

MEMORANDUM
September 4, 2013

TO: Landmarks Board

FROM: Lesli Ellis, Comprehensive Planning Manager
James Hewat, Senior Historic Preservation Planner
Marcy Cameron, Historic Preservation Planner

SUBJECT: Public hearing and consideration of a Landmark Alteration Certificate to demolish an existing house and in its place construct a two-story, 3,300 sq. ft. house at 420 Spruce Street in the Mapleton Hill Historic District, per section 9-11-18 of the Boulder Revised Code (HIS2013-00184).

STATISTICS:

1. Site: 420 Spruce Street
2. Zoning: RL-1 (Residential Low-1)
3. Owner: Julia and Luis Garza
4. Applicant: Juana Gomez, architect
5. Site Area: 8,924 sq. ft.
6. Existing House: Approximately 2,200 sq. ft.
7. Proposed House: 3,300 sq. ft.

STAFF RECOMMENDATION:

Staff recommends that the Landmarks Board adopt the following motion:

The Landmarks Board approves the demolition of the non-contributing house and the construction of the proposed 3,300 sq. ft. house at 420 Spruce St. as shown on plans dated 08/01/2013, finding that they generally meet the standards for issuance of a Landmark Alteration Certificate in Chapter 9-11-18, B.R.C. 1981, subject to the conditions below and adopts the staff memorandum dated September 4, 2013 in matter 5A (HIS2013-00184) as findings of the board.

This recommendation is based upon staff's opinion that if the applicant complies with the conditions listed below, the proposed demolition and new construction will be generally consistent with the conditions specified in Section 9-11-18, B.R.C. 1981, the *General Design Guidelines*, and the *Mapleton Hill Historic District Design Guidelines*.

CONDITIONS OF APPROVAL:

1. The applicant shall be responsible for constructing the house in compliance with the approved plans dated 08/01/2013, except as modified by these conditions of approval.
2. Prior to submitting a building permit application and final issuance of the Landmark Alteration Certificate, the applicant shall submit the following, which shall be subject to the final review and approval of the Landmarks design review committee: final architectural plans that include revisions to simplify the roof forms in a manner consistent with neo-traditional interpretations of the Edwardian Vernacular, including revisions to the inset dormer on the east elevation.
3. The Landmarks design review committee shall review details regarding dormers, wall materials, exterior stair, fenestration on the front gable, west elevation, and rear elevation, doors and window details including moldings, and proposed insets, paint colors, and hardscaping on the property to ensure that the approval is consistent with the *General Design Guidelines* and the *Mapleton Hill Historic District Guidelines* and the intent of this approval.

SUMMARY

- Because this application calls for complete demolition of a building and new free-standing construction of more than 340 sq. ft., review by the full Landmarks Board in a quasi-judicial hearing is required per Section 9-11-14(b) of the historic preservation ordinance.
- The applicant has met with staff to review design concepts.
- The existing house was constructed in 1923 and was significantly modified by the construction of a rear and side addition in 1990, prior to the 2001 expansion of the Mapleton Hill Historic District to include this property. While the front, one-story portion of the house was constructed during the period-of-significance, subsequent additions have compromised any architectural significance the building may have had. For this reason, staff considers the building a non-contributing resource to the Mapleton Hill Historic District.
- The 1988 historic building inventory of the property completed prior to the 1990 addition characterizes the level of modification at that time to be “moderate” and that “the house with its simple design and frame construction, is typical of small, vernacular houses built in this neighborhood after World War I” *See Attachment A: Historic Building Inventory Form*.
- In terms of mass, scale, height, proportion and style, staff is of the opinion that the proposed design is consistent with Section 6, New Primary Buildings of the *General*

Design Guidelines, Section U of the Mapleton Hill Design Guidelines and Section 9-11-18(a)&(b)(1-4) of the Boulder Revised Code.

- Staff finds the proposed new construction to be consistent with the criteria for a Landmark Alteration Certificate as per 9-11-18(a) & (b)(1)-(4) B.R.C. 1981, the *General Design Guidelines*, and the *Mapleton Hill Historic District Design Guidelines*.
- Staff's recommendation to approve the demolition and new construction is based upon the understanding that the stated conditions will be reviewed and approved by the Landmarks design review committee (Ldrc) prior to the issuance of a Landmark Alteration Certificate.

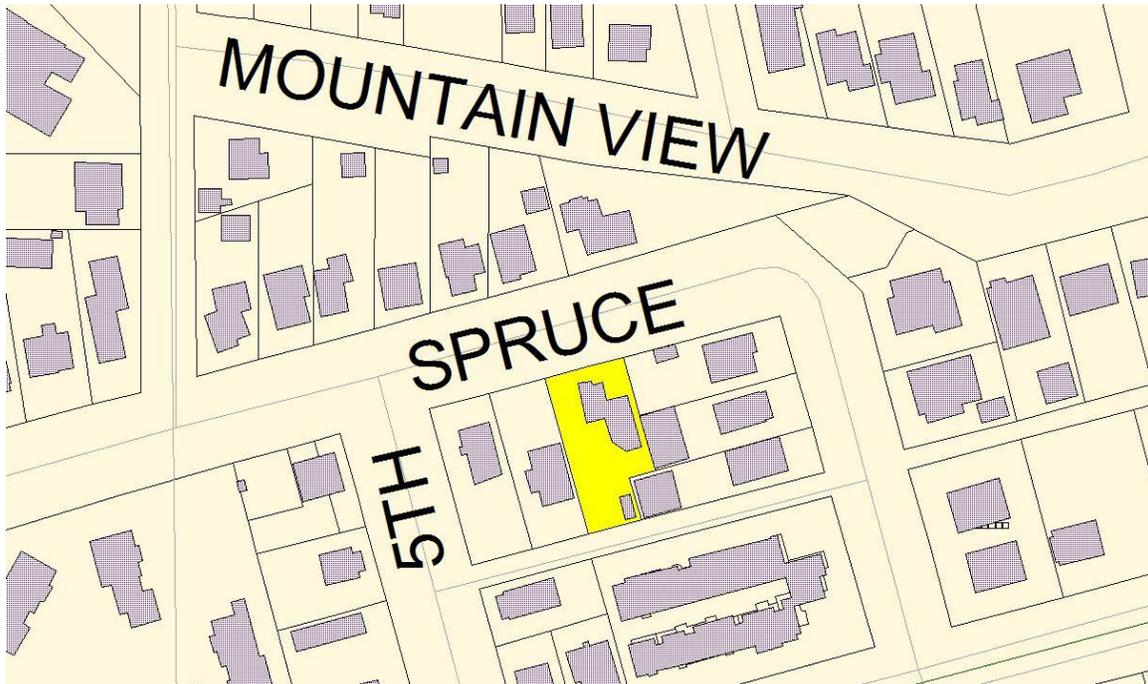


Figure 1. Location Map

PROPERTY HISTORY:

The property at 420 Spruce Street is part of the Mapleton Terrace addition to the city, which was platted in 1890 by W.H. Thompson, Harold D. Thompson, and Isaac C. Dennett. Tax Assessor records for the property give a 1923 date of construction for the original 560 sq. ft. house while City of Boulder permit records indicate the 1,600 sq. ft. was constructed in 1990. A one-car carport was moved to the south end of the property to allow room for the addition. While the original portion of the house was constructed during the 1865-1946 period-of-significance for the Mapleton Hill Historic District, the size and scale of the addition (essentially tripling the size of the building) overwhelmed and compromised any architectural significance the house may have had. In addition, doors and windows appear to have been replaced, and the asbestos siding shown in the

1988 photograph was removed and replaced with clapboard siding matching that on the main house.



