrace areas while colored stucco is used at upper floor areas and in the deep recesses between building façade steps.

The redevelopment of the existing Village Shopping Center parking lot at the southwest corner of Canyon Boulevard and 26th Street for the new Residence Inn will result in the transformation of the Canyon street edge. From Folsom to 26th, the south side of Canyon Boulevard will have a more urban, mixed use street frontage that combines existing retail and the new urban hotel. We submit that this development will deliver on the primary goals of the Boulder Valley Regional Center Design Guidelines that call for the creation of a memorable, people-oriented place through the development of high quality buildings that will help attract patrons and assure the area's vitality into the future.

ENERGY EFFICIENCY STATEMENT

PROJECT NAME: BOULDER RESIDENCE INN AT VILLAGE SHOPPING CENTER
LOCATION: 2550 CANYON BL
REVIEW TYPE: Site Review
REVIEW NUMBER: LUR2013-00057
APPLICANT: BILL MARTINIC

The City of Boulder Site Review criteria include standards for energy efficiency. This Energy Efficiency Statement addresses the following sustainable design site review criteria:

“Buildings minimize or mitigate energy use; support on-site renewable energy generation and/or energy management systems; construction wastes are minimized; the project mitigates urban heat island effects; and the project reasonably mitigates or minimizes water use and impacts on water quality.”

Project Description

New urban hotel located on approximately 1.65 acres at the southwest corner of Canyon Boulevard and 26th Street in the Village Shopping Center. The hotel interior area is proposed to be 116,314 s.f. with 163 rooms in a 4 to 5 story above-grade building. Below grade basement parking is proposed under the north wing of the hotel along Canyon Boulevard. Podium parking is proposed on the first floor of the south wing along with surface parking along the interior west property line.

Sustainable Design Features

The Applicant and its design team have developed a special design methodology to address the requirements of the City of Boulder’s new energy code (IECC 2012 +30%). We are working with a 3rd party engineering consultant to independently create an energy model for the project and recommend energy saving enhancements for the new building. This is an on-going process that will continue into the more detailed technical design phase of the project.

The Boulder Residence Inn will be designed with energy efficiency and sustainability as a high priority. The building envelope will exceed ASHRAE 90.1-2010 and IECC 2012 code requirements to reduce heating and cooling loads. Ventilation for the guestrooms and corridors will be pre-heated/cooled with heat recovery from the guestroom restroom exhaust. The water heaters and kitchen makeup air will be very efficient and use condensing boilers and evaporative cooling. Ventilation for the parking garage will operate with variable flow to provide continuous exhaust and ramp up as needed based on the carbon monoxide level. Guestroom VTAC units will be efficient and provide individual control at each room. The lighting power density will be better than code and utilize occupancy sensors, and water efficient plumbing fixtures will be installed.

The owner has committed to make the project as energy efficient and sustainable as possible at considerable cost, including the following energy efficiency measures:

I. HVAC & LIGHTING

- Continuous ventilation will be provided to the guestrooms and guestroom corridors. The rooftop makeup air units will have heat recovery wheels even though they are not required per IECC 2012.
- The building envelope will be designed to lower the heating and cooling requirements. Low-e, low-SHGC windows exceeding code will be provided.
- First floor rooftop units will be high-efficiency models.
- The pool air handling unit will provide energy recovery to assist in heating the pool water.
- The minimum gas fired water heater efficiency required per code is 80%, but heaters with 96% efficiency will be provided.
- The kitchen hood make up air will use evaporative cooling rather than DX, and will use 100% efficient direct fired heating.
- Variable flow garage ventilation will be provided and controlled by CO sensor readings.
- The lighting will have significantly less power density than code and will be provided with occupancy sensors.

II. WATER QUALITY

- Integral to the design of the storm water management system is a permanent storm water Best Management Practice (BMP) consisting of a structured vault that provides hydrodynamic separation of trash and large particles and effectively captures them for periodic removal and disposal. This BMP has provisions for treating 70% of the 5-year storm event and over 30% of the 100-year storm event flows. Additionally, 100% of the initial 2-year storm event flows are treated, where most of the pollutants are washed into the storm system, thereby significantly reducing conveyance of pollutants downstream of the project.

III. WATER USE

- Low flow plumbing fixtures and high efficiency washers will be used throughout such that the Residence Inn will use at least 25% less water than a similar existing hotel property.

IV. CONSTRUCTION WASTE

- The Applicant is fully committed to building techniques that promote reduced energy consumption and decrease environmental footprints for all buildings. We make it a point to use appropriate sustainable design solutions on all our hotel developments. Construction waste will

be minimized by the separation and recycling of recoverable waste materials generated during construction. The most important step for recycling of construction waste is on-site separation.

V. URBAN HEAT ISLAND

- The new hotel preserves the mature cottonwood trees located at the corner of 26th & Canyon and significantly increases the landscaped open space on the site from its current use as a parking lot. The hotel roof will be a light colored EPDM membrane that reflects rather than absorbs sun light, thus reducing urban heat island effect within the Village Shopping Center.

END



BOULDER, COLORADO

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 BOULDER, CO 80302
STONEBRIDGE COMPANIES
 9100 EAST PANORAMA DRIVE, SUITE 300
 ENGLEWOOD, CO 80112
 (303) 785-3199

PROJECT #: 102-2013
 DRAWN BY: CC
 CHECKED BY: SN
 ISSUE DATE: 11/4/2013
 REVISION 1: 2/18/2014
 REVISION 2: 4/7/2014
 REVISION 3: 5/12/2014
 REVISION 4: 8/15/2014

COVER SHEET

A0.0

PROJECT DATA

SITE DATA:

OVERALL SITE: 72,062 SF
 BUILDING COVERAGE (FOOTPRINT): 36,961 SF

BUILDING AREAS:

FIRST FLOOR 21,693 SF
 SECOND FLOOR 25,680 SF
 THIRD FLOOR 25,680 SF
 FORTH FLOOR 25,680 SF
 FIFTH FLOOR 17,307 SF
TOTAL: 116,040 SF

NORTH UNDERGROUND GARAGE 10,023 SF (NOT INCLUDED IN FAR)
 SOUTH PARKING (AREA UNDER BLDG.) 12,306 SF

TOTAL BUILDING AREA: 138,369 SF

FLOOR AREA RATIO (FAR):

TOTAL BUILDING AREA 138,369 SF
 LESS UNDERGROUND GARAGE - 10,023 SF
FAR BUILDING AREA: 128,346 SF / 72,062 = 1.78

ZONING:

PROJECT SITE: BR-1 (BUSINESS REGIONAL 1)
 ADJACENT PROPERTY:
 NORTH BR-1 (BUSINESS REGIONAL 1)
 SOUTH BR-1 (BUSINESS REGIONAL 1)
 EAST BR-1 (BUSINESS REGIONAL 1)
 WEST BR-1 (BUSINESS REGIONAL 1)

OCCUPANCY CLASSIFICATION:

HOTEL R-1 (RESIDENTIAL GROUP R)
 PARKING GARAGE S-2 (STORAGE GROUP S)

* SEE C3.0 FOR SETBACK INFORMATION

* SEE L4.0 FOR OPEN SPACE INFORMATION

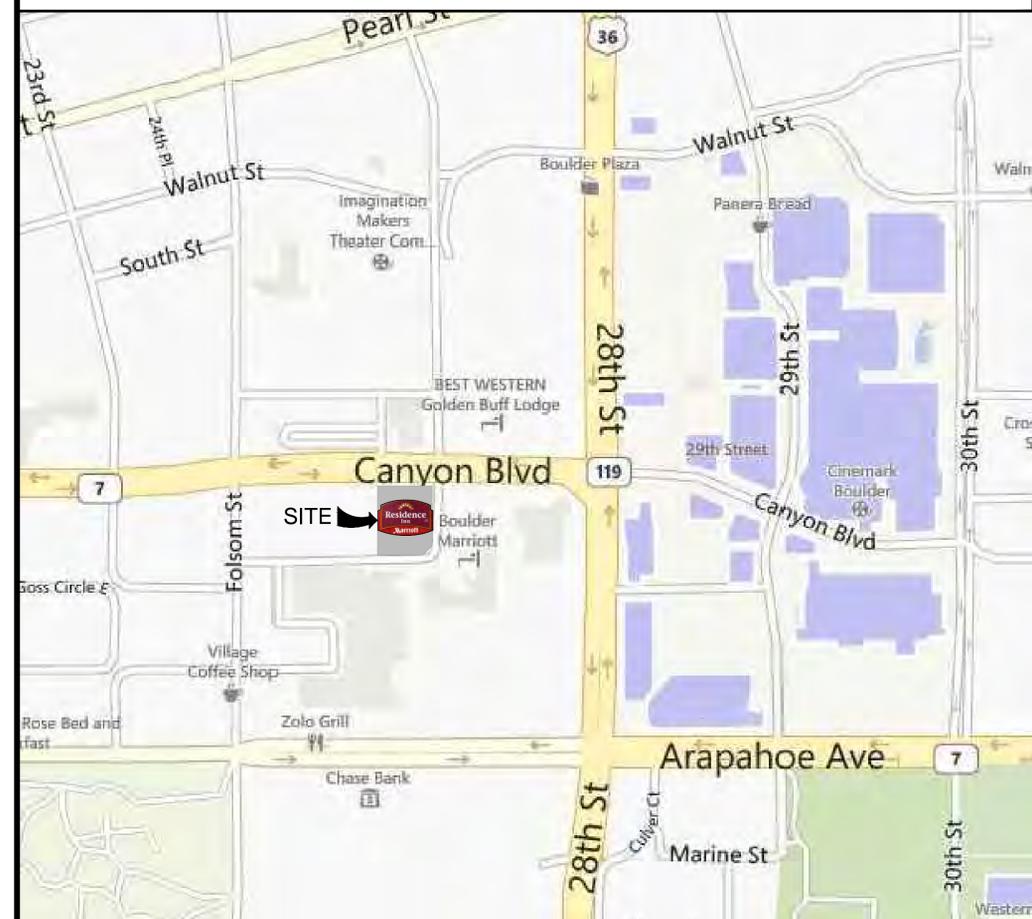
* SEE C3.0 FOR PARKING INFORMATION

* SEE C3.0 FOR BIKE PARKING INFORMATION

SHEET INDEX

- | | |
|----------------------------------------------|----------------------------------------------------|
| A0.0 - COVER SHEET | A4.3 - BUILDING SECTION @ SOUTH WATER QUALITY POND |
| A0.1 - SHEET INDEX & PROJECT DATA | A5.0 - BIRD'S EYE VIEWS |
| A1.0 - EXISTING CONDITIONS AERIAL | A5.1 - BUILDING PERSPECTIVES |
| A1.1 - EXISTING CONDITIONS IMAGES | A5.2 - BUILDING PERSPECTIVES |
| C1.0 - CIVIL COVER SHEET | A5.3 - BUILDING PERSPECTIVES |
| C2.0 - EXISTING CONDITIONS & DEMOLITION PLAN | A5.4 - BUILDING PERSPECTIVES |
| C3.0 - SITE PLAN | A5.5 - BUILDING PERSPECTIVES |
| C4.0 - OVERALL UTILITY PLAN | A5.6 - BUILDING PERSPECTIVES |
| C5.0 - OVERALL GRADING PLAN | A5.7 - BUILDING PERSPECTIVES |
| C6.0 - HISTORIC DRAINAGE PLAN | A5.8 - BUILDING PERSPECTIVES |
| C7.0 - PRELIMINARY DRAINAGE PLAN | A5.9 - BUILDING PERSPECTIVES & DETAILS |
| C8.0 - BUILDING LOW POINT PLAN | A6.1 - ARCHITECTURAL SITE DETAILS |
| L1.0 - MATERIALS PLAN | A7.1 - SHADOW STUDY - 1 OF 3 |
| L2.0 - LANDSCAPE PLAN | A7.2 - SHADOW STUDY - 2 OF 3 |
| L3.0 - LANDSCAPE NOTES & DETAILS | A7.3 - SHADOW STUDY - 3 OF 3 |
| L4.0 - LANDSCAPE NOTES & DETAILS | E1.0 - SITE PHOTOMETRIC PLAN |
| A2.0 - BASEMENT GARAGE FLOOR PLAN | E2.0 - GARAGE PHOTOMETRIC PLAN |
| A2.1 - FIRST FLOOR PLAN | E3.0 - SITE PHOTOMETRIC FIXTURES |
| A2.2 - TYPICAL 2ND THRU 4TH FLOOR PLAN | |
| A2.3 - FIFTH FLOOR & PARTIAL ROOF PLAN | |
| A2.4 - ROOF PLAN | |
| A3.1 - BUILDING ELEVATIONS | |
| A3.2 - BUILDING ELEVATIONS | |
| A3.3 - BUILDING ELEVATIONS | |
| A3.4 - BUILDING ELEVATIONS | |
| A3.5 - DETAIL ELEVATIONS | |
| A3.6 - DETAIL ELEVATIONS | |
| A4.1 - BUILDING SECTION @ CANYON BLVD | |
| A4.2 - BUILDING SECTION @ 26TH ST | |

VICINITY MAP



NEWMAN ARCHITECTURE

9220 W 20th AVENUE
 LAKEWOOD, CO 80215
 (303) 877-2306

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BOULDER RESIDENCE INN
 2550 CANYON BLVD.
 BOULDER, CO 80302

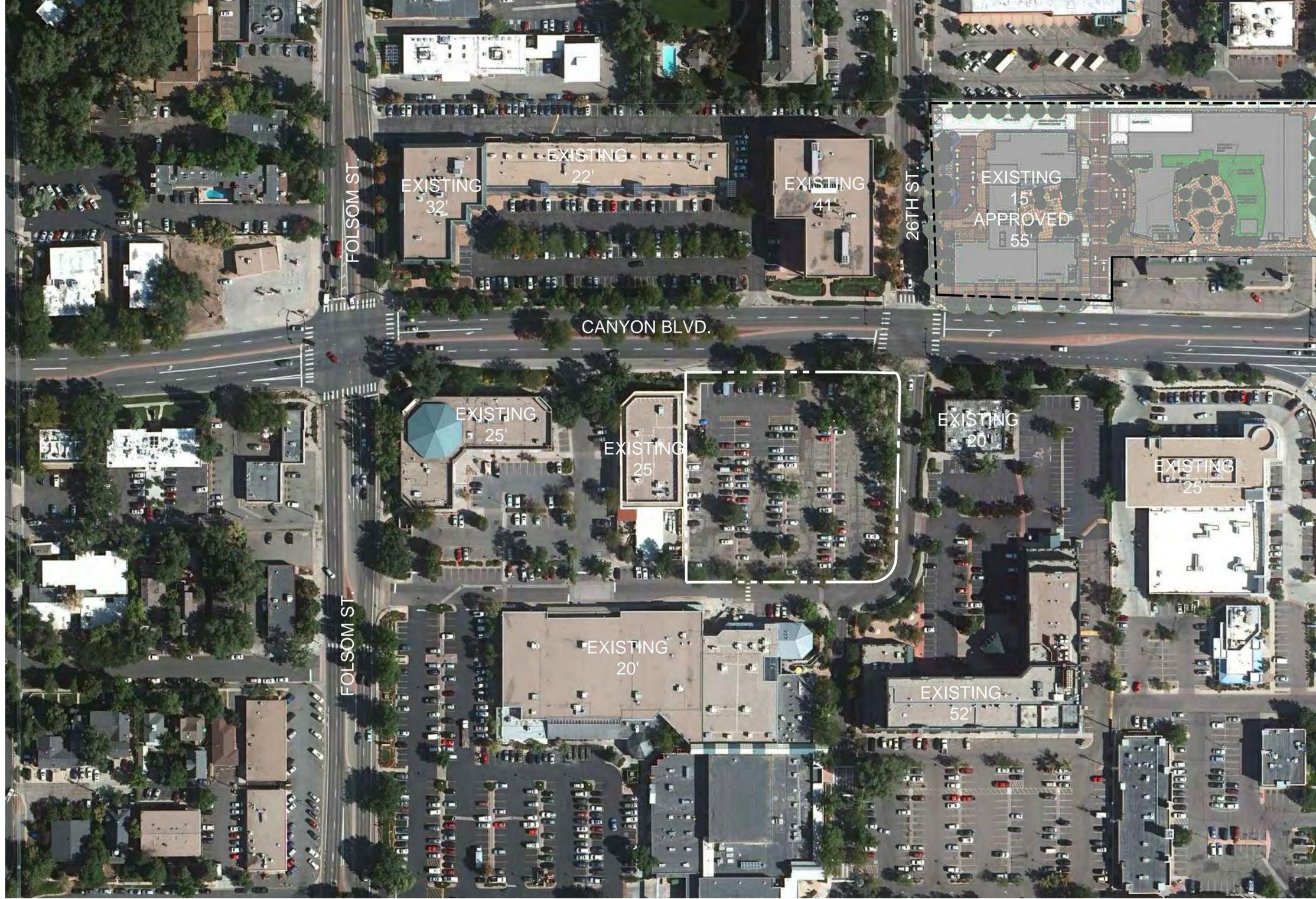
STONEBRIDGE COMPANIES

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 (303) 786-3199

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SHEET INDEX & PROJECT DATA

A0.1



01 CONTEXT AERIAL VIEW

SCALE: 1/64" = 1'-0"



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BOULDER RESIDENCE INN

2550 CANYON BLVD.
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STONEBRIDGE COMPANIES

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EXISTING CONDITION
AERIAL

A1.0



A - VIEW FROM NORTH-WEST CORNER ACROSS CANYON



B - VIEW FROM NORTH-EAST CORNER ACROSS CANYON



C - VIEW FROM SOUTH-WEST CORNER @ DRIVE



D - VIEW FROM SOUTH SIDE @ DRIVE



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EXISTING CONDITION
IMAGES

A1.1

SITE REVIEW PLANS FOR BOULDER RESIDENCE INN

PART OF THE SOUTHWEST QUARTER OF SECTION 29, TOWNSHIP
1 NORTH, RANGE 70 WEST OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF BOULDER, STATE OF COLORADO

**NEWMAN
ARCHITECTURE**

9220 W 20th AVENUE
LAKEWOOD, CO 80215
(303) 877-2306

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and Associates, Inc.**
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940 South Broadway, Suite 300
Denver, Colorado 80202 (303) 728-2300

BOULDER RESIDENCE INN

2550 CANYON BLVD.
BOULDER, CO 80302

STONEBRIDGE COMPANIES

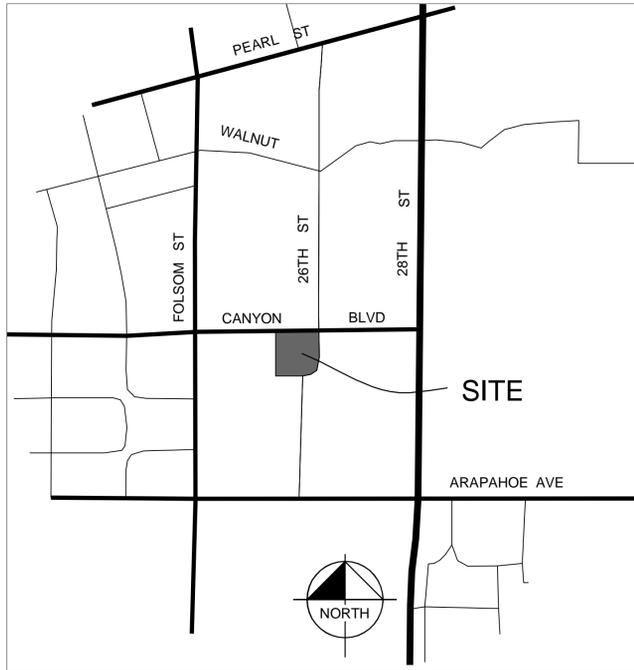
9100 EAST PANORAMA DRIVE, SUITE 300
ENGLEWOOD, CO 80112
(303) 785-3199

PROJECT #: 096327000
DRAWN BY: JRH
CHECKED BY: RJP
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REVISION 4: 8/15/2014

COVER SHEET

C1.0

SITE REVIEW RE-SUBMITTAL - 8/15/2014



VICINITY MAP
1" = 500'

LEGEND

---	EASEMENT
---	PROPERTY LINE
---	PROP. SANITARY SEWER
---	EXST. SANITARY SEWER
---	PROP. WATER LINE
---	EXST. WATER LINE
---	PROP. STORM SEWER
---	EXST. STORM SEWER
---	EXST. ELECTRIC LINE
---	EXST. GAS LINE
Ⓢ	PROPOSED STORM SEWER MANHOLE
Ⓢ	EXISTING STORM SEWER MANHOLE
Ⓢ	PROPOSED SANITARY SEWER MANHOLE
Ⓢ	EXISTING SANITARY SEWER MANHOLE
Ⓢ	PROPOSED WATER METER

SHEET INDEX

NO.	SHEET TITLE
C1.0	COVER SHEET
C2.0	EXISTING CONDITIONS AND DEMOLITION PLAN
C3.0	SITE PLAN
C4.0	OVERALL UTILITY PLAN
C5.0	OVERALL GRADING AND DRAINAGE PLAN
C6.0	HISTORIC DRAINAGE PLAN
C7.0	PRELIMINARY DRAINAGE PLAN
C8.0	BUILDING LOWPOINT PLAN

GENERAL CONSTRUCTION NOTES

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE "DESIGN AND CONSTRUCTION STANDARDS" OF THE CITY OF BOULDER, AND SHALL BE COMPLETED TO THE SATISFACTION OF THE DIRECTOR OF PUBLIC WORKS. IN THE EVENT THAT A DESIGN ELEMENT DOES NOT REFLECT CITY STANDARDS, THE MATTER MUST BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER AND THE DIRECTOR OF PUBLIC WORKS. THE ENGINEER SHALL BE RESPONSIBLE FOR RECOMMENDING A SOLUTION OR ALTERNATIVE SOLUTIONS TO THE CITY FOR REVIEW AND APPROVAL.
- THE APPROVAL OF A CONSTRUCTION PLAN DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF CONSTRUCTING WORKABLE PUBLIC IMPROVEMENTS. ALL REVISIONS AND/OR CORRECTIONS REQUIRED WILL BE SOLELY THE CONTRACTOR'S RESPONSIBILITY, AND AT THEIR EXPENSE.
- THESE PLANS HAVE BEEN CHECKED BY THE CITY OF BOULDER ONLY FOR CONFORMANCE WITH THE "DESIGN AND CONSTRUCTION STANDARDS," COMPLIANCE WITH DEVELOPMENT AGREEMENT CONDITIONS, AND FOR GENERAL CONCEPTUAL APPROVAL OF PUBLIC IMPROVEMENTS AS SHOWN. THE CITY'S REVIEW DOES NOT VERIFY OR ENSURE THE ACCURACY OF EXISTING OR PROPOSED DIMENSIONS, LINES, COORDINATES, OR GRADES SHOWN, INCLUDING ALL EXISTING UTILITIES SHOWN OR NOT SHOWN.
- UTILITY LOCATIONS SHOWN REFLECT AVAILABLE RECORD DATA. THE CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT ALL UTILITY LINES SHOWN AND OTHER UTILITY LINES OTHERWISE LOCATED. THE CONTRACTOR SHALL CONTACT THE "UTILITY NOTIFICATION CENTER OF COLORADO" AT 1-800-922-1987 FOR UTILITY LOCATES 24 HOURS PRIOR TO BEGINNING CONSTRUCTION.
- BEFORE WORK BEGINS, THE CONTRACTOR SHALL OBTAIN A PERMIT TO WORK IN THE RIGHT-OF-WAY FROM THE CITY AND MUST NOTIFY THE CITY RIGHT-OF-WAY INSPECTION STAFF AT LEAST 24 HOURS IN ADVANCE OF COMMENCING CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL OBTAIN AND MAINTAIN A COMPLETE AND APPROVED SET OF CONSTRUCTION PLANS. THESE DRAWINGS, AND ANY REQUIRED PERMITS, SHALL BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES AND SHALL BE MADE AVAILABLE TO CITY STAFF UPON REQUEST. IF CONSTRUCTION PLANS ARE NOT READILY AVAILABLE AT THE PROJECT SITE, THE DIRECTOR OF PUBLIC WORKS MAY ISSUE A STOP WORK ORDER AND HALT ALL CONSTRUCTION ACTIVITIES PENDING COMPLIANCE BY THE CONTRACTOR.
- THE CONTRACTOR AGREES TO COMPLY WITH THE PROVISIONS OF THE TRAFFIC CONTROL PLAN AND THE CURRENT EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES," "TEMPORARY TRAFFIC CONTROL" SECTION, FOR CONSTRUCTION SIGNAGE AND TRAFFIC CONTROL.
- ALL SURPLUS MATERIALS, TOOLS, AND TEMPORARY STRUCTURES, FURNISHED BY THE CONTRACTOR, SHALL BE REMOVED FROM THE PROJECT SITE BY THE CONTRACTOR. ALL DEBRIS AND RUBBISH CAUSED BY THE OPERATIONS OF THE CONTRACTOR SHALL BE REMOVED, AND THE AREA OCCUPIED DURING CONSTRUCTION ACTIVITIES SHALL BE RESTORED TO ITS ORIGINAL CONDITION, WITHIN 48 HOURS OF PROJECT COMPLETION, UNLESS OTHERWISE DIRECTED BY THE DIRECTOR OF PUBLIC WORKS.
- THE CONTRACTOR SHALL PROVIDE TREE AND LANDSCAPE PROTECTION AS SET FORTH IN CHAPTER 6-6, "PROTECTION OF TREES AND PLANTS," BOULDER REVISED CODE (B.R.C.) 1981 AND THE CITY OF BOULDER DESIGN AND CONSTRUCTION STANDARDS (DCS). ALL LANDSCAPING SHALL BE PROVIDED AND MAINTAINED IN COMPLIANCE WITH THE APPROVED LANDSCAPING PLAN, B.R.C. AND DCS.
- THE CONTRACTOR IS REQUIRED TO PROVIDE AND MAINTAIN EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE URBAN DRAINAGE AND FLOOD CONTROL DISTRICT "URBAN STORM DRAINAGE CRITERIA MANUAL VOLUME 3," THE M-STANDARD PLANS OF THE COLORADO DEPARTMENT OF TRANSPORTATION, AND THE APPROVED EROSION CONTROL PLAN. THE DIRECTOR OF PUBLIC WORKS MAY REQUIRE THE CONTRACTOR TO PROVIDE ADDITIONAL EROSION CONTROL MEASURES DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE PLANS DO NOT FUNCTION AS INTENDED.
- THE CITY OF BOULDER REQUIRES THAT SIDEWALKS CONSTRUCTED HAVE A CROSS SLOPE OF LESS THAN 2%. SIDEWALKS SHALL BE DESIGNED AND CONSTRUCTED WITH CROSS SLOPES SUFFICIENTLY LESS THAN 2% TO ENSURE THAT THEY DO NOT EXCEED THE 2% MAXIMUM.

BENCHMARK

A CITY OF BOULDER BENCHMARK, B-5, WITH A PUBLISHED ELEVATION OF 5299.26 FEET NAVD, 88 DATUM.

BASIS OF BEARINGS

THE WESTERLY LINE OF THE SUBJECT PROPERTY, WITH THE LINE ASSUMED TO BEAR N00°10'00"W

FLOOD ZONE

THE SUBJECT PROPERTY IS LOCATED IN FEMA ZONE X AND AE ACCORDING TO THE CURRENT FEMA FLOOD INSURANCE RATE MAP, MAP NUMBER 08013C0394J, EFFECTIVE DATE DECEMBER 18, 2012. FLOOD INFORMATION IS SUBJECT TO CHANGE.

LEGAL DESCRIPTION

A PARCEL OF LAND LOCATED IN THE SW1/4 OF SECTION 29, T1N, R70W OF THE 6TH P.M., COUNTY OF BOULDER, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 29, THENCE N89°55'30"E, 990.00 FEET ALONG THE SOUTH LINE OF THE SW1/4 OF SAID SECTION 29; THENCE N00°10'00"W, 30.00 FEET PARALLEL WITH THE WEST LINE OF THE SW1/4 OF SAID SECTION 29; THENCE N00°04'30"W, 660.00 FEET AT RIGHT ANGLES TO THE SOUTH LINE OF THE SW1/4 OF SAID SECTION 29; THENCE S89°55'30"W, 1.06 FEET PARALLEL WITH THE SOUTH LINE OF THE SW1/4 OF SAID SECTION 29; THENCE N00°10'00"W, 277.10 FEET PARALLEL WITH THE WEST LINE OF THE SW1/4 OF SAID SECTION 29 TO A POINT ON THE SOUTH LINE OF CANYON BOULEVARD; THENCE N88°40'30"W, 338.38 FEET ALONG SAID SOUTH LINE OF CANYON BOULEVARD TO THE TRUE POINT OF BEGINNING.

THENCE S88°40'30"E, 57.93 FEET ALONG SAID SOUTH LINE OF CANYON BOULEVARD TO A POINT ON THE WESTERLY LINE OF THAT TRACT OF LAND DESCRIBED AS RECEPTION NO. 637600 IN THE BOULDER COUNTY RECORDS;

THENCE SOUTHERLY, 17.01 FEET ALONG THE ARC A CURVE CONCAVE TO THE WEST, SAID ARC HAVING A RADIUS OF 32.00 FEET, A CENTRAL ANGLE OF 30°26'55" AND BEING SUBTENDED BY A CHORD THAT BEARS S13°58'17"E, 16.81 FEET AND ALONG SAID WESTERLY LINE OF THAT TRACT OF LAND DESCRIBED AS RECEPTION NO. 637600;

THENCE S01°15'00"W, 218.80 FEET ALONG SAID WESTERLY LINE OF THAT TRACT OF LAND DESCRIBED AS RECEPTION NO. 637600;

THENCE SOUTHWESTERLY, 48.85 FEET ALONG THE ARC A CURVE CONCAVE TO THE NORTHWEST, SAID ARC HAVING A RADIUS OF 31.50 FEET, A CENTRAL ANGLE OF 88°51'14" AND BEING SUBTENDED BY A CHORD THAT BEARS S45°40'37"W, 44.10 FEET AND ALONG THE NORTHWESTERLY LINE OF THAT TRACT OF LAND DESCRIBED AS RECEPTION NO. 637600 TO A POINT ON THE NORTHERLY LINE OF SAID TRACT OF LAND DESCRIBED AS RECEPTION NO. 637600;

THENCE S89°56'00"W, 236.61 FEET ALONG SAID NORTHERLY LINE OF THAT TRACT OF LAND DESCRIBED AS RECEPTION NO. 637600;

THENCE N00°10'00"W, 266.96 FEET TO A POINT ON SAID SOUTH LINE OF CANYON BOULEVARD;

THENCE N89°51'24"E, 211.74 FEET ALONG SAID SOUTH LINE OF CANYON BOULEVARD TO THE TRUE POINT OF BEGINNING.

