

M E M O R A N D U M
September 4, 2013

TO: Landmarks Board

FROM: Lesli Ellis, Comprehensive Planning Manager
Marcy Cameron, Historic Preservation Planner
James Hewat, Senior Historic Preservation Planner

SUBJECT: Public hearing and consideration of a Landmark Alteration Certificate for landscape modifications including a garden and plaza at north side of property, including new hardscaped areas, trellises, a fountain, fire pit, benches, planting beds, and reorientation of parking at Mt. St. Gertrude Academy, 970 Aurora Ave., an Individual Landmark, per Section 9-11-18 of the Boulder Revised Code (HIS2013-00114).

STATISTICS:

- | | | |
|----|-----------------------|----------------------------|
| 1. | Site: | 970 Aurora Avenue |
| 2. | Zoning: | Residential Low – 1 (RL-1) |
| 3. | Owner: | Academy Equities |
| 4. | Applicant: | Jonas DiCaprio, Architect |
| 5. | Property Area: | 104,687 sq. ft. |
| 9. | Date of construction: | 1892 |

Staff Recommendation:

Staff recommends that the Landmarks Board adopt the following motion:

Motion to deny the application for landscape modifications at St. Gertrude Academy and adopt this memorandum and the findings of the Board.

This recommendation is based upon staff's finding that, as submitted, the proposal is inconsistent with Section 2.0 *Site Design* of the *General Design Guidelines*, and Section 9-11-18(a)&(b)(1)-(4) of the Boulder Revised Code, 1981.

Summary:

- Constructed in 1892 and added to in 1921, the Mt. St. Gertrude Academy property occupies an entire block, bounded by Aurora Ave. on the north, Cascade Avenue on the south, Lincoln Ave. on the west and 10th St. on the east.
- Elements of the proposal were preliminarily reviewed by the Landmarks design review committee (Ldrc) in the summer of 2013. However, the Ldrc determined, pursuant to § 9-11-14(a)(3), B.R.C. 1981, that the scope of the project warranted review by the full Landmarks Board in a public hearing.
- The proposal calls for significant hardscaping at the north front of the building in front of the main school building and chapel to include garden and plaza at north side of property, including new hardscaped areas, trellises, a fountain, fire pit, benches, planting beds, and reorientation of parking; all of which is intended to be compliant with the Americans with Disabilities Act.
http://www.nps.gov/hps/tps/standguide/preserve/preserve_access.htm
- In terms of mass, scale, height, proportion, and style staff is of the opinion that the proposed design is inconsistent with Section 2.0 *Site Design* of the *General Design Guidelines*, and Section 9-11-18(a)&(b)(1)-(4) of the Boulder Revised Code.
- Staff recommends denial of the project based upon the analysis in this memo and the *Findings* Section herein but encourages the applicant to explore a more modest, historically appropriate proposal to landscape the property to provide ADA compliance and activate the front lawn area in a manner consistent with the heritage of Mt. St. Gertrude Academy.