Figure 2. 420 Spruce Street from the northwest, 1988



Figure 3. 420 Spruce Street from the northwest, Tax Assessor photograph, 1944



Figure 4. 420 Spruce Street from the northeast, 2013

This house was owned by the Schons family from the time of its construction in 1923 until Mabel Schons' death in 1985. The 1930 Census indicates that Nicholas and Mabel Schons resided there with their five children, Cleo, Kathryn, Apollonia, Mathias and Nick. Nicholas Sr. worked as a plumber for the City Heating & Plumbing Company. He was born in Nebraska in 1890 but spent his childhood in Boulder. In 1900, he lived with his mother and five sisters at 409 Spruce Street. His mother, Abbie, was born in Germany and employed as a washer woman. Nicholas and Mabel married around 1920 and lived in Longmont for a short period before returning to Boulder to live at 420 Spruce Street. Nicholas died in 1953. In 1943, Apollonia and Cleo were both employed as clerks at Berkeley's Band Box Cleaners and Nick worked as a plumber. In the 1950s and 1960s, Mathias owned and operated Schon's Plumbing and Heating Company. Mabel died in 1985 and the house was sold shortly after.

PROPERTY DESCRIPTION:

The existing 2,200 sq. ft. house is located on a relatively flat 8,900 sq. ft. lot at the southern edge of the Mapleton Hill Historic District. This area of the district was annexed into the area in 2001.



Figure 5. West face of house

The property is heavily vegetated with mature trees. A carport is located at the southeast corner of the lot.



Figure 6. South elevation of 420 Spruce St.

PROPOSED DEMOLITION AND NEW CONSTRUCTION:

The applicant proposes to demolish the existing 2,200 sq. ft. house and adjacent shed, and in its place construct a one and one-half story, 3,300 sq. ft. neo-traditional house.

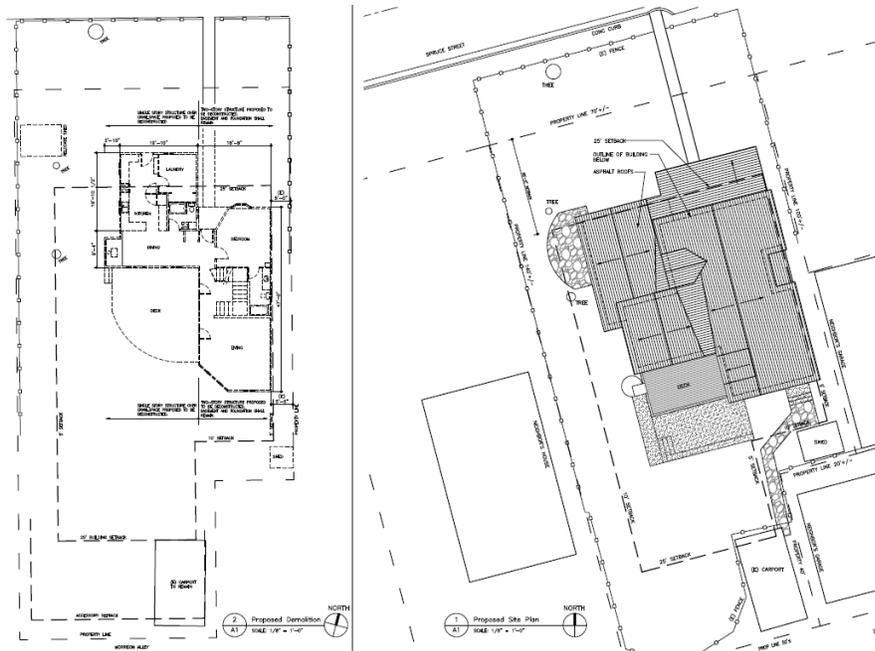


Figure 7. Existing (l) and proposed (r) site plans, 420 Spruce Street



Figure 8. View of 420 Spruce Street (arrow), looking southeast

REQUEST FOR NEW CONSTRUCTION:

In plan, the proposed new house is shown to be located at approximately the same location as the existing house. The existing carport is shown to be maintained in its current location. A 25' front setback is shown with the rear porch being setback approximately 60' from the alley.



Figure 9. Proposed north elevation (façade)

The proposed one and one-half story, multi gable-roof house is shown to be roughly square in plan and of frame construction. Plans call for the existing 1990 foundation and basement to be retained and used as unfinished space. At its highest point the house is shown to be 27' 6" above grade.

Drawings and renderings show the façade to feature a partial 3-bay wide porch with a shed roof supported by square posts, a panel door flanked by sidelights, a projecting three-light bay window, double-hung and fixed casement windows over single-light casement windows, a projecting bay with large multi-pane windows, and a garage at the north end. In form, the house utilizes a neo-traditional vocabulary inspired by Edwardian Vernacular houses found in the area.



Figure 10. Rendering from the northeast

The east elevation of the house is shown to be fenestrated with windows similar to those on the façade of the house. An inset dormer is shown to punctuate the roof on this elevation.



Figure 11. Rendering from the northwest

The north portion of the west face of the house features two sets of French doors with transoms, a bank of three casement windows. The rear section of the west section steps up in height to one and one-half stories with the lower level featuring a French door

and single door, both with transom lights. An exterior spiral staircase is shown to provide access to a roof deck and French doors to the upper story.



Figure 12. Proposed south (rear) elevation

On the first floor of the rear (south) elevation cantilevered hood is shown to shade two sets of French doors and three-light windows of the same size and configuration as the doors, both with transom lights. A door and stoop are proposed at the east end of the south wall. Both of the rear-facing gables are shown to be fenestrated with a bank of four-light casement below flanking casement windows of the same size and configuration.

The first story of the house appears to be stuccoed and the upper gables sheathed in wood shingles. Doors and windows are specified to be Sierra-Pacific metal clad.

CRITERIA FOR THE BOARD'S DECISION

Subsection 9-11-18(b), B.R.C. 1981, sets forth the standards the Landmarks Board must apply when reviewing a request for a Landmark Alteration Certificate.

(b) Neither the Landmarks Board nor the City Council shall approve a Landmark Alteration Certificate unless it meets the following conditions:

- (1) The proposed work preserves, enhances, or restores and does not damage or destroy the exterior architectural features of the landmark or the subject property within an historic district;

- (2) The proposed work does not adversely affect the special character or special historic, architectural, or aesthetic interest or value of the landmark and its site or the district;
 - (3) The architectural style, arrangement, texture, color, arrangement of color, and materials used on existing and proposed constructions are compatible with the character of the existing landmark and its site or the historic district;
 - (4) With respect to a proposal to demolish a building in an historic district, the proposed new construction to replace the building meets the requirements of paragraphs (b)(2) and (3) above.
- (c) In determining whether to approve a landmark alteration certificate, the Landmarks Board shall consider the economic feasibility of alternatives, incorporation of energy-efficient design, and enhanced access for the disabled.

ANALYSIS

1. Does the proposed application preserve, enhance, or restore, and not damage or destroy the exterior architectural features of the landmark or the subject property within a historic district?