CONTACTS

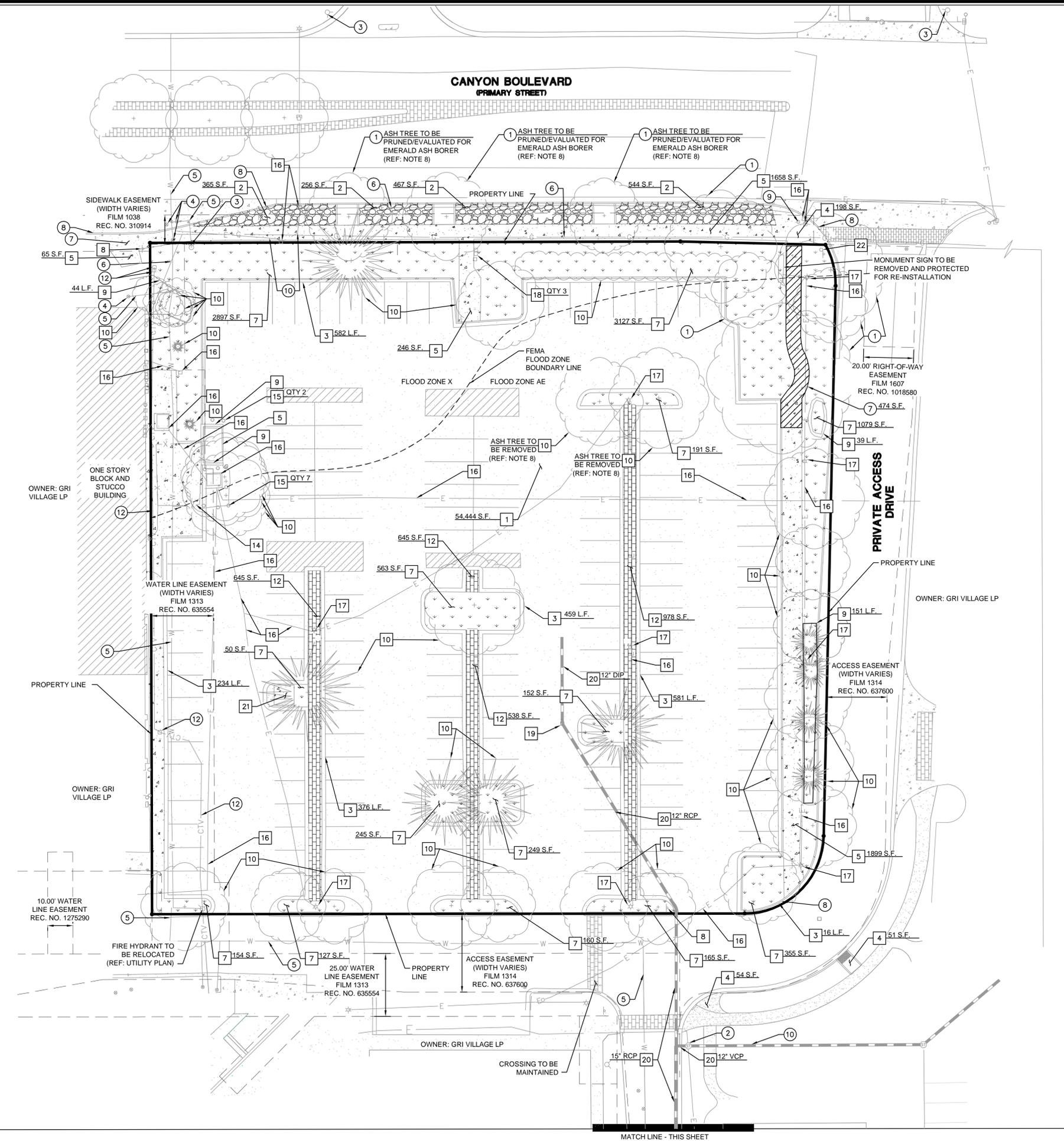
DEVELOPER:
BOULDER LODGING, LLC
9100 E. PANORAMA DRIVE
SUITE 300
ENGLEWOOD, CO 80112
TEL: (303) 785-3169
CONTACT: BILL MARTINIC
EMAIL: BMARTINIC@SBCOS.COM

ARCHITECT:
NEWMAN ARCHITECTURE LLC
9220 W. 20TH AVENUE
LAKEWOOD, CO 80215
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CONTACT: STEVE NEWMAN
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ENGINEER:
KIMLEY-HORN & ASSOCIATES, INC.
990 SOUTH BROADWAY, SUITE 200
DENVER, CO 80209
TEL: (303) 228-2300
CONTACT: MEAGHAN TURNER, P.E., LEED AP
EMAIL: MEAGHAN.TURNER@KIMLEY-HORN.COM

SURVEYOR:
DREXEL, BARELL & CO.
1800 38TH STREET
BOULDER, CO 80301
TEL: (303) 442-4338
CONTACT: MATHEW SELDERS, P.L.S.
EMAIL: MSELDE@DREXELBARRELL.COM

LANDSCAPE ARCHITECT:
ENVIRONMENTAL LANDWORKS COMPANY, INC.
10260 W. 44TH AVENUE
WHEAT RIDGE, CO 80033
TEL: (303) 862-9480
CONTACT: JON OUELLETTE, ASLA
EMAIL: JON@ENVIRONMENTAL-LANDWORKS.COM



LEGEND

[Symbol]	PCC SIDEWALK AND BASE MATERIAL
[Symbol]	RIPRAP AND BASE MATERIAL
[Symbol]	AC PAVEMENT AND BASE MATERIAL
[Symbol]	LANDSCAPING AREA
[Symbol]	PAVERS

PROTECT IN PLACE

1	TREE
2	STORM MANHOLE
3	FIRE HYDRANT
4	WATER VALVE
5	WATER MAIN
6	NATURAL GAS LINE
7	SIDEWALK
8	PCC CURB AND GUTTER
9	TRAFFIC POLE
10	STORM SEWER
11	STORM SEWER INLET
12	CTV LINE AND EQUIPMENT

REMOVE

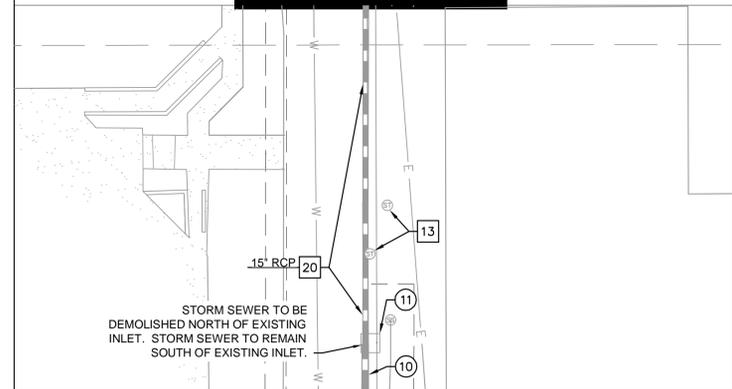
1	SAWCUT AND REMOVE EXISTING AC PAVEMENT AND BASE MATERIAL
2	SAWCUT AND REMOVE EXISTING RIPRAP, RR TIES, AND BASE MATERIAL IN AREA SHOWN
3	SAWCUT AND REMOVE EXISTING PCC CURB AND GUTTER AND BASE MATERIAL
4	SAWCUT AND REMOVE EXISTING PCC ACCESS RAMP AND BASE MATERIAL
5	SAWCUT AND REMOVE EXISTING PCC SIDEWALK AND BASE MATERIAL
6	NOT USED
7	REMOVE EXISTING LANDSCAPING AREA
8	REMOVE EXISTING SIGN
9	REMOVE EXISTING ROCK WALL
10	REMOVE EXISTING TREE
11	NOT USED
12	REMOVE EXISTING PAVERS
13	MANHOLE SHALL BE FIELD VERIFIED BY CONTRACTOR TO VERIFY ALIGNMENT AND TYPE NECESSITATE REMOVAL OF MANHOLE WITH REMOVAL OF THE ADJACENT STORM LINE.
14	REMOVE EXISTING CHAIN LINK FENCE
15	REMOVE EXISTING BOLLARD
16	POWER LINE AND EQUIPMENT TO BE REMOVED/RELOCATED BY XCEL ENERGY. CONTRACTOR/OWNER TO COORDINATE SERVICE CUTOFF AND NEW SERVICE APPLICATION WITH XCEL ENERGY PRIOR TO DEMOLITION AND CONSTRUCTION.
17	REMOVE EXISTING OVERHEAD LIGHT
18	REMOVE EXISTING IRRIGATION CONTROL VALVE. LOCATE AND REMOVE ALL IRRIGATION LINES IN LANDSCAPE AREA
19	REMOVE EXISTING STORM SEWER INLET
20	REMOVE EXISTING STORM SEWER. LENGTH AND EXACT ALIGNMENT UNKNOWN AND TO BE CONFIRMED BY CONTRACTOR IN THE FIELD.
21	REMOVE EXISTING BENCH
22	REMOVE EXISTING WATER METER

DEMOLITION NOTES

1. THE CONTRACTOR SHALL VERIFY THE LOCATION AND QUANTITY OF EXISTING SURFACE STRUCTURES AND SHALL BE RESPONSIBLE FOR ANY UNIDENTIFIED UTILITIES, IMPROVEMENTS, TREES, ETC. TO BE DEMOLISHED, REMOVED OR ADJUSTED WITHIN THE LIMIT OF WORK.
2. REMOVAL OF LANDSCAPING SHALL INCLUDE GRASSES, ROOTS AND ORGANIC MATERIAL. REFER TO LANDSCAPE PLANS FOR TREE REMOVAL AND TREE PROTECTION DETAILS.
3. BEST MANAGEMENT PRACTICES SHALL BE USED DURING DEMOLITION. REFER TO APPROVED EROSION CONTROL PLANS AND REPORT.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND PAYING ALL FEES ASSOCIATED WITH DEMOLITION AND DISPOSAL OF ALL SITE MATERIALS AS REQUIRED BY PRIVATE, LOCAL AND STATE JURISDICTIONS.
5. THE CONTRACTOR SHALL ENSURE THAT ALL REPLACEMENT UTILITY LINES ARE INSTALLED PRIOR TO DEMOLITION OF ANY EXISTING UTILITY LINE WITHIN THE LIMIT OF WORK. SEE EXISTING UTILITY PLAN.
6. PROTECT EXISTING FACILITIES ON PROPERTY WEST OF SITE. OWNER/CONTRACTOR TO COORDINATE ANY REMOVALS, RELOCATIONS, OR CONSTRUCTION ACTIVITY AFFECTING SUBJECT ADJACENT PROPERTY.
7. REMOVAL OF ROADWAY REQUIRED FOR PROPOSED UTILITY INSTALLATIONS AND CONNECTIONS NOT INCLUDED ON THIS SHEET. CONTRACTOR TO VERIFY STREET CUT AND ACCESS REQUIREMENTS.
8. THERE ARE ASH TREES ON SITE WHICH ARE INDICATED AS "TO BE REMOVED" OR "PRUNED". DUE TO EMERALD ASH BORER IN THE CITY, THERE IS A MANDATORY STATE AND FEDERAL QUARANTINE THAT RESTRICTS THE MOVEMENT OF ALL ASH PRODUCTS AND ALL HARDWOOD FIREWOOD. SINCE THIS SITE IS LOCATED WITHIN THE QUARANTINE AREA, ONLY A CITY OF BOULDER CERTIFIED ARBORIST MAY PRUNE OR REMOVE ASH TREES TO ENSURE PROPER WOOD DISPOSAL. A LIST OF LICENSED CERTIFIED ARBORIST IS AVAILABLE ON THE CITY'S WEBSITE AT: [HTTPS://BOULDERCOLORADO.GOV/TREES-DEVLOP/TREES-CONTRACTOR-LICENSE](https://bouldercolorado.gov/trees-devlop/trees-contractor-license) FOR MORE INFORMATION ON EAB, PLEASE VISIT WWW.EABCOLORADO.COM

STORM SEWER DEMOLITION AND EXISTING STORM SEWER TO REMAIN

SCALE: 1"=20'
MATCH LINE - THIS SHEET



NEWMAN ARCHITECTURE
9220 W 20th AVENUE
LAKEWOOD, CO 80215
(303) 877-2306

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2550 CANYON BLVD.
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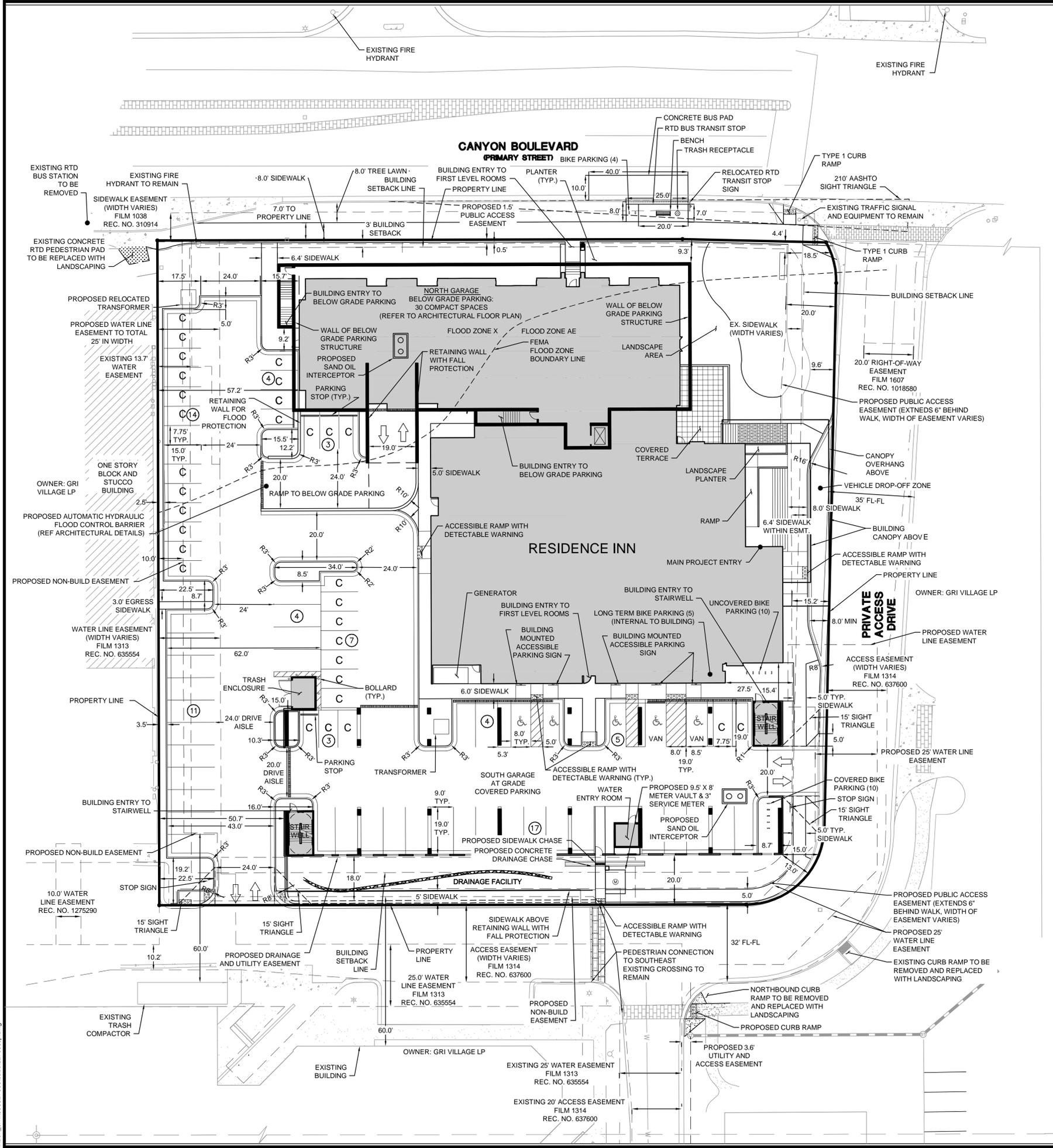
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EXISTING CONDITIONS & DEMOLITION PLAN

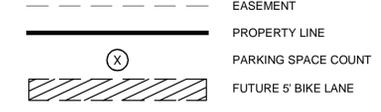
C2.0

SITE REVIEW RE-SUBMITTAL - 8/15/2014

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LEGEND



	REQUIRED BUILDING SETBACK	PROPOSED MINIMUM SETBACK
FRONT (CANYON BOULEVARD)	20 FEET	3 FEET TO BUILDING (BELOW GRADE)
SIDE INTERIOR LOT LINE (WEST AND SOUTH)	0 OR 12+ FEET	13 FEET
SIDE YARD FROM STREET (EAST)	15 FEET	13 FEET

TYPICAL PARKING STALL DIMENSIONS:

- STANDARD PERPENDICULAR: 9' X 19'
- COMPACT PERPENDICULAR: 7.75' X 15'
- ACCESSIBLE PARKING: 8' X 19'

NOTES

- BUILDING SQUARE FOOTAGE SHOWN IS APPROXIMATE. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
- INTERNAL BUILDING FEATURES SHOWN FOR REFERENCE ONLY AND SUBJECT TO CHANGE. REFER TO ARCHITECTURAL PLANS.
- DIMENSIONS SHOWN ARE TO FLOW LINE.
- DIMENSIONS SHOWN TO PROPERTY LINE ARE TO OUTER EDGE OF STRUCTURE.
- REFER TO UTILITY AND GRADING PLANS FOR ADDITIONAL INFORMATION.
- REFER TO LANDSCAPE PLANS FOR ENHANCED PAVING AREAS.
- AREA INDICATED FOR BIKE LANE ALONG PRIVATE ACCESS DRIVE IS RESERVED FOR FUTURE CONSTRUCTION BY CITY OF BOULDER. AT TIME OF CONSTRUCTION, THE SOUTHBOUND LEFT TURN LANE IN THE PRIVATE ACCESS DRIVE WILL BE REMOVED AND THE PRIVATE ACCESS DRIVE WILL BE RE-STRIPPED.
- DELIVERY VEHICLES SHALL USE VACANT PARKING SPACES AS NEEDED FOR DELIVERIES. NO SPECIFIED LOADING ZONE IS PROVIDED.

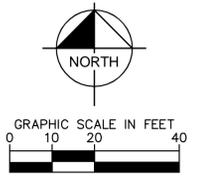
LAND USE SUMMARY TABLE	
SITE AREA (SF)	72,062
BUILDING GROSS FLOOR AREA (SF) (INCLUDES BASEMENT GARAGE)	NUMBER OF STORIES
126,063	5

PARKING DISTRIBUTION TABLE		
Required Parking	Amount	Spaces Required
Room	163	1 per Unit
Common Area*	9	1/300 SF (2,531 SF)
Total	172	

BUILDING LOT COVERAGE	FOOTPRINT (SF)	SITE COVERAGE (%)
	PROVIDED SF	%
BUILDING LOT COVERAGE	36,961	51.3%
OPEN SPACE (All areas excluding building footprint and patios)	35,101	48.7%
PRIVATE OPEN SPACE (BALCONIES AND TERRACES)	990	1.4%
PARKING AISLES AND SIDEWALKS NOT COVERED BY BUILDING OVERHANG ABOVE	25,362	35.2%
USABLE OPEN SPACE	14,424	20.0%

Parking Provided	
Standard Spaces	
Uncovered	15
South Garage	19
North Garage	0
Total:	34
Compact Spaces	
Uncovered	28
South Garage	5
North Garage	30
Total:	63
ADA Spaces	
Uncovered	0
South Garage	5
North Garage	0
Total:	5
Total Parking	102
Parking Ratio	0.61
Parking Reduction from Required:	40.7%
Bike Parking Required:	19
Bike Parking Provided:	25

*Common Area Breakdown:
 1,187 SF (Meeting Rooms)
 1,344 SF (Employee Lounge, Work Room, Offices)
 2,531 SF Total Hotel Common Area



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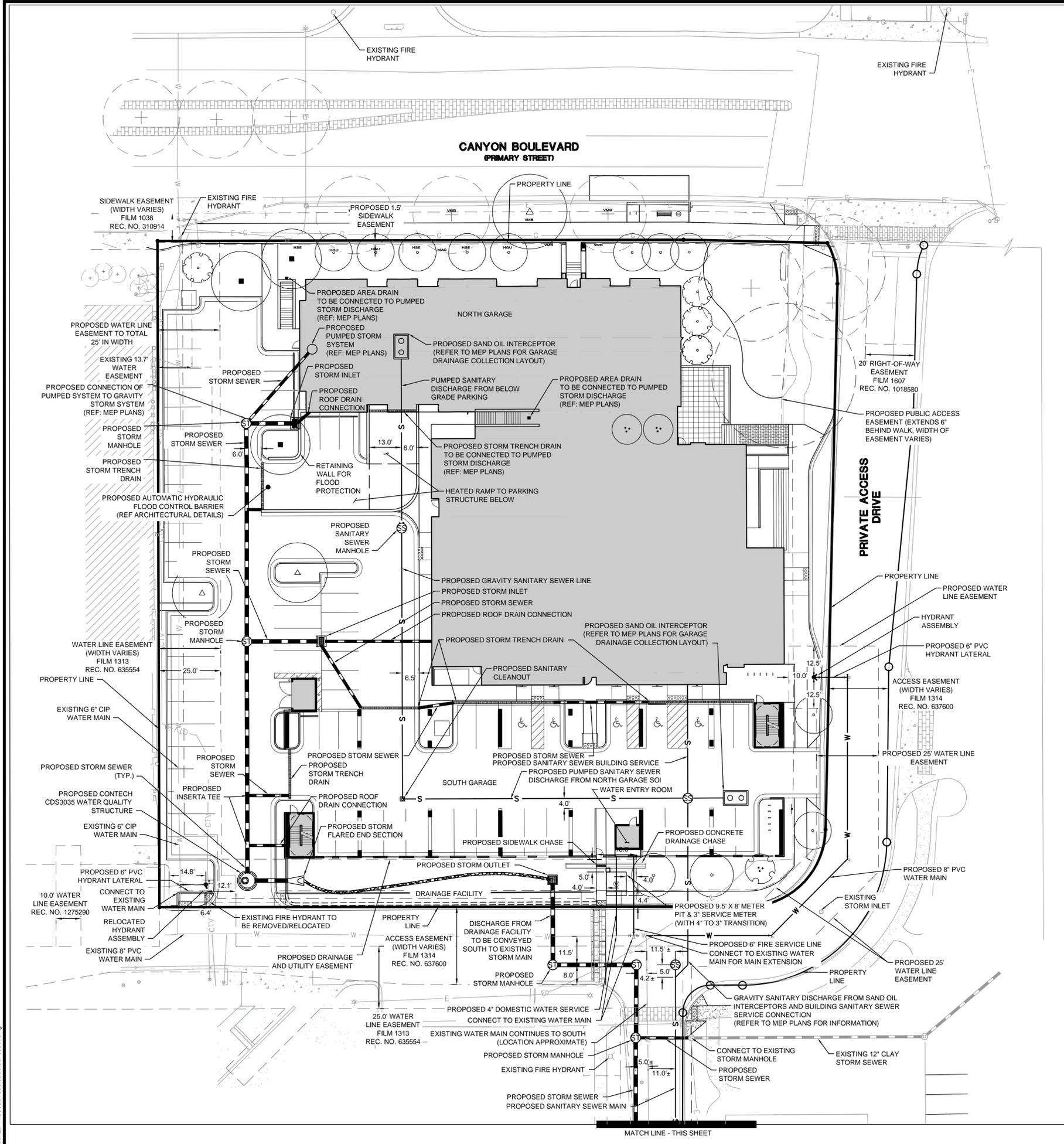
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 BOULDER, CO 80302
STONEBRIDGE COMPANIES
 9100 EAST PANORAMA DRIVE, SUITE 300
 ENGLEWOOD, CO 80112
 (303) 785-3199

PROJECT #: 096327000
 DRAWN BY: JRH
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 ISSUE DATE: 11/4/2013
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 REVISION 2: 4/7/2014
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 REVISION 4: 8/15/2014

SITE PLAN
C3.0

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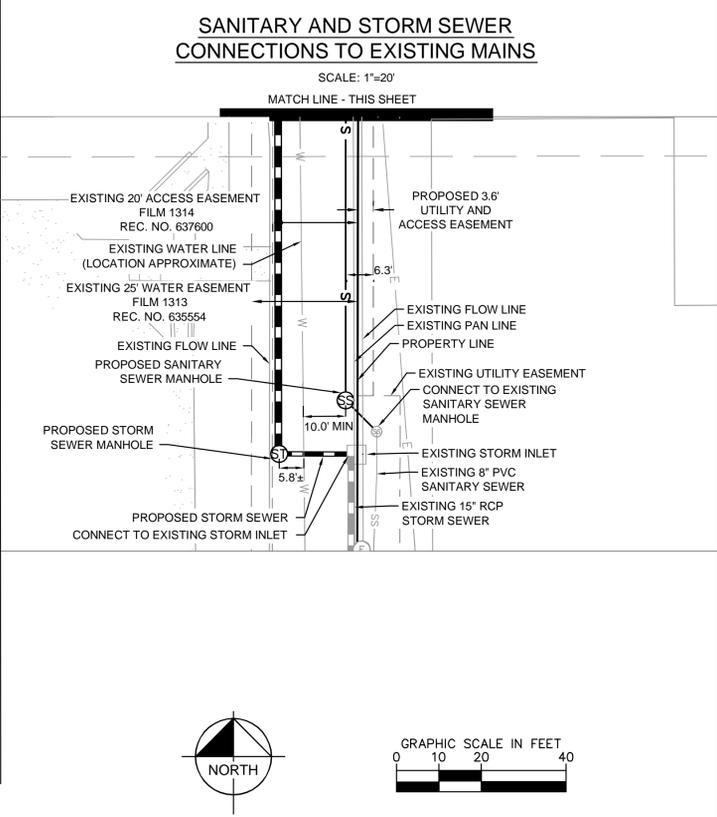
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LEGEND

---	EASEMENT
---	PROPERTY LINE
S	PROP. SANITARY SEWER
S	EXST. SANITARY SEWER
W	PROP. WATER LINE
W	EXST. WATER LINE
---	PROP. STORM SEWER
---	EXST. STORM SEWER
E	EXST. ELECTRIC LINE
G	EXST. GAS LINE
⊙	PROPOSED SEWER MANHOLE
⊙	EXISTING STORM SEWER MANHOLE
⊙	PROPOSED SANITARY SEWER MANHOLE
⊙	EXISTING SANITARY SEWER MANHOLE
⊙	PROPOSED WATER METER
---	PROPOSED STORM TRENCH DRAIN

- NOTES**
- UTILITIES SHALL COMPLY WITH THE CITY OF BOULDER DESIGN AND CONSTRUCTION STANDARDS.
 - WATER METER TO COMPLY WITH THE CITY OF BOULDER STANDARD DETAILS 5.18A,B,C,D.
 - FIRE HYDRANTS TO COMPLY WITH CITY OF BOULDER STANDARD DETAILS 5.12 AND 5.13.
 - ALL STORM PIPE TO BE REINFORCED CONCRETE PIPE (RCP) UNLESS OTHERWISE NOTED.
 - ALL SANITARY PIPE TO BE PVC PIPE.
 - DOMESTIC SERVICE WATER LINE TO BE TYPE K COPPER PIPE.
 - DOMESTIC METER TO BE INSTALLED IN LANDSCAPE ZONE EXTERNAL TO BUILDING AS SHOWN.
 - ALL SANITARY SEWER AND STORM SEWER ARE PRIVATE.
 - REFER TO MEP PLANS FOR BUILDING UTILITY CONNECTION AND ADDITIONAL INFORMATION.
 - REFER TO TECHNICAL DOCUMENTS FOR ADDITIONAL INFORMATION.
 - EASEMENTS SHOWN HEREON TO BE DEDICATED BY PLAT OR SEPARATE DOCUMENT.
 - DRY UTILITIES TO BE DESIGNED/CONSTRUCTED BY OTHERS. CONTRACTOR/OWNER SHALL ENSURE REQUIRED DRY UTILITY SERVICES PROVIDED FOR PROJECT AND ANY REMOVALS/RELOCATIONS AFFECTING ADJACENT PROPERTIES SHALL BE COORDINATED.
 - ALL DIMENSIONS SHOWN ARE TO CENTER OF PIPE.
 - ALL WATER MAIN PIPING, INCLUDING FIRE HYDRANT LATERALS, SHALL BE C900 PVC PIPE.
 - ALL TREES SHALL BE LOCATED A MINIMUM OF 10' FROM ADJACENT UTILITIES.



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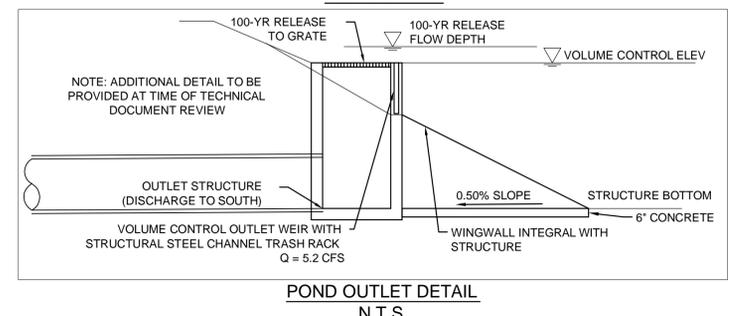
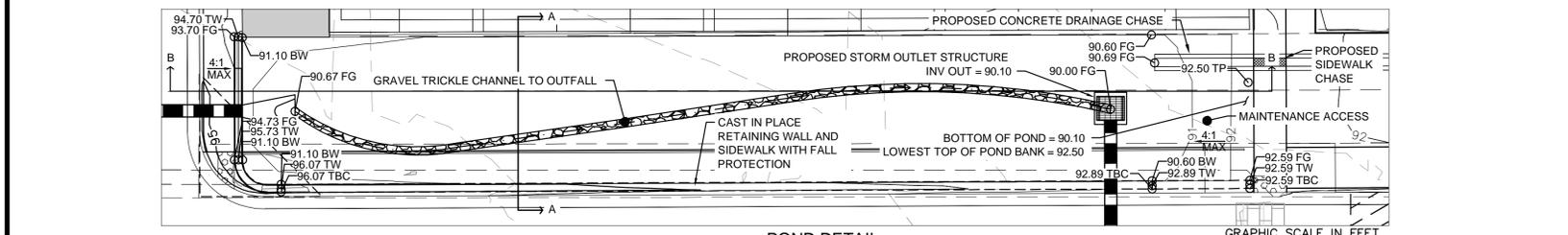
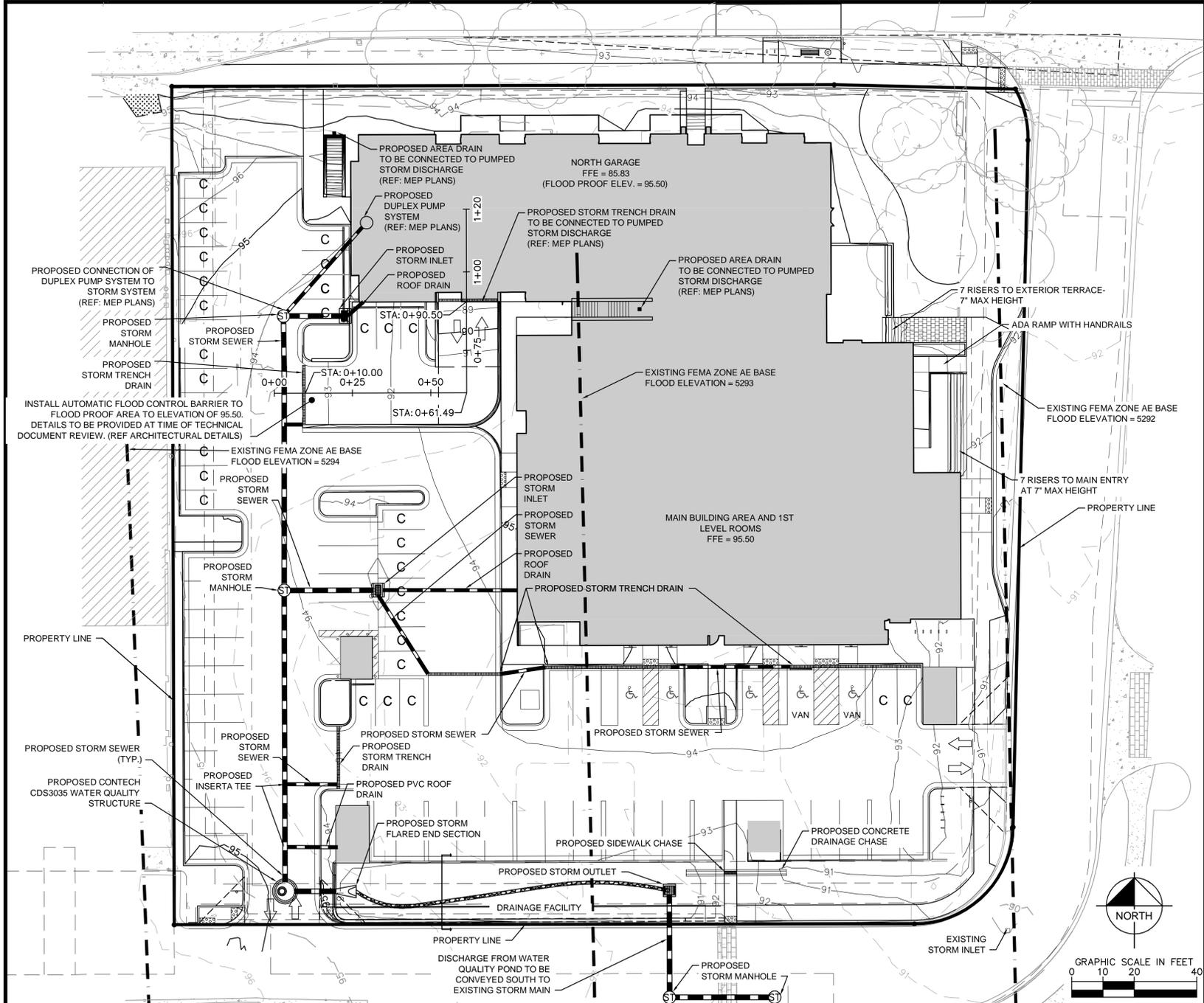
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OVERALL UTILITY PLAN

C4.0

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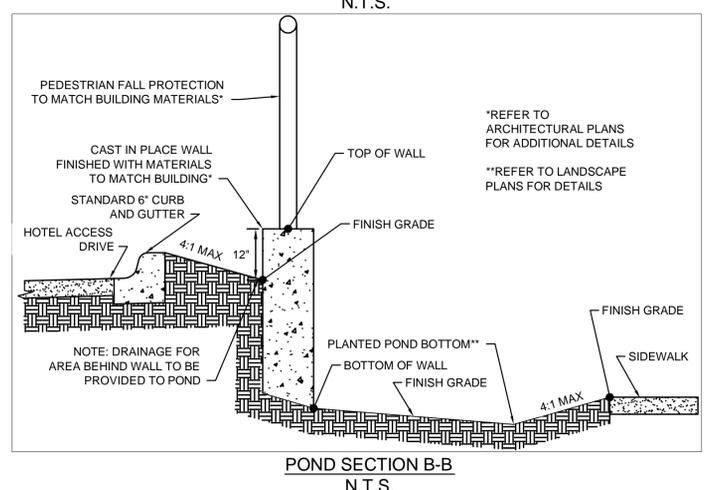
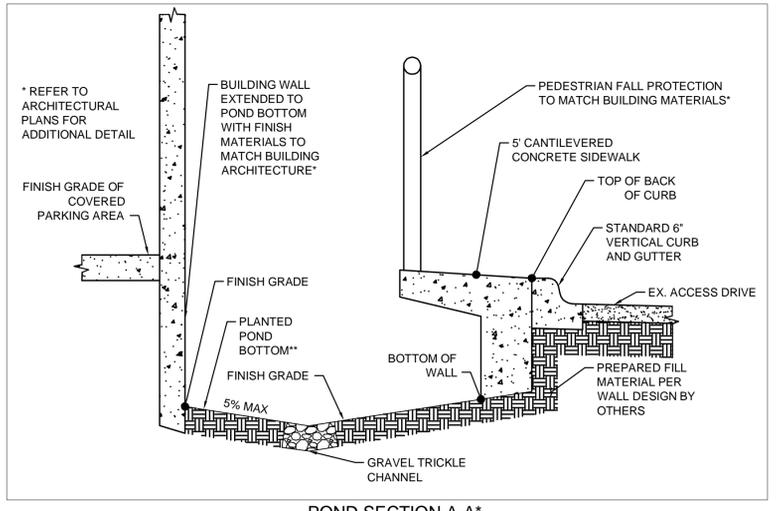
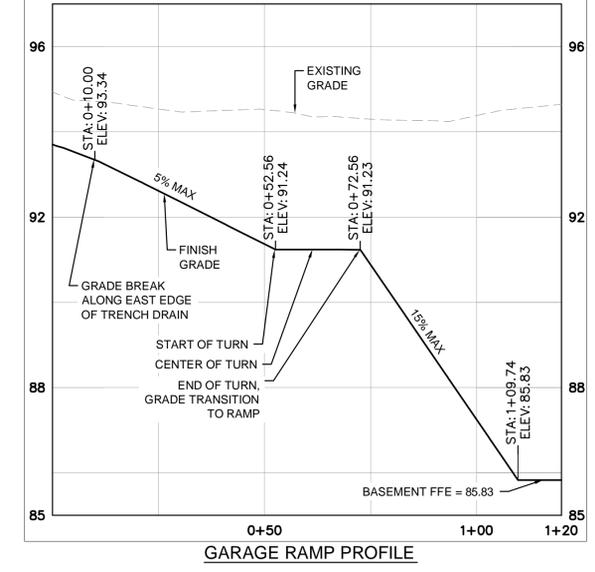


LEGEND

---	EASEMENT
---	RIGHT OF WAY LINE
F	PROPOSED FIRE WATER LINE
SS	PROPOSED SANITARY SEWER
S	EXISTING SANITARY SEWER
W	PROPOSED WATER LINE
---	EXISTING WATER LINE
---	PROPOSED STORM SEWER
---	EXISTING STORM SEWER
E	PROPOSED ELECTRIC LINE
---	EXISTING ELECTRIC LINE
T	EXISTING TELEPHONE LINE
---	PROPOSED GAS LINE
G	EXISTING GAS LINE
FG	FINISH GRADE ELEVATION
TP	TOP OF POND ELEVATION
TW	TOP OF WALL ELEVATION
TBC	TOP BACK OF CURB ELEVATION

NOTES

- ADD 5200 TO ALL CONTOUR AND SPOT ELEVATIONS.
- CONCRETE SIDEWALKS SHALL BE LESS THAN 2% CROSS SLOPE AND 5% LONGITUDINAL SLOPE IN ALL LOCATIONS FOR ADA ACCESS.
- DETAILED GRADING INFORMATION TO BE PROVIDED AT TIME OF TECHNICAL DOCUMENT REVIEW.
- ACCESS TO BOTTOM OF DRAINAGE FACILITY AND OUTLET STRUCTURE PROVIDED FROM THE EAST ALONG 4:1 MAX LONGITUDINAL SLOPE AS NOTED.
- FLOOD PROOFING REQUIRED TO FEMA BASE FLOOD ELEVATION PLUS 2' MINIMUM IN AREAS OF ZONE AE. PROPOSED FINISH FLOOR IS ABOVE 2' + BASE FLOOD ELEVATION FOR ALL MAIN BUILDING AREAS AND DOORWAYS WITH THE EXCEPTION OF THE UNDERGROUND PARKING AREA. THE BELOW GRADE PARKING AREA SHALL BE FLOODPROOFED TO ELEVATION AS NOTED ON THE PLAN. THE GARAGE ENTRY RAMP WILL BE PROTECTED WITH AN AUTOMATIC HYDRAULIC FLOOD CONTROL BARRIER. FLOOD PROOFING DETAILS WILL BE PROVIDED AT TIME OF TECHNICAL DOCUMENT REVIEW.