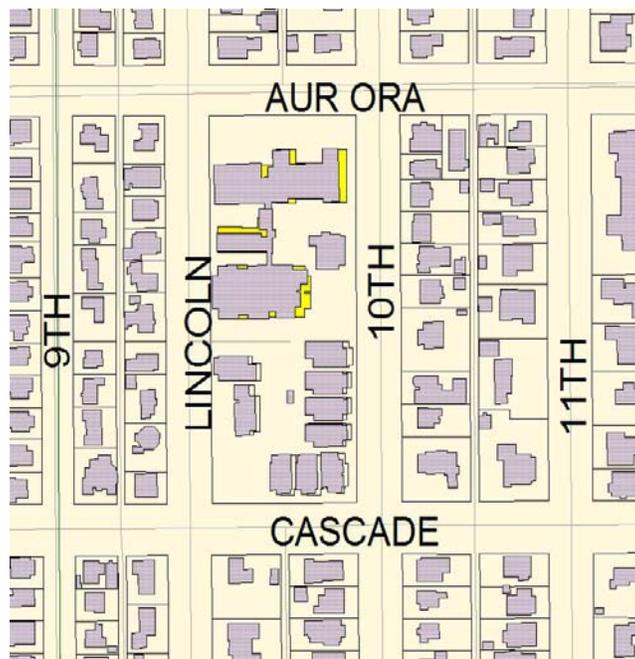


Figure 1. Location Map

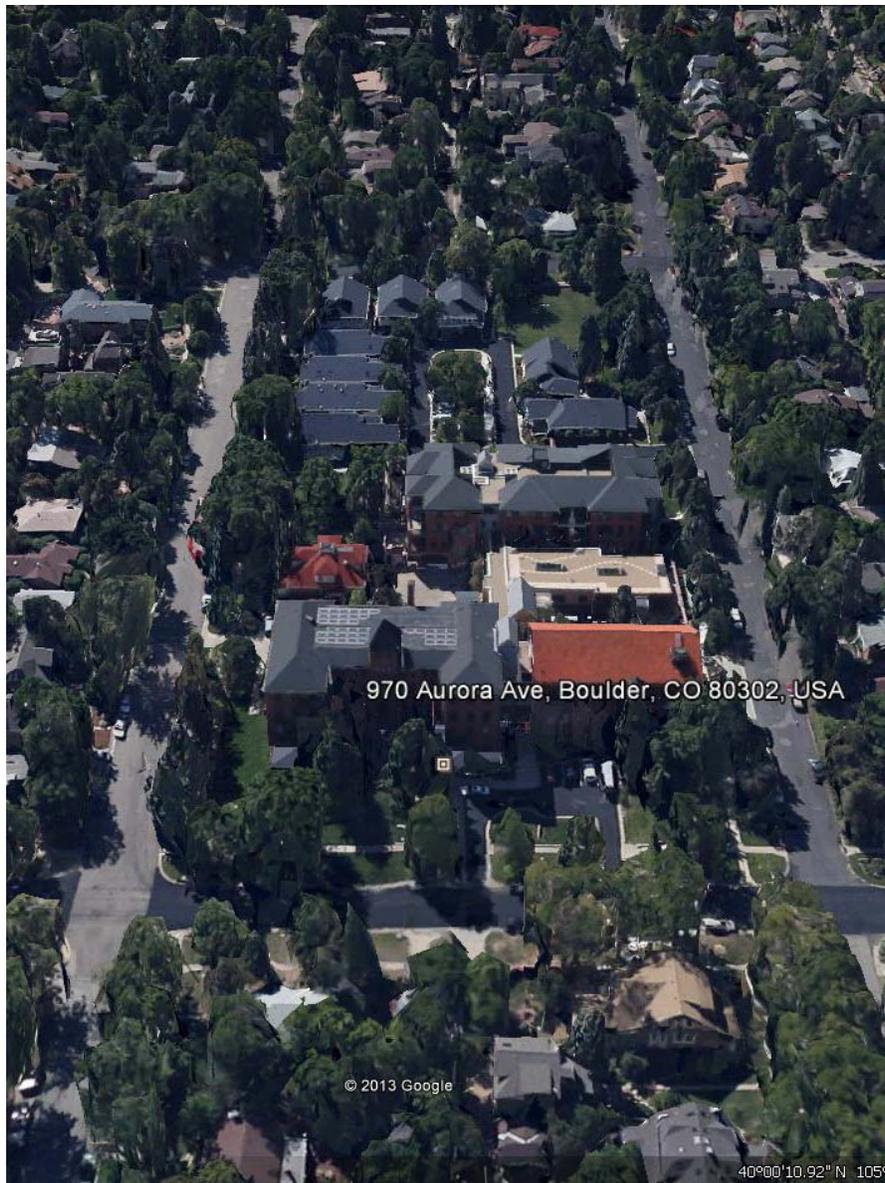


Figure 2. Aerial photograph, 970 Aurora Ave.

Background and History of Property:

Saint Gertrude Academy was the first major private educational institution to locate in Boulder, the fourth school to be built in the community, and the first major building to be erected on University Hill. Construction began on the Richardsonian Romanesque building in 1892 after being commissioned by four Catholic Sisters of the Charity of the Blessed Virgin Mary based in Dubuque, Iowa. The sisters moved to Boulder in 1890 at the invitation of Bishop Matz. Initially, Sisters Mary Theodore, Thecla, Faustina, and Luminia rented the Mallon house at 14th and Walnut Streets as their convent, then moved to Martha Decker's house at 13th Street and Mapleton Ave. to be closer to Sacred Heart Church.



Figure 3. St. Gertrude Academy shortly after completion

In 1892, the sisters opened their academy, a grand three and one-half story schoolhouse, at what is today 970 Aurora Ave. At first, St. Gertrude's accepted boys and girls, Catholics and non-Catholics. Within a few years, the enrollment was so large that the sisters began accepting girls only. Sister Mary Luminia, the principal, advertised the academy for "girls who desire health as well as primary education," hoping to attract to this dry, sunny foothills boarding school girls suffering from or exposed to tuberculosis.