While the original portion of the house was constructed in 1923, within the 1865-1946 period of significance for the Mapleton Hill Historic District, staff considers that the 1990 alterations to the house, including a 1,600 sq. ft. addition and replacement of windows and exterior siding, have compromised any historic integrity the house had. For this reason staff considers the house to be non-contributing to the Mapleton Hill Historic District. Staff finds that, provided the listed conditions are met, the demolition of the existing house and construction of the proposed house will not damage or destroy contributing properties in the streetscape and will be generally compatible and consistent with the *General Design Guidelines* and the *Mapleton Hill Historic District Guidelines* (see Design Guidelines Analysis section).

2. Does the proposed application adversely affect the special character or special historical, architectural, or aesthetic interest or value of the district?

The staff finds that, provided the listed conditions are met, the proposed application will not adversely affect the special character or special historic, architectural, or aesthetic interest or value of the district because the proposed new house will be generally compatible with the *General Design Guidelines* and the *Mapleton Hill Historic District Guidelines* in terms of mass, scale, height, design and color (see Design Guidelines Analysis section).

3. Is the architectural style, arrangement, texture, color, arrangement of color, and materials used on existing and proposed structures compatible with the character of the historic district?

Staff consider the proposed one and one-half story, neo-traditional design of the proposed house to be reflective of Edwardian Vernacular houses in this part of the Mapleton Historic District, yet that the design is makes clear the house is of its time. As such, the staff finds that, provided the listed conditions are met, the proposed new construction will be generally compatible with the architectural style, arrangement, texture, color, arrangement of color, and materials used on the proposed building and will be generally compatible with the character of the historic district in terms of mass, scale, height, setback, and design (see Design Guidelines Analysis section).

4. Does the proposal to demolish the building within the Mapleton Hill Historic District and the proposed new construction to replace the proposed demolished building meet the requirements of paragraphs 9-11-18(b)(2), 9-11-18(b)(3) and 9-11-18(b)(4) of this section?

The staff finds that the application to replace the demolished building meets the requirements of paragraphs 9-11-18(b)(2), 9-11-18(b)(3) and 9-11-18(b)(4) because, provided the listed conditions are met, the construction of a new house will establish compatible features on the streetscape. With the stated conditions, the application is generally compatible and consistent with the *General Design Guidelines* and the *Mapleton Hill Historic District Guidelines* (see Design Guidelines Analysis section).

Once modified as suggested in the Conditions of Approval, the proposal will be consistent in terms of site planning, mass, scale, materials and architectural details and does not detract from the Mapleton Hill Historic District.

DESIGN GUIDELINES

The Historic Preservation Ordinance sets forth the standards the Landmarks Board must apply when reviewing a request for a Landmark Alteration Certificate and the board has adopted the *General Design Guidelines* to help interpret the ordinance. The following is an analysis of the submitted proposal with respect to relevant guidelines. It is important to emphasize that design guidelines are intended to be used as an aid to appropriate design, and not as a checklist of items for compliance.

The following is an analysis of the proposal’s compliance with the applicable design guidelines:

General Design Guidelines

2	Site Design		
Guideline	Analysis	Conforms	
	<p><i>Site design includes a variety of character-defining elements of our historic districts and building. Individual structures are located within a framework of streets and public spaces that set the context for</i></p>		

	<i>the neighborhood. How structures occupy their site, in terms of alignment, orientation, and spacing, creates much of the context of the neighborhood.</i>		
.1	<i>Locate structures within the range of alignments as seen traditionally in the area, maintaining traditional setbacks at the front, side and rear of the property</i>	The footprint of the building is shown to increase in size, but majority of building constructed upon existing footprint. Alignment consistent with historic patterns in the neighborhood.	Yes
.2	<i>Building proportions should respect traditional patterns in the district</i>	Proportions generally respect patterns of the district.	Yes
.7	<i>Preserve a backyard area between the house and the garage, maintaining the general proportion of built mass to open space found within the area</i>	Footprint of the building is shown to increase in size, but majority of building constructed upon existing footprint. A distance of 32' is shown between the rear wall of the proposed house and the existing carport on the property.	Yes
2.2	<i>Preserve street trees whenever possible</i>	Three existing trees are shown to be maintained at the front and side of the proposed house. Little detail provided as to what other vegetation will be maintained – review details including hardscaping plan at the Ldrc.	Maybe

6.0 New Primary Buildings			
	Guideline	Analysis	Conforms
.1	<u><i>Distinction from Historic Bldgs:</i></u> <i>.1 Create compatible contemporary interpretations of historic elements.</i> <i>2. Interpretations of historic styles may be appropriate if distinguishable as new.</i>	- Neo traditional design, but form and finish will clearly identify housed as contemporary. - Mass, scale, height, proportions, fenestration reference historic buildings in the district. - Building will be clearly recognizable as new construction.	Yes Yes Yes
.2	<u><i>Site and Setting</i></u> <i>.1 Conform to Section 2. Site Design.</i> <i>.2 Overall character of site is retained.</i> <i>.3 Compatible with surrounding buildings in setback, orientation, spacing, and distance from</i>	- Proposed construction is compatible with setback, orientation, spacing, and distance from surrounding houses. - Character of site, topography, will be retained, unclear as to which mature trees will be retained. - Existing footprint will not change	Yes Maybe Yes

	<p><i>adjacent buildings.</i></p> <p><i>.4 Proportion of built mass to open space not significantly different from contributing buildings.</i></p>	<p>measurably.</p> <p>- Backyard to remain open and building footprint will not change measurably.</p>	<p>Yes</p>
.3	<p><u>Mass and Scale</u></p> <p><i>.1 Compatible with surrounding buildings in terms of height, size, scale, massing, and proportions.</i></p> <p><i>.2 Mass and scale of new construction should respect neighboring buildings and streetscape.</i></p> <p><i>.3 Historic heights and widths as well as their ratios maintained, especially proportions of façade.</i></p>	<p>- Generally compatible in terms of height, mass, and proportion – one and one-half story gable roof form and front porch reflective of contributing houses found in the streetscape.</p> <p>- Mass and scale generally respects neighboring buildings – consideration should be given to simplify roof forms and revising the inset dormer on the east elevation – revise at Ldrc.</p> <p>- Proposed construction is generally compatible.</p> <p>- Mass and scale are appropriate.</p> <p>- House broken in 4 modules and resulting proportions consistent with historic buildings in the district.</p>	<p>Yes</p> <p>No</p> <p>Yes</p>
.4	<p><u>Materials</u></p> <p><i>.1 Materials should be similar in scale, proportion, texture, finish, and color as those on historic structures.</i></p> <p><i>.2 Maintain a human scale by using traditionally sized building components and materials.</i></p>	<p>- Detailed specifications should be provided for walls, windows and doors for review by the Ldrc.</p> <p>- Consider inseting windows somewhat, in renderings moldings and windows appear flush with walls – revise at Ldrc.</p> <p>- Upper windows on front gable appear somewhat over-scaled and out of proportion</p>	<p>Maybe</p> <p>Maybe</p>
.5	<p><u>Key Building Elements</u></p> <p><i>.1 Spacing, placement, scale, orientation, proportion, and size of window and door openings to be compatible with surrounding contributing buildings.</i></p> <p><i>.2 Doors and windows compatible in material, subdivision, proportion, pattern, and detail with those of surrounding contributing buildings.</i></p>	<p>- Window and door openings generally compatible in terms of orientation, proportion, and size though windows on front gable appear somewhat over-scaled and out of proportion Two sets of French doors at east side of house not typical for historic houses in Mapleton Hill, bank of windows and doors at south (rear) face and on rear gables might be reduced in size/configuration to make more characteristic of buildings in the historic district – review these aspects</p>	<p>Maybe</p>