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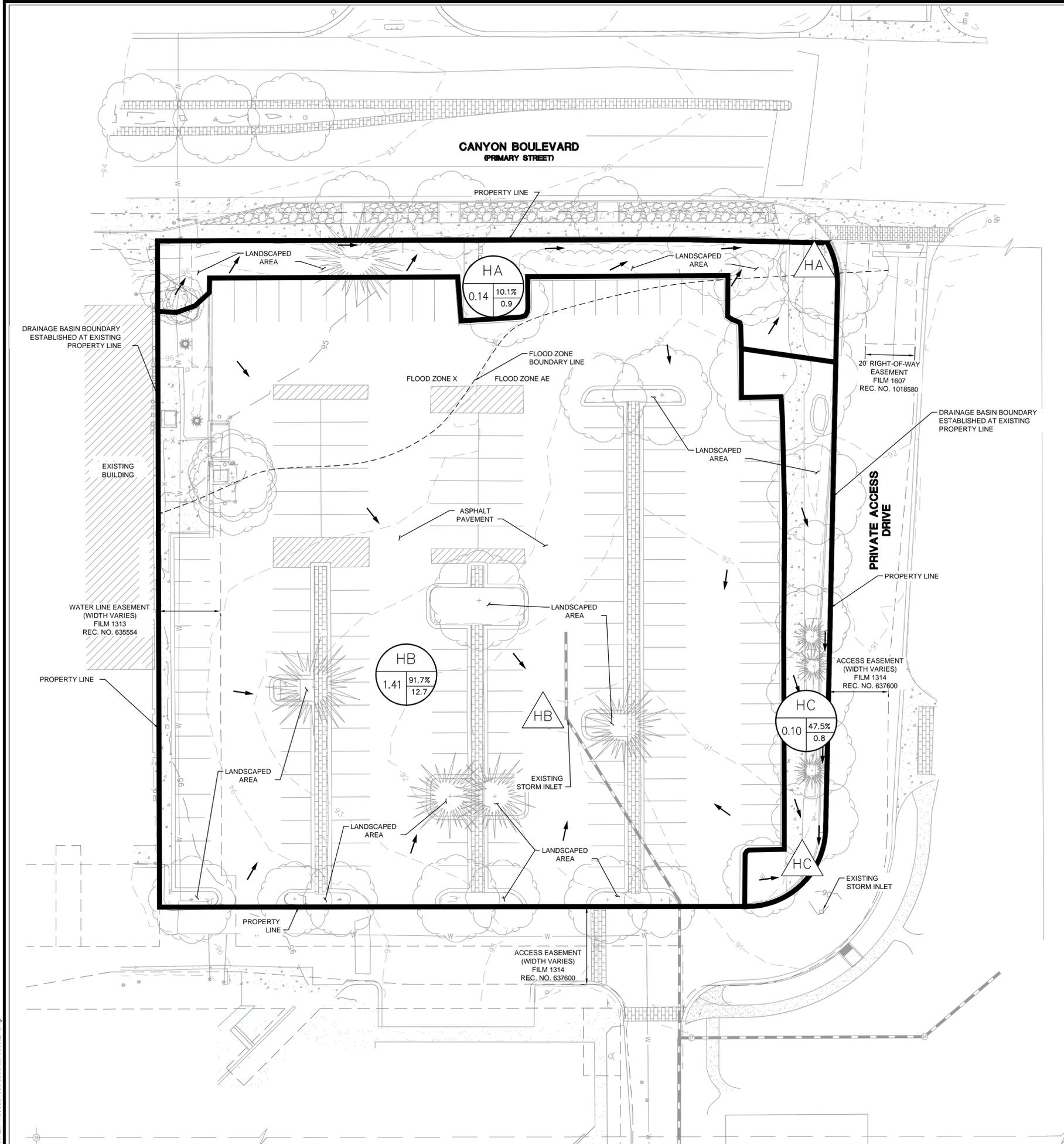
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OVERALL GRADING PLAN

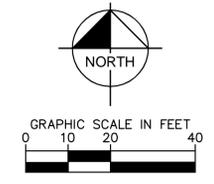
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LEGEND

	A = BASIN DESIGNATION
	B = AREA (ACRES)
	C = BASIN IMPERVIOUSNESS
	D = 100YR DESIGN STORM RUNOFF (CFS)
	# = DESIGN POINT
	FLOW DIRECTION
	DRAINAGE BASIN BOUNDARY
	PCC SIDEWALK AND BASE MATERIAL
	RIPRAP AND BASE MATERIAL
	PAVERS



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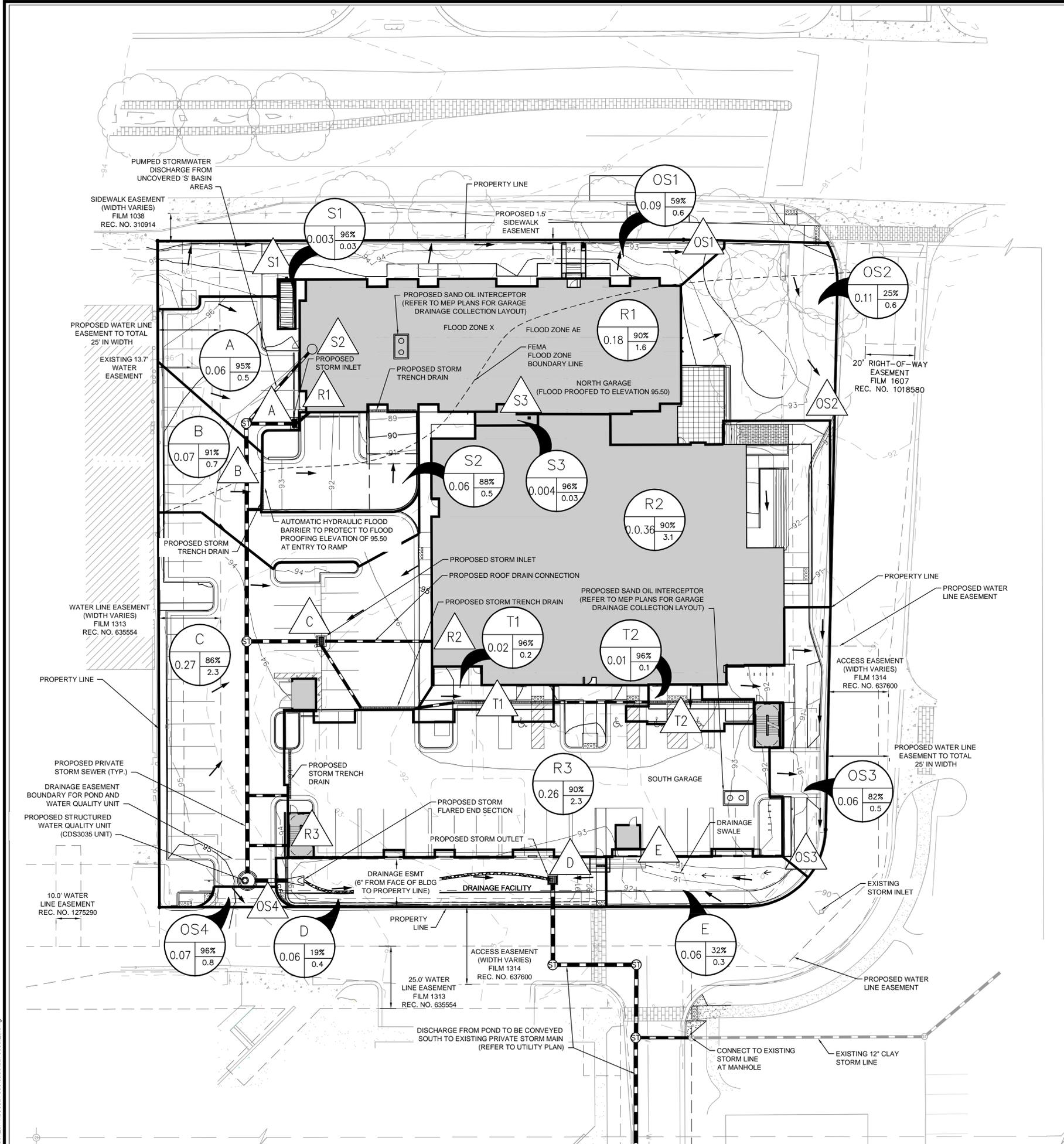
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HISTORIC DRAINAGE PLAN

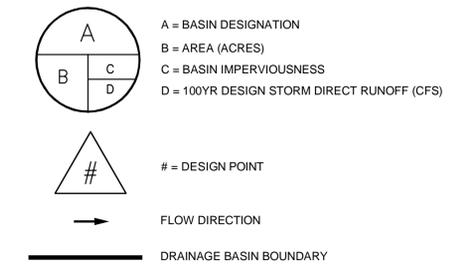
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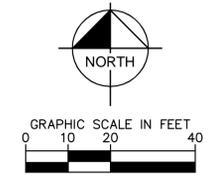


NOTES:

- REFER TO DRAINAGE REPORT FOR ADDITIONAL INFORMATION.
- DETAILED DESIGN/CONSTRUCTION INFORMATION TO BE PROVIDED AT TIME OF TECHNICAL DOCUMENT REVIEW.

Site Runoff Summary			Direct Flows		Cumulative Flows	
DESIGN POINT	DRAIN BASIN	AREA Ac	Q _s CFS	Q ₁₀₀ CFS	Q _s CFS	Q ₁₀₀ CFS
R1	Basin R1	0.18	0.8	1.6	0.8	1.6
R2	Basin R2	0.36	1.5	3.1	2.6	5.7
R3	Basin R3	0.26	1.1	2.3	5.3	11.4
OS1	Basin OS1	0.09	0.2	0.6	0.2	0.6
OS2	Basin OS2	0.11	0.2	0.6	0.2	0.6
OS3	Basin OS3	0.06	0.2	0.5	0.6	1.5
OS4	Basin OS4	0.06	0.0	0.0	0.0	0.0
A	Basin A	0.06	0.3	0.5	1.3	2.7
B	Basin B	0.07	0.3	0.7	1.7	3.4
C	Basin C	0.27	1.2	2.3	4.2	9.1
D	Basin D	0.06	0.1	0.4	5.4	12.0
E	Basin E	0.06	0.1	0.3	0.1	0.3
S1	Basin S1	0.003	0.02	0.03	0.02	0.03
S2	Basin S2	0.06	0.3	0.5	0.3	0.6
S3	Basin S3	0.004	0.02	0.03	0.02	0.03
T1	Basin T1	0.02	0.1	0.2	0.2	0.3
T2	Basin T2	0.01	0.1	0.1	0.1	0.1

TOTAL VOLUME REQUIRED	2,373 CF
TOTAL VOLUME PROVIDED AT 5292.50	2,431 CF
TOTAL RELEASE RATE OFF-SITE	5.20 CFS



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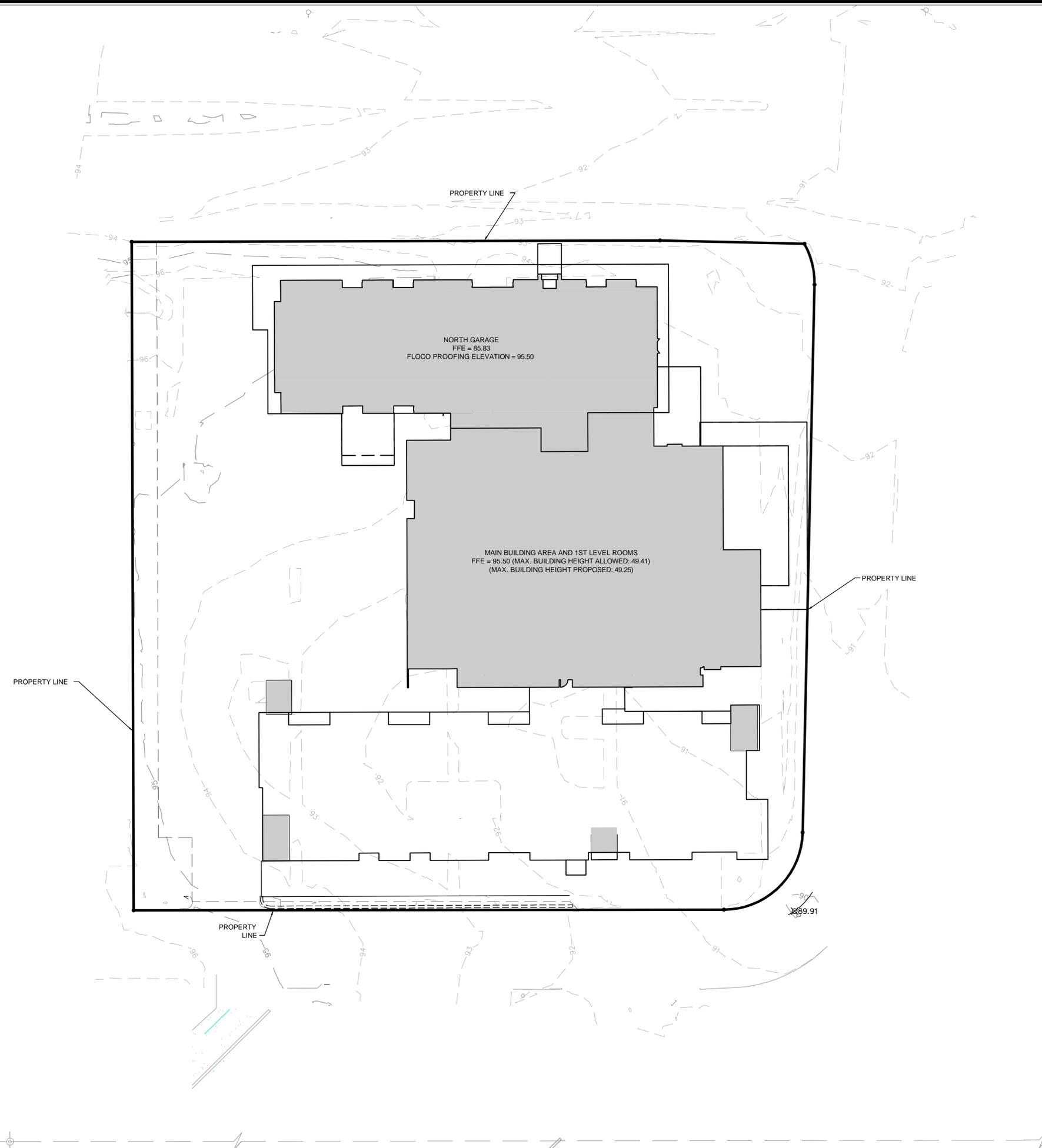
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PRELIMINARY DRAINAGE PLAN

C7.0

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SURVEY NOTE

SURVEY SOURCE: DREXEL, BARRELL & CO.
SURVEY DATE: SEPTEMBER 24, 2013

LEGEND

*89.91 LOWEST POINT OF EXISTING SURFACE WITHIN 25' OF BUILDING PERIMETER. ADD 5200' TO ALL ELEVATIONS.

NOTES

1. MAX. BUILDING HEIGHT INDICATED BASED ON 55' FROM LOW POINT ELEVATION AND DOES NOT NECESSARILY REFLECT ROOF APPURTENANCES.
2. REFER TO ARCHITECTURAL ELEVATIONS FOR ADDITIONAL INFORMATION.

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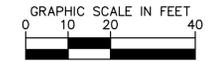
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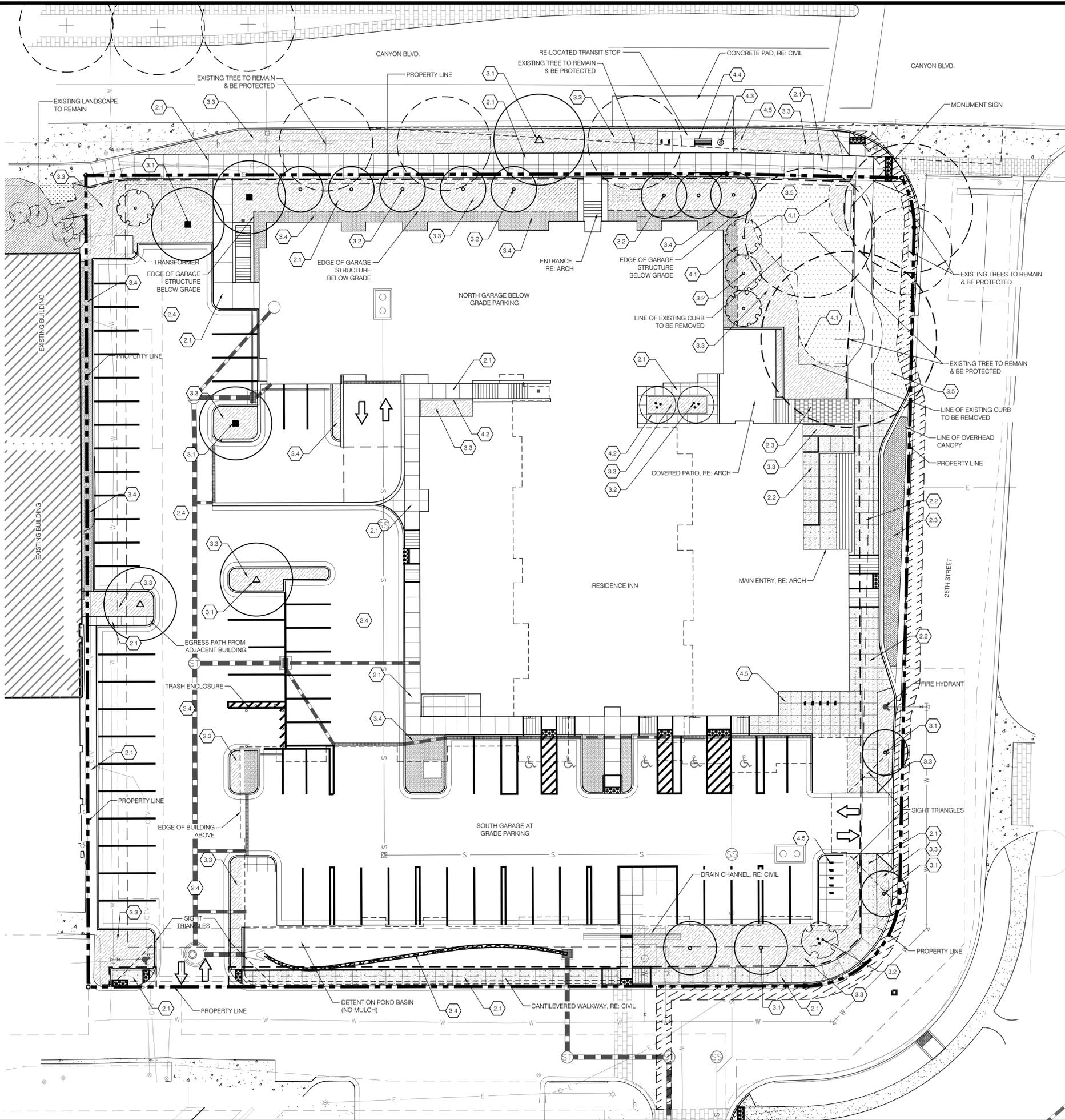
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BUILDING LOW POINT PLAN

C8.0



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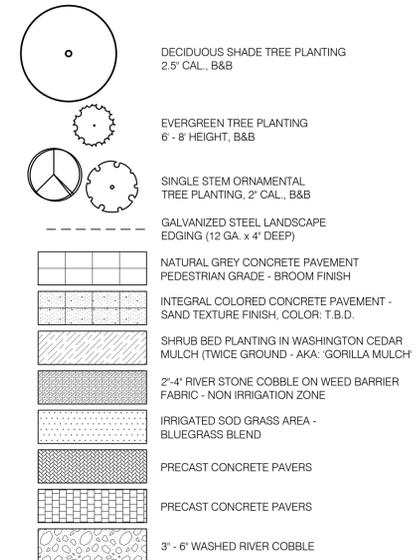
MATERIAL KEYNOTES

- PAVING MATERIALS**
- 2.1 NATURAL GRAY CONCRETE PAVEMENT - BROOM FINISH, SAW CUT JOINTS
 - 2.2 INTEGRAL COLORED CONCRETE - SAND TEXTURE FINISH, SAW CUT JOINTS
 - 2.3 PRECAST CONCRETE PAVERS, PATTERN & TYPE - T.B.D.
 - 2.4 ASPHALT PAVING, RE: CIVIL

- PLANTING**
- 3.1 DECIDUOUS TREE: 2.5" CALIPER, B&B
 - 3.2 ORNAMENTAL TREE PLANTING: 2" CAL.
 - 3.3 SHRUB BED PLANTING IN WASHINGTON CEDAR MULCH (TWICE GROUND, AKA: GORILLA MULCH)
 - 3.4 2"-4" RIVER STONE COBBLE ON WEED BARRIER FABRIC - 4" DEPTH
 - 3.5 IRRIGATED TURFGRASS SOD, RE: PLANT LEGEND
 - 3.6 3"-6" WASHED ROUND RIVER COBBLE

- SITE AMENITIES**
- 4.1 GALVANIZED STEEL LANDSCAPE EDGING (12 GA. x 4" DEEP)
 - 4.2 5" WIDE x 12" DEEP C.I.P. RAISED CURB, RE: 1/L4.0
 - 4.3 TRASH RECEPTACLE, T.B.D.
 - 4.4 6" WIDE BENCH, T.B.D.
 - 4.5 BIKE RACKS, RE: L4.0

MATERIAL LEGEND



LANDSCAPE NOTES

1. ALL PLANT MATERIAL SHALL MEET THE SPECIFICATIONS OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004).
2. REQUIRED MINIMUM SOIL AMENDMENT FOR ALL LANDSCAPE AREAS = 4 CY/1,000 SQUARE FEET TILLED TO A MINIMUM OF 6" DEPTH. SOIL TESTS FROM THE PROJECT SITE LANDSCAPE AREAS WILL BE UNDERTAKEN BY LANDSCAPE CONTRACTOR TO DETERMINE ADDITIONAL AMENDMENTS.
3. PRIOR TO INSTALLATION OF LANDSCAPING, ALL AREAS COMPACTED BY CONSTRUCTION ACTIVITIES SHALL BE THOROUGHLY LOOSENEED TO A MINIMUM DEPTH OF 12" AND AMENDED WITH ORGANIC COMPOST INCORPORATED AT A MINIMUM OF 4 CY/1,000 SQUARE FEET OF LANDSCAPE AREA.
4. TREES SHALL NOT BE PLANTED CLOSER THAN 4' TO ANY GAS OR ELECTRICAL LINE AND NO CLOSER THAN 10' FROM ANY WATER OR SEWER LINE. LOCATIONS OF ALL UTILITIES SHALL BE VERIFIED IN THE FIELD PRIOR TO PLANTING/IRRIGATION INSTALLATION.
5. LANDSCAPE EDGING IS GALVANIZED STEEL EDGING, 12 GA. x 4" DEEP WITH MANUFACTURERS RECOMMENDED STAKES AND ACCESSORIES MANUFACTURED BY DURA EDGE OR EQUAL APPROVED.
6. AUTOMATIC IRRIGATION SYSTEM: PERMANENT. UNDERGROUND IRRIGATION WILL BE PROVIDED TO ALL LANDSCAPE AREAS. TURF AREAS WILL BE ZONED SEPARATELY FROM BED AREAS; THE CONTROLLER WILL INCLUDE A RAIN SHUT-OFF SYSTEM; IRRIGATION ZONES WILL BE DESIGNED BASED ON HYDRO ZONES ACCORDING TO WATER-DEMAND.
7. THE PROPERTY OWNER WILL MAINTAIN ALL LANDSCAPED AREAS WITHIN THE PROPERTY BOUNDARY, INCLUDING ANY ADJACENT ROW LANDSCAPE.
8. REFER TO THE CITY OF BOULDER'S STREETSCAPE DESIGN STANDARDS AND PARKING LOTS DESIGN STANDARDS FOR ADDITIONAL INFORMATION.
9. REFER TO THE CIVIL ENGINEER'S DRAWINGS FOR GRADING AND UTILITY INFORMATION.
10. ALL EXISTING AND NEW TREES IN LAWN AREAS TO RECEIVE A 5' DIAMETER CEDAR MULCH RING.
11. ALL SHRUB BEDS TO RECEIVE 3" DEPTH WASHINGTON CEDAR MULCH, TWICE GROUND, A.K.A. "GORILLA MULCH"
12. THERE ARE SOME ASH TREES ON SITE WHICH ARE INDICATED AS "TO BE REMOVED" OR "PRUNED". DUE TO EMERALD ASH BORER IN THE CITY THERE IS A MANDATORY STATE AND FEDERAL QUARANTINE THAT RESTRICTS THE MOVEMENT OF ALL ASH PRODUCTS AND ALL HARDWOOD FIREWOOD. SINCE THIS SITE IS LOCATED WITHIN THE QUARANTINE AREA, ONLY A CITY OF BOULDER CERTIFIED ARBORIST MAY PRUNE OR REMOVE ASH TREES TO ENSURE PROPER WOOD DISPOSAL. A LIST OF LICENSED CERTIFIED ARBORIST IS AVAILABLE ON THE CITY'S WEBSITE AT: [HTTPS://BOULDERCOLORADO.GOV/PLAN-DEVELOP/TREE-CONTRACTOR-LICENSE](https://bouldercolorado.gov/plan-develop/tree-contractor-license)

FOR MORE INFORMATION ON EAB, PLEASE VISIT WWW.EABCOLORADO.COM

SCALE: 1/16" = 1'-0" @ 24x36



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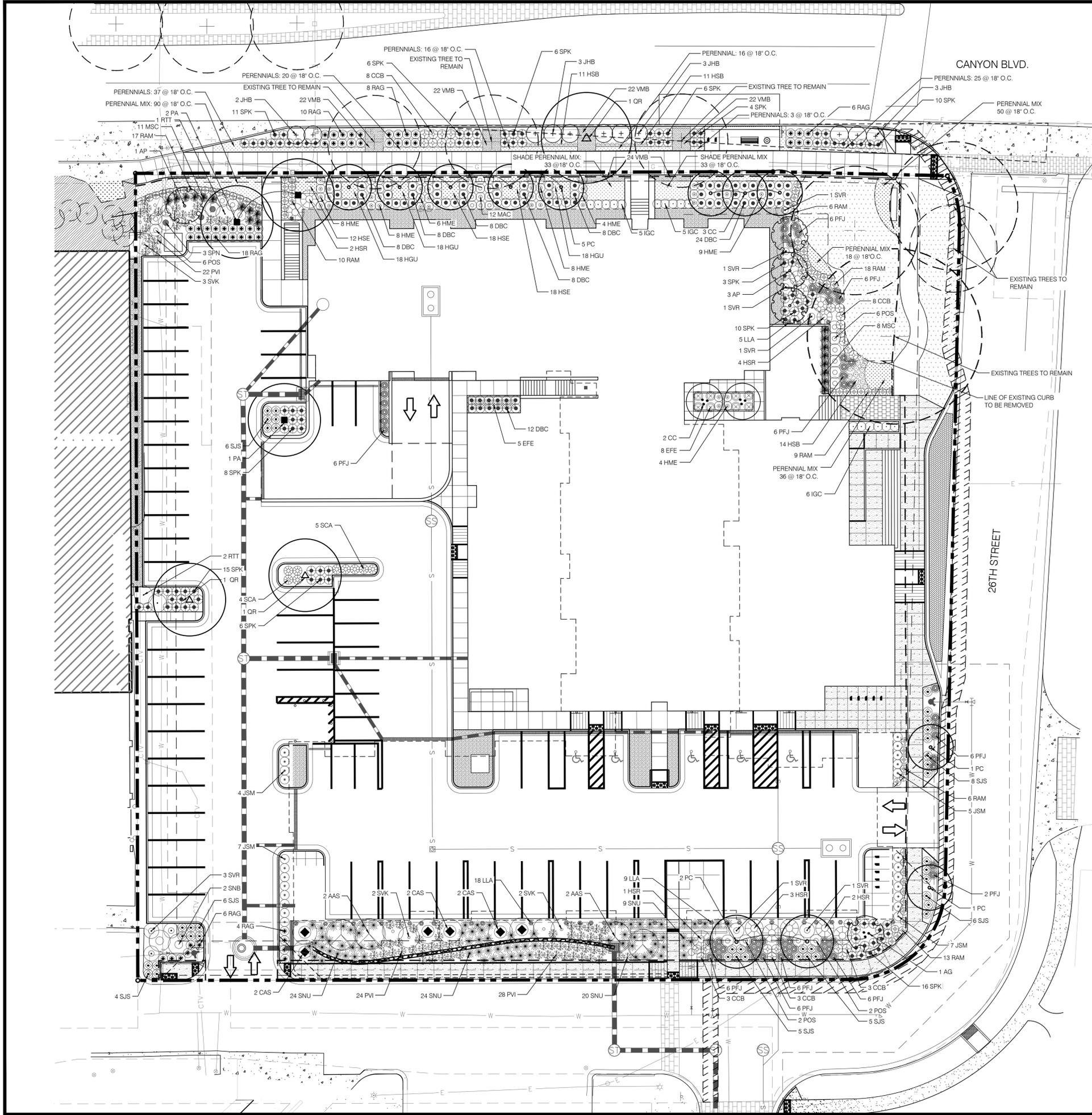
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MATERIALS PLAN

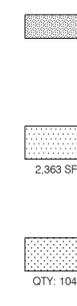
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PLANT LEGEND