Figure 4. St. Gertrude Academy, 1902

St. Gertrude offered elementary, secondary, and music education. In 1919, the original 1892 school was expanded with the addition of two large wings costing \$90,000, as well as two more stories for the main building, and a chapel. Much of the funding is recorded as being donated by Boulder residents, Catholic and non-Catholic alike. Townsfolk remembered that after the 1893 silver crash, and resulting depression, the sisters at St. Gertrude had staged a carnival to benefit the whole community.



Figure 5. St. Gertrude Academy after construction of wings, 1921.

The expansion of the building to include two wings and a chapel in 1921 appears to have coincided with the development of a site plan for the property by landscape architect W.E. Cullen of Pueblo, Colorado (*see figure 5*). Cullen was born in Canada in 1867 and moved to Colorado in 1886. The 1910 and 1920 censuses list him as living in Boulder. In 1920 he is known to have moved to Pueblo. In 1933 and 1934 Cullen served in the Colorado State House as a Democrat. Little is known about his involvement in remodeling Mt. St. Gertrude or to what extent his landscape plan for the property was realized. However, the plan shows an axial walkway to the front stairs of the main building and straight pathways continuing around the east and west of the school. At the rear of the school tennis courts, a basketball courts, a chicken yard, vegetable garden and a landscaped park area with looping trails at the south side of the block are shown. The proposed designs at the north end of the property were not realized.

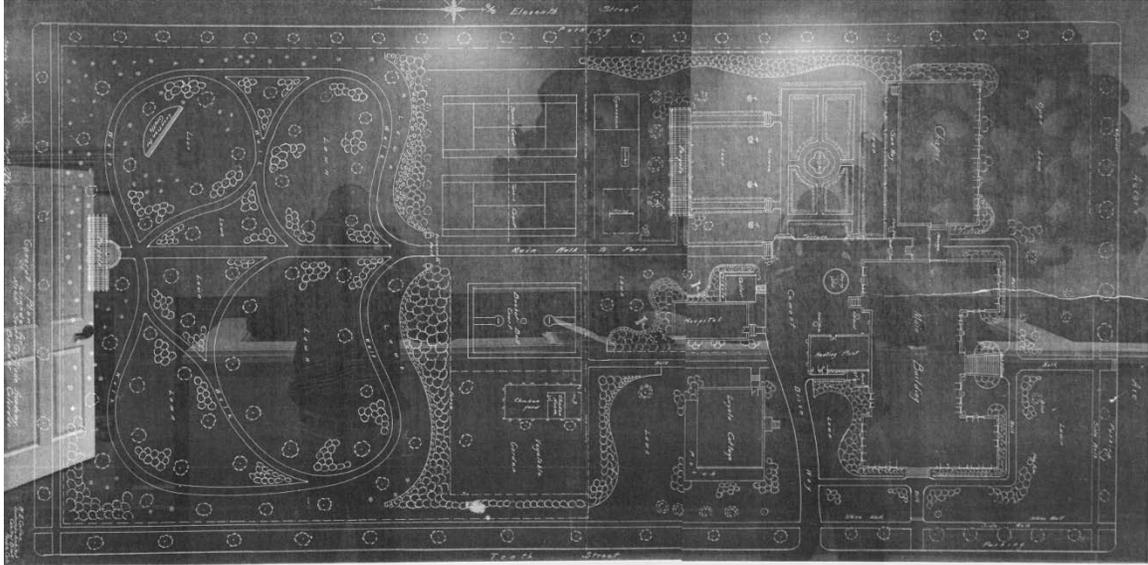


Figure 5. Grounds Plan for Mt. St. Gertrude Academy, W.E. Cullen (undated).

St. Gertrude continued to be Boulder's leading private school until its closure in 1969. The building was sold to the University of Colorado, whose Continuing Education Department used it until a fire nearly destroyed the building on October 26, 1980. Following the fire, the charred shell of the brick and stone building sat dormant until 1993 when it was landmarked and the property was redeveloped for use as an assisted living facility for the elderly. This included the construction of a number of free-standing units and rear additions to the school and chapel.

Today, the area in front of the school and chapel is simply landscaped as historic photographs indicate it has always been. The original walkway from the sidewalk to the front steps of the school has been removed. Low flagstone retaining walls border the property.