	<p><i>New construction should utilize roof form found in district.</i></p>	<p>with neighboring historic buildings.</p> <p>- The roof forms of the proposed house reference historic buildings in the streetscape, though consideration might be given to simplifying somewhat – review at Ldrc.</p>	<p>Maybe</p>
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Staff considers that, while originally an interesting and characteristic example of small vernacular housing in Mapleton Hill, the existing house has been so altered by modifications to its fabric and construction of an inappropriate addition in 1990 that tripled the size of the building it should be considered non-contributing. Staff also considers the proposal to construct a one and one-half story neo-traditional house in its place is generally appropriate and contextual in this section of the Mapleton Historic District. Staff considers that at 3,300 sq. ft., the proposed size and scale of the house is appropriate to the lot and in keeping with houses in the streetscape. However, staff considers that design details such as roof forms, materials, windows, doors, trim detail should be reviewed by the Landmarks design review committee (Ldrc) to ensure that the house will be compatible with the historic character of the Mapleton Hill Historic District.

In particular, consideration should be given to simplifying the roof forms, including revisions to the inset dormer on the east elevation, to achieve a design that is more in keeping with traditional forms found in the Mapleton Hill Historic District. It is staff’s opinion, that these modifications to the design should be reviewed by the Landmarks design review committee.

FINDINGS

Provided the conditions outlined in the staff recommendation are met, staff recommends that the Landmarks Board approve the application and adopt the following findings:

1. The demolition of the existing house is appropriate as it is non-contributing and the proposed new construction meets the standards in 9-11-18 of the Boulder Revised Code.
2. The proposed new house and garage will not have an adverse effect on the value of the district, as it will be generally compatible in terms of mass, scale,

or orientation with other buildings in the district.

3. In terms of mass, scale, and orientation the proposed new house garage will be generally consistent with Section 9-11-18 B.R.C., Sections 2, 7, 6 and 7 of the *General Design Guidelines*, and Sections D, M, P, Q, & U of the *Mapleton Hill Historic District Guidelines*.
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ATTACHMENTS:

- A: Historic Building Inventory Form
- B: Assessor Card
- C: Photographs
- D: Plans and Elevations
- E: Applicant's Submittal

Attachment A: Historic Building Inventory Form

1103

COLORADO HISTORICAL SOCIETY
Office of Archaeology and Historic Preservation
1300 Broadway, Denver, Colorado 80203

: NOT FOR FIELD USE :
: Eligible Nominated :
: Det. Not Eligible Certified Rehab. :
: Date _____ :

HISTORIC BUILDING INVENTORY RECORD

: PROJECT NAME:	: CITY:	: STATE ID NO.:	58L2348
: Boulder Survey of Historic Places, 1988	: Boulder	: TEMPORARY NO.:	

: CURRENT BUILDING NAME:	: OWNER: Hugh McCaffrey
	: 420 Spruce St.
	: Boulder, CO 80302

: ADDRESS: 420 Spruce St.	: TOWNSHIP 1 N., RANGE 71 W., SECTION 25, 1/4, 1/4
: Boulder, Colorado 80302	

: HISTORIC NAME:	: U.S.G.S. QUAD NAME: Boulder, Colorado (1966; photorevised 1979)
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: DISTRICT NAME: N/A	: ADDITION: Boulder West	: BLOCK: 102	: LOTS: 3, 4	: YEAR: 1874
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: FILM ROLL NO.: BL-28	: NEGATIVE NO.: 13	: NEGATIVE LOCATION:	: DATE OF CONSTRUCTION:
: BY: Roger Whitacre	:	: City of Boulder Planning	: ESTIMATE: ACTUAL: 1923

: SOURCE: Boulder County Assessor	: records
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: USE:	: PRESENT: Residence
	: HISTORIC: Residence

: CONDITION:	: [] EXCELLENT [] GOOD
	: [x] FAIR [] DETERIORATING

: EXTENT OF ALTERATIONS:	: [] MINOR [x] MODERATE [] MAJOR
	: DESCRIBE: Porch alterations. Slate siding. Aluminum storm windows and screen door.

: STYLE: Vernacular Wood Frame, Side Gable	: STORIES:	: ORIGINAL SITE [x] MOVED []
	: 1	: DATE(S) OF MOVE:

: MATERIALS: Wood	: SQ. FOOTAGE:	: FIELD ASSESSMENT:
	: 560	: [] ELIGIBLE [x] NOT ELIGIBLE

: ARCHITECTURAL DESCRIPTION: Small, side gable roofed frame house.	: DISTRICT POTENTIAL:
: Slate siding. Gabled porch roof. Lattice enclosing porch.	: [] YES [] CONTRIBUTING
: Double-hung windows. Brick chimney. Deck on rear. Carport.	: [x] NO [] NON-CONTRIBUTING

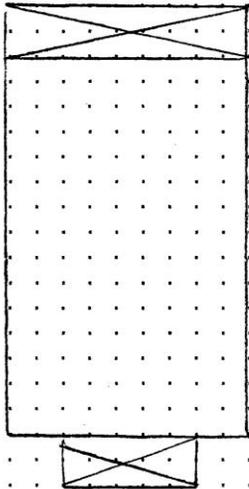
: LOCAL LANDMARK DESIGNATION? [] YES [x] NO	: NAME: DATE:
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: ASSOCIATED BUILDINGS? [x] YES [] NO	: TYPE: Carport
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: ADDITIONAL PAGES: [] YES [x] NO	: IF INVENTORIED, LIST ID NOS.:
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ATTACH PHOTOGRAPH HERE.

: PLAN SHAPE: : ARCHITECT: Unknown : STATE ID NUMBER: 58L2348 :
 : : : ORIGINAL OWNER: Unknown :
 : : : SOURCE: :
 : : : SOURCE: :
 : BUILDER/CONTRACTOR: Unknown :
 : : :
 : SOURCE: : THEME(S): Post World War I :
 : : : Urban Growth (1920-1940) :
 : : :
 : CONSTRUCTION HISTORY: (DESCRIPTIONS, NAMES, DATES, ETC. RELATING TO MAJOR :
 : ADDITIONS OR ALTERATIONS TO ORIGINAL STRUCTURE) :
 : : :
 : : : CONTINUED? [] YES [x] NO :



: HISTORICAL BACKGROUND: (DISCUSS IMPORTANT PERSONS AND EVENTS ASSOCIATED WITH THIS STRUCTURE) :
 : During the 1930s, the house was owned by Mabel Schons. :
 : : :
 : : :
 : : : CONTINUED? [] YES [x] NO :