ABBR.	QTY	BOTANICAL NAME/COMMON NAME	SIZE	COMMENTS
DECIDUOUS TREES				
AG	1	ACER GINNALA FLAME	3' CAL	B&B
AP	4	ACER PLATANOIDES 'CRIMSON SENTRY'	15' O.C.	STAKE + GUY
CC	5	CRIMSON SENTRY NORWAY MAPLE	3' CAL	B&B
CC	5	CERCIS CANADENSIS	12' O.C.	STAKE + GUY
QR	3	EASTERN REDBUD	20' O.C.	B&B
QR	3	CERCIS ROBBUR	3' CAL	B&B
PC	9	ENGLISH OAK	35' O.C.	STAKE + GUY
PC	3	PYRUS CALLERYANA 'CHANTICLEER'	3' CAL	B&B
PC	3	CHANTICLEER PEAR	15' O.C.	STAKE + GUY
PC	3	PYRUS CALLERYANA 'AUTUMN BLAZE'	3' CAL	STAKE + GUY
PC	3	AUTUMN BLAZE PEAR	3' CAL	B&B
EVERGREENS				
JSM	23	JUNIPERUS SCOPULORUM 'MEDORA'	#15	CONTAINER
JSM	23	MEDORA JUNIPER	4'-0" O.C.	
JHB	11	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	#5	CONTAINER
JHB	11	BLUE CHIP JUNIPER	6'-0" O.C.	
EFE	13	EUONYMUS FORTUNEI 'EMERALD & GOLD'	#2	CONTAINER
EFE	13	EMERALD & GOLD EUONYMUS	30"	
DECIDUOUS SHRUBS				
AAS	4	AMELANCHIER ALNFOLIA	6 CLUMP	B&B
AAS	4	SASKATOON SERVICEBERRY	8' O.C.	
CCB	25	CARYOPTERIS X CLANDONENSIS 'BLUE MIST'	#5	CONTAINER
CCB	25	BLUE MIST SPIREA	36' O.C.	
DBC	68	DAFNE X BURKWOODII 'CAROL MACKIE'	#5	CONTAINER
DBC	68	CAROL MACKIE DAPHNE	36' O.C.	
CAS	6	CAPAGANA ARBORESCENS	#5	CONTAINER
CAS	6	SIBERIAN PEASHRUB	8' O.C.	
HSR	12	HIBISCUS SYRIACUS 'RED HEART'	#5	CONTAINER
HSR	12	SINGLE WHITE RED CENTER ALTHEA	72' O.C.	
HME	47	HYDRANGEA ARBORESCENS 'ANNABELLE'	#5	CONTAINER
HME	47	ANNABELLE SMOOTH HYDRANGEA	36' O.C.	
IGC	16	ILEX GLABRA 'NORDICA'	#5	CONTAINER
IGC	16	NORDIC INKBERRY HOLLY	36' O.C.	
MAC	12	MAHONIA AQUIFOLIUM COMPACTA	#5	CONTAINER
MAC	12	OREGON GRAPE HOLLY	30' O.C.	
PFJ	58	POTENTILLA FRUITICOSA 'JACKMANII'	#5	CONTAINER
PFJ	58	JACKMAN POTENTILLA	36' O.C.	
SPN	3	SALIX PURPUREA 'NANA'	#5	CONTAINER
SPN	3	DWARF ARTIC WILLOW	60' O.C.	
POS	16	PHYSOCARPUS OPULOFOLIUS 'SUMMER WINE'	#5	CONTAINER
POS	16	SUMMER WINE NINEBARK	48' O.C.	
RAM	79	RIEBS ALPINUM 'GREEN MOUND'	#5	CONTAINER
RAM	79	GREEN MOUND CURRANT	30' O.C.	
RAG	48	RHUS AROMATICA 'GRO-LOW'	#5	CONTAINER
RAG	48	GROW LOW SUMAC	36' O.C.	
RTT	3	RHUS TYPHINA 'TIGER EYES'	#5	CONTAINER
RTT	3	TIGER EYES STAGHORN SUMAC	6' O.C.	
SCA	9	SYMPHORICARPOS ALBUS	#5	CONTAINER
SCA	9	WHITE SNOWBERRY	36' O.C.	
SJS	40	SPIRAEA JAPONICA 'NEON FLASH'	#5	CONTAINER
SJS	40	NEON FLASH SPIREA	36' O.C.	
SNB	2	SAMBUCUS NIGRA 'BLACK BEAUTY'	#5	CONTAINER
SNB	2	BLACK BEAUTY ELDER	8'-0" O.C.	
SVK	7	SYRINGA VULGARIS 'KATHERINE HAVEMEYER'	5 CLUMP	B&B
SVK	7	LAVENDER-PINK FRENCH LILAC	8' O.C.	
SVR	9	SPIRAEA X VANHOUTTEI 'RENAISSANCE'	#5	CONTAINER
SVR	9	RENAISSANCE VANHOUTTE SPIREA	60' O.C.	
SPK	101	SYRINGA PATULA 'MISS KIM'	#5	CONTAINER
SPK	101	MISS KIM DWARF LILAC	24' O.C.	
ORNAMENTAL GRASSES / GROUNDCOVERS / VINES				
HSB	36	HELICTOTRICHON SEMPERVIRENS	#5	CONTAINER
HSB	36	BLUE OAT (AVENA) GRASS	24' O.C.	
MSC	19	MISCANTHUS SINENSIS 'STRICTUS'	#5	CONTAINER
MSC	19	PORCUPINE GRASS	36' O.C.	
PVI	74	PANICUM VIRGATUM	#5	CONTAINER
PVI	74	SWITCH GRASS	24' O.C.	
SNU	77	SORGHASTRUM NUTANS	#5	CONTAINER
SNU	77	INDIAN GRASS	36' O.C.	
VMB	112	VINCA MINOR 'BOWLES VARIETY'	#1	CONTAINER
VMB	112	BOWLES PERIWINKLE	18' O.C.	
LLA	32	LATHYRUS LATIFOLIUS	#1	CONTAINER
LLA	32	SWEET PEA PERENNIAL	VINE	
IRRIGATED TURFGRASS SOD: KENTUCKY BLUEGRASS SPECIES BLEND				
		ODYSSEY KENTUCKY BLUEGRASS	25%	
		ARCADIA KENTUCKY BLUEGRASS	25%	
		AMERICA KENTUCKY BLUEGRASS	25%	
		SR2100 KENTUCKY BLUEGRASS	25%	
		OR EQUAL APPROVED		
PERENNIALS				
AJD	--	ASTILBE X JAPONICA 'DEUTCHLAND'	#1	CONTAINER
AJD	--	WHITE FALSE SPIREA	18' O.C.	
DSA	--	DICENTRA SPECTABILIS 'ALBA'	#1	CONTAINER
DSA	--	WHITE BLEEDING HEART	18' O.C.	
HSO	--	HEMEROCALLIS 'STELLA DE ORO'	#2	CONTAINER
HSO	--	DWARF GOLD DAYLILY	18' O.C.	
HPB	--	HEMEROCALLIS 'PRAIRIE BLUE EYES'	#2	CONTAINER
HPB	--	LAVENDER DAYLILY	18' O.C.	
HMP	--	HELICHERA MICRANTHA 'PALACE PURPLE'	#1	CONTAINER
HMP	--	PALACE PURPLE CORAL BELLS	15' O.C.	
HGU	--	HOSTA 'GUACAMOLE'	#1	CONTAINER
HGU	--	GOLDEN HOSTA	24' O.C.	
HSE	--	HOSTA SIEBOLDIANA 'ELEGANS'	#1	CONTAINER
HSE	--	BLUE GIANT PLANTAIN LILY	30' O.C.	



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PROJECT #: 102-2013
 DRAWN BY: JO
 CHECKED BY: JO
 ISSUE DATE: 11/4/2013
 REVISION 1: 2/18/2014
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 REVISION 3: 5/12/2014
 REVISION 4: 8/15/2014

LANDSCAPE PLAN

L2.0

SITE REVIEW RE-SUBMITTAL - 8/15/2014

GENERAL NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL CONCURRENT WORK BY OTHER TRADES. PROVIDE SLEEVES AS REQUIRED FOR DRAINAGE, IRRIGATION AND ELECTRICAL LINES. IRRIGATION AND ELECTRICAL SLEEVES AND SUBSURFACE DRAINAGE SYSTEMS SHALL BE CONSTRUCTED PRIOR TO PAVING AND LANDSCAPE WORK.
- EXISTING BUILDINGS, GRADING, EASEMENTS AND UTILITIES ARE BASED ON SURVEY INFORMATION PROVIDED BY THE SURVEYOR.
- VERIFY ALL CONDITIONS AT JOB SITE AND NOTIFY LANDSCAPE ARCHITECT OF DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING WORK.
- THE LANDSCAPE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE UTILITIES OR STRUCTURES NOT SHOWN ON THE DRAWINGS. CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING OVER OR NEAR EXISTING GAS MAINS AND ELECTRICAL LINES. CONTRACTOR IS TO VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES, ABOVE AND BELOW GRADE, PRIOR TO EXCAVATION OR TRENCHING. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES OR CONFLICTS. DAMAGE SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER.
- LAYOUT OF ALL SITE FURNISHINGS, INCLUDING BENCHES, TRASH RECEPTACLES, AND BICYCLE RACKS IS TO BE STAKED IN THE FIELD AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. WHERE CONCRETE FOOTINGS ARE REQUIRED FOR FURNITURE, THEY ARE TO BE STAKED AND VERIFIED IN THE FIELD BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLING ADJACENT PAVEMENT OR FINISHES.
- A SYSTEM OF DIAGRAMMATIC SYMBOLS AND NOTATIONS IS USED IN THESE DRAWINGS. REVIEW NOTATION CAREFULLY AND NOTIFY LANDSCAPE ARCHITECT AND REQUEST CLARIFICATION OF ANY UNCLEAR NOTATION OR DISCREPANCY PRIOR TO COMMENCING WORK.
- ALL SYMBOLS ARE SHOWN DIAGRAMMATICALLY, ILLUSTRATING APPROXIMATE LOCATION OF EXISTING AND PROPOSED MATERIALS. ANY DISCREPANCIES OR CONFLICTS BETWEEN EXISTING AND PROPOSED CONDITIONS SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT.
- LIMIT OF WORK LINE FOR CONSTRUCTION IS SHOWN DIAGRAMMATICALLY AND OCCURS AT BACK OF CURB, EDGE OF ROAD, FACE OF BUILDING WALL OR PROPERTY LINE EXCEPT WHERE OTHERWISE NOTED. WHERE LIMIT OF WORK IS SHOWN IN LANDSCAPE AREAS, LIMIT DISTURBANCE TO UNDISTURBED AREAS AND REINSTATE LANDSCAPE AS SHOWN ON PLANS.
- ALL LAYOUT DIMENSIONS ARE TO BACK OF CURB, (BOC), FACE OF WALL, (FOW) OR FACE OF BUILDING (FOB) UNLESS OTHERWISE NOTED. ALL LAYOUT DIMENSIONS ARE FROM PLAN VIEW CALCULATIONS. ACTUAL FIELD DIMENSIONS MAY VARY FROM PLAN DUE TO ACTUAL LENGTHS ALONG A SLOPED SURFACE.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- DIMENSIONS MARKED "VERIFY" ARE TO BE FIELD MEASURED. ANY FIELD DISCREPANCIES FROM THE NOTED DIMENSIONS ARE TO BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO FURTHER WORK.
- SPECIAL CONSIDERATION HAS BEEN GIVEN TO THE DESIGN AND INTENDED RELATIONSHIP BETWEEN LANDSCAPE MATERIALS, FINISHES AND LAYOUT IN RELATIONSHIP TO THE ARCHITECTURE AND/OR STREET, CURB & GUTTER AND SIDEWALK SYSTEMS. PAVEMENT JOINTING, FINISHES, COLOR AND GRADES HAVE BEEN STRICTLY COORDINATED. CONSTRUCTION OF THESE SYSTEMS SHALL ALSO BE STRICTLY COORDINATED.
- REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION PERTAINING TO THE PROJECT MATERIALS, PROCEDURES AND INSTALLATION. WORK INSTALLED NOT IN COMPLIANCE WITH THE SPECIFICATIONS IS SUBJECT TO REMOVAL AT CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES NECESSARY TO PROTECT EXISTING IMPROVEMENTS FROM DAMAGE. ALL SUCH IMPROVEMENTS AND STRUCTURES DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR RECONSTRUCTED SATISFACTORY TO THE LANDSCAPE ARCHITECT AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS TO VERIFY ALL QUANTITIES. IN CASE OF ANY DISCREPANCIES, GRAPHICALLY SHOWN MATERIAL QUANTITIES SHALL TAKE PRECEDENCE.
- ARCHITECTURAL ELEMENTS ARE SHOWN ON LANDSCAPE PLANS FOR REFERENCE ONLY. REFER TO ARCHITECTURAL DRAWINGS FOR ACTUAL ARCHITECTURAL INFORMATION. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- COORDINATE PROPOSED WALKS AND RAMPS WITH ANY EXISTING CONDITIONS INCLUDING PUBLIC SIDEWALKS. STAKE PROPOSED WALKS AND REVIEW IN FIELD WITH LANDSCAPE ARCHITECT PRIOR TO FORMING.
- NOTHING IN THE CONTRACT DOCUMENTS SHALL CREATE, NOR SHALL BE CONSTRUED TO CREATE, ANY CONTRACTUAL RELATIONSHIP BETWEEN THE LANDSCAPE ARCHITECT AND THE CONTRACTOR OR ANY SUBCONTRACTOR.
- THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR FOR SAFETY PRECAUTIONS OR PROBLEMS UTILIZED IN CONNECTION WITH THE WORK, AND HE WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

PLANTING NOTES

- FIELD STAKE ALL TREE AND SHRUB LOCATIONS BASED UPON THESE PLANS. OBTAIN LANDSCAPE ARCHITECT'S APPROVAL OF STAKED LOCATIONS PRIOR TO PLANTING.
- PROVIDE MATCHING SIZES AND FORMS FOR EACH TREE TO BE INSTALLED.
- PLANT MATERIAL TO BE HEALTHY SPECIMENS, FREE FROM DISEASE OR DAMAGE.
- ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE AMERICAN STANDARDS FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSEYMEN.
- ALL ROOT WRAPPING MADE OF SYNTHETIC OR PLASTIC MATERIAL SHALL BE REMOVED AT TIME OF PLANTING.
- ALL PLANT MATERIAL SHALL BE SELECTED AT THE NURSERY BY THE PROJECT LANDSCAPE ARCHITECT. PLANT MATERIAL IS SUBJECT TO REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT BEFORE INSTALLATION.
- ALL PLANT AND STAKES SHALL BE SET PLUMB UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL REFER TO THE CONTRACT SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- PLANT QUANTITIES ARE PROVIDED FOR CONTRACTOR'S CONVENIENCE ONLY AND SHALL BE VERIFIED BY CONTRACTOR BY REVIEWING PLANTING PLAN SYMBOLS AND PLANT SPACING.
- ALL DECIDUOUS TREES SHALL BE WRAPPED. REFER TO SPECIFICATIONS FOR WRAP TYPE AND TIMING.
- PLANT AND EDGING LAYOUT SHALL TAKE PRECEDENCE OVER IRRIGATION EQUIPMENT LOCATIONS. INSTALLED VALVE BOXES WHICH CONFLICT WITH ACCEPTED PLANT AND EDGING LAYOUT SHALL BE MOVED TO A LOCATION BETWEEN PLANTS AS DIRECTED BY LANDSCAPE ARCHITECT AT NO ADDITIONAL COST TO OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN ALL PLANT MATERIALS INCLUDING SOD/SEED AREAS IN A HEALTHY STATE DURING CONSTRUCTION. ANY DAMAGE TO PLANT MATERIAL DUE TO NEGLIGENCE BY THE CONTRACTOR SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE. REFER TO SPECIFICATION 02930.
- PROJECT INCLUDES EXTENSIVE IRRIGATION AND UTILITY SYSTEMS, MANY OF WHICH ARE CLOSE TO THE FINISHED SURFACE. VERIFY LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO PLANTING. ANY CONFLICTS SHALL BE RESOLVED IN THE FIELD BY THE LANDSCAPE ARCHITECT.
- ALL SHRUB AREAS ARE TO BE PREPARED AS CONTINUOUS BEDS.
- PERFORM PERCOLATION TEST ON ALL TREE HOLES AND PLANTING BEDS PRIOR TO PLANTING. INFORM LANDSCAPE ARCHITECT OF RESULTS. REFER TO CONTRACT SPECIFICATIONS FOR FURTHER INFORMATION.
- REFER TO LAYOUT DRAWINGS FOR STEEL EDGER LAYOUT. STAKE AND REVIEW LAYOUT WITH ARCHITECT PRIOR TO INSTALLATION.
- STREET TREES AND ON-SITE TREES SHALL BE PLACED SO THAT THEY DO NOT BLOCK LIGHT COMING FROM STREETLIGHT FIXTURES AND INTERNAL LIGHT FIXTURES. A MINIMAL DISTANCE OF 15 FEET FOR ORNAMENTAL TREES AND 20 FEET FOR SHADE TREES FROM THE NEAREST LIGHT FIXTURE (OTHER THAN PEDESTRIAN-SCALE LIGHTING) MUST BE MAINTAINED.
- ALL LANDSCAPE AREAS SHALL BE IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM. TREES AND SHRUBS MUST BE IRRIGATED BY A SEPARATE ZONE FROM SOD/GRASS. THIS INCLUDES TREES PLANTED IN SOD/GRASS AREA. THE IRRIGATION SYSTEM IS TO HAVE A RAIN SENSOR SHUTOFF INSTALLED.

ABBREVIATIONS (landscape sheets only)

APPROX ARCH AVG	APPROXIMATE ARCHITECT AVERAGE	GAL GALLON	GAUGE	R RADIUS
B&B BLDG	BALLED AND BURLAPPED BUILDING	GALV GALVANIZED	GRADE BREAK	RE REQUIRED
BM	BENCHMARK	GC GENERAL CONTRACTOR	GPM GALLON PER MINUTE	REV REVISION(S), REVISED
BOC	BACK OF CURB	HORIZ HORIZONTAL	HP HIGH POINT	RIM RIM ELEVATION
BR	BOTTOM OF RAMP	HT HEIGHT	ID INSIDE DIAMETER	ROW RIGHT-OF-WAY
BS	BOTTOM OF STEP	INV INVERT ELEVATION	IN INCHES	RP RADIUS POINT
BW	BOTTOM OF WALL	IRR IRRIGATION	JT JOINT(S)	SAN SANITARY
CAF	CALIPER	INCL INCLUDE(D)	INT INVERT ELEVATION	SCH SCHEDULE
CF	CUBIC FEET	IRR IRRIGATION	INT INVERT ELEVATION	SD STORM DRAIN
CIP	CAST-IN-PLACE	IRR IRRIGATION	INT INVERT ELEVATION	SEC SECTION
CJ	CONTROL JOINT	IRR IRRIGATION	INT INVERT ELEVATION	SF SQUARE FOOT (FEET)
CL	CENTERLINE	IRR IRRIGATION	INT INVERT ELEVATION	SHT SHEET
CLR	CLEAR(ANCE)	IRR IRRIGATION	INT INVERT ELEVATION	SIM SIMILAR
COMP	COMPACTED	IRR IRRIGATION	INT INVERT ELEVATION	SPECS SPECIFICATIONS
CONC	CONCRETE	IRR IRRIGATION	INT INVERT ELEVATION	SQ SQUARE
CONSTR	CONSTRUCTION	IRR IRRIGATION	INT INVERT ELEVATION	STA STATION
CONT	CONTINUOUS	IRR IRRIGATION	INT INVERT ELEVATION	STD STANDARD
CONTR	CONTRACTOR	IRR IRRIGATION	INT INVERT ELEVATION	STL STEEL
CU	CUBIC	IRR IRRIGATION	INT INVERT ELEVATION	STRUCT STRUCTURAL
DBL	DOUBLE	IRR IRRIGATION	INT INVERT ELEVATION	SYM SYMMETRICAL
DEG	DEGREE	IRR IRRIGATION	INT INVERT ELEVATION	TBC TOP OF BACK OF CURB
DEM	DEMOLISH, DEMOLITION	IRR IRRIGATION	INT INVERT ELEVATION	TC TOP OF CURB
DIA	DIAMETER	IRR IRRIGATION	INT INVERT ELEVATION	THK THICK
DIM	DIMENSION	IRR IRRIGATION	INT INVERT ELEVATION	TLF TOP OF LIGHT FOOTING
DN	DOWN	IRR IRRIGATION	INT INVERT ELEVATION	TO TOP OF
DTL	DETAIL	IRR IRRIGATION	INT INVERT ELEVATION	TOPO TOPOGRAPHY
DWG	DRAWING	IRR IRRIGATION	INT INVERT ELEVATION	TR TOP OF RAMP
EA	EACH	IRR IRRIGATION	INT INVERT ELEVATION	TRANS TRANSFORMER
EF	EACH FACE	IRR IRRIGATION	INT INVERT ELEVATION	TS TOP OF STEP
EJ	EXPANSION JOINT	IRR IRRIGATION	INT INVERT ELEVATION	TW TOP OF WALL
ELEV	ELEVATION	IRR IRRIGATION	INT INVERT ELEVATION	TYP TYPICAL
ELECT	ELECTRICAL	IRR IRRIGATION	INT INVERT ELEVATION	UNFIN UNFINISHED
ENG	ENGINEER	IRR IRRIGATION	INT INVERT ELEVATION	VAR VARIES
EQ	EQUAL	IRR IRRIGATION	INT INVERT ELEVATION	VERT VERTICAL
EST	ESTIMATE	IRR IRRIGATION	INT INVERT ELEVATION	VEH VEHICLE
EW	EACH WAY	IRR IRRIGATION	INT INVERT ELEVATION	VOL VOLUME
EXIST	EXISTING	IRR IRRIGATION	INT INVERT ELEVATION	W/ WITH
FG	FINISHED GRADE	IRR IRRIGATION	INT INVERT ELEVATION	W/O WITHOUT
FL	FLOW LINE	IRR IRRIGATION	INT INVERT ELEVATION	WT WEIGHT
FOB	FACE OF BUILDING	IRR IRRIGATION	INT INVERT ELEVATION	WWF WELDED WIRE FABRIC
FOW	FACE OF WALL	IRR IRRIGATION	INT INVERT ELEVATION	YD YARD
FS	FINISH SURFACE	IRR IRRIGATION	INT INVERT ELEVATION	
FT	FOOT (FEET)	IRR IRRIGATION	INT INVERT ELEVATION	
FTG	FOOTING	IRR IRRIGATION	INT INVERT ELEVATION	

SUMMARY CHART

TOTAL LOT SIZE:	72,062 SF	
TOTAL PARKING LOT SIZE: (INCLUDING DRIVES & DRIVEWAYS)	28,721 SF	(COVERED: 10,822 SF) (UNCOVERED: 17,899 SF)
TOTAL AREA NOT COVERED BY BUILDING OR PARKING LOT:	17,426 SF	
	<u>REQUIRED</u>	<u>PROVIDED</u>
TOTAL NUMBER OF PARKING STALLS	167	103
TOTAL INTERIOR PARKING LOT LANDSCAPED AREA	895 SF	625 SF
TOTAL INTERIOR PARKING LOT LANDSCAPED AREA AS A PERCENTAGE OF TOTAL PARKING LOT AREA	5%	3.5%
TOTAL NUMBER OF TREES IN INTERIOR LOT LANDSCAPED AREA	3	3
TOTAL PERIMETER PARKING LOT LANDSCAPE AREA	324 SF	716 SF
TOTAL NUMBER OF STREET TREES	8	8
TOTAL QUANTITY OF PLANT MATERIAL ON SITE PLAN (TREES & SHRUBS)	8 TREES 38 SHRUBS	23 TREES 612 SHRUBS

PLANT LEGEND

ABBR.	QTY	BOTANICAL NAME/COMMON NAME	SIZE	COMMENTS
DECIDUOUS TREES				
AG	1	ACER GINNALA 'FLAME'	3' CAL	B&B
AP	4	AMUR MAPLE	15' O.C.	STAKE + GUY
		ACER PLATANOIDES 'CRIMSON SENTRY'	3' CAL	B&B
		CRIMSON SENTRY NORWAY MAPLE	12' O.C.	STAKE + GUY
CC	5	CERCIS CANADENSIS	2.5' CAL	B&B
		EASTERN REDBUD	20' O.C.	STAKE + GUY
OR	3	QUERCUS ROBUR	3' CAL	B&B
		ENGLISH OAK	35' O.C.	STAKE + GUY
PC	9	PYRUS CALLERYANA 'CHANTICLEER'	3' CAL	B&B
		CHANTICLEER PEAR	15' O.C.	STAKE + GUY
PA	3	PYRUS CALLERYANA 'AUTUMN BLAZE'	3' CAL	STAKE + GUY
		AUTUMN BLAZE PEAR	25' O.C.	B&B
		EVERGREENS		
JSM	23	JUNIPERUS SCOOPULORUM 'MEDORA'	#15	CONTAINER
JHB	11	MEDORA JUNIPER	4'-0" O.C.	
EFE	13	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	#5	CONTAINER
		BLUE CHIP JUNIPER	6'-0" O.C.	
		EUONYMUS FORTUNEI 'EMERALD & GOLD'	#2	CONTAINER
		EMERALD & GOLD EUONYMUS	30"	
DECIDUOUS SHRUBS				
AAS	4	AMELANCHIER ALNIFOLIA	6' CLUMP	B&B
		SASKATOON SERVICEBERRY	8' O.C.	
CCB	25	CARYOPTERIS X CLAUDONENSIS 'BLUE MIST'	#5	CONTAINER
DBC	68	DAFNE BURKWOODII 'CAROL MACKIE'	36" O.C.	CONTAINER
		CAROL MACKIE DAPHNE	#5	
CAS	6	CARAGANA ARBORESCENS	36" O.C.	CONTAINER
		SIBERIAN PEASHRUB	8' O.C.	
HSR	12	HIBISCUS SYRIACUS 'RED HEART'	#5	CONTAINER
		NORDIC HIBERRY HOLLY	72" O.C.	
HME	47	HYDRANGEA ARBORESCENS 'ANNABELLE'	#5	CONTAINER
		ANNABELLE SMOOTH HYDRANGEA	36" O.C.	
IGC	16	ILEX GLABRA 'NORDICA'	#5	CONTAINER
		HIBISCUS SYRIACUS 'RED HEART'	36" O.C.	
MAC	12	MAHONIA AQUIFOLIUM 'COMPACTA'	#5	CONTAINER
		OREGON GRAPE HOLLY	30" O.C.	
PFJ	58	POTENTILLA FRUITICOSA 'JACKMANII'	#5	CONTAINER
		JACKMAN PONTENTILLA	36" O.C.	
SPN	3	SALIX PURPUREA NANA	#5	CONTAINER
		DWARF ARTIC WILLOW	60" O.C.	
POS	16	PHYSCARPUS OPULIFOLIUS 'SUMMER WINE'	#5	CONTAINER
		SUMMER WINE NINEBARK	48" O.C.	
RAM	79	RIBES ALPINUM 'GREEN MOUND'	#5	CONTAINER
		GREEN MOUND CURRANT	30" O.C.	
RAG	48	RHUS AROMATICA 'GRO-LOW'	#5	CONTAINER
		GRO-LOW SUMAC	36" O.C.	
RTT	3	RHUS TYPHINA 'TIGER EYES'	#5	CONTAINER
		TIGER EYES STAGHORN SUMAC	6' O.C.	
SCA	9	SYMPHORICARPOS ALBUS	#5	CONTAINER
		WHITE SNOWBERRY	36" O.C.	
SJS	40	SPIRAEA JAPONICA 'NEON FLASH'	#5	CONTAINER
		NEON FLASH SPIREA	36" O.C.	
SNB	2	SAMBUCUS NIGRA 'BLACK BEAUTY'	#5	CONTAINER
		BLACK BEAUTY ELDER	8'-0" O.C.	
SVK	7	SYRINGA MULLARGIS 'KATHERINE HAVEMEYER'	5' CLUMP	B&B
		LAVENDER-PINK FRENCH LILAC	8' O.C.	
SVR	9	SPIRAEA X VANHOUTEI 'RENAISSANCE'	#5	CONTAINER
		RENAISSANCE VANHOUTEI SPIREA	60" O.C.	
SPK	101	SYRINGA PATULA 'MISS KIM'	#5	CONTAINER
		MISS KIM DWARF LILAC	24" O.C.	
ORNAMENTAL GRASSES / GROUNDCOVERS / VINES				
HSB	36	HELIOTRICHON SEMPERVIRENS	#5	CONTAINER
		BLUE OAT (AVENA) GRASS	24" O.C.	
MSC	19	MISCANTHUS SINENSIS 'STRICTUS'	#5	CONTAINER
		PORCUPINE GRASS	36" O.C.	
PVI	77	PANICUM VIRGATUM	#5	CONTAINER
		SWITCH GRASS	24" O.C.	
SNU	74	SORGHASTRUM NUTANS	#5	CONTAINER
		INDIAN GRASS	36" O.C.	
VMB	112	VINCA MINOR 'BOWLES VARIETY'	#1	CONTAINER
		BOWLES PERIWINKLE	18" O.C.	
LLA	32	LATHYRUS LATIFOLIUS	#1	CONTAINER
		SWEET PEA PERENNIAL	VINE	
IRRIGATED TURFGRASS SOD: KENTUCKY BLUEGRASS SPECIES BLEND				
		ODYSSEY KENTUCKY BLUEGRASS	25%	
		ARCADIA KENTUCKY BLUEGRASS	25%	
		AMERICA KENTUCKY BLUEGRASS	25%	
		SR2100 KENTUCKY BLUEGRASS OR EQUAL APPROVED	25%	
PERENNIALS				
AJD	--	ASTILBE X JAPONICA 'DEUTCHLAND'	#1	CONTAINER
		WHITE FALSE SPIREA	18" O.C.	
DSA	--	DICENTRA SPECTABILIS 'ALBA'	#1	CONTAINER
		WHITE BLEEDING HEART	18" O.C.	
HSO	--	HEMEROCALLIS STELLA DE ORO'	#2	CONTAINER
		DWARF GOLD DAYLILY	18" O.C.	
HPB	--	HEMEROCALLIS PRAIRIE BLUE EYES'	#2	CONTAINER
		LAVENDER DAYLILY	18" O.C.	
HMP	--	HEUCHERA MICRANTHA 'PALACE PURPLE'	#1	CONTAINER
		PALACE PURPLE CORAL BELLS	15" O.C.	
HGU	--	HOSTA 'GUACAMOLE'	#1	CONTAINER
		GOLDEN HOSTA	24" O.C.	
HSE	--	HOSTA SIEBOLDIANA 'ELEGANS'	#1	CONTAINER
		BLUE GIANT PLAINTAIN LILY	30" O.C.	

NEWMAN ARCHITECTURE

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LANDSCAPE ARCHITECTURE
605 ITHACA DRIVE BOULDER, CO 80305

BOULDER RESIDENCE INN
2550 CANYON BLVD.
BOULDER, CO 80302

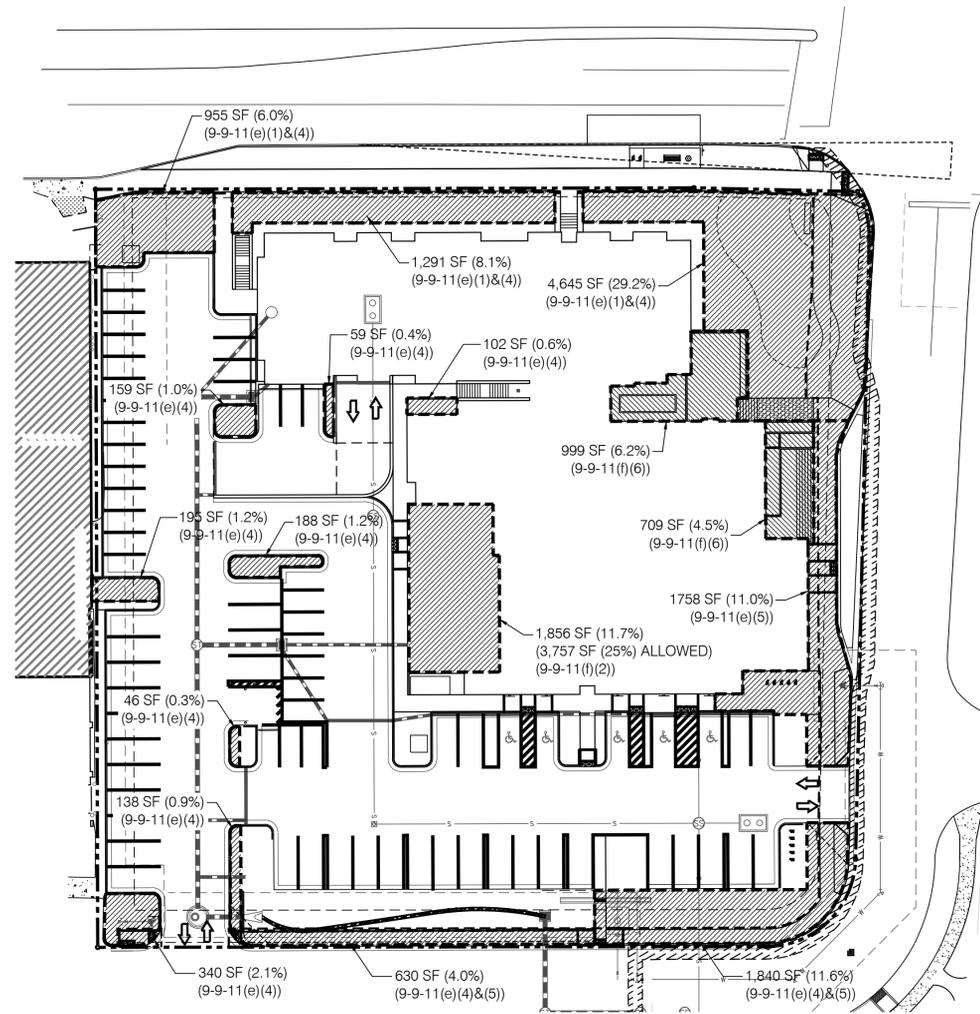
STONEBRIDGE COMPANIES
9100 EAST PANORAMA DRIVE, SUITE 300
ENGLEWOOD, CO 80112
(303) 785-3199

PROJECT #: 102-2013
DRAWN BY: JO
CHECKED BY: JO
ISSUE DATE: 11/4/2013
REVISION 1: 2/18/2014
REVISION 2: 4/7/2014
REVISION 3: 5/12/2014
REVISION 4: 8/15/2014

LANDSCAPE NOTES & DETAILS

L3.0

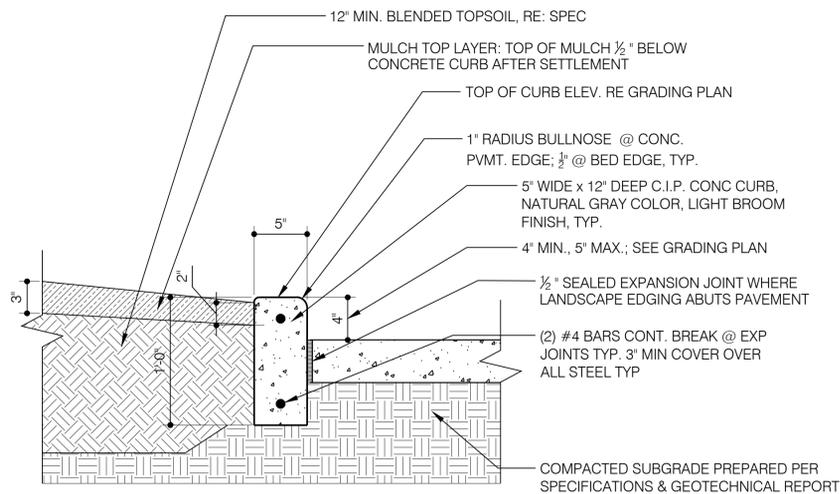
SITE REVIEW RE-SUBMITTAL - 8/15/2014



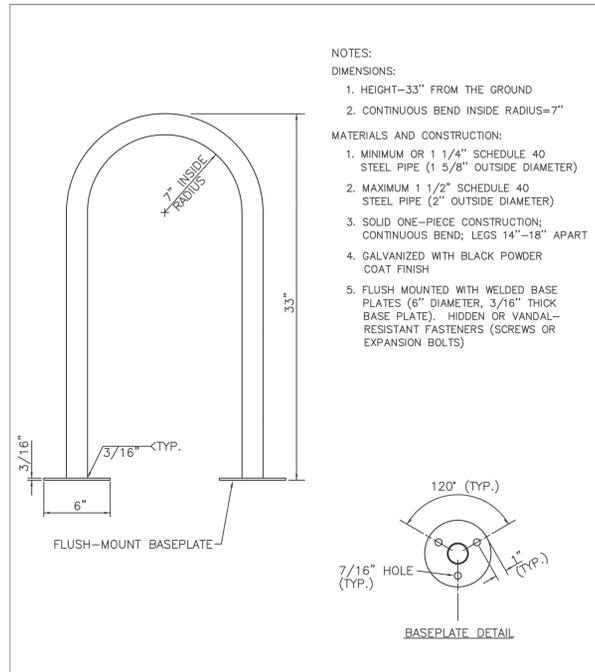
USEABLE OPEN SPACE
 15,910 SF (22.0%)
 (TOTAL LAND AREA = 72,062 SF)