Landmark Alteration Certificate Request

The applicant is requesting that the board consider a number of exterior changes at the north end in front of the building property. The intent is to activate and provide universal access in this area for residents. Currently, the north end of the property contains approximately 4,360 sq. ft. (22%) of paved area. The proposed scheme will increase the amount of paved area to just over 7,000 sq. ft (35%). A low retaining wall runs along the east and north edge of the property with a gap in the location of the proposed central walkway.

A narrative of the proposed changes is below:



Figure 7. Proposed Landscaping, Bird's-Eye View

2. Re-grading of pathways in front of building to achieve universal accessibility.

A significant amount of re-grading is shown to occur in this area to provide Americans with Disabilities Act (ADA) access (the grade drops to the east on the property). Plans also call for walkways to extend from the sunken garden areas east and west in front of the building. At the west, the pathway (9% grade) intersects with a “viewing area” and the existing connector between the school and the chapel. At the east the path continues a larger paved area where a sculpture is proposed and then intersects with a winding pathway running along the east side of the school.

3. Construction of time garden with trellis at northeast corner and construction of celebration square with fire feature and trellises at northwest lawn area.

A paved 750 sq. ft. “time garden” area is proposed at the northeast corner of the property. Benches and a trellis are shown to be located at the east end of this area. A similarly sized patio area is proposed at the northwest corner of the lawn and is shown to feature a “fire” area, two trellises and three benches. Both of these patios are accessed via the proposed east-west walkway in front of the school and both to be paved with sandstone blocks and enclosed by stone curbs and retaining walls.

4. Reconfiguration of parking area at west to remove curb cut and new curving pathway at east side of building.

Plans show the existing 2,900 sq. ft. paved parking area to be reconfigured and reduced in size to approximately 2,100 sq. ft. This reconfiguration includes vacation of the two

separate curb cuts to provide a wider single, centrally located curb cut providing vehicular access to the parking area. A retaining wall at the south and west of the parking area is shown to be constructed to between 2' and 4' in height.

Analysis:

The Historic Preservation Ordinance specifies that a Landmark Alteration Certificate may not be approved by the board or City Council unless it meets the conditions specified in Section 9-11-18, B.R.C. 1981. Specifically:

Criteria for the Board's Decision and Analysis:

1. *Does the proposed application preserve, enhance, or restore, and not damage or destroy the exterior architectural features of the landmark or the subject property within an historic district?*

Staff considers reconfiguration of the parking area and curb-cuts and removal of evergreen trees will preserve and not damage the historic character of the Landmark property. However, staff considers the extent of modifications to the landscape, including nearly doubling the amount of paved area, construction of retaining walls, changing the configuration of the front stair to the school and construction of water features, pools, trellises and other features, would damage the simple historic character of the landscape at the primary face of the landmark property. Historically, the building has never been elaborately landscaped, with a sloped, open lawn and simple walkway at the north end of the property.

2. *Does the proposed application adversely affect the special character or special historic, architectural, or aesthetic interest or value of the district?*

Staff considers the extent of re-grading and hardscaping proposed, including the erection of retaining walls and other permanent features and the blocking the front stairs to the school, will have an adverse affect upon this important and highly visible landmark property as outlined in the design guideline analysis below.

3. *Is the architectural style, arrangement, texture, color, arrangement of color, and materials used on existing and proposed buildings compatible with the character of the historic district?*

While not located in a historic district, staff considers the extent of modifications, including arrangement, texture, color and materials, to be incompatible with the simple historic character of St. Gertrude Academy.

4. Does the proposal to demolish the building within the Mapleton Hill Historic District and the proposed new construction to replace the proposed demolished building meet the requirements of subparagraphs 9-11-18(b)(2) and 9-11-18(b)(3) of this section?

Not applicable.

5. The Landmarks Board is required to consider the economic feasibility of alternatives, incorporation of energy-efficient design, and enhanced access for the disabled in determining whether to approve a Landmark Alteration Certificate.

The applicant intends to improve universal accessibility at the front of this important property. Staff supports this goal but considers that creating a fully accessible property needs to be undertaken in a way that does not have an adverse impact of the historic character of the landmark property.

Design Guidelines:

The Historic Preservation Ordinance sets forth the standards the Landmarks Board must apply when reviewing a request for a Landmark Alteration Certificate. The board has adopted the Design Guidelines to help interpret the Historic Preservation Ordinance. The following is an analysis of the proposed construction with respect to relevant guidelines. Design guidelines are intended to be used only as an aid to appropriate design and not as a checklist of items for compliance.