: SIGNIFICANCE: (CHECK APPROPRIATE CATEGORIES AND BRIEFLY JUSTIFY BELOW) :
 : ARCHITECTURAL SIGNIFICANCE: HISTORICAL SIGNIFICANCE: :
 : [] REPRESENTS THE WORK OF A MASTER [] ASSOCIATED WITH SIGNIFICANT PERSONS :
 : [] POSSESSES HIGH ARTISTIC VALUES [] ASSOCIATED WITH SIGNIFICANT EVENTS OR PATTERNS :
 : [x] REPRESENTS A TYPE, PERIOD, OR METHOD OF CONSTRUCTION [] CONTRIBUTES TO AN HISTORIC DISTRICT :
 : STATEMENT OF SIGNIFICANCE: The house, with its simple design and frame construction, is typical of the small, vernacular :
 : homes built in this neighborhood after World War I. :
 : : :
 : : : CONTINUED? [] YES [x] NO :

: REFERENCES: (BE SPECIFIC) Boulder County Assessor records; Sanborn insurance maps, :
 : : :
 : : : CONTINUED? [] YES [x] NO :

: SURVEYED BY: L. Simmons/C. Whitacre : AFFILIATION: Front Range Research Associates Inc. : DATE: June 1988 :



420 Spruce, Architectural Survey Form Photograph, 1988.

Attachment B: Tax Assessor Card

BOULDER COUNTY REAL ESTATE APPRAISAL

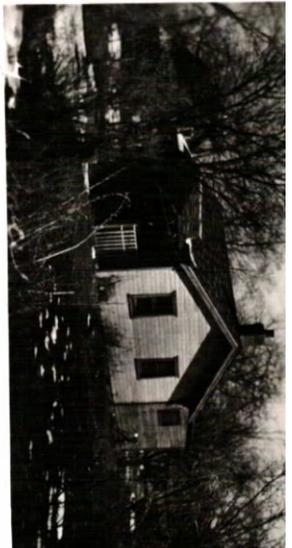
OWNER

Mabel J. Schone

HOUSE No. 420 STREET *Spence* CITY

LOTS *of 4* BLOCK *102* ADDITION *D.V.*

Year Constructed *1923* Est. Life in Years



ESTIMATE OF VALUATION

	BLDG. PART A	BLDG. PART B	GARAGE
No. Cubic Feet	6720	4000	1344
Cost per cu. ft.	22	20	6
Total Cost	\$1478	\$800	\$80
Porch	\$8	\$20	\$50
Garage			\$50
Extras			
TOTAL	\$1628	\$1080	\$130
% Obsolescence			
% Physical Dep.	30	30	30
Net After Deducing Depreciation	\$1100	\$756	\$91
% Utility Dep.	31		
PRESENT VALUE	\$540		

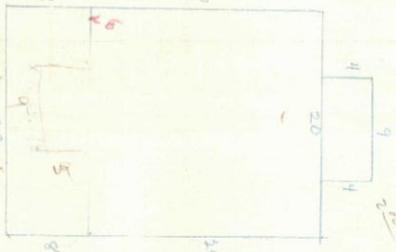
DESCRIPTION

Class of Bldg. Construction	Basement	Roof	Heating	Plumbing	Light	Priv. Garage	Barns or Sheds	State of Reps.	Local Imps.
Char. of Const.									
Interior Finish									
Floors									
Stories									
Fire Resisting									
Foundation									

ADDITIONS AND BETTERMENTS

YEAR	AMOUNT	YEAR	AMOUNT
	\$		\$

BUILDING PLAN



SUMMARY

DESCRIPTION	AMOUNT
Building Permit	\$
Original Cost, Improvements Only	\$
Additions and Betterments	\$
Owner's Estimate of Present Value	\$
Private Appraisal	\$
Insurance	\$
Mortgage	\$
Monthly Rental	\$
Advertised for Sale	\$
Transferred in 19	\$

ANNUAL ASSESSMENT

YEAR	LAND	IMPROVEMENTS	TOTAL
1938	\$ 140	\$ 360	\$
1939			
1940			
1941			
1942	140	360	
1943			
1944			
1945			
1946			
1947			

Attachment C: Photographs



Photo 1. 420 Spruce St., South Façade, 2013



Photo 2. 420 Spruce St., West Elevation, 2013



Photo 3. 420 Spruce St., North and West elevations, 2013



Photo 4. 420 Spruce St., West elevations, 2013



Photo 5. 420 Spruce St., North elevations, 2013



Photo 6. Spruce St., facing east, 2013



Photo 7. 420 Spruce St., facing southeast, 2013



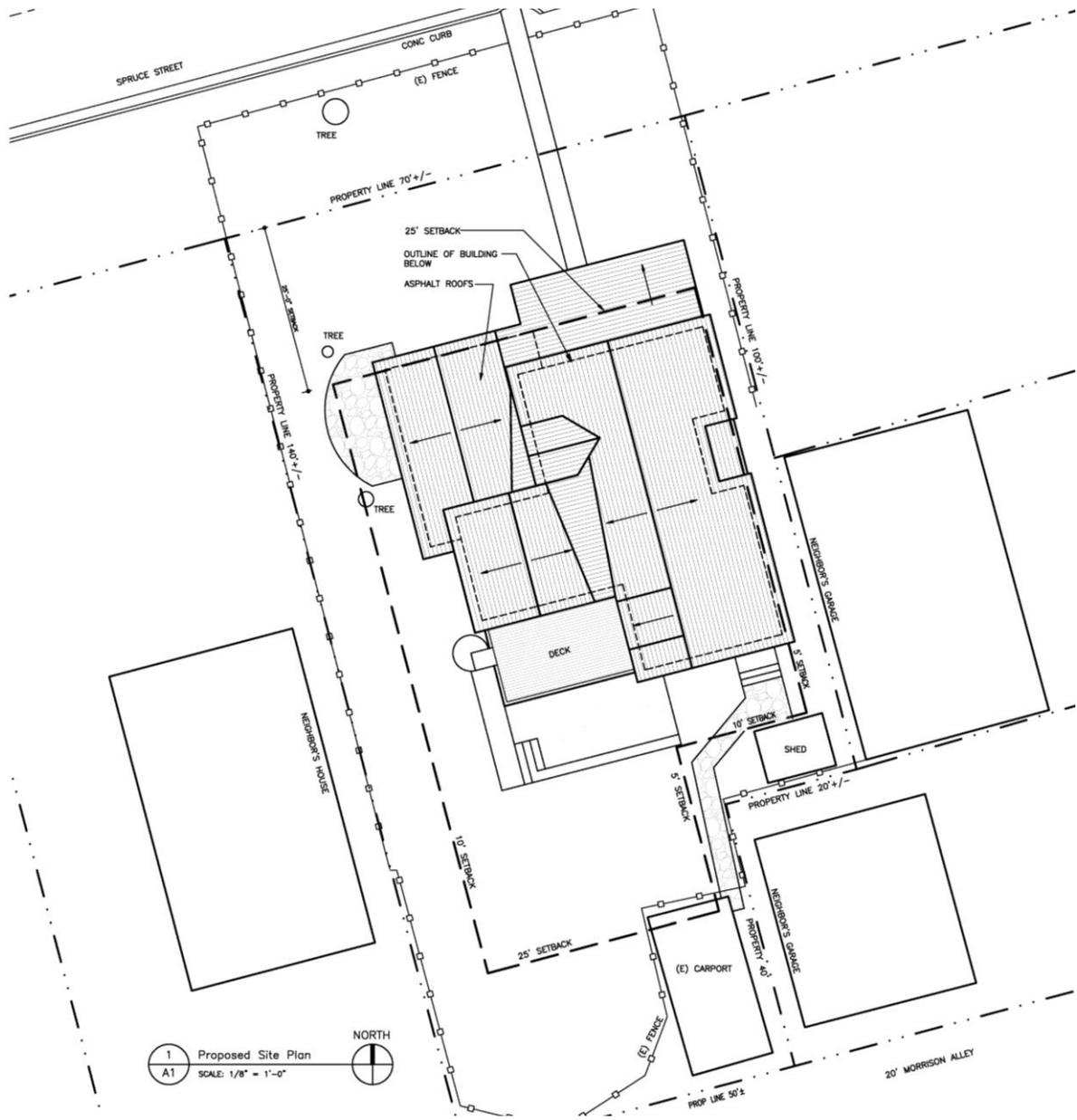
Photo 8. 420 Spruce St., carport at rear of property, 2013