1 OPEN SPACE DIAGRAM
 SCALE: 1" = 30'-0"

NOTE: USEABLE OPEN SPACE WAS DETERMINED PER BOULDER CODE 9-9-11

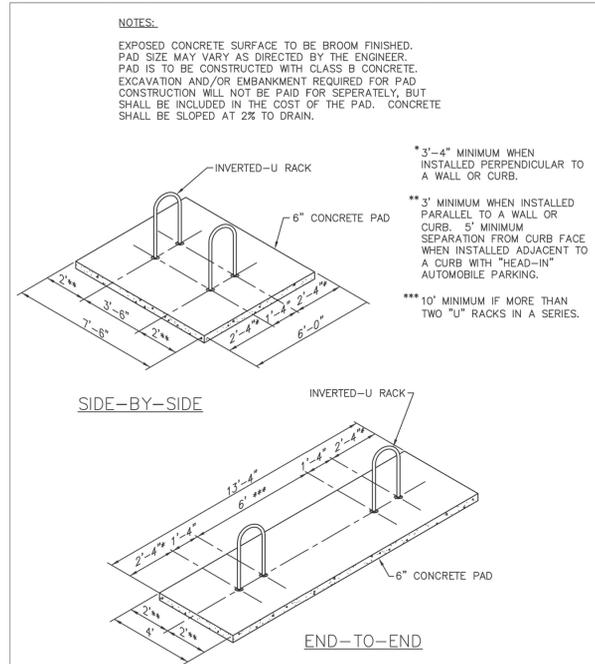


1 C.I.P. RAISED CURB - SECTION
 SCALE: 1 1/2" = 1'-0"



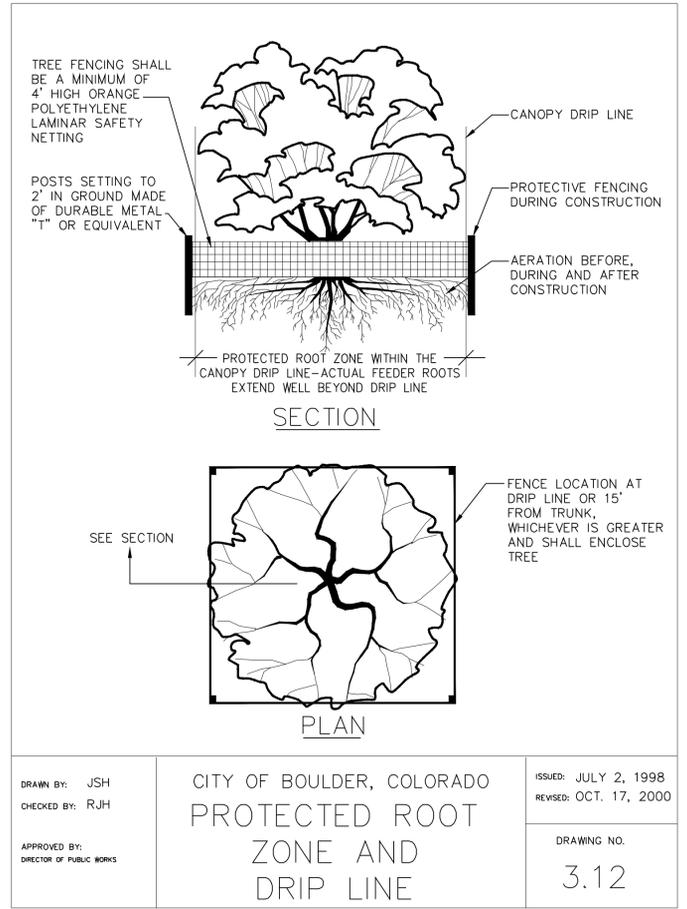
- NOTES:
 DIMENSIONS:
 1. HEIGHT-33" FROM THE GROUND
 2. CONTINUOUS BEND INSIDE RADIUS=7"
 MATERIALS AND CONSTRUCTION:
 1. MINIMUM OR 1 1/4" SCHEDULE 40 STEEL PIPE (1 5/8" OUTSIDE DIAMETER)
 2. MAXIMUM 1 1/2" SCHEDULE 40 STEEL PIPE (2" OUTSIDE DIAMETER)
 3. SOLID ONE-PIECE CONSTRUCTION; CONTINUOUS BEND; LEGS 14"-18" APART
 4. GALVANIZED WITH BLACK POWDER COAT FINISH
 5. FLUSH MOUNTED WITH WELDED BASE PLATES (6" DIAMETER, 3/16" THICK BASE PLATE). HIDDEN OR VANDAL-RESISTANT FASTENERS (SCREWS OR EXPANSION BOLTS)

DRAWN BY: JSH
 CHECKED BY: RJH
 APPROVED BY: DIRECTOR OF PUBLIC WORKS
 CITY OF BOULDER, COLORADO
 INVERTED "U" BICYCLE RACKS
 ISSUED: JULY 2, 1998
 REVISED: OCT 6, 2009
 DRAWING NO. 2.52.A

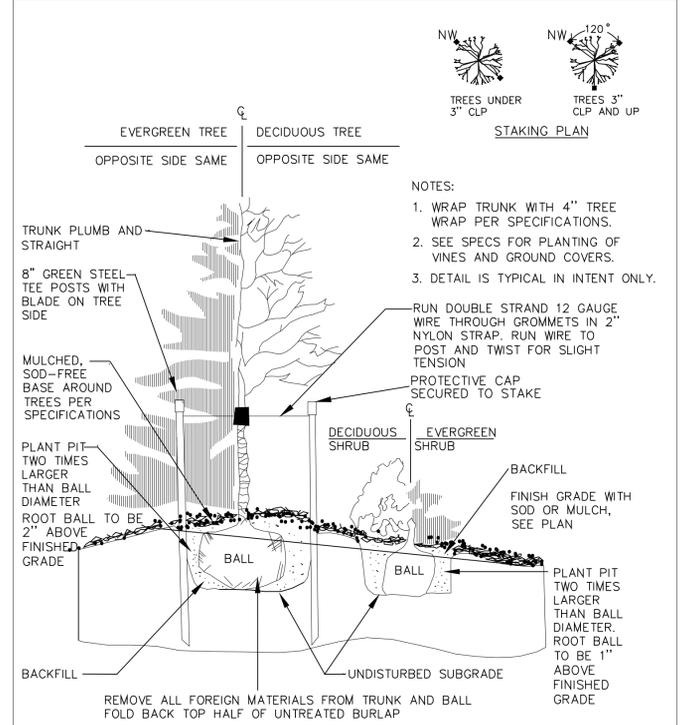


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 ISSUED: JULY 2, 1998
 REVISED: OCT 6, 2009
 DRAWING NO. 2.52.B

1 BIKE RACK
 SCALE: NTS



DRAWN BY: JSH
 CHECKED BY: RJH
 APPROVED BY: DIRECTOR OF PUBLIC WORKS
 CITY OF BOULDER, COLORADO
 PROTECTED ROOT ZONE AND DRIP LINE
 ISSUED: JULY 2, 1998
 REVISED: OCT. 17, 2000
 DRAWING NO. 3.12



DRAWN BY: JSH
 CHECKED BY: SRW
 APPROVED BY: DIRECTOR OF PUBLIC WORKS
 CITY OF BOULDER, COLORADO
 TREES AND SHRUBS PLANTING DETAIL
 ISSUED: JULY 2, 1998
 REVISED: OCT. 17, 2000
 DRAWING NO. 3.02

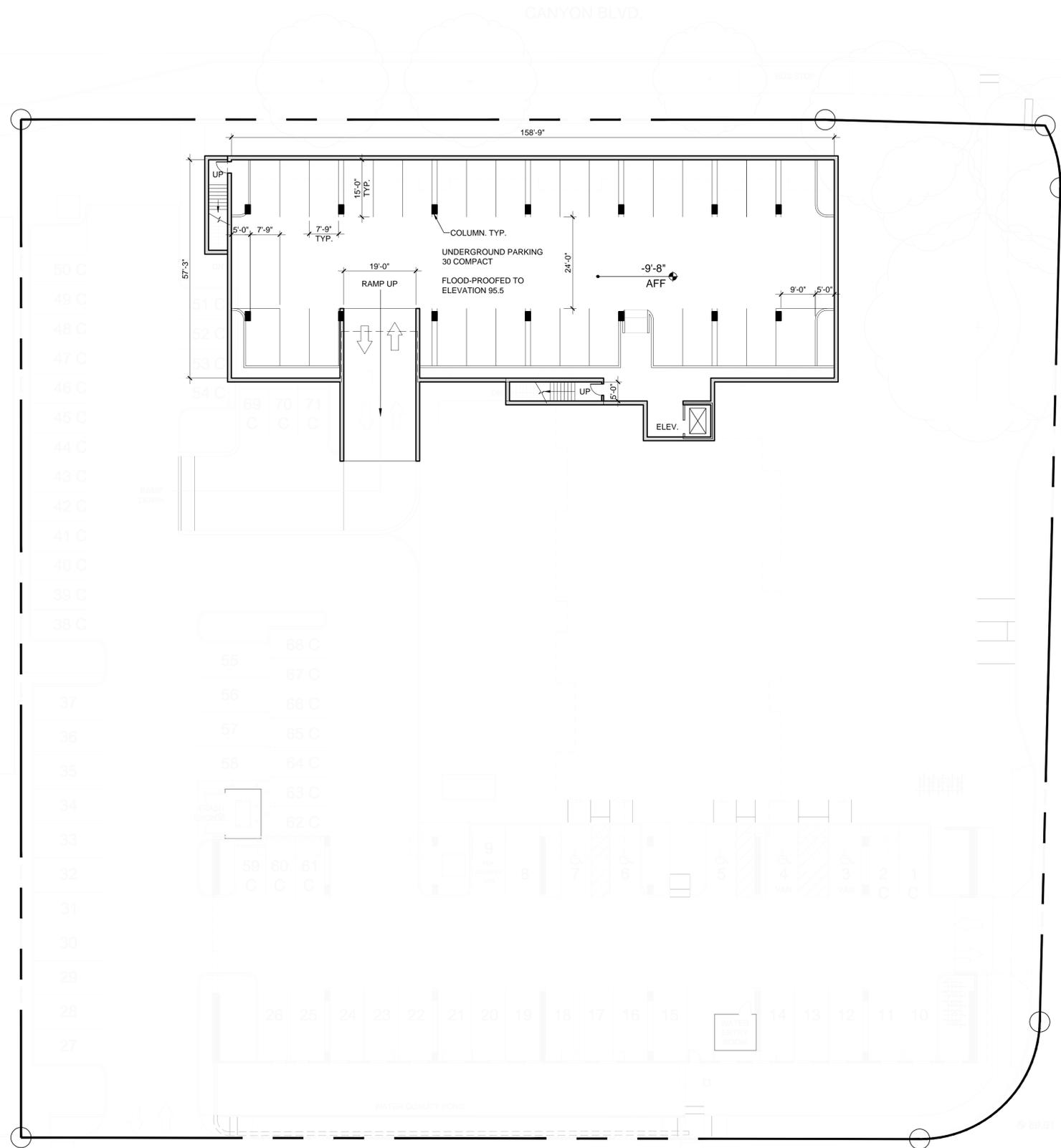
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 BOULDER, CO 80302
STONEBRIDGE COMPANIES
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LANDSCAPE NOTES & DETAILS

L4.0

102-2013 - a2.0 - basement garage floor plan.dwg



01 BASEMENT GARAGE FLOOR PLAN

SCALE: 1/16" = 1'-0"



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BASEMENT GARAGE FLOOR PLAN

A2.0

SITE REVIEW RE-SUBMITTAL - 8/15/2014

102-2013-a2.1 - first floor & site plan.dwg



LEGEND

- LOBBY / OTHER PUBLIC SPACES
- OFFICE
- MEETING ROOMS
- POOL / FITNESS
- GUEST ROOMS
- BACK OF HOUSE
- CIRCULATION
- VERTICAL CIRCULATION
- PROPERTY LINE
- SETBACK LINE

01 FIRST FLOOR & SITE PLAN
 SCALE: 1/16" = 1'-0"



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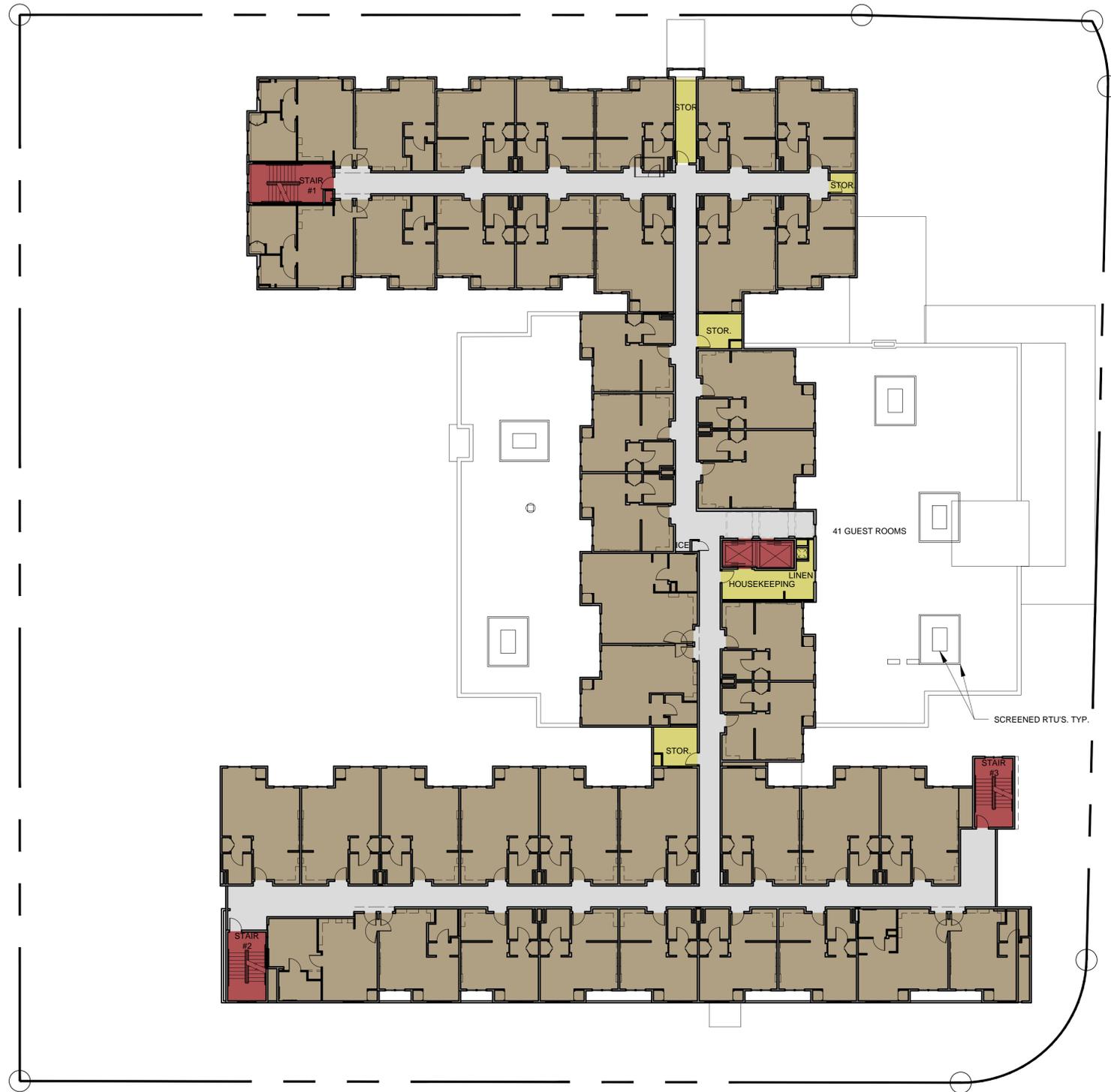
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FIRST FLOOR & SITE PLAN

A2.1

SITE REVIEW RE-SUBMITTAL - 8/15/2014

102-2013 - a2.2 - typical 2nd thru 4th floor plan.dwg



LEGEND

- GUEST ROOMS
- BACK OF HOUSE
- CIRCULATION
- VERTICAL CIRCULATION

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TYPICAL 2ND THRU
4TH FLOOR PLAN

A2.2

01 TYPICAL 2ND THRU 4TH FLOOR PLAN

SCALE: 1/16" = 1'-0"





LEGEND

- GUEST ROOMS
- BACK OF HOUSE
- CIRCULATION
- VERTICAL CIRCULATION

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FIFTH FLOOR & PARTIAL ROOF PLAN

A2.3

01 FIFTH FLOOR & PARTIAL ROOF PLAN

SCALE: 1/16" = 1'-0"



102-2013-a24-roof plan.dwg



01 ROOF PLAN
 SCALE: 1/16" = 1'-0"



NOTE: REFER TO BUILDING SECTIONS (SHEETS A4.1 & A4.2) FOR ROOF HEIGHTS

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ROOF PLAN

A2.4

SITE REVIEW RE-SUBMITTAL - 8/15/2014

FINISH MATERIALS LEGEND:

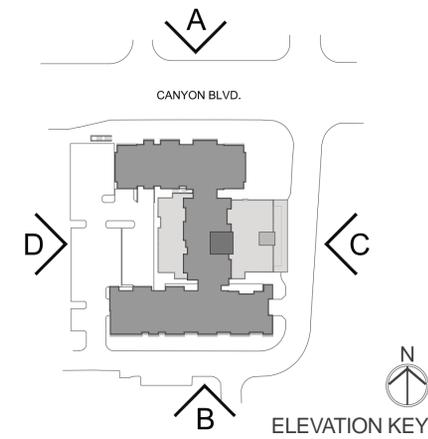
BRK-1	BUFF-COLORED BRICK
BRK-2	DARK-COLORED BRICK
BRK-3	RED-COLORED BRICK
GLAZ-1	VISION GLAZING @ GUEST ROOMS & STAIR TOWERS
GLAZ-2	VISION GLAZING @ PUBLIC AREAS
GLAZ-4	BACKLIT GLAZING W/ CUSTOM PRINTED PATTERN GRAPHIC
GLAZ-5	FROSTED GLAZING, BACKLIT
GLAZ-6	SPANDREL GLAZING
MTL-1A	PAINTED METAL
MTL-1B	PAINTED METAL
MTL-2	PAINTED METAL AT CANOPY ELEMENTS
MTL-3	PAINTED METAL CANOPY
MTL-4	PAINTED METAL PANELS ON BACKLIT SCREEN
MTL-5	PAINTED METAL AT RAILINGS
PRC-1	PRECAST CONCRETE
PRC-2	PRECAST CONCRETE
STUCO-1	LIGHT-COLORED STUCCO
STUCO-2	MEDIUM-COLORED STUCCO
WD-1	WOOD AT TRELLIS AND UNDERSIDE OF PORTE COCHERE

GENERAL NOTES:

- BUILDING HEIGHT CALCULATIONS:**
BUILDING HEIGHT IS DISTANCE OF HIGHEST POINT OF BUILDING ABOVE LOWEST EXISTING GRADE WITHIN 25' OF LOWEST CORNER OF THE BUILDING.
FOR THE BUILDING THIS ELEVATION IS 5290.11' AND THE BUILDING IS 55'-0" ABOVE THIS ELEVATION AT ITS HIGHEST POINT. THE BUILDING IS FOUR STORIES ALONG CANYON BLVD. THE REMAINDER OF THE BUILDING IS FIVE STORIES.
- ALL BLDG. FINISH MATERIALS & CONDITIONS ARE TYPICAL UNLESS OTHERWISE NOTED.
- ALL WINDOWS AT HOTEL ROOMS TO BE VINYL.
- ALL WINDOWS AT COMMON AREAS & STAIRS TO BE STOREFRONT.
- ALL PROJECT SIGNAGE SHOWN FOR ILLUSTRATION PURPOSES ONLY. SIGNAGE TO BE DETERMINED PER CITY APPROVALS UNDER SEPARATE SIGN PERMIT AND APPLICATION.



A - NORTH ELEVATION (ALONG CANYON BLVD.)



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BUILDING ELEVATIONS

A3.1

FINISH MATERIALS LEGEND:

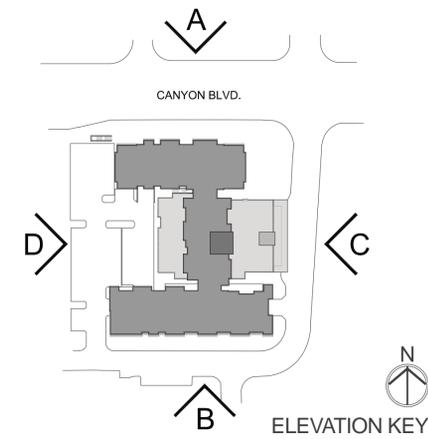
BRK-1	BUFF-COLORED BRICK
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BRK-3	RED-COLORED BRICK
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MTL-1B	PAINTED METAL
MTL-2	PAINTED METAL AT CANOPY ELEMENTS
MTL-3	PAINTED METAL CANOPY
MTL-4	PAINTED METAL PANELS ON BACKLIT SCREEN
MTL-5	PAINTED METAL AT RAILINGS
PRC-1	PRECAST CONCRETE
PRC-2	PRECAST CONCRETE
STUCO-1	LIGHT-COLORED STUCCO
STUCO-2	MEDIUM-COLORED STUCCO
WD-1	WOOD AT TRELLIS AND UNDERSIDE OF PORTE COCHERE

GENERAL NOTES:

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B - SOUTH ELEVATION
0 5 10 20



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BUILDING ELEVATIONS

A3.2

FINISH MATERIALS LEGEND:

BRK-1	BUFF-COLORED BRICK
BRK-2	DARK-COLORED BRICK
BRK-3	RED-COLORED BRICK
GLAZ-1	VISION GLAZING @ GUEST ROOMS & STAIR TOWERS
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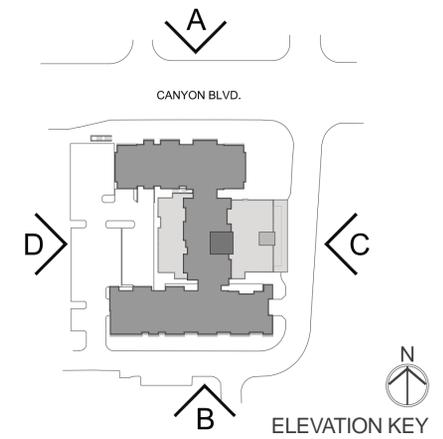
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C - EAST ELEVATION (MAIN ENTRY)



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STONEBRIDGE COMPANIES
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ENGLEWOOD, CO 80112
(303) 786-3199

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BUILDING ELEVATIONS

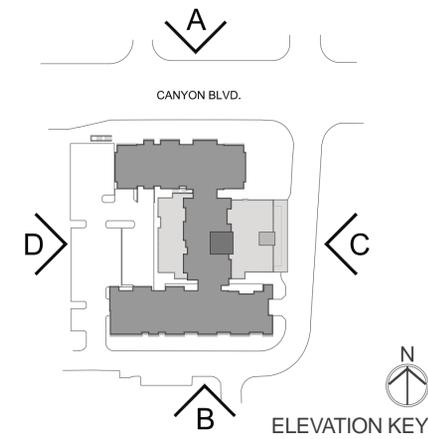
A3.3

FINISH MATERIALS LEGEND:

BRK-1	BUFF-COLORED BRICK
BRK-2	DARK-COLORED BRICK
BRK-3	RED-COLORED BRICK
GLAZ-1	VISION GLAZING @ GUEST ROOMS & STAIR TOWERS
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GENERAL NOTES:

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BUILDING ELEVATIONS

A3.4

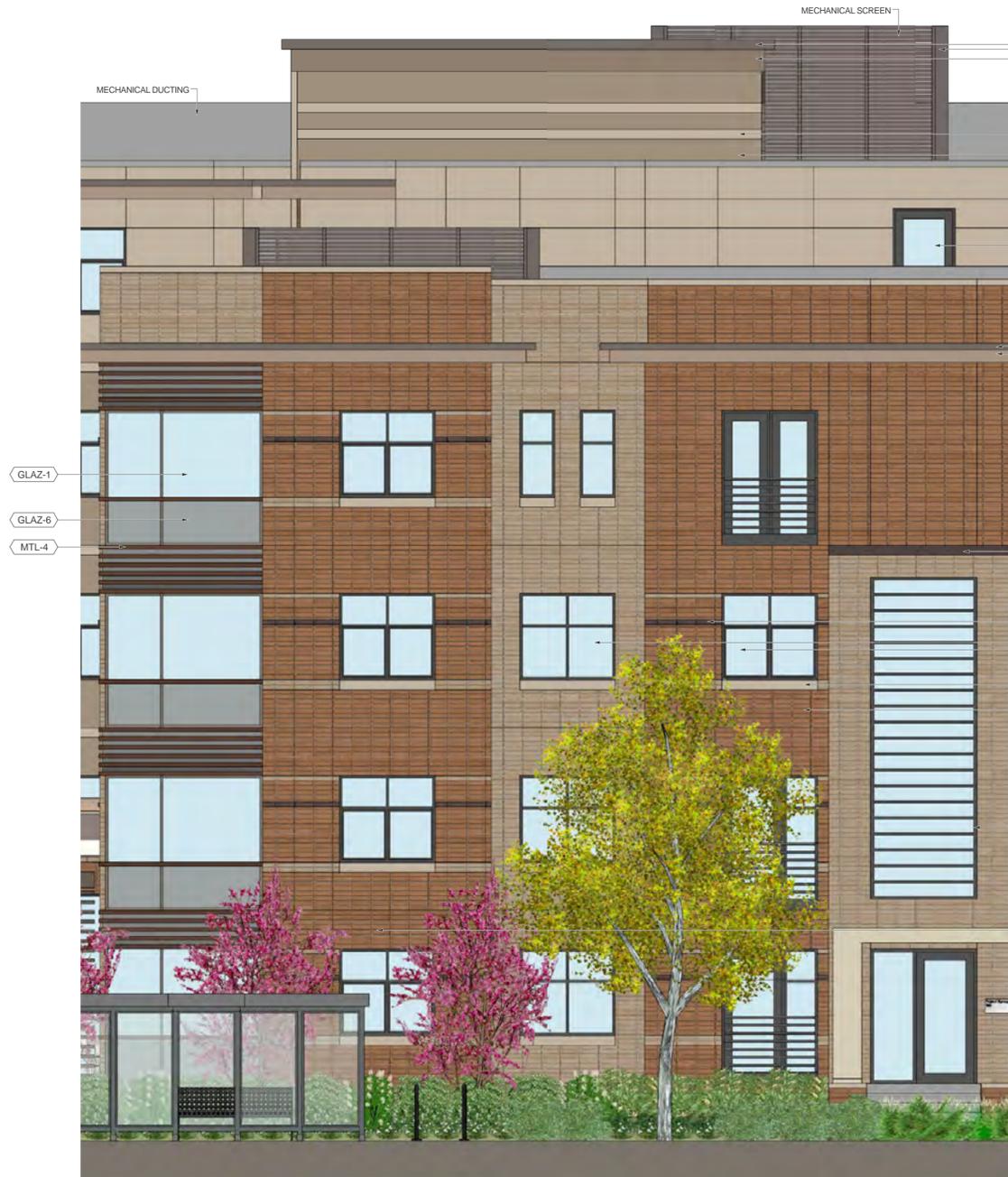
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MTL-2	PAINTED METAL AT CANOPY ELEMENTS
MTL-3	PAINTED METAL CANOPY
MTL-4	PAINTED METAL PANELS ON BACKLIT SCREEN
MTL-5	PAINTED METAL AT RAILINGS
PRC-1	PRECAST CONCRETE
PRC-2	PRECAST CONCRETE
STUCO-1	LIGHT-COLORED STUCCO
STUCO-2	MEDIUM-COLORED STUCCO
WD-1	WOOD AT TRELLIS AND UNDERSIDE OF PORTE COCHERE

GENERAL NOTES:

- BUILDING HEIGHT CALCULATIONS:**
BUILDING HEIGHT IS DISTANCE OF HIGHEST POINT OF BUILDING ABOVE LOWEST EXISTING GRADE WITHIN 25' OF LOWEST CORNER OF THE BUILDING.
FOR THE BUILDING THIS ELEVATION IS 5290.11 AND THE BUILDING IS 55'-0" ABOVE THIS ELEVATION AT ITS HIGHEST POINT. THE BUILDING IS FOUR STORIES ALONG CANYON BLVD. THE REMAINDER OF THE BUILDING IS FIVE STORIES.
- ALL BLDG. FINISH MATERIALS & CONDITIONS ARE TYPICAL UNLESS OTHERWISE NOTED.
- ALL WINDOWS AT HOTEL ROOMS TO BE VINYL.
- ALL WINDOWS AT COMMON AREAS & STAIRS TO BE STOREFRONT.
- ALL PROJECT SIGNAGE SHOWN FOR ILLUSTRATION PURPOSES ONLY. SIGNAGE TO BE DETERMINED PER CITY APPROVALS UNDER SEPARATE SIGN PERMIT AND APPLICATION.



1 - NORTH DETAIL ELEVATION (ALONG CANYON BLVD.)



2 - SOUTH DETAIL ELEVATION

GREEN SCREEN @ GARAGE OPENINGS

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(303) 786-3199

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ISSUE DATE: 11/4/2013
REVISION 1: 2/18/2014
REVISION 2: 4/7/2014
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DETAIL ELEVATIONS

A3.5

FINISH MATERIALS LEGEND:

BRK-1	BUFF-COLORED BRICK
BRK-2	DARK-COLORED BRICK
BRK-3	RED-COLORED BRICK
GLAZ-1	VISION GLAZING @ GUEST ROOMS & STAIR TOWERS
GLAZ-2	VISION GLAZING @ PUBLIC AREAS
GLAZ-3	BACKLIT GLAZING W/ CUSTOM PRINTED PATTERN GRAPHIC
GLAZ-4	FROSTED GLAZING, BACKLIT
GLAZ-5	SPANDREL GLAZING
MTL-1A	PAINTED METAL
MTL-1B	PAINTED METAL
MTL-2	PAINTED METAL AT CANOPY ELEMENTS
MTL-3	PAINTED METAL CANOPY
MTL-4	PAINTED METAL PANELS ON BACKLIT SCREEN
MTL-5	PAINTED METAL AT RAILINGS
PRC-1	PRECAST CONCRETE
PRC-2	PRECAST CONCRETE
STUCO-1	LIGHT-COLORED STUCCO
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GENERAL NOTES:

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- ALL WINDOWS AT COMMON AREAS & STAIRS TO BE STOREFRONT.
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1 - EAST DETAIL ELEVATION (MAIN ENTRY)

2 - WEST DETAIL ELEVATION (REAR OF BUILDING)

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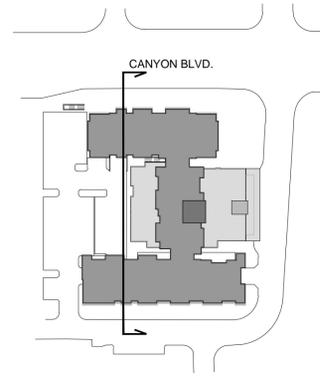
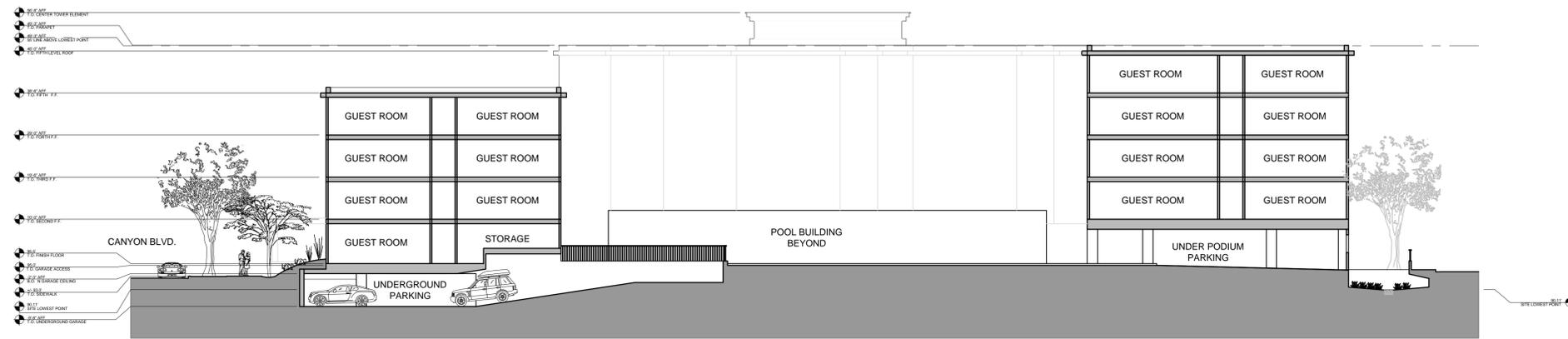
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DETAIL ELEVATIONS

A3.6



01 BUILDING SECTION

SCALE: 1/16" = 1'-0"

- 56'-8" AFF
T.O. CENTER TOWER ELEMENT
- 49'-3" AFF
T.O. PARAPET
- 49'-3" AFF
55' LINE ABOVE LOWEST POINT
- 48'-0" AFF
T.O. FIFTH LEVEL ROOF

- 38'-6" AFF
T.O. FIFTH F.F.