General Design Guidelines

2.0	Site Design		
	<i>Site design includes a variety of character-defining elements of our historic districts and buildings. Individual structures are located within a framework of streets and public spaces that set the context for the neighborhood. How the structures occupy their site, in terms of alignment, orientation, and spacing, creates much of the context of the neighborhood.</i>		
	Guideline	Analysis	Conforms?
.1	<i>Locate buildings within the range of alignments seen traditionally in the area, maintaining traditional setbacks at the front, side and rear of the property.</i>	Proposed location of paved areas retaining walls and associated features is inconsistent with the historic character of this property. Amount of re-grading, paved area, retaining walls and associated features should be significantly reduced. Recreating walkway to front stairs is typical of landmarked institutional buildings (i.e., Mapleton, Highland, Lincoln and Washington Schools). Consider revising to use natural grade to achieve 1:12 pitch from street to front stairs	No

		eliminating need for steps at north edge. Remove proposed wall in front of stairs and eliminate diagonal steps from design.	
.3	<i>Orient the primary building entrance to the street.</i>	Proposal to recreate walkway to front entrance of school consistent with this guideline. Proposed wall at front stair of school is inconsistent with this guideline. (See 2.1 above).	No
.4	<i>Preserve the original location of the main entry and walk.</i>	Proposal to recreate walkway to front entrance of school consistent with this guideline. Proposed wall at front stair of school is inconsistent with this guideline. (See 2.1 above).	No
.7	<i>Preserve a backyard area between the house and the garage, maintaining the general proportion of built mass to open space found within the area.</i>	While no garage is proposed, the proportion of built mass in the form of paved areas, retaining walls, and associated features will alter the character of paved vs. grassed area historically found in front of the property.	No
2.2 Streetscape and Landscape			
.3	<i>When a tree must be removed, or where there is a gap in the rhythm of street trees, install new street trees in locations that continue to express the established rhythm.</i>	Large evergreen trees proposed for removal. Trees proposed for removal are not character defining features of the property.	Yes
.5	<i>Provide a front yard area that is landscaped in a traditional manner with traditional materials.</i> <ul style="list-style-type: none"> • <i>Avoid replacing sod with concrete or any hard surface</i> • <i>Edge areas with natural materials such as stone</i> • <i>Locate planting beds in traditional areas such as around foundations and along walkways.</i> 	While the existing parking area is to be reduced in size approximately 30%, the net increase in paved area in front yard area nearly doubles. Lawn area drops from 71% to 37% in current proposal. Limited use of low stone edging and for plantings appropriate. Significantly reduce amount of paved areas, retaining walls, and curbed areas.	No
2.3 Parking & Driveways			
.1	<i>Maintain the traditional parking at the rear of the lot.</i>	Such access is not possible on this property. Reconfiguration of existing parking area more consistent with this guideline and reduces amount of paved area at front of property. Retaining walls should be greatly	Maybe

		reduced or eliminated.	
.2	<i>Access to parking should be from the alleys whenever possible.</i>	Such access is not possible on this property. Reconfiguration of existing parking area more consistent with this guideline and reduces amount of paved area at front of property.	Yes
2.5	Sidewalks		
	<i>Many of Boulder's older neighborhoods were originally paved with flagstone or aggregate concrete. The original walkway materials are important elements and contribute to the historic character. The traditional pattern of walkways perpendicular from the public sidewalk to main entries provide unity. New sidewalks must meet the requirements of the Americans with Disabilities Act.</i>		
.1	<p><i>Retain and preserve original sidewalk materials where they exist. If replacement of a deteriorated section is necessary, match the original element in location pattern, spacing, dimension material, etc.</i></p> <p><i>New walkways should be designed to be compatible in location, pattern, spacing dimensions, materials and color with existing walkways that contribute to the overall historic character of the area</i></p> <ul style="list-style-type: none"> <i>Walk design should be simple and traditional, reflecting the neighborhood and period of construction.</i> <p><i>Flagstone or traditional aggregate concrete is encouraged.</i></p>	Main walkway from sidewalk to school proposed to be brick paver. It is unclear what was historically used on property, though landscaping undertaken in 1921 associated with school likely used aggregate concrete. This is the material used on the public sidewalk and common in University Hill. New paving should be more traditional and simplified. Use of multiple paving materials as proposed is inappropriate.	No
.2	•		No
.3	<i>Provide a walkway from the street to the primary front entrance of the building. The walkway should generally be perpendicular to the sidewalk.</i>	Proposal to recreate walkway to front entrance of school is consistent with this guideline. Proposed wall at front stair of school is inconsistent with this guideline. (See 2.1 above.)	Maybe
.7	<p><i>Where existing retaining walls are important to the character of the site they should be preserved and incorporated into new landscape features.</i></p> <ul style="list-style-type: none"> <i>Tall, plain concrete retaining walls are inappropriate.</i> <i>Regrading and the introduction of new retaining walls is inappropriate.</i> 	The applicant proposes the introduction of a number of new retaining walls, some as a result of regrading to provide ADA access at the front of the property. There is an existing retaining at the east and north edge of the property which should be preserved in place. Construction of new retaining wall behind existing and wing walls at proposed stair inappropriate. Consider eliminating steps at front walk to achieve ADA 1:12	No