Photo 9. 420 Spruce St., South (rear) elevation, 2013

Attachment D:

Plans and Elevations



Proposed Site Plan



3 Proposed South (alley) elevation
 A3 SCALE: 1/4" = 1'-0"



1 Proposed North (street) elevation
 A3 SCALE: 1/4" = 1'-0"

Proposed South (rear) and North (front) Elevations



4 Proposed East elevation
 A3 SCALE: 1/4" = 1'-0"



2 Proposed West elevation
 A3 SCALE: 1/4" = 1'-0"

Proposed East and West Elevations

**PROJECT DESCRIPTION FOR 420 SPRUCE STREET
LAWRENCE AND GÓMEZ ARCHITECTS**

The applicants request the Board to consider the demolition of the structure at 420 Spruce Street. Also a new house is proposed for the property. The character and size of this house are similar to the proposal approved by the LDRC on May 22, 2013 (HIST2013-00107).

The LDRC considers that the existing building is a non-contributing structure. The house is a 2,200 +/- above ground with a partial second story and a basement. The committee supported an addition to this structure for a total of 3,100 sf.

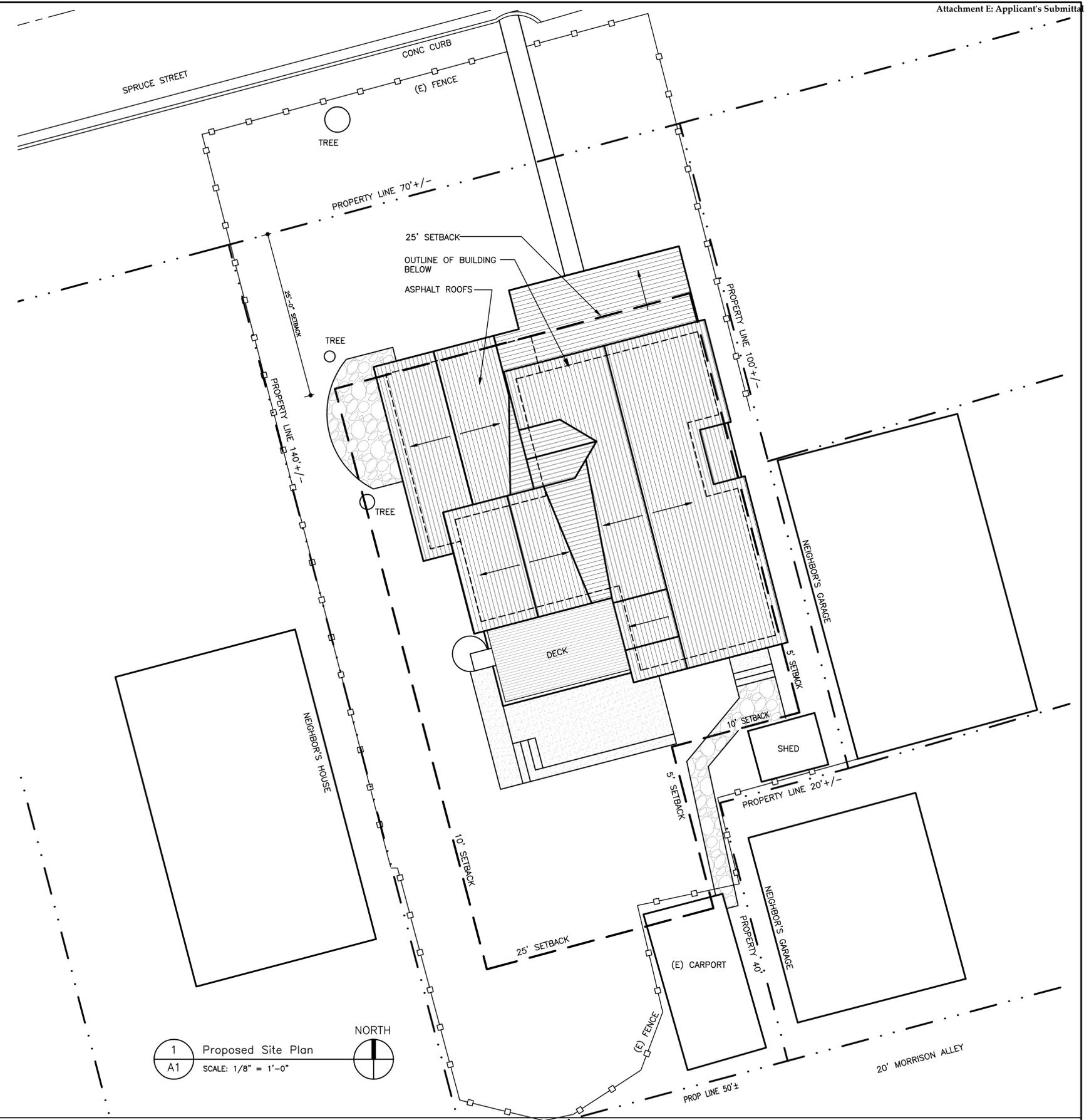
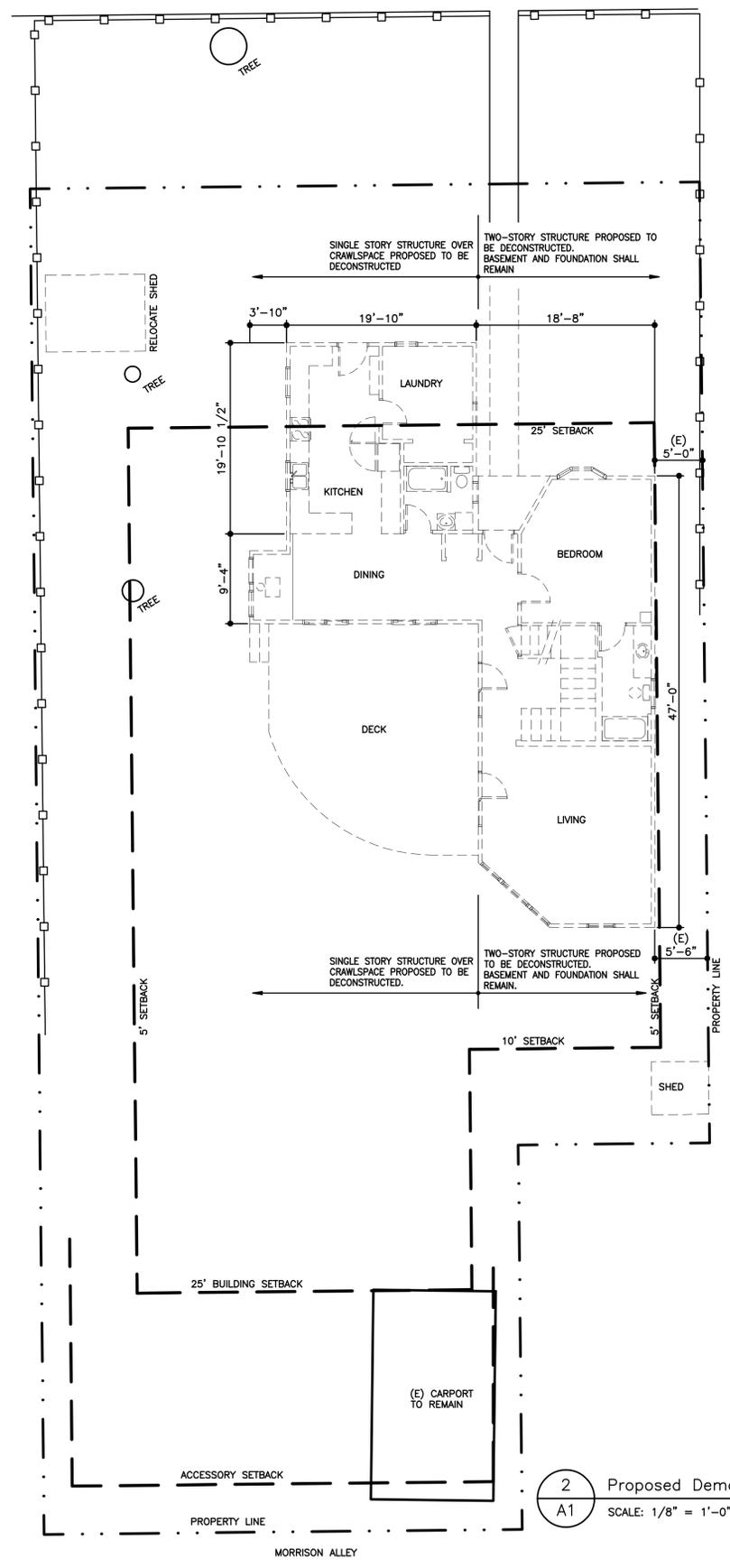
The proposed house shall be compatible with the character and scale of the neighborhood. It would contain 3,300 sf above ground. The existing basement/ foundation would be preserved and used as unfinished space and would house the mechanical equipment.