- 29'-0" AFF
T.O. FORTH F.F.

- 19'-6" AFF
T.O. THIRD F.F.

- 10'-0" AFF
T.O. SECOND F.F.

- 95.5'
T.O. FINISH FLOOR

- 95.0'
T.O. GARAGE ACCESS

- 2'-3" AFF
B.O. N GARAGE CEILING

- +/- 93.0'
T.O. SIDEWALK

- 90.11'
SITE LOWEST POINT

- 9'-8" AFF
T.O. UNDERGROUND GARAGE

CANYON BLVD.

02 BUILDING SECTION @ CANYON BLVD.

SCALE: 3/16" = 1'-0"

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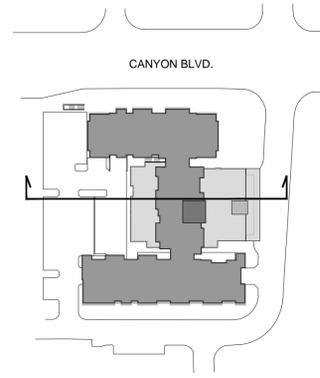
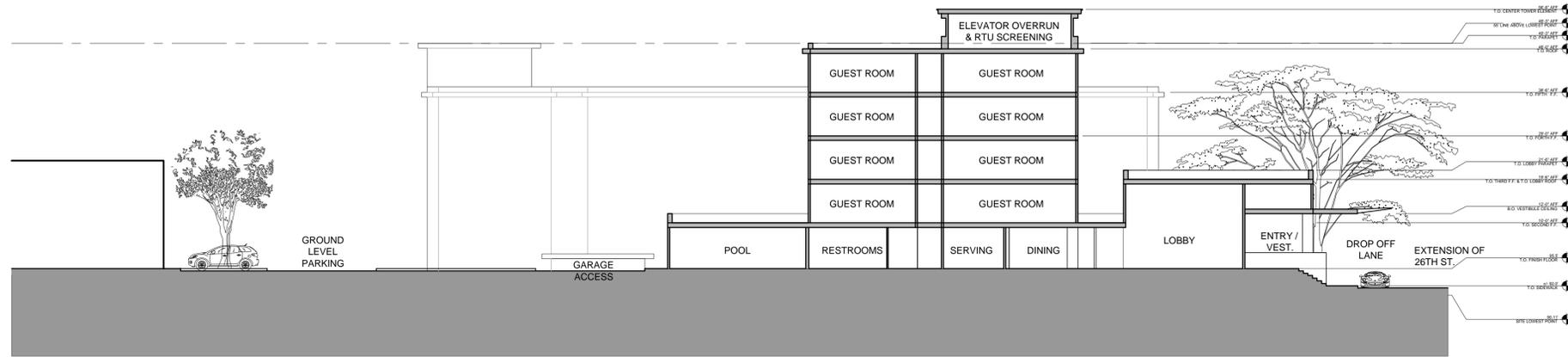
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**BUILDING SECTION
@ CANYON BLVD**

A4.1

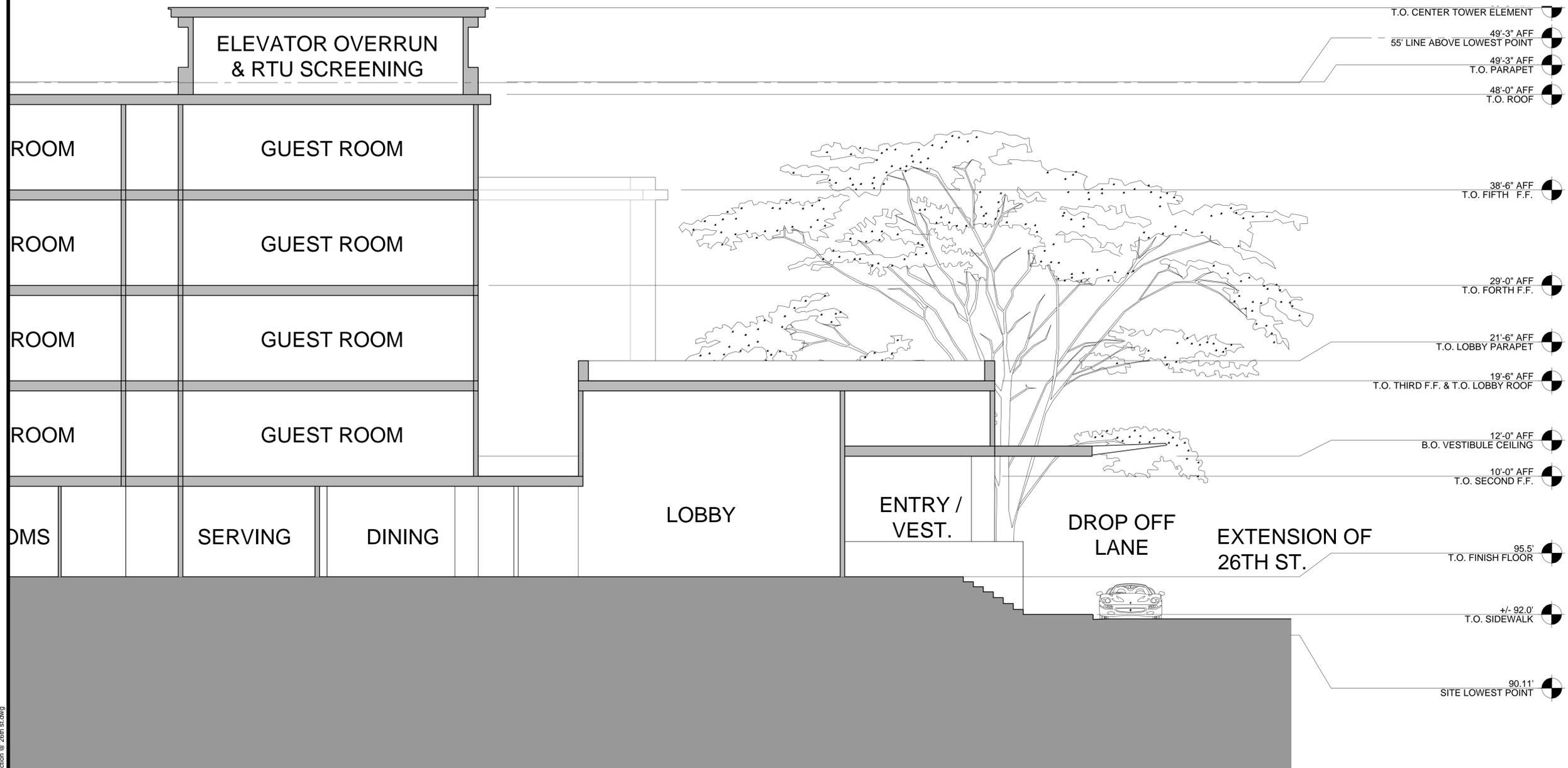
102-2013 - s4.1 - building section @ canyon blvd.dwg

SITE REVIEW RE-SUBMITTAL - 8/15/2014



01 BUILDING SECTION

SCALE: 1/16" = 1'-0"



02 BUILDING SECTION @ EXTENSION OF 26TH ST.

SCALE: 3/16" = 1'-0"

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BUILDING SECTION @ 26TH ST

A4.2

102-2013 - s4.2 - building section @ 26th st.dwg

SITE REVIEW RE-SUBMITTAL - 8/15/2014



C - AXON VIEW



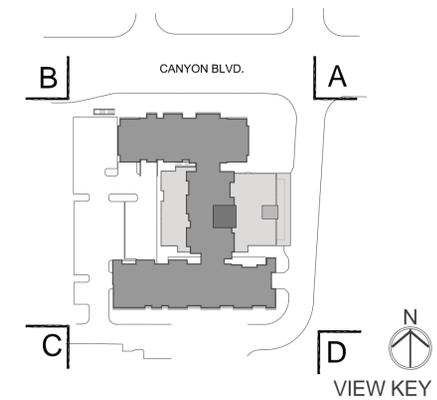
D - AXON VIEW



B - AXON VIEW



A - AXON VIEW



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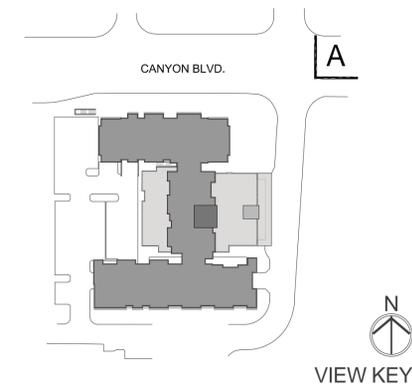
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BIRD'S EYE VIEWS

A5.0



A - EAST SIDE FROM CANYON



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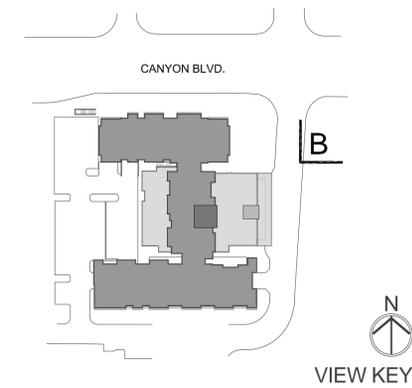
BUILDING PERSPECTIVES

A5.1

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B - EAST ENTRY / MAIN LOBBY FROM 26TH ST.



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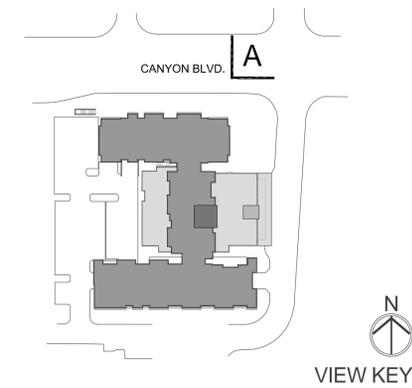
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**BUILDING
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A5.2



A - NORTHEAST CORNER FROM CANYON



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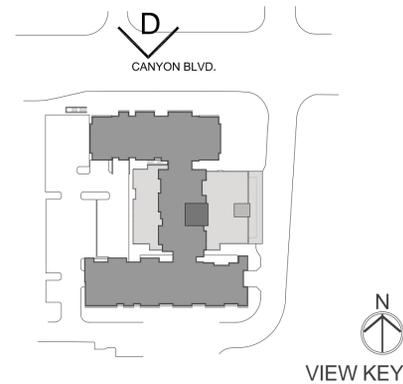
**BUILDING
PERSPECTIVES**

A5.3

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D - NORTH ELEVATION FROM CANYON



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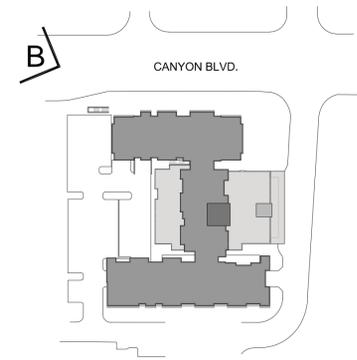
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**BUILDING
PERSPECTIVES**

A5.4



B - NORTHWEST CORNER FROM CANYON



VIEW KEY

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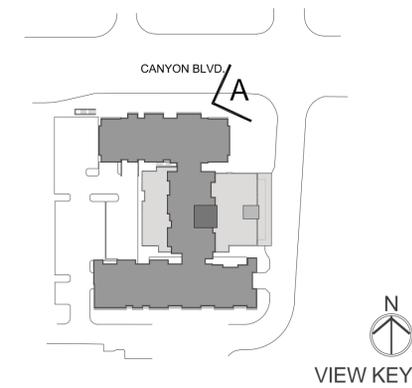
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BUILDING
PERSPECTIVES

A5.5



A - PEDESTRIAN ENTRY FROM CANYON SIDEWALK



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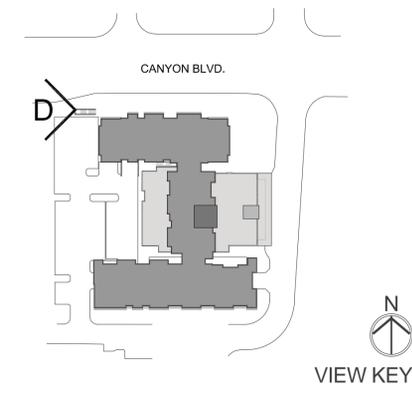
BUILDING PERSPECTIVES

A5.6

SITE REVIEW RE-SUBMITTAL - 8/15/2014



D - NORTHWEST CORNER FROM CANYON SIDEWALK



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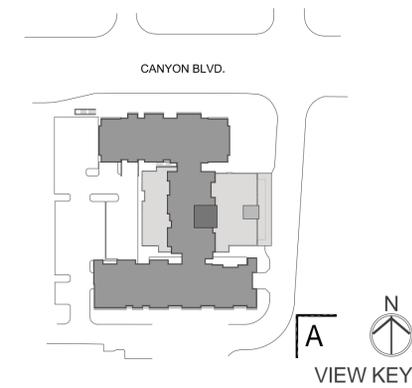
BUILDING PERSPECTIVES

A5.7

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A - VIEW LOOKING NORTHWEST FROM 26TH ST.



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BUILDING PERSPECTIVES

A5.8

SITE REVIEW RE-SUBMITTAL - 8/15/2014



B - VIEW LOOKING TO WATER QUALITY POND



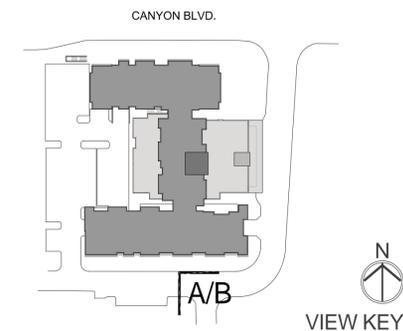
VIEW TO PAINTED METAL SCREEN @ PARKING GARAGE



A - VIEW LOOKING TO WATER QUALITY POND



DETAIL @ PAINTED METAL SCREEN



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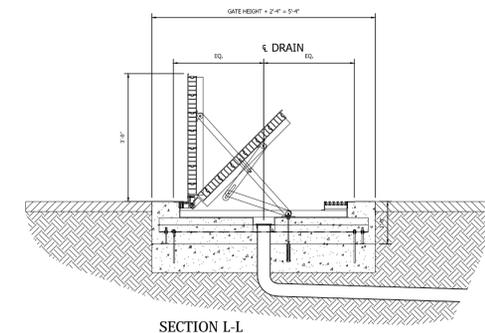
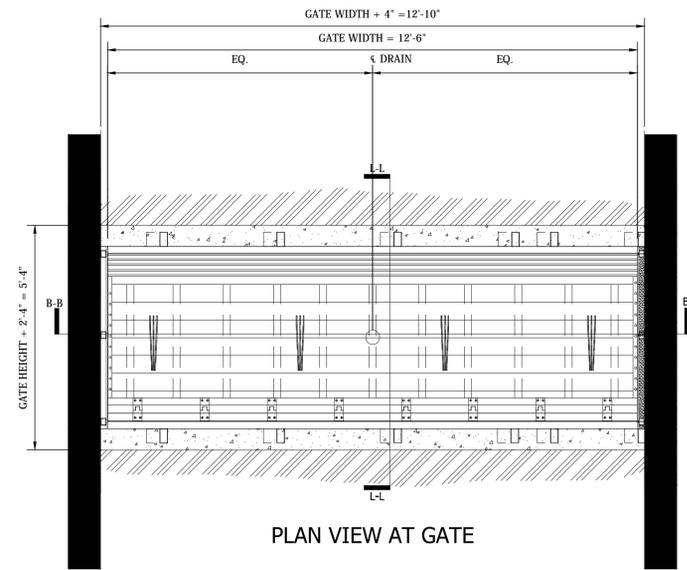
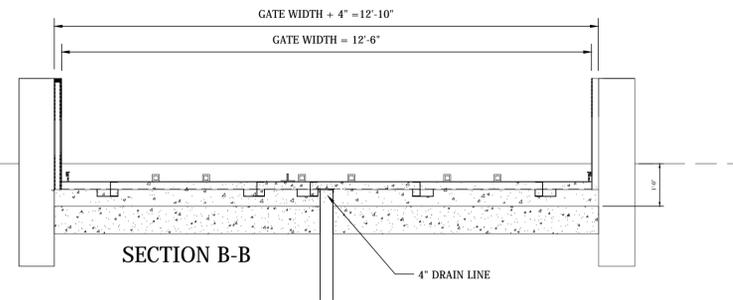
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**BUILDING
PERSPECTIVES &
DETAILS**

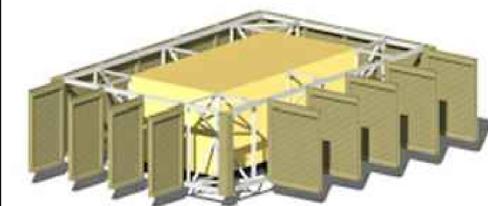
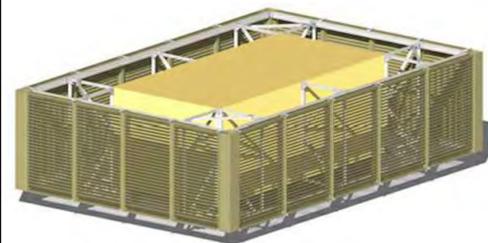
A5.9

SITE REVIEW RE-SUBMITTAL - 8/15/2014



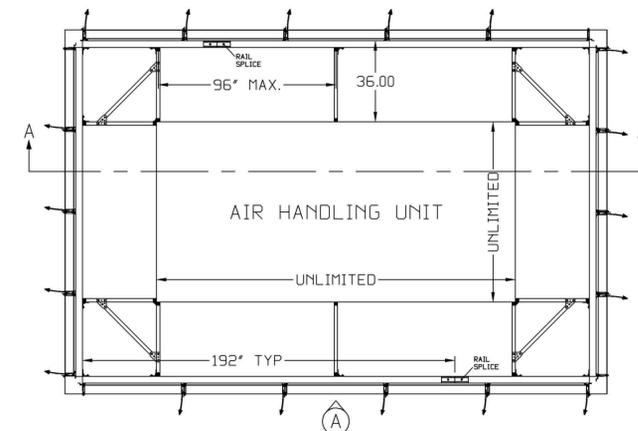
01 FLOOD GATE SYSTEM DETAILS

SCALE: NTS

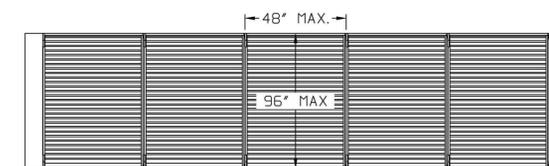


03 RTU SCREEN 3D VIEWS

SCALE: NTS



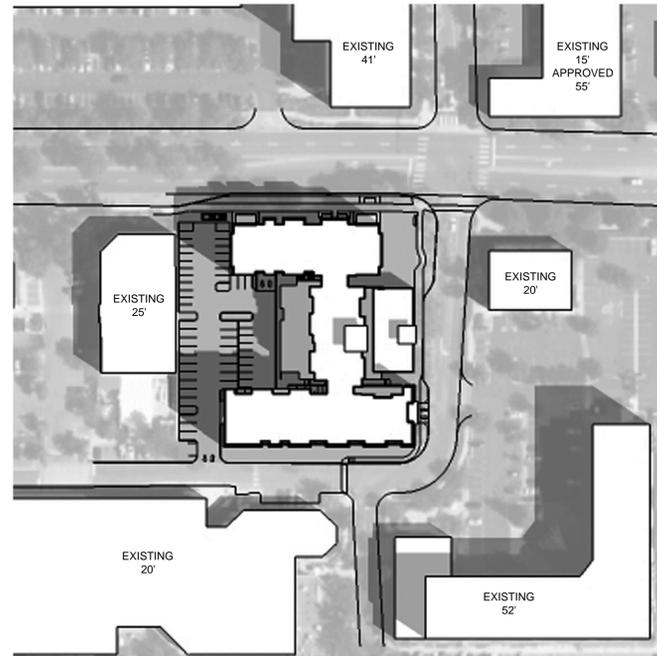
*4 SIDED CONFIGURATION SHOWN. ALSO AVAILABLE IN 1 SIDED, 2 SIDED, OR 3 SIDED CONFIGURATIONS.



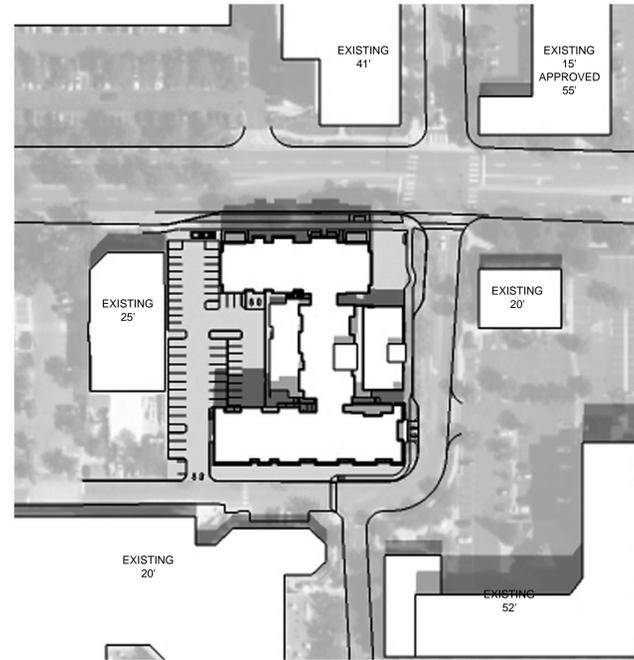
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SCALE: NTS

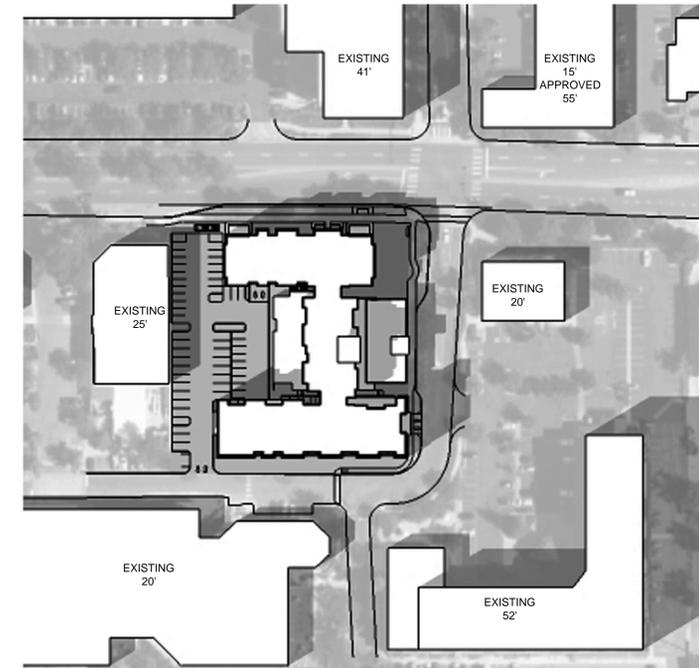
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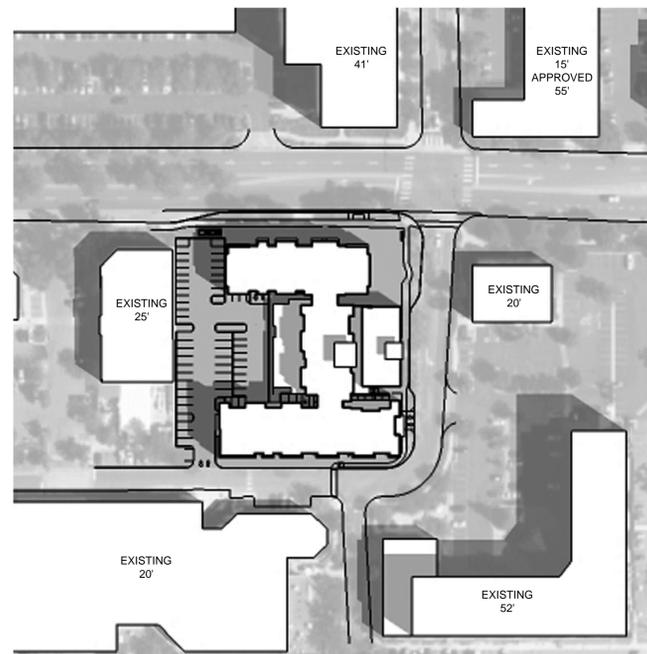
PROPOSED HEIGHT OF 55' & 7'-7" FRONT SETBACK (CANYON BLVD.)
ON 21 MAR/SEP - 9 AM



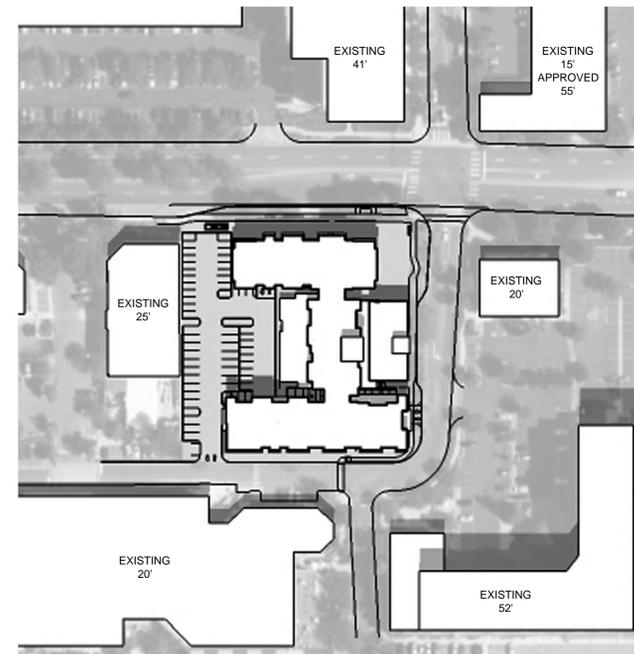
PROPOSED HEIGHT OF 55' & 7'-7" FRONT SETBACK (CANYON BLVD.)
ON 21 MAR/SEP - 12 NOON



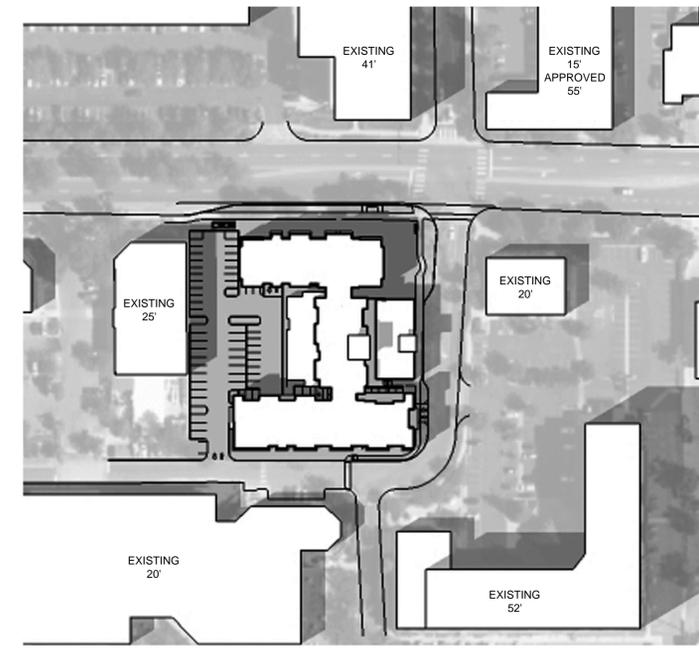
PROPOSED HEIGHT OF 55' & 7'-7" FRONT SETBACK (CANYON BLVD.)
ON 21 MAR/SEP - 3 PM



AT HEIGHT OF 35' & 20' FRONT SETBACK (CANYON BLVD.)
ON 21 MAR/SEP - 9 AM



AT HEIGHT OF 35' & 20' FRONT SETBACK (CANYON BLVD.)
ON 21 MAR/SEP - 12 NOON



AT HEIGHT OF 35' & 20' FRONT SETBACK (CANYON BLVD.)
ON 21 MAR/SEP - 3 PM

102-2013-ar71-shadowstudy-1 of 3.dwg



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2550 CANYON BLVD.
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STONEBRIDGE COMPANIES

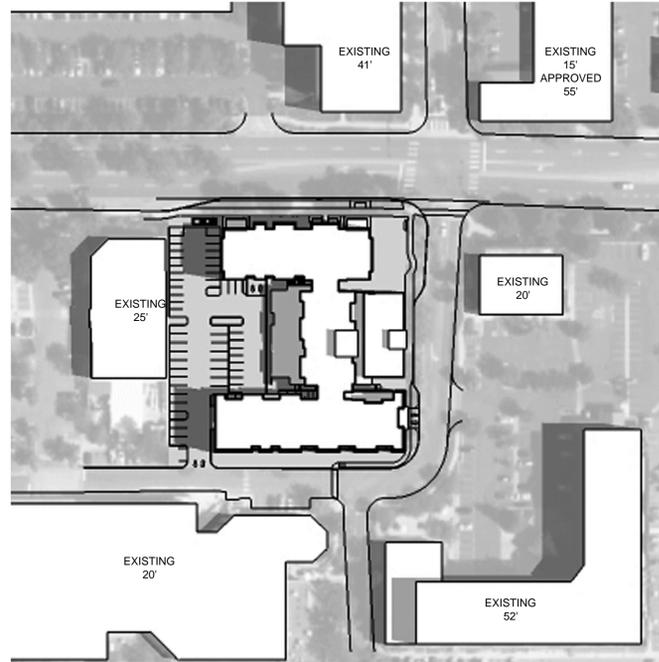
9100 EAST PANORAMA DRIVE, SUITE 300
ENGLEWOOD, CO 80112
(303) 786-3199

PROJECT #: 102-2013
DRAWN BY: CC
CHECKED BY: SN
ISSUE DATE: 11/4/2013
REVISION 1: 2/18/2014
REVISION 2: 4/7/2014
REVISION 3: 5/12/2014
REVISION 4: 8/15/2014

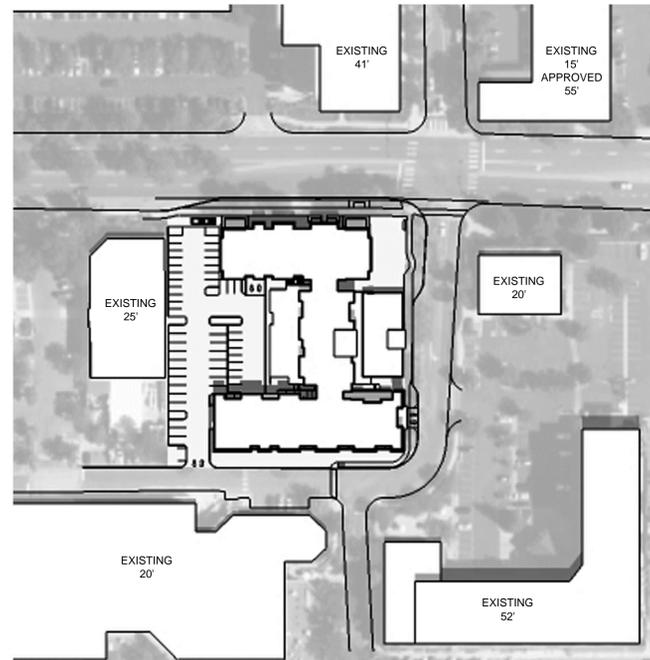
SHADOW STUDY -
1 OF 3

A7.1

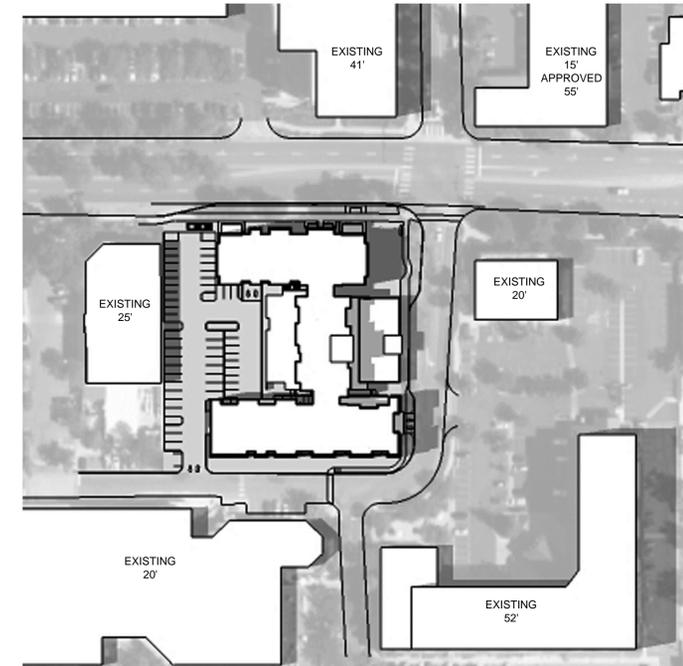
SITE REVIEW RE-SUBMITTAL - 8/15/2014



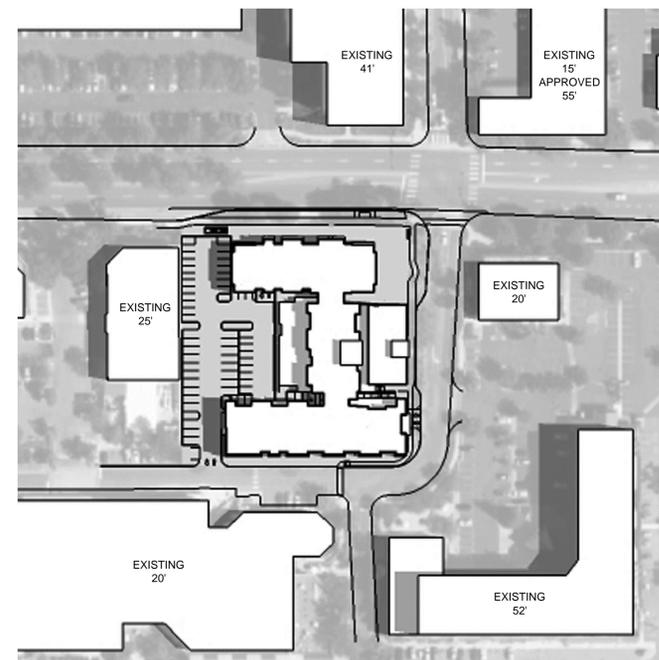
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ON 21 JUNE - 9 AM