	<p>accessibility (with light handrail if necessary). Proposed new retaining walls should be greatly reduced in number and height, or eliminated altogether. Look at alternative ways to achieve ADA compliance. Consult NPS Standards for Preservation and <i>Guidelines for Preserving Historic Properties – Accessibility Considerations.</i></p>	
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Staff considers recreating the front walkway to the historic main entrance of St. Gertrude Academy to be consistent with the *General Design Guidelines* and the historic preservation ordinance. In doing this, consideration should be given to eliminating the front steps as there is no evidence stairs existed historically in this location. By doing so, ADA accessibility could be achieved at a 1:12 (or less) pitch. This might require the installation of a light handrail. Likewise, staff supports providing universal accessibility parallel to the building but suggests that options should be explored to reduce the need for major re-grading and new retaining walls.

Consistent with the design guidelines, staff considers that the amount of paving should be significantly reduced. The use of crusher fines with side and other soft-scaping should be considered as an alternative to hard paving, especially at the proposed garden areas. Likewise, staff considers the introduction of water and fire features inappropriate, especially in proposed size, location, and configuration. Staff also considers the proposed wall in front of the main entrance, new stairs, and “sunken gardens” out of keeping with the historic character of the landmark and inconsistent with the Design Guidelines.

In general, the proposal should be significantly simplified to reflect the simple historic character of the front of property as evidenced by historic photographs and W.E. Cullen’s landscape plan for the property.

Staff considers that enlivening this area and providing universal accessibility to this area of the property can be achieved, but that this will require a rethinking of the programming and significant redesign by the applicant.

Findings:

The Landmarks Board finds that the proposed landscape alterations at St. Gertrude Academy, 970 Aurora Ave. as shown on drawings dated 08.21.2013 are inconsistent with the purposes and standards of the Historic Preservation Ordinance, and:

1. The proposed work will damage the simple character of this area of the landmarked property.
2. The proposal will adversely affect the special historic and architectural character of the landmarked property.
3. The architectural style, arrangement, texture, color, arrangement of color, and materials used on the existing and proposed construction will be incompatible with the character of the landmark and the historic district as a whole.

The Landmarks Board finds that the issuance of a Landmark Alteration Certificate for the proposed hardscaping would be inconsistent with the Historic Preservation Ordinance and the *General Design Guidelines* and would adversely affect the special historic character of the property District, per 9-11-18(2) of the Boulder Revised Code 1981.

ATTACHMENTS:

- A: Historic Building Inventory Form
- B: Photographs
- C: Scaled Plans

Attachment A: Historic Building Inventory Form

COLORADO HISTORICAL SOCIETY Office of Archaeology and Historic Preservation 1300 Broadway, Denver, Colorado HISTORIC BUILDING INVENTORY RECORD CITY OF BOULDER, COLORADO Boulder County	NOT FOR FIELD USE ___ ELIGIBLE ___ DET NOT ELIG ___ NOMINATED ___ CERTIFIED REHAB ___ DATE _____

PROJECT NAME: BOULDER HISTORIC PLACES	State ID#: 5BL1471

*Building Name: MT. ST. GERTRUDE ACADEMY	Temporary #: 44

*Building Address: 970 AURORA STREET	BOULDER, COLORADO 80302

Building Owner: REGENTS, UNIVERSITY OF COLORADO	
Owner Address: REGENT 203, BOX B13	BOULDER, COLORADO 80302

USGS Quad: BOULDER	Quad Year: 1979 7.5'

*Legal: Tnsp 1N Range 70W Section 31	SW1/4 SW1/4

*Historic Name: MT ST. GERTRUDE ACADEMY ANNEX	
District Name:	