This lot is larger than the adjacent addressess. There are three new houses across the street with similar lot sizes. Those buildings are:

- 429 Spruce - 3887 sf
- 2080 5th - 3680 sf plus 452 sf garage
- 2060 5th - 5388 sf plus 433 garage

The proposed house shall conform to all City requirements regarding floor area, building coverage, bulk plane, and solar shadow.

There are two tool sheds on the property. One of these would be deconstructed and the other relocated per the site plan. The existing carport shall remain.



420 SPRUCE STREET, BOULDER

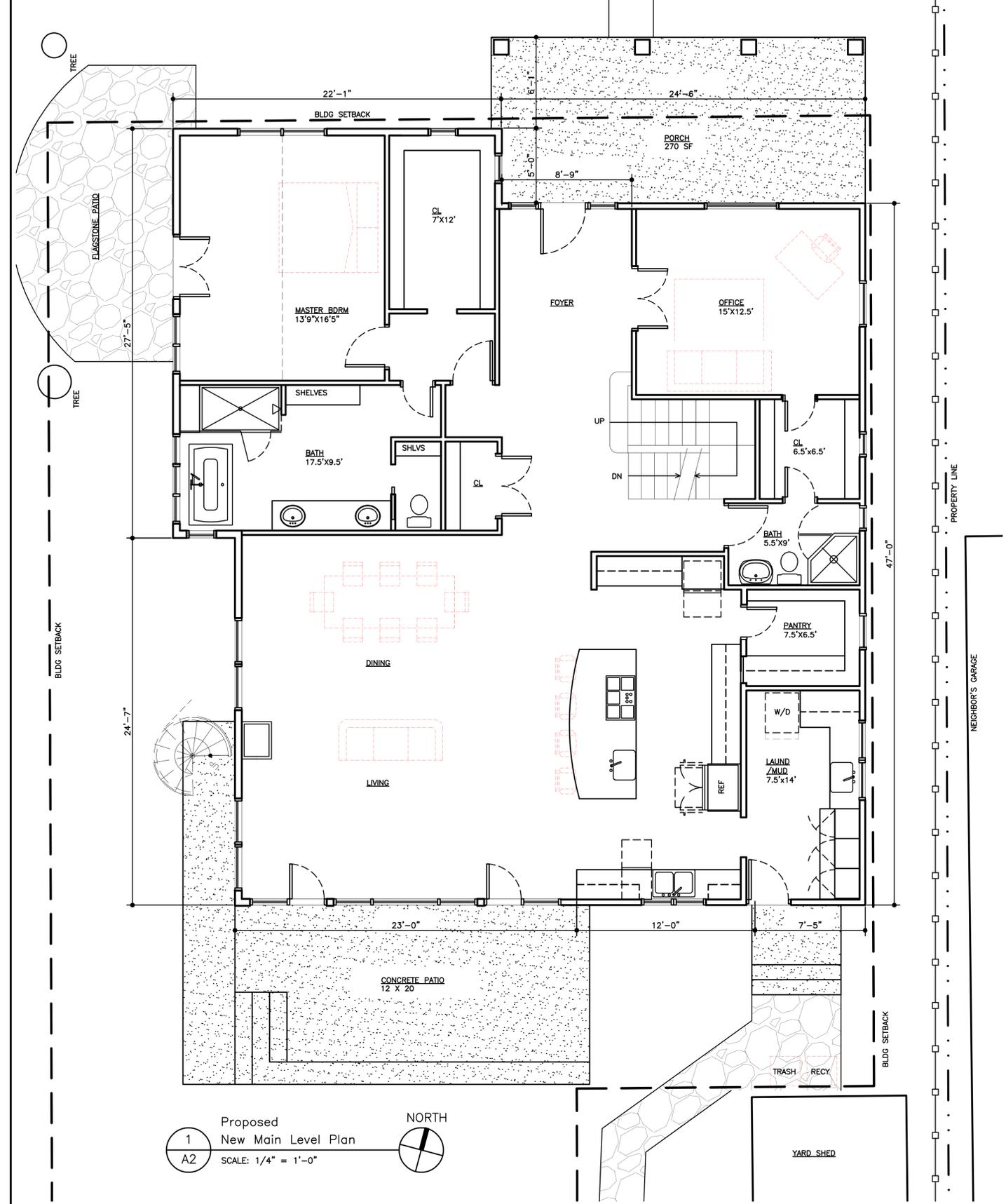
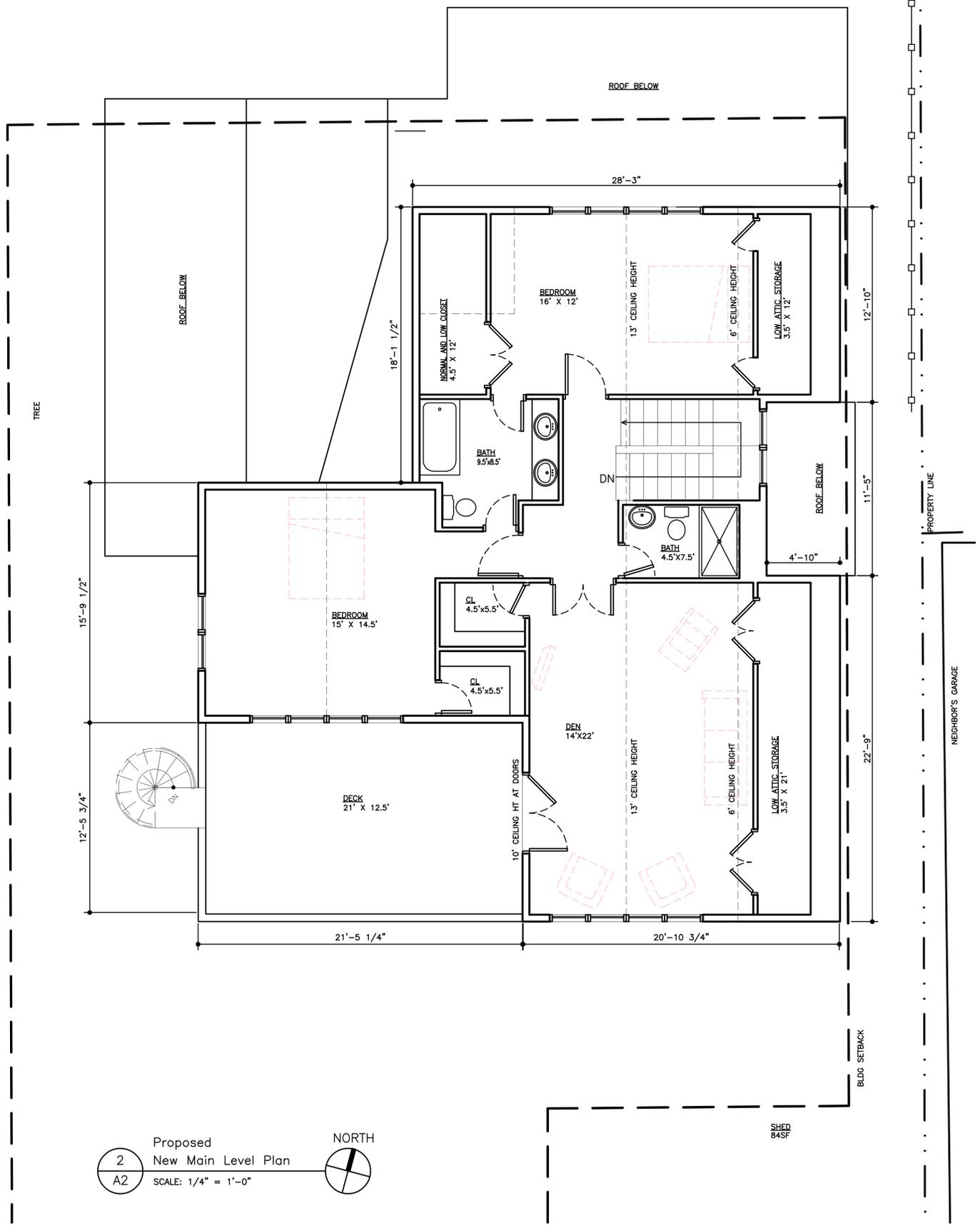
GARZA HOUSE