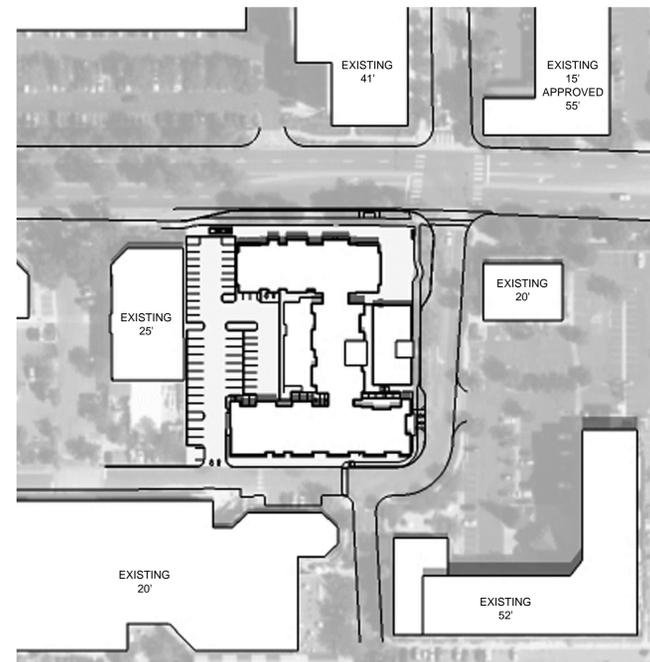
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ON 21 JUNE - 12 NOON



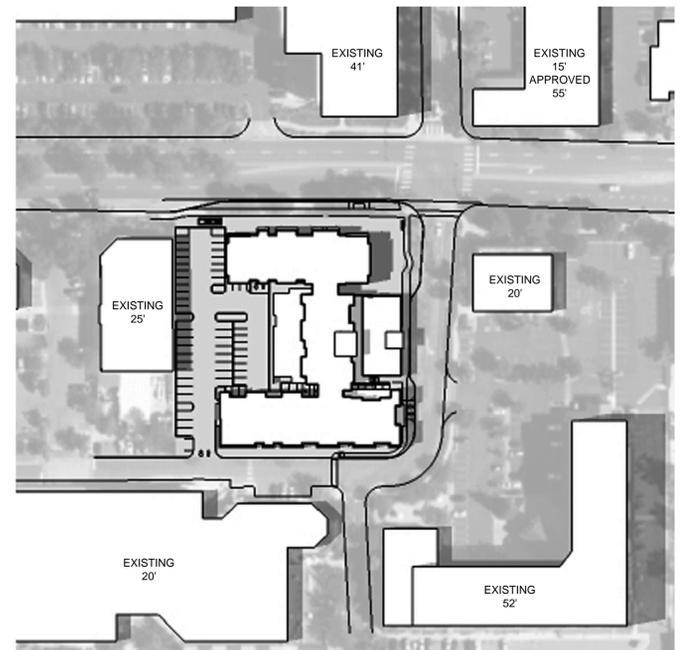
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ON 21 JUNE - 3 PM



AT HEIGHT OF 35' & 20' FRONT SETBACK (CANYON BLVD.)
ON 21 JUNE - 9 AM



AT HEIGHT OF 35' & 20' FRONT SETBACK (CANYON BLVD.)
ON 21 JUNE - 12 NOON



AT HEIGHT OF 35' & 20' FRONT SETBACK (CANYON BLVD.)
ON 21 JUNE - 3 PM



NOT FOR
CONSTRUCTION

BOULDER RESIDENCE INN

2550 CANYON BLVD.
BOULDER, CO 80302

STONEBRIDGE COMPANIES

9100 EAST PANORAMA DRIVE, SUITE 300
ENGLEWOOD, CO 80112
(303) 786-3199

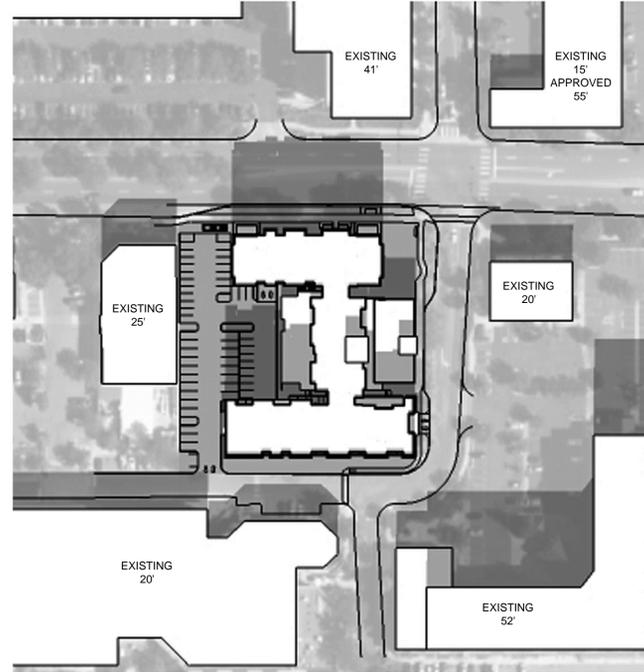
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SHADOW STUDY -
2 OF 3

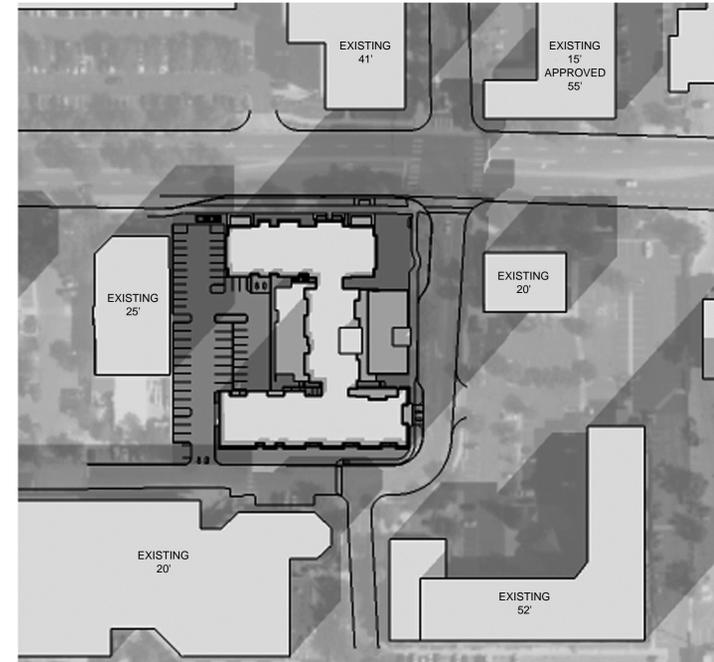
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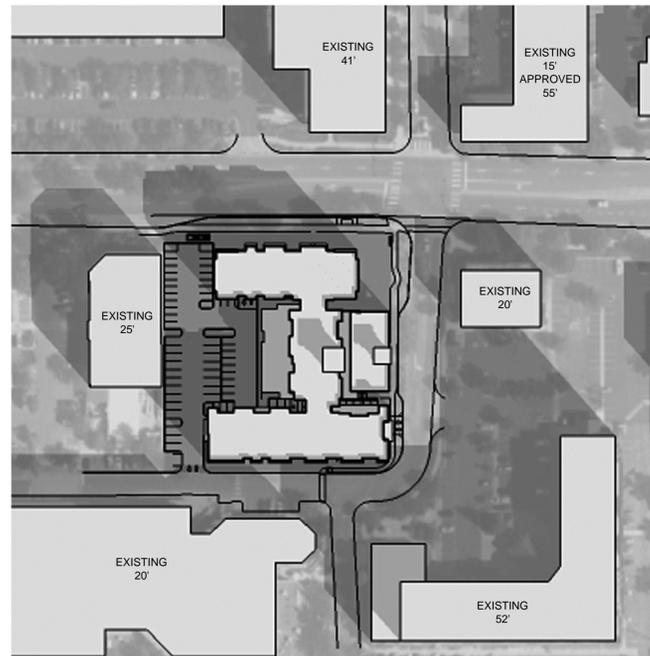
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ON 21 DEC. - 9 AM



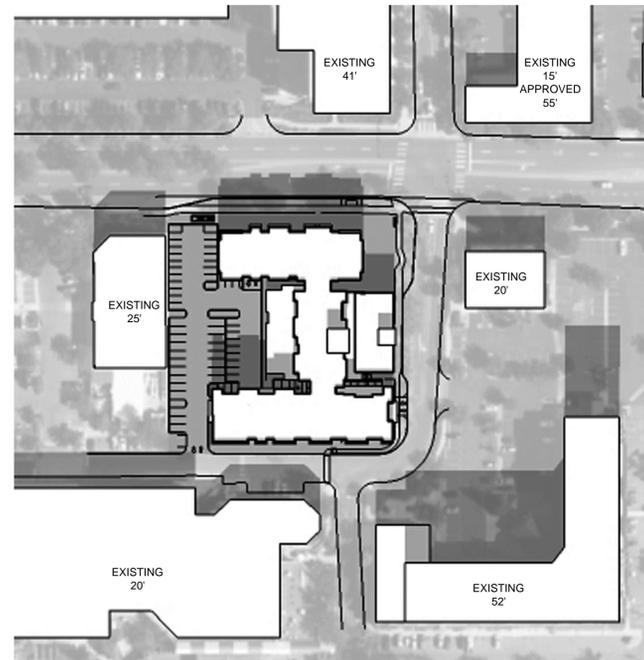
PROPOSED HEIGHT OF 55' & 7'-7" FRONT SETBACK (CANYON BLVD.)
ON 21 DEC. - 12 NOON



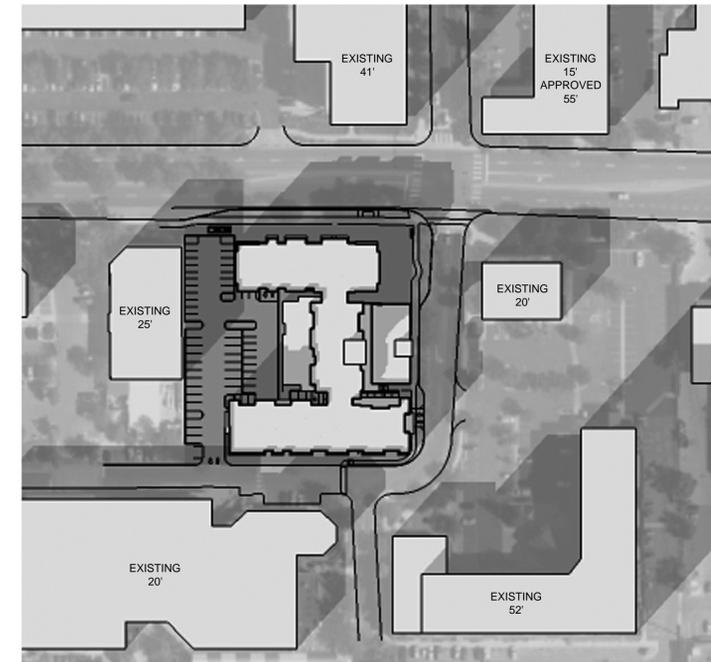
PROPOSED HEIGHT OF 55' & 7'-7" FRONT SETBACK (CANYON BLVD.)
ON 21 DEC. - 3 PM



AT HEIGHT OF 35' & 20' FRONT SETBACK (CANYON BLVD.)
ON 21 DEC. - 9 AM



AT HEIGHT OF 35' & 20' FRONT SETBACK (CANYON BLVD.)
ON 21 DEC. - 12 NOON



AT HEIGHT OF 35' & 20' FRONT SETBACK (CANYON BLVD.)
ON 21 DEC. - 3 PM



NOT FOR
CONSTRUCTION

BOULDER RESIDENCE INN

2550 CANYON BLVD.
BOULDER, CO 80302

STONEBRIDGE COMPANIES

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ENGLEWOOD, CO 80112
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SHADOW STUDY -
3 OF 3

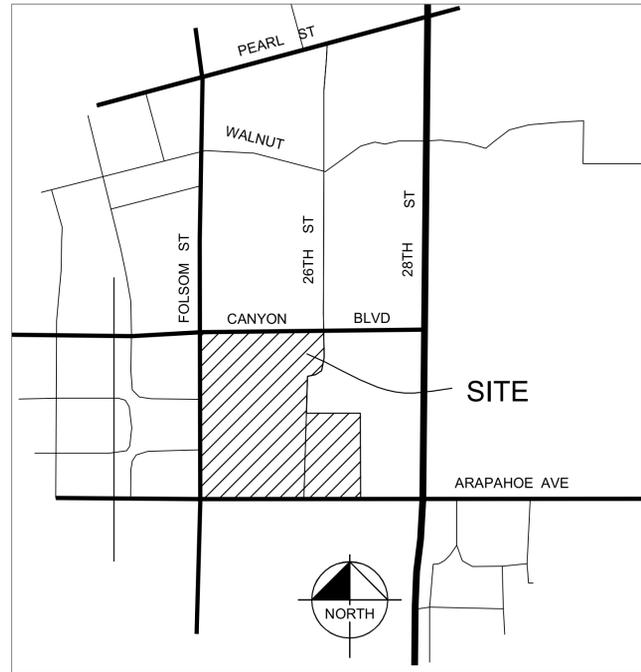
A7.3

the VILLAGE

BOULDER'S CENTER

THE VILLAGE SHOPPING CENTER

PUD AMENDMENT



VICINITY MAP
1" = 500'

PROJECT DIRECTORY

PHASE III DEVELOPER:
BOULDER LODGING, LLC
9100 E. PANORAMA DRIVE
SUITE 300
ENGLEWOOD, CO 80112
TEL: (303) 785-3169
CONTACT: BILL MARTINIC
EMAIL: BMARTINIC@SBCOS.COM

OWNER:
GART PROPERTIES
299 MILWAUKEE STREET, SUITE 501
DENVER, CO 80206
TEL: (303) 399-2555
CONTACT: MATT TRASEN
EMAIL: MTRASEN@GARTPROPERTIES.COM

ARCHITECT:
NEWMAN ARCHITECTURE LLC
9220 W. 20TH AVENUE
LAKEWOOD, CO 80215
TEL: (303) 877-2306
CONTACT: STEVE NEWMAN
EMAIL: STEVE@NEWMAN-ARCHITECTURE.COM

ENGINEER
KIMLEY-HORN & ASSOCIATES, INC.
990 SOUTH BROADWAY, SUITE 200
DENVER, CO 80209
TEL: (303) 228-2300
CONTACT: MEAGHAN TURNER, P.E., LEED AP
EMAIL: MEAGHAN.TURNER@KIMLEY-HORN.COM

SURVEYOR:
DREXEL, BARELL & CO.
1800 38TH STREET
BOULDER, CO 80301
TEL: (303) 442-4338
CONTACT: MATHEW SELDERS, P.L.S.
EMAIL: MSELDE@DREXELBARRELL.COM

SHEET INDEX

NO.	SHEET TITLE
1.0	COVER
2.0	OVERALL SITE PLAN
3.0	OVERALL GRADING AND DRAINAGE PLAN

PUD AMENDMENT

THE VILLAGE SHOPPING CENTER

BOULDER, COLORADO, 80302

PROJECT #: 096327000
DRAWN BY: JRH
CHECKED BY: RJP
ISSUE DATE: 2/18/2014
REVISION 1: 4/7/2014
REVISION 2: 6/9/2014
REVISION 3: 8/15/2014

COVER

1.0



EXISTING PUD SITE INFORMATION:

Site Summary Phase I & III								5/11/2007	
Site Area	718,240	sq ft	Building Area	215,866	Open space	120,315	16.75%	FAR	0.30
Parking summary									
USE	AREA	SEATS /ROOMS	PKG. RATIO	REQ'D. PARKING					
Retail/Office	195,269 SF	-	1:400	488.2 spaces					
Restaurants	20,597 SF	466	1:3 seats	155.3 spaces					
Required Parking	215,866 SF			643.5 spaces					
Surface Parking Provided				890.0 spaces					
Additional spaces on Platts, 1998 PUD				60.0 spaces					
Total Proposed spaces				950.0					
PARKING REDUCTION									
Required Parking	Existing Parking	Windfall	Overage						
643.5	950.0	-306.49	-47.63%						

Site Summary Phase III								5/11/2007	
Work to commence in 2010 and be complete by 2013									
Site Area	718,240	sq ft	Building Area	285,656	Open space	108,880	15.16%	FAR	0.40
PHASE III Parking summary									
USE	AREA	SEATS /ROOMS	PKG. RATIO	REQ'D. PARKING					
Retail/Office	206,417 SF	-	1:400	516.0 spaces					
Restaurants	25,794 SF	586	1:3 seats	195.3 spaces					
Hotel	53,445 SF	80	1:room	80.0 spaces					
Hotel Common Area	15,927 SF		1:300	53.1 spaces					
Conversion Buffer				39.0 spaces					
Required Parking	285,656 SF			933.5 spaces					
Surface Parking Provided				732.0 spaces					
Below-grade Parking at North				43.0 spaces					
Additional spaces on Platts, 1998 PUD				60.0 spaces					
Total Proposed spaces				835.0					
PARKING REDUCTION									
Required Parking	Proposed Parking	Shortfall	Reduction						
933.5	835.0	98.46583	10.55%						

NOTES:
ABOVE TABLES AS INDICATED ON THE EXISTING PUD TO BE AMENDED BY THIS APPLICATION.

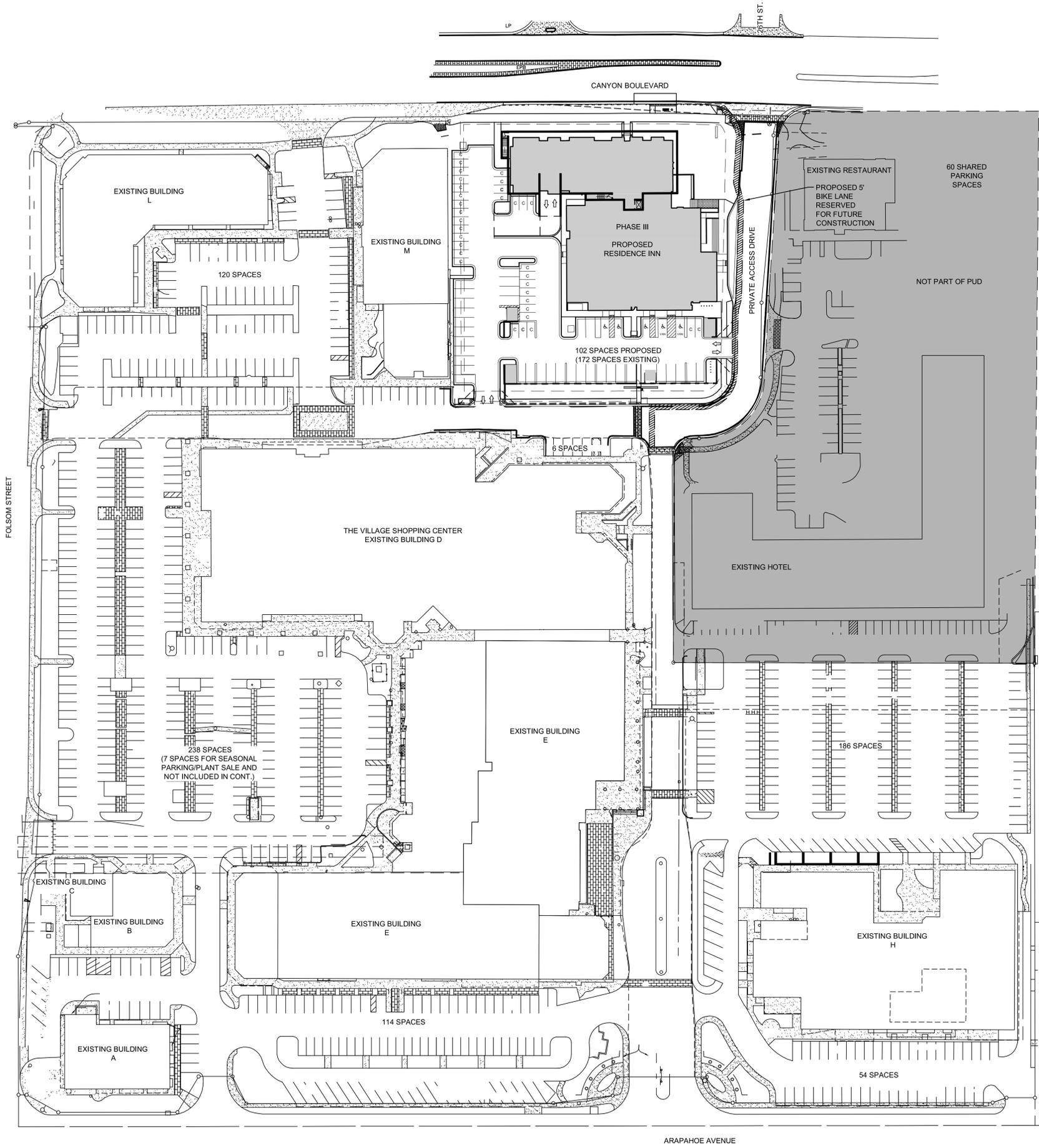
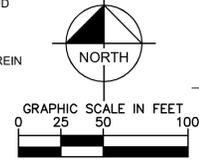
UPDATED SITE INFORMATION:

Site Summary - Existing Site Condition								4.29.13	
Site Area	718,240	sq ft	Building Area	215,866	Open space	118,599	16.51%	FAR	0.30
Parking summary									
USE	AREA	SEATS /ROOMS	PKG. RATIO	REQ'D. PARKING					
Retail/Office	186,352 SF	-	1:400	465.9 spaces					
Restaurants	29,514 SF	763	1:3 seats	254.3 spaces					
Required Parking	215,866 SF			720.2 spaces					
Surface Parking Provided				890.0 spaces					
Additional spaces on Platts, 1998 PUD				60.0 spaces					
Total Proposed spaces				950.0					
PARKING REDUCTION									
Required Parking	Existing Parking	Windfall	Overage						
720.2	950.0	-229.79	-31.91%						

NOTES:
ABOVE TABLE FOR EXISTING SITE CONDITION AS PROVIDED BY THE CITY OF BOULDER AS OF APRIL 29, 2013. MODIFICATIONS SHOWN FROM THE APPROVED TABLE TO THIS CONDITION DID NOT REQUIRE PUD AMENDMENT.

Site Summary - Proposed Marriott Residence Inn								Work to be complete by 2015	
Site Area	718,240	sq ft	Building Area	329,375	Open space	123,908	17.25%	FAR	0.46
PHASE III Parking summary									
USE	AREA	SEATS /ROOMS	PKG. RATIO	REQ'D. PARKING					
Retail/Office	186,352 SF	-	1:400	465.9 spaces					
Restaurants	29,514 SF	763	1:3 seats	254.3 spaces					
Hotel	113,509 SF	163	1:room	163.0 spaces					
Hotel Common Area	2,531 SF		1:300	8.4 spaces					
Conversion Buffer				92.1 spaces					
Required Parking	329,375 SF			983.8 spaces					
Surface Parking Provided				790.0 spaces					
Below-grade Parking at North				30.0 spaces					
Additional spaces on Platts, 1998 PUD				60.0 spaces					
Total Proposed spaces				880.0					
PROPOSED PARKING REDUCTION									
Required Parking	Proposed Parking	Shortfall	Reduction						
983.8	880.0	103.8	10.55%						
PREVIOUSLY APPROVED PARKING REQUIREMENTS / REDUCTION FOR PHASE III PER LUR2006-00091:									
Required Parking	Proposed Parking	Shortfall	Reduction						
933.5	835.0	98.5	10.55%						

NOTES:
PARKING INFORMATION SHOWN BASED ON 4/29/13 EXISTING CONDITIONS AND PROPOSED IMPROVEMENTS PER LUR 2013-00057.
REFER TO LUR 2013-00057 FOR SPECIFIC SITE BREAKDOWN OF PROPOSED PARKING AND OPEN SPACE. CALCULATION FOR OPEN SPACE PROVIDED HEREIN REFLECTS ADDED OPEN SPACE PER THAT APPLICATION.
HOTEL COMMON AREA BREAKDOWN:
1,187 SF (MEETING ROOMS)
1,344 SF (EMPLOYEE LOUNGE, WORK ROOM, EMPLOYEE OFFICES)
2,531 SF TOTAL HOTEL COMMON AREA

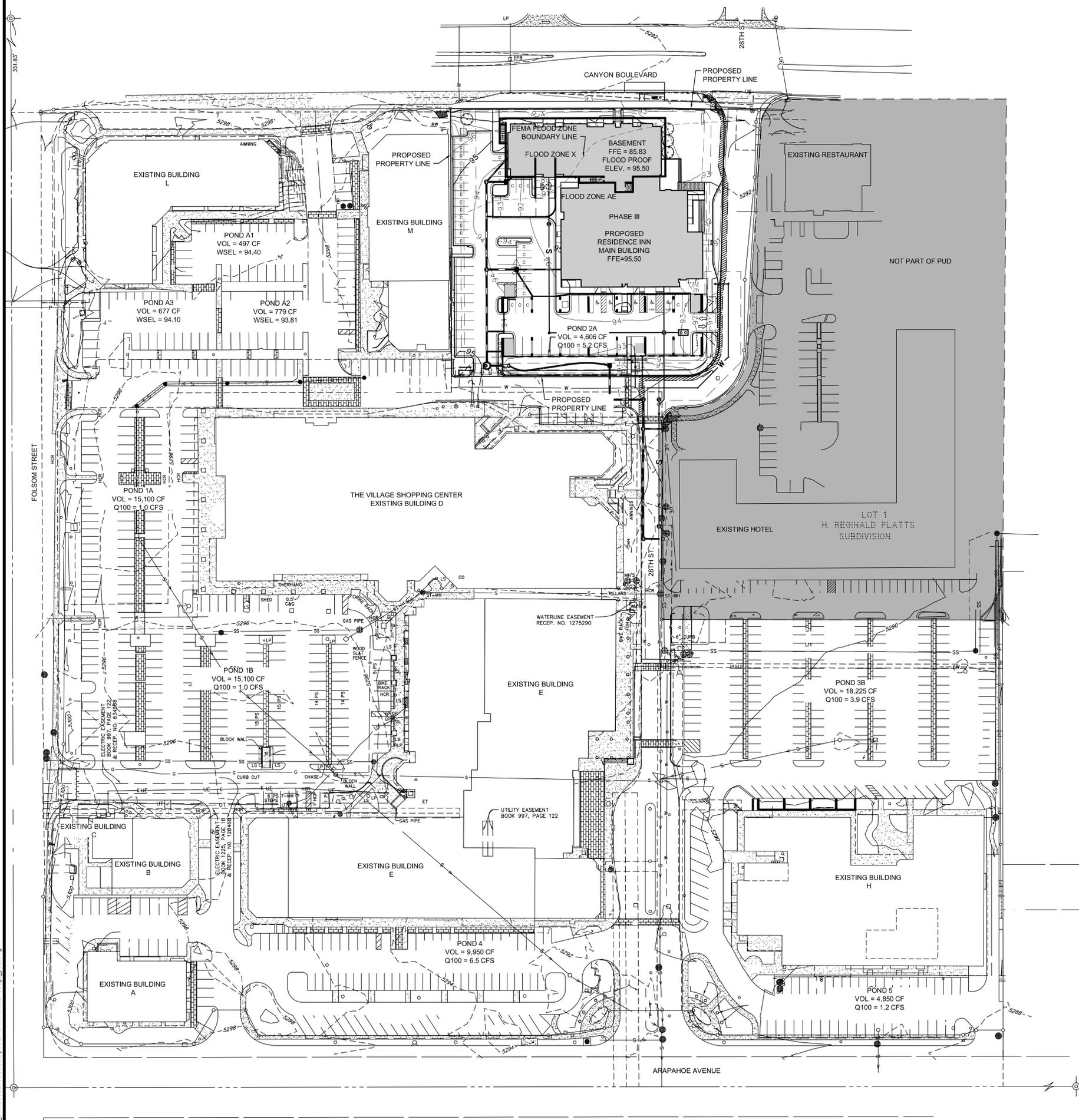


PUD AMENDMENT
THE VILLAGE SHOPPING CENTER
BOULDER, COLORADO, 80302

PROJECT #:	096327000
DRAWN BY:	JRH
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ISSUE DATE:	2/18/2014
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OVERALL SITE PLAN

2.0



NOTES

1. GRADE AWAY FROM BUILDINGS AT A MINIMUM 10% SLOPE IN THE FIRST 10 FEET AT LANDSCAPE AREAS AND AT A MINIMUM 2% SLOPE IN THE FIRST 10 FEET AT IMPERVIOUS AREAS, EXCEPT AS NOTED.
2. TOP OF FOUNDATION ELEVATION SHALL BE SET AT LEAST 0.5' ABOVE THE PROPOSED GRADING AT THE EXTERIOR OF THE FOUNDATION AT LANDSCAPE AREAS.
3. ALL CITY UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF BOULDER STANDARD SPECIFICATIONS.
4. THE LOCATION OF THE ABOVE GROUND UTILITIES SHOWN HEREON ARE BASED ON THE TOPOGRAPHIC SURVEY BY DREXEL, BARREL & CO ON 2/13/14. THE LOCATIONS OF THE UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON SAID SURVEY AND INFORMATION PROVIDED BY OTHERS (WHICH MAY INCLUDE THE UTILITY OWNER OR UTILITY LOCATING SERVICES). KIMLEY-HORN & ASSOCIATES, INC. IS NOT RESPONSIBLE FOR UTILITY INFORMATION PROVIDED BY OTHERS. KIMLEY-HORN & ASSOCIATES, INC. RECOMMENDS THAT THE LOCATION OF THE UTILITIES BE FIELD VERIFIED PRIOR TO ANY DIGGING ON, OR ADJACENT TO THE SUBJECT PROPERTY.
5. BENCHMARK: A CITY OF BOULDER BENCHMARK, B-5, WITH A PUBLISHED ELEVATION OF 5299.26 FEET NAVD, 88 DATUM.
6. FLOOD ZONE: THE SUBJECT PROPERTY IS LOCATED IN FEMA ZONE X AND AE ACCORDING TO THE CURRENT FEMA FLOOD INSURANCE RATE MAP, MAP NUMBER 08013C0384J, EFFECTIVE DATE DECEMBER 18, 2012. FLOOD INFORMATION IS SUBJECT TO CHANGE.
7. A FINAL STORMWATER PLAN AND REPORT IS REQUIRED BY THE CITY OF BOULDER PRIOR TO ISSUANCE OF A BUILDING PERMIT.

DETENTION POND STORAGE REQUIREMENTS

BASIN	VOLUME PROVIDED PER 2006 AMENDMENT (CF)	VOLUME PROVIDED PER 2014 AMENDMENT (CF)	NET CHANGE (CF)
POND 1A	15,100	15,100	0
POND 1B	15,100	15,100	0
POND 2A	7,145	4,606	-2,539
POND 2B	10,000	10,000	0
POND 3A	3,000	3,000	0
POND 3B	18,225	18,225	0
POND 4	9,950	9,950	0
POND 5	4,850	4,850	0
TOTAL	83,370	80,831	-2,539

TOTAL VOLUME REQUIRED = 69,360 CF
TOTAL 2006 VOLUME PROVIDED = 83,370 CF
TOTAL AMENDED VOLUME PROVIDED = 80,831 CF >> 69,360 CF

- POND 2A PROVIDES WATER QUALITY AND VOLUME RELEASE CONTROL.
- NO CHANGES PROPOSED TO EXISTING PONDS OTHER THAN POND 2A. NO SEPARATE VERIFICATION OF OTHER PONDS PERFORMED AS A PART OF THIS AMENDMENT.
- NO PROPOSED CHANGES IN SUB-BASIN DESIGNATIONS PROVIDED PER THIS AMENDMENT.

PUD AMENDMENT
THE VILLAGE SHOPPING CENTER
BOULDER, COLORADO, 80302

PROJECT #: 096327000
 DRAWN BY: JRH
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OVERALL GRADING AND DRAINAGE PLAN

3.0

CITY OF BOULDER
AGENDA ITEM PLANNING BOARD
MEETING DATE: August 28, 2014

AGENDA TITLE:

Public hearing and consideration a request to rezone a 0.99 acre parcel located at 5400 Spine Road currently zoned Industrial-General (IG) to Business – Community 2 (BC-2) for consistency with the Boulder Valley Comprehensive Plan and the Gunbarrel Community Center Plan.

Applicant: Brian Bair

Owner: Winfield Partners, LLC

REQUESTING DEPARTMENT:

Community Planning and Sustainability:

David Driskell, Executive Director

Susan Richstone, Deputy Director

Charles Ferro, Development Review Manager

Elaine McLaughlin, Senior Planner

OBJECTIVE:

1. Hear Applicant and Staff presentations
2. Hold Public Hearing
3. Planning Board discussion
4. Planning Board take action to approve, approve with conditions or deny

PROPOSAL AND SITE SUMMARY:

Proposal: Proposal to rezone the property from Industrial – General (IG) to Business – Community 2 (BC-2) consistent with the Gunbarrel Community Center Plan and the Boulder Valley Comprehensive Land Use designations of Community Business. The uses will include specialty retail, restaurant, service and other uses permitted by-right under BCS.

Project Name: Rezoning – The Shops at Gunbarrel

Location: 5400 Spine Road (Northeast corner of Spine and Lookout roads)

Size of Tract: 0.99 acre (43,071 square feet)

Zoning: Industrial General (IG) currently, with Business – Community 2 (BC-2) proposed

Comprehensive Plan: Community Business (CB)

Key Issue: Is the rezoning request consistent with required review criteria for rezoning?