Block: 27 Lot: 1-48	Addition: UNIVERSITY
Year of Addition: 1890	

Film Roll By: WHITACRE	Film Number: BL6
Number of Negatives: 22,23	Negative Location: BOULDER

*Construction Date: ACTUAL 1892	
Source: DAILY NEWS, FEB 2, 1892	

Present Use: SCHOOL	Historic Use: SCHOOL

Condition: DETERIORATING	Extent of Alterations: MAJOR
Description: BUILDING GUTTED BY FIRE - FUTURE UNCERTAIN	

ORIGINAL	If Moved, Date(s):

Style: ROMANESQUE REVIVAL	Stories: 4
Materials: BRICK, STONE	Square Footage: 31,020

Field Assessment: NOT ELIGIBLE	District Potential: YES NON-CONTRIBUTING

Local Landmark Designation?: YES	Name: CITY OF BOULDER Date: 1984

Associated Buildings?: YES	Type: STORAGE BUILDING
If Inventoried, List Id Numbers:	

Architect: ALEXANDER CAZIN	Source: THE DAILY NEWS, FEBRUARY 2, 1892
Builder/Contractor: LUTHER HIXSON	Source: THE DAILY NEWS, FEBRUARY 2, 1892
Original Owner: THE SISTERS OF CHARITY, B.V.M.	Source:

Plan Shape:

Theme(s):
 Religion, Education

Architectural Description:
 Four-story red brick building with red tile floor. Red sandstone tower over arched main entrance. Rectangular windows with stone lintels and sills.

Construction History:
 The main part of the structure was completed in 1892; the two large wings and chapel were completed in 1920.

Historical Background:
 In the summer of 1891 four Sisters of Charity, B.V.M., Sister Mary Theodore, Thecla, Faustina and Lumina came to Boulder with the purpose of opening an academy. They selected a location in "University Place addition", grounds once owned by pioneer Anthony Arnett. Warren Hollingsworth McLeod donated the north half of the campus, and the Sisters bought land to the south to comprise an entire block. The original building cost \$30,000 and the academy opened on November 2, 1892. The course of study included grammar school, high school and a music department.

In 1919 two large wings and a Chapel with auditorium underneath were added at a cost of \$90,000, and completed in 1920.

Because of financial problems, Mount St. Gertrude closed in 1969. The building and grounds were then purchased by the University of Colorado for use as classrooms and offices.

Architectural Significance:
 ___ Represents the work of a master.
 X Possesses high artistic values.
 X Represents a type, period or method of construction.

Historical Significance:
 ___ Associated with significant persons.
 X Associated with significant events and/or patterns.
 ___ Contributes to an historic district.

Statement of Significance:
 Mt. St. Gertrude was the first major private educational institution to locate in Boulder, the fourth school built in the community, and the first major structure on University Hill. It is a classic design for institutional buildings of the 1890s and early 1900s, and an excellent example of the Romanesque style in educational buildings.

970 Aurora Street

Page 3

References:

Susan Baldwin, Boulder Historic Places Inventory 1977
Boulder County Assessor's Office
The Daily News, February 2, 1892
"Memorandum", Landmark Advisory Board from Boulder Planning Department,
regarding Mt. St. Gertrude Landmark Designation, 1984

Surveyed by Whitacre/Simmons Affiliation: Front Range Research
Date: 1986



COLORADO HISTORICAL SOCIETY
 Office of Archaeology and Historic Preservation
 1300 Broadway, Denver, Colorado 80203

COLORADO CULTURAL RESOURCE MANAGEMENT: REEVALUATION FORM

NOT FOR FIELD USE			
<input type="checkbox"/> Eligible	<input type="checkbox"/> Nominated	<input type="checkbox"/> Det. Not Eligible	<input type="checkbox"/> Certified Rehab.
Listed, Date _____			

This form should be used to update information on the current Colorado Cultural Resource Survey forms. If inadequate forms are being updated, please fill out complete inventory forms.