LANDMARKS BOARD PRESENTATION

LAWRENCE and GOMEZ ARCHITECTS www.lawrenceandgomez.com

August 1, 2013

A1



420 SPRUCE STREET, BOULDER

GARZA HOUSE

LANDMARKS BOARD PRESENTATION

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August 1, 2013

A2



4 Proposed East elevation
A3 SCALE: 1/4" = 1'-0"



3 Proposed South (alley) elevation
A3 SCALE: 1/4" = 1'-0"



2 Proposed West elevation
A3 SCALE: 1/4" = 1'-0"



1 Proposed North (street) elevation
A3 SCALE: 1/4" = 1'-0"

420 SPRUCE STREET, BOULDER

GARZA HOUSE

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August 1, 2013

A3

EXISTING CONSTRUCTION AT 420 SPRUCE STREET



North elevation (street view)



Front door, 2-story east addition, cottage

EXISTING CONSTRUCTION AT 420 SPRUCE STREET



Cottage north elevation



Cottage northwest corner

EXISTING CONSTRUCTION AT 420 SPRUCE STREET



East elevation



South elevation, lean-to and 2-story east addition

NEIGHBORHOOD CONTEXT FOR 420 SPRUCE STREET



425 Spruce



421 Spruce



2060 5th Street



2080 5th Street

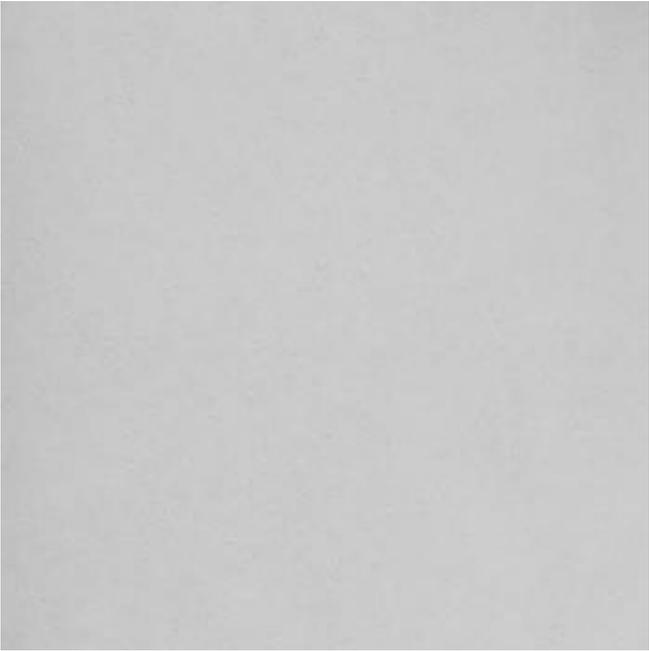


across Morrison Alley 414-484 Pearl Street



631 Highland Avenue

PROPOSED SCHEMATIC COLOR PALETTE FOR NEW HOUSE AT 420 SPRUCE STREET



El Rey Stucco – Ivory in medium texture

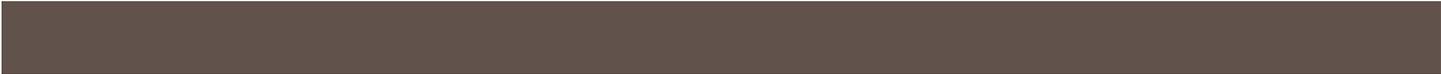


Wood trim - Benjamin Moore Intrigue 1580



Cedar shingles with Sherwin Williams Beechwood semi-

transparent stain



Sierra Pacific windows and patio doors in Mocha 98

Attachment E: Applicant's Submittal
PROPOSED SCHEMATIC COLOR PALETTE FOR NEW HOUSE AT 420 SPRUCE STREET



Proposed palette for 420 Spruce



View from the street (north elevation)



View from back yard (southwest)



Roof from the northwest



Roof from the northeast