BACKGROUND:

In April 2004, the City Council adopted the Gunbarrel Community Center Plan (GCCP). Subsequently, in June 2006, a joint review body of the Boulder City Council along with the Boulder County Commissioners approved a comprehensive change in the BVCP land use designation on the subject property from Performance Industrial (PI) to Community Business (CB) in accordance with the Gunbarrel Community Center Plan.

The GCCP was adopted as a future land use and transportation plan for the entire Gunbarrel commercial area and was initiated as a planning process by the city in 2002. The plan provides direction for reviewing future public improvements and private sector development proposals in the area and provides redevelopment direction for individual landowners. The subject site is identified as Community Business land use within the GCCP.

The applicant is proposing to change the current zoning from Industrial General (IG) to Business – Community 2 (BC-2) to be compatible with the current BVCP land use designation of Community Business as well as the land use designation prescribed by the GCCP to allow for a more diverse mix of uses including specialty retail, restaurant, service and other uses consistent with the GCCP.

Process. A rezoning request requires Planning Board to make a recommendation to City Council regarding consistency of the request with the rezoning criteria of the land use code section 9-2-3(d), B.R.C. 1981. The size of the property, just under one acre, does not meet the threshold for a Site Review under either the existing IG zoning or the proposed BC-2 zoning, which is five acres or 100,000 square feet of floor area for the IG zoning district; and two acres or 25,000 square feet of floor area for BC-2 zoning district. The property owner has developed a by-right redevelopment plan to reduce the size of the building and adaptively reuse and upgrade the building and the site to current city standards.

Existing Site. The site is located at the northeast corner of Spine and Lookout roads and is occupied by an existing 17,068 square foot building constructed in 1982 that has housed a variety of industrial/office uses over the past 30 years. The building is currently vacant. There is an approximately surface parking lot with 39 existing parking spaces, no bike parking, and several existing, mature trees.



Figure 1: Aerial of Existing Site

Gunbarrel Community Center Plan

The GCCP is a future land use and transportation plan for the entire Gunbarrel commercial area initiated in a public process by the city in 2002. Through public participation, the plan established the vision for redevelopment in much of the Gunbarrel commercial and office area of the city with the goal of emphasizing urban development patterns with a diverse mix of vibrant uses. The plan provides direction for reviewing future public improvements and private sector development proposals in the area and redevelopment direction for individual landowners. Refer to Figure 2, on the following page for the GCCP land use map. The GCCP (link provided [here](#)) identifies the site for “Community Retail” –The Community Retail definition in the Gunbarrel Community Center plan notes,

“The uses in this area will be easily accessible by automobile and cater to the convenient shopping of household goods.”

BVCP Land Use

The Boulder Valley Comprehensive Plan land use designation for the site is Community Business, defined on page 68 of the BVCP:

A Community Business area is the focal point for commercial activity serving a subcommunity or a collection of neighborhoods. These are designated to serve the daily convenience shopping and service needs of the local populations and are generally less than 150,000 to 200,000 square feet in area. Offices within the Community Business areas should be offices designated specifically for residents of the subcommunity. Where feasible, multiple uses will be encouraged within these centers.

Refer to Figure 3, on the following page for the BVCP land use map.

Existing Zoning

The current zoning is Industrial General (IG), defined within the land use code section 9-5-2, B.R.C. 1981 as,

General industrial areas where a wide range of light industrial uses, including research and manufacturing operations and service industrial uses, are located. Residential uses and other complementary uses may be allowed in appropriate locations.”

By definition, a majority of the uses allowed are industrial. Commercial or retail uses such as “Convenience Retail” are permitted by-right in the IG zoning district. However, restaurants are not permitted in an IG zoning district unless a part of an “Industrial Service Center” and the service center must meet specific criteria, one of which would preclude the restaurant in an Industrial Service Center locating on the site. Other permitted uses within the IG zoning district are breweries, distilleries or wineries with very limited accessory restaurant uses. The threshold for mandatory Site Review under the existing IG zoning is five acre lot size or 100,000 square feet of floor area. Refer to Figure 4 on page for the existing zoning.

Proposed Zoning

The applicant is proposing Business Community 2 (BC-2) zoning, defined in the land use code section 9-5-2, B.R.C. 1981, *“Business areas containing retail centers serving a number of neighborhoods, where retail-type stores predominate.”*

The specific uses within the building, once the property is rezoned, will be required to comply with Table 7-1, *Schedule of Permitted Uses*, Land Use Code section 9-7-1, B.R.C. 1981 found at this link [here](#).

Currently the threshold for a mandatory Site Review process under the Business Commercial Services (BCS) zoning district is a two acre site or 30,000 square feet of floor area well above the size of the site and planned floor area. The threshold for a Site Review and the areas of the Land Use Code that can be modified through Site Review are found in section 9-2-14, B.R.C. 1981, provided [here](#) for reference.



Figure 2: Gunbarrel Community Center Plan (GCCP)

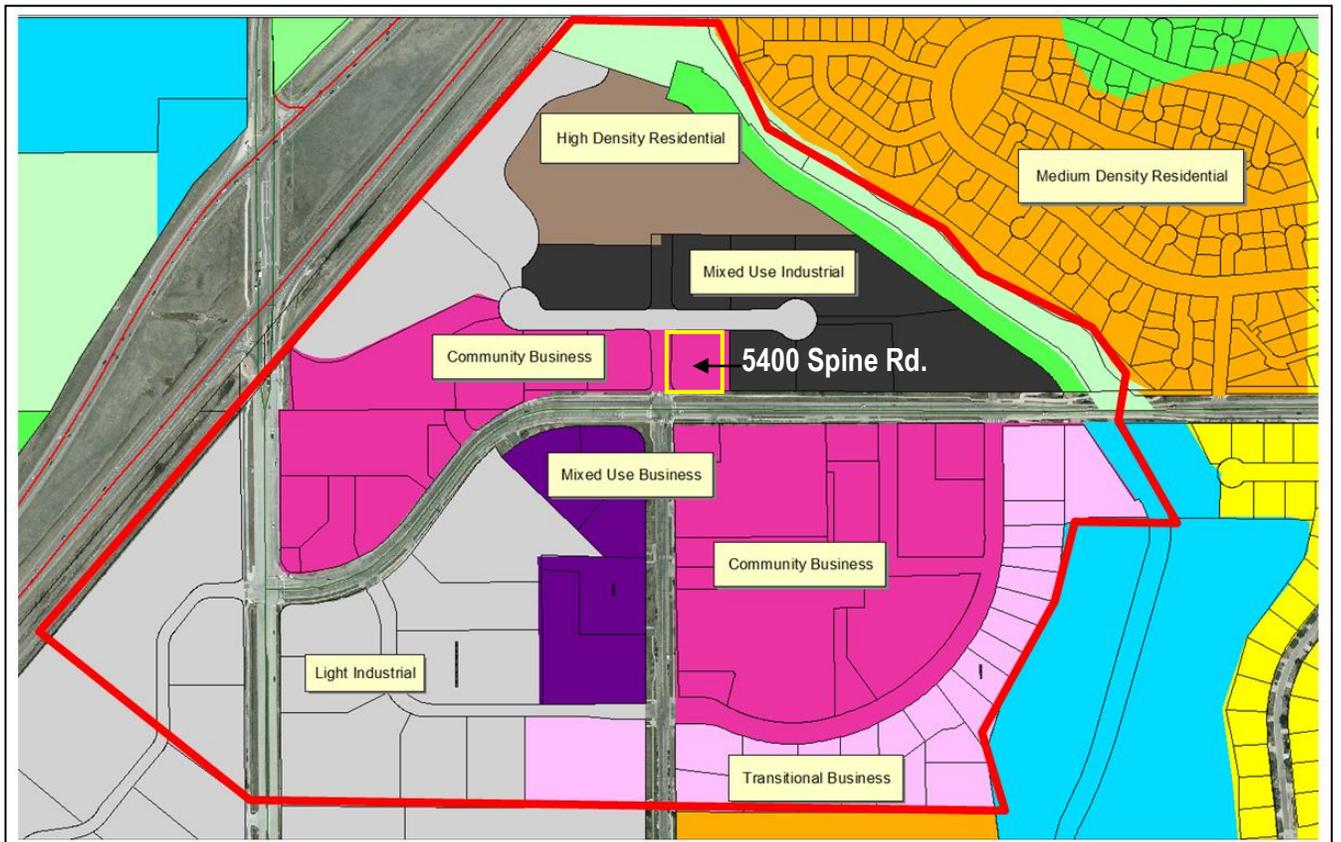


Figure 3: Boulder Valley Comprehensive Plan Land Use

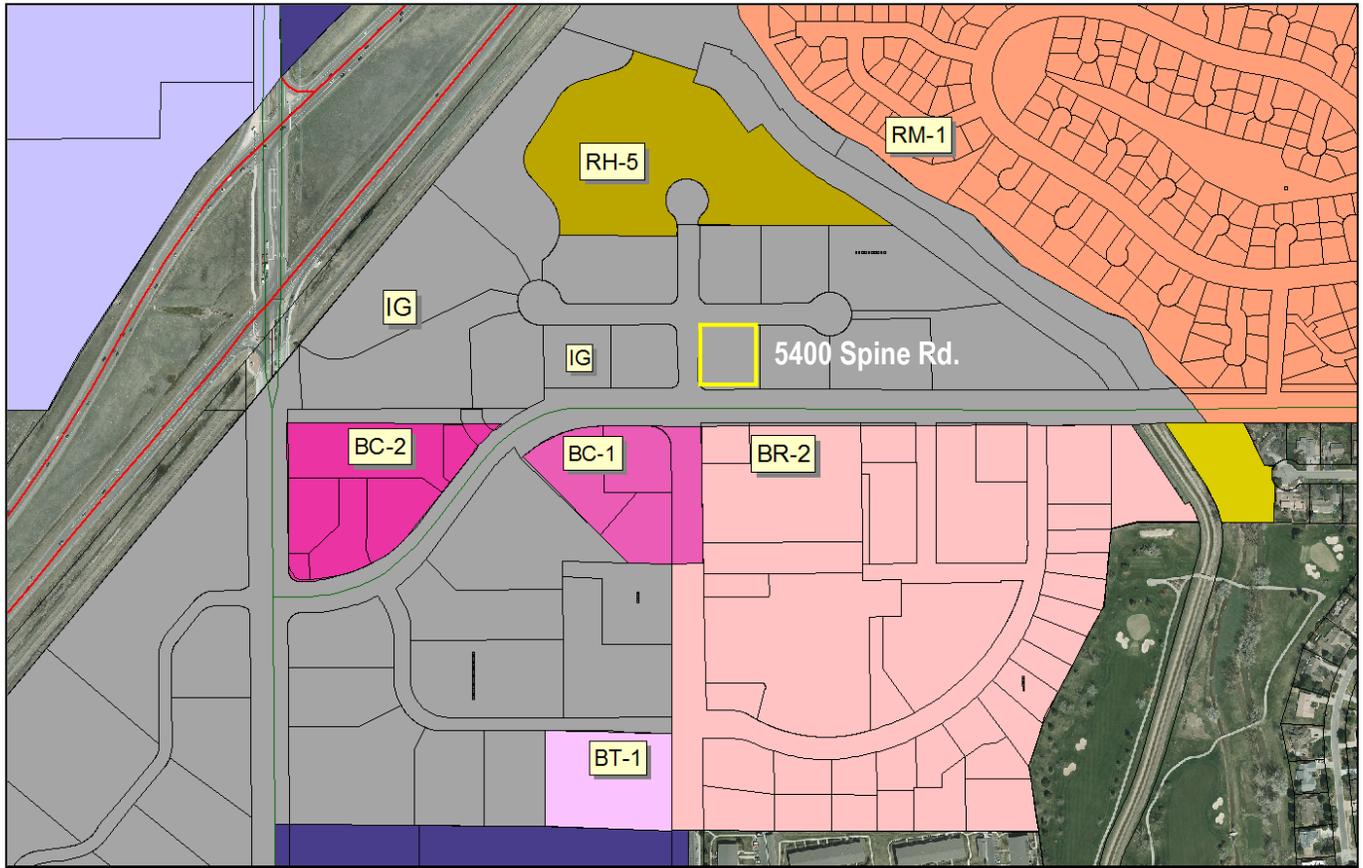


Figure 4: Existina Zonina

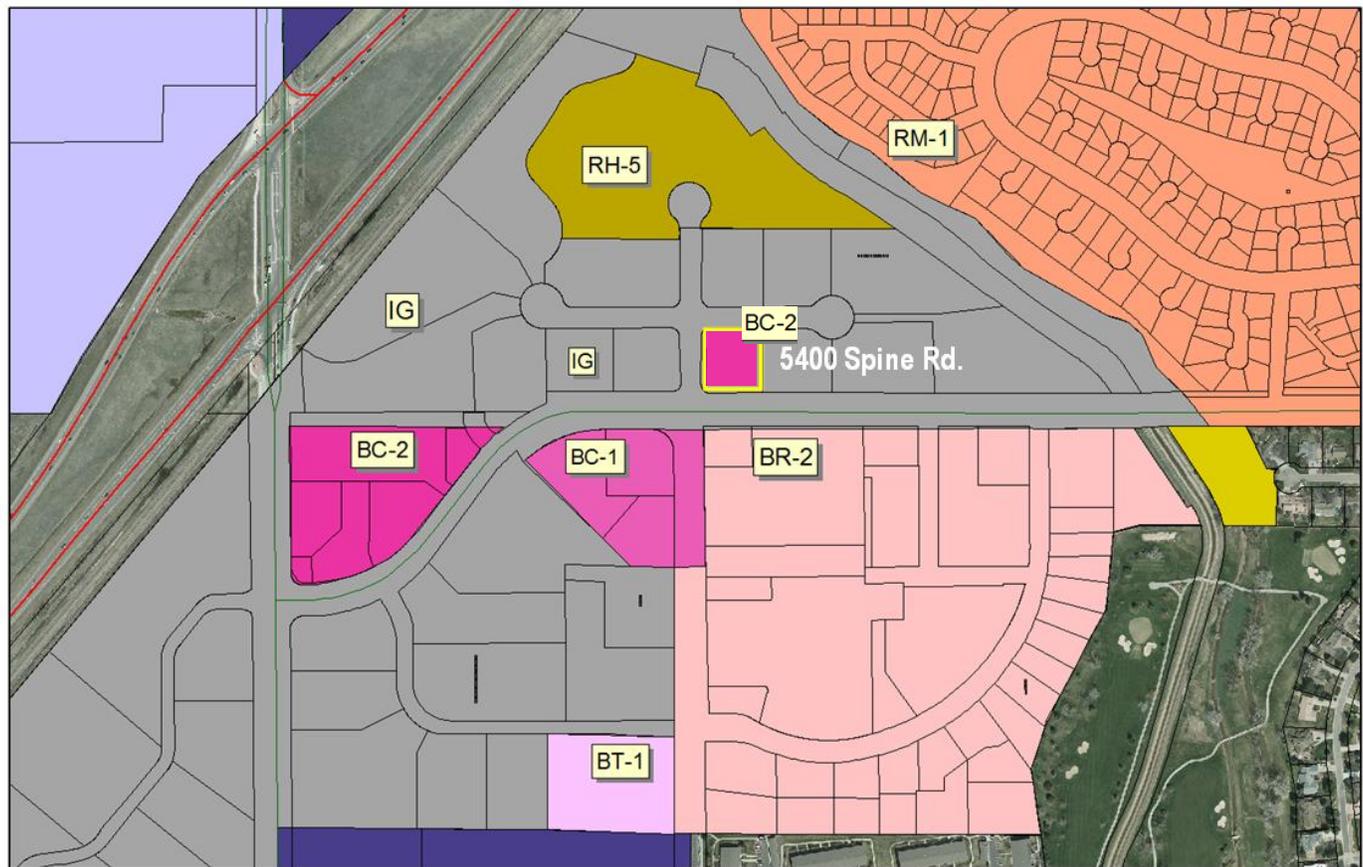


Figure 5: Proposed Zoning

Built Context

The immediate surroundings are primarily industrial with retail uses nearby along with new residential. Since adoption of the GCCP, several properties were rezoned consistent with the adopted land use designations that had been implemented based on the GCCP:

- 6333 Lookout Road (Gunbarrel Gateway) was rezoned from Industrial General (IG) to Business Community – 2 (BC-2), developed with a Hampton Inn Hotel, with approval for three office or retail buildings aligning Lookout Road and 63rd Street. The hotel was approved in 2008 and is complete and operational. It is anticipated that phase II (retail and office components) will begin construction in 2015.
- 6685 Gunpark Road (Gunbarrel Town Center), an 8.7 acre parcel across Lookout Road and east of the site was rezoned to Business Regional (BR-1) for the town center development envisioned by the GCCP, now referred to as the Gunbarrel Town Center. The town center development was approved in 2012 is currently under construction
- 5460 Spine Road (The Alexan), an 8.6 acre parcel located one block north of the site was rezoned to high density residential, RH-5 from Industrial. The rezoning was initiated not only to provide supporting residential uses in proximity to the planned mixed-use Gunbarrel Town Center, but also to enable residential development in close proximity to what was originally the proposed RTD rail stop in the light industrial area directly to the west. Since that time, the planned RTD stop has been relocated to west of 63rd Street. The new location of the RTD stop remains close by (within one-quarter mile from the site) with additional bus stops located at the intersection of Lookout and Spine roads. In 2012, Planning Board and City Council approved a site review to allow 231 units with 1,500 square feet of retail space which are currently under construction.
- 6655 Lookout Road, a 100 percent permanently affordable apartment project, was approved in 2013, for 68 units. The project was approved under a Use Review for residential within an Industrial zoning district. Refer to the Figure 6 that illustrates the recent redevelopments within the GCCP boundary and in proximity to the proposed rezoning.



Figure 6: Recent Redevelopment near Subject Property and within GCCP

REVIEW PROCESS

Per Land Use Code section 9-2-18(d), B.R.C. 1981, "the planning board shall hear a request for rezoning at a public hearing and shall make a recommendation for approval or denial to the city council." Staff has prepared a draft rezoning ordinance, provided in Attachment A. Upon rezoning, the applicant is proposing to adaptively reuse the existing building, reducing the building in size by approximately 7,000 square feet to 10,000 square feet; and construct an outdoor patio area on the southwest corner of the site. No modifications to the land use standards are currently proposed. Shown below in Figure 7 is the existing industrial building, and the proposed reuse as a retail building.

EXISTING:



PROPOSED:

**The Shops at Gunbarrel
REZONING - CONCEPT ELEVATIONS**

5400 Spine Road, Boulder, Colorado
LOCATED IN THE SOUTH 1/2 OF SECTION 2, TOWNSHIP 1 NORTH, RANGE 70 WEST OF THE 6TH P.M.,
CITY OF BOULDER, COUNTY OF BOULDER, STATE OF COLORADO



① WEST (FRONT) ELEVATION



Figure 7: Comparison of Existing Building and Proposed Concept Elevations after Rezoning

The applicant provided sketch plans of the proposed reuse of the building. Figure 8a and 8b illustrate the existing site, and the proposed revisions to the site as a by-right development once rezoned. Plans include removal of a portion of the loading dock of the existing building and removal of some of the existing (excess) parking and replacement with a corner outdoor patio seating area and landscaping. Compliance with city streetscape, parking lot landscaping and lighting will be required with a building permit application.



Figures 8a (above): Existing and 8b (below) by-right layout proposed
(note: additional landscaping, streetscaping, and lighting will be required at time of building permit)

KEY ISSUE ANALYSIS: Is the rezoning request consistent with required review criteria for rezoning?

Land Use Code Section 9-2-18(e), B.R.C. 1981 states:

The city's zoning is the result of a detailed and comprehensive appraisal of the city's present and future land use allocation needs. In order to establish and maintain sound, stable, and desirable development within the city, rezoning of land is to be discouraged and allowed only under the limited circumstances herein described. Therefore, the city council shall grant a rezoning application only if the proposed rezoning is consistent with the policies and goals of the Boulder Valley Comprehensive Plan, and, for an application not incidental to a general revision of the zoning map, meets one of the following criteria:

- √ The applicant demonstrates by clear and convincing evidence that the proposed rezoning is necessary to come into compliance with the Boulder Valley Comprehensive Plan map;***

In the applicant's written statement it was noted,

The rezoning request is consistent with the Boulder Valley Comprehensive Plan that shows the property as Community Business. Community Business is described in the Plan as the focal point for commercial activity serving a subcommunity or a collection of neighborhoods. There are designated to serve the daily convenience shopping and service needs of the local populations.

The intent of the applicant is to remodel the exterior of the existing building and design the site with a plan that is intended to attract neighborhood retail and service tenants such as a specialty retail, restaurant, sandwich shop, quick serve, bakery, deli, coffee shop, and/or general services tenants that will serve the surrounding residents, business and visitors.

Further, staff analyzed that the requested zoning that is proposed to come into compliance with both the GCCP and the BVCP land use designations for the site. Staff notes that within both land use definitions, is no specific type of business or retail zoning identified for consistency with the land use. Rather, there is a broad range of retail identified in both the GCCP and the BVCP land use definitions for the site. The commonality between the two land use definitions is the term "convenience."

- "daily convenience shopping and service needs" (GCCP)
- "easily accessible by automobile and cater to the convenient shopping of household goods" (BVCP)

The applicant requested a similar but distinctly different zoning of Business Commercial Service (BCS) initially. In staff's analysis it was found that the BCS was intended more to retain existing service commercial uses bordering TVAP along Valmont Avenue. The more consistent zoning would be the BC-2, for which the staff accepts.

While the existing site and context is predominately auto-oriented, as noted on page 6 and Figure 6, there are a number of residential units currently under construction in the immediate, walkable vicinity. In particular, the Alexan Apartments located approximately 400 feet north of the site with 231 residential units would be well within walking distance to the 5400 Spine Rd. site as would the recently constructed 68 permanently affordable residential units located one block to the east. These residential units and the Hampton Inn Hotel two blocks to the west are in close, walkable proximity to the site. With retail uses planned to serve residential, instead of the existing industrial uses, many of the goals of the GCCP for a "diverse mix of uses" can be fulfilled by the rezoning.

n/a ***The existing zoning of the land was the result of a clerical error;***

Not applicable.

n/a ***The existing zoning of the land was based on a mistake of fact;***

Not applicable.

n/a ***The existing zoning of the land failed to take into account the constraints on development created by the natural characteristics of the land, including but not limited to, steep slopes, floodplain, unstable soils, and inadequate drainage;***

Not applicable.

n/a ***The land or its surrounding environs has changed or is changing to such a degree that it is in the public interest to encourage a redevelopment of the area or to recognize the changed character of the area; or***

Not applicable.

n/a ***The proposed rezoning is necessary in order to provide land for a community need that was not anticipated at the time of adoption of the Boulder Valley Comprehensive Plan.***

Not applicable.

V. PUBLIC NOTIFICATION AND COMMENT

Required public notice was given in the form of written notification mailed to all property owners within 600 feet of the subject site and a sign posted on the property for at least 10 days. All notice requirements of Section 9-4-10(g), B.R.C. 1981 have been met. No comments were received from members of the public regarding this application.

VI. STAFF FINDINGS AND RECOMMENDATION:

Staff finds that the proposed rezoning application meets the rezoning criteria of Section 9-2-3(d) B.R.C., 1981 and finds the proposed rezoning request to be in compliance with the Boulder Valley Comprehensive Plan and the Gunbarrel Community Center Plan. Therefore, staff recommends that Planning Board recommend approval of case no. LUR2014-00051 to City Council incorporating this staff memorandum and the above review criteria checklist as findings of fact.

Approved By:



David Driskell, Executive Director
Department of Community Planning and Sustainability

Attachments

[Attachment A: Draft Rezoning Ordinance](#)

[Attachment B: Applicant's Written Statement](#)

Address: 5400 Spine

PROPOSED ORDINANCE NO. _____

AN ORDINANCE REZONING A 39,202 SQUARE FOOT LOT GENERALLY KNOWN AS 5400 SPINE ROAD FROM THE INDUSTRIAL-GENERAL (IG) TO THE BUSINESS-COMMUNITY 2 ZONING DISTRICT AS DESCRIBED IN CHAPTER 9-5, "MODULAR ZONE SYSTEM," B.R.C., 1981, AND SETTING FORTH RELATED DETAILS.

THE CITY COUNCIL OF THE CITY OF BOULDER, COLORADO FINDS:

A. A public hearing before the Planning Board of the City of Boulder was duly held on August 28, 2014 in consideration of rezoning a 39,202 square foot lot generally known as 5400 Spine Road and more particularly described on Exhibit A attached to this ordinance (the "Property") from the Industrial - General (IG) to the Business-Community 2 (BC-2) zoning district.

B. The Planning Board found that the rezoning of the Property from the Industrial - General (IG) to the Business-Community 2 (BC-2) zoning district is consistent with the policies and goals of the Boulder Valley Comprehensive Plan and that clear and convincing evidence demonstrates that rezoning is necessary to bring the Property into conformance with the Boulder Valley Comprehensive Plan land use map designation of Community Business, and meets the criteria for rezoning as provided in Chapter 9-2, "Review Processes," B.R.C. 1981.

C. The Planning Board duly recommended that City Council amend the zoning district map to include the Property in the Business-Community 2 (BC-2) zoning district as provided in Chapter 9-5, "Modular Zone System," B.R.C. 1981.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF BOULDER, COLORADO:

Section 1. Chapter 9-5, "Modular Zone System," B.R.C. 1981, and the zoning district map forming a part thereof are amended to include the Property within the Business-Community 2 (BC-2) zoning district.

Section 2. The City Council finds that the rezoning of the Property from the Industrial - General (IG) to the Business-Community 2 (BC-2) zoning district is consistent with the policies and goals of the Boulder

Valley Comprehensive Plan and that clear and convincing evidence demonstrates that rezoning is necessary to bring the Property into compliance with the Boulder Valley Comprehensive Plan land use map designation of Community Business, and meets the criteria for rezoning as provided in Chapter 9-2, "Review Processes," B.R.C. 1981. The City Council adopts the recitals as a part of this ordinance.

Section 3. The City Council has jurisdiction and legal authority to rezone the Property.

Section 4. This ordinance is necessary to protect the public health, safety, and welfare of the residents of the city, and covers matters of local concern. The rezoning of the Property bears a substantial relation to, and will enhance the general welfare of, the Property and of the residents of the City of Boulder.

Section 5. The City Council deems it appropriate that this ordinance be published by title only and orders that copies of this ordinance be made available in the office of the city clerk for public inspection and acquisition.

INTRODUCED, READ ON FIRST READING, AND ORDERED PUBLISHED BY TITLE ONLY

this ____ day of _____, 2014.

Mayor

Attest:

City Clerk

READ ON SECOND READING, PASSED, ADOPTED, AND ORDERED PUBLISHED BY

TITLE ONLY this ____ day of _____, 2014.

Mayor

Attest:

City Clerk

EXHIBIT A
LEGAL DESCRIPTION

Lot 4, The Greens Industrial Park,
County of Boulder,
State of Colorado.

5400 Spine Road Boulder, CO

Written Statement for Rezoning

Rezoning Request: The rezoning request is to rezone the property from I-G (Industrial General) to BC-2 (Business Community 2) as under the City of Boulder zoning code.

City of Boulder Rezoning Criteria: The applicant's written statement for a rezoning application must address how the application meets the criteria below from **Section 9-2-18(e), B.R.C. 1981** of the code.

(e) Criteria: The city's zoning is the result of a detailed and comprehensive appraisal of the city's present and future land use allocation needs. In order to establish and maintain sound, stable, and desirable development within the city, rezoning of land is to be discouraged and allowed only under the limited circumstances herein described. Therefore, the city council shall grant a rezoning application only if the proposed rezoning is consistent with the policies and goals of the Boulder Valley Comprehensive Plan, and for an application not incidental to a general revision of the zoning map, meets one of the six criteria from Section 9-2-18(e), B.R.C. 1981 of the code. The rezoning request meets two of the six criteria stated below:

- ✓ The applicant demonstrates by clear and convincing evidence that the proposed rezoning is necessary to come into compliance with the Boulder Valley Comprehensive Plan Map.
- ✓ The land or surrounding environs has changed or is changing to such a degree that it is in the public interest to encourage a redevelopment of the area or to recognize the changed character of the area.

Applicant Response:

5400 Spine Road is located on the northeast corner of Lookout Road and Spine Road in the heart of Gunbarrel's emerging Retail Core District. The immediate area is rapidly changing with the recently completed Hampton Inn hotel, over 500 new multifamily apartments (under construction), the Gunbarel Center development, and the new Avery Brewery facility to the south of the Retail Core.

Compliance with Planning:

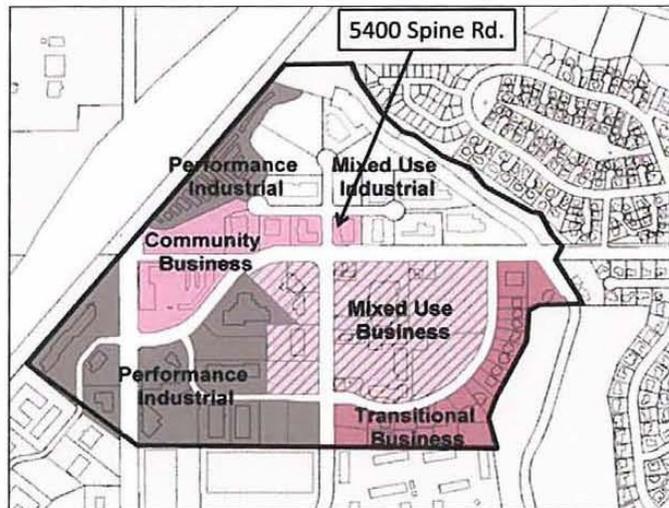
Boulder Valley Comprehensive Plan - The rezoning request is consistent with the Boulder Valley Comprehensive Plan that shows the property as Community Business. Community Business is described in the Plan as the focal point for commercial activity serving a subcommunity or a collection of neighborhoods. These are designated to serve the daily convenience shopping and service needs of the local populations and are generally less than 150,000 to 200,000 square feet in area. Offices within the Community Business areas should be offices designated specifically for residents of the subcommunity. Where feasible, multiple uses will be encouraged within these centers.

The Boulder Valley Comprehensive Plan states the following regarding the Gunbarrel Community Plan that is also consistent with the rezoning request:

The Gunbarrel Community Center Plan, adopted in 2004 and amended in 2006, provides a blueprint for transitioning the Gunbarrel commercial area from mostly light industrial uses to a viable and vibrant, pedestrian-oriented commercial center serving Gunbarrel subcommunity residents and workers. This will involve: expanding the amount of retail and allowing more density in the retail area; adding new residential and some offices uses in proximity to the retail core; and providing more vehicular, pedestrian and bicycle connections to and from and within the center. The new connections will improve access, break down the existing "superblocks," provide better visibility to shops, and promote more pedestrian-scale architecture and outdoor spaces. Spine Road between Lookout and Gunpark roads will become the 'Main Street' for the retail area. Implementation of the Plan Implementation of the Gunbarrel Community Center Plan will occur over a long period of time through a combination of actions from both the public and private sectors. Business associations, such as the Gunbarrel Business Alliance, and neighborhood groups will play an important role in promoting collaboration to successfully implement the plan. Land use changes were made in the 2005 Boulder Valley Comprehensive Plan update to reflect the plan vision.

Gunbarrel Community Center Plan- The rezoning request is consistent with the Gunbarrel Community Center Plan that shows the property as Community Retail in the Retail Core District. Community Retail is described in the plan primarily intended as a retail center serving residents within the subcommunity and the outlying areas. The uses in this area will be easily accessible by automobile and cater to the convenient shopping of household goods.

The following Map from the Gunbarrel Community Center Plan shows the desired future land uses per the plan and location of the 5400 Spine Road property.



Overview of the Proposed Zoning and Redevelopment Plan:

The property is located on the northeast corner of Lookout Road and Spine Road and consists of an approximate 14,000 square foot light industrial/flex building on less than 1 acre of land. The property is currently zoned I-G and has most recently been occupied by a window manufacturing company that vacated the space in December 2013. The space has been vacant since that time. The applicant is seeking a rezoning of the property to allow for an "adaptive re-use" of the existing structure and site.

The intent of the applicant is to remodel the exterior of the existing building and redesign the site with a plan that is intended to attract neighborhood retail and service tenants such as a specialty retail, restaurant, sandwich shop, quick serve, bakery, deli, coffee shop, and/or general services tenants that will serve the surrounding residents, business and visitors.

The footprint of the existing building will be reduced from 14,000 square feet to 10,000 square feet and the site will be redesigned and landscaped to meet the requirements of the BC-2 zoning. In addition, the new site plan allows for a large outdoor plaza and seating area with attractive landscaping that will help to activate the corner and create a sense of place at the intersection of Lookout & Spine Roads. The overall streetscape design has been designed to support an inviting pedestrian experience with ample landscaping, walkways, seating areas, bike racks, planters, etc. The public right-of-way along Spine Road and Odell Place will provide on-street parking in order to afford direct access and visibility to the retail uses and create a separation between pedestrians and moving cars.

The existing façade of the building will be improved significantly to create a more attractive elevation with updated materials such as masonry, steel, new storefront windows and doors, awnings, glass roll-up doors at the ground level, new exterior building lighting and outdoor gathering and seating areas.

Community Benefits:

In addition to being consistent with local and regional planning, there are numerous Community Benefits associated with the rezoning of the property and adaptive re-use of the existing structure. The benefits are as follows:

- ✓ The rezoning will allow for new restaurants, specialty retail and services that will serve the Gunbarrel community in general.
- ✓ The new restaurants, specialty retail and services will help to reduce car trips and traffic.
- ✓ The current building is outdated and not very attractive and the redesign of the façade and site will help to improve the area and create a sense of place for the corner of Lookout & Spine Road.
- ✓ There are over 500 new apartments under construction within 2 blocks of the property and over half of these units are located on the north side of Lookout Road. 5400 Spine Road will directly serve these residents with services in a walkable, pedestrian friendly environment.

- ✓ The new outdoor plaza area on the corner of Spine Road & Lookout Road will create a visible and attractive gathering place for local residents, employees and visitors.
- ✓ The adaptive re-use of the existing building and recycling of materials is good for the environment and reduces contributions to the landfill.

For more information or additional questions please contact:

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