PROJECT NAME: Boulder Survey of Historic Places, 1992	NAME: 970 Aurora St. Boulder, CO 80302	STATE ID NO.: 5BL1471	DATE(S) REEVALUATED: June 1992
		TEMPORARY NO.:	
<u>CHANGES OR ADDITIONS TO ORIGINAL SITE FORM</u>			
ITEM NO.	DESCRIPTION		
District	University Hill		
Field Assessment	Eligible		
CONTINUED: YES [] NO []			
SITE CONDITION: PERCENTAGE INTACT (DESCRIBE CURRENT IMPACTS, THREATS) Building is vacant due to heavy fire damage several years ago. Threats include deterioration, vandalism, and development pressures.			
PURPOSE OF INVESTIGATION (CHECK AS MANY CATEGORIES AS APPLY): TEST FOR: DETERMINATION OF ELIGIBILITY [] DETERMINATION OF SUBSURFACE IMPACTS [] SURFACE COLLECTION [] (PERCENTAGE COLLECTED: %) EXCAVATION [] (PERCENTAGE EXCAVATED: %) CHECK ON SITE CONDITION [] OTHER (SPECIFY) [X] Resurvey of Selected Resources from 1985 Boulder Survey.			

RESULTS OF INVESTIGATION AND STATEMENT OF SITE SIGNIFICANCE (IN CONTEXT OF REGIONAL RESEARCH DESIGN):

STATE ID NUMBER: 5BL1471

Mount St. Gertrude's Academy is significant for its association with the school established by the Sisters of Charity in 1892. The institution was the first major private school in Boulder and the first major building on University Hill. The building is representative of the Romanesque Revival style, reflected in its arched entrance, projecting square bays, and rusticated stone. Although the building sustained major damage in a fire, it and an associated building possess enough historical significance and maintain enough historic integrity to be considered eligible to the National Register. It is a visual landmark within the University Hill neighborhood.

CONTINUED? YES [] NO []

NATIONAL REGISTER ELIGIBILITY FIELD ASSESSMENT:

INDIVIDUAL: YES [X] NO [] CONTRIBUTING TO DISTRICT: YES [X] NO []

ATTACHMENTS: (NUMBER OF PAGES)

MAPS [] PROFILES [] ARTIFACT ANALYSIS [] PHOTOGRAPHS [X] OTHER []

ARTIFACT AND FIELD DOCUMENTATION STORAGE LOCATION:

City of Boulder Planning Department and Colorado Historical Society.

REPORT (AUTHOR, TITLE, YEAR):

R. Laurie Simmons and Thomas H. Simmons, "Boulder Survey of Historic Places, 1992" (1992).

ADDITIONAL COMMENTS: Photograph: Roll 92-5A, Frame 9

CONTINUED? [] YES [] NO

RESEARCHER: Laurie Simmons/Thomas Simmons

AFFILIATION: Front Range Research Associates Inc.

DATE: June 1992



970
Address: ~~965~~ AURORA AV
Boulder, Colorado

COLORADO CULTURAL RESOURCE SURVEY
Cultural Resource Re-evaluation Form

1. Resource Number: **5BL1471**

2. Temp. Resource Number:

3. Attachments

(Check as many as apply)

- Photographs
- Site sketch map
- U.S.G.S. map photocopy
- Other
- Other

4. Official determination

OAHP USE ONLY

- Determined Eligible
- Determined Not Eligible
- Need Data
- Nominated
- Listed
- Contributing to N.R. District
- Not Contributing to N.R. District

5. Resource Name: **Mt. St. Gertrude Academy**

6. Purpose of this current site visit: **Resurvey**

7. Previous Recordings: **Front Range Research Assoc.; June 1992**

8a. Changes or Additions to Previous Descriptions:

Built 1892. Listed on National Register of Historic Places on 11/03/94, 5BL.1417. This building was badly damaged by fire in the 1980's. It has been restored as housing for seniors. The historic nuns' residence (built 1920) has been restored and is used for offices. There is a large new apartment building and nine newly built bungalow style houses which are all part of the the senior housing.

8b. Square Footage: 31,020

9. Changes in Condition:

10a. Changes to Location or Size Information

10b. UTM Coordinates: **13 476048E 4427995N**

11. Changes in Ownership: REGENTS, UNIV OF COLORADO
REGENT 203, BOX B13
BOULDER
CO
80302

12. Other Changes, Additions or Observations:

13. Eligibility Assesment:

Individual:

National Register: **Eligible**

Local Landmark: **Eligible**

Local Landmark: Yes

District:

National Register: **Contributing**

Local: **Contributing**

14. Managment Recommendations: **N/A**

Address: **965 AURORA AV**

Resource Number: **5BL1471**

Temp. Resource Number

Cultural Resource Re-evaluation Form

page 2 of 2

15. Photograph Types and Numbers:

Type: **b&w**

Roll No: **02-S/T/U/V**

Frame No: **see field notes**

16. Artifact and Field Documentation Storage Location **N/A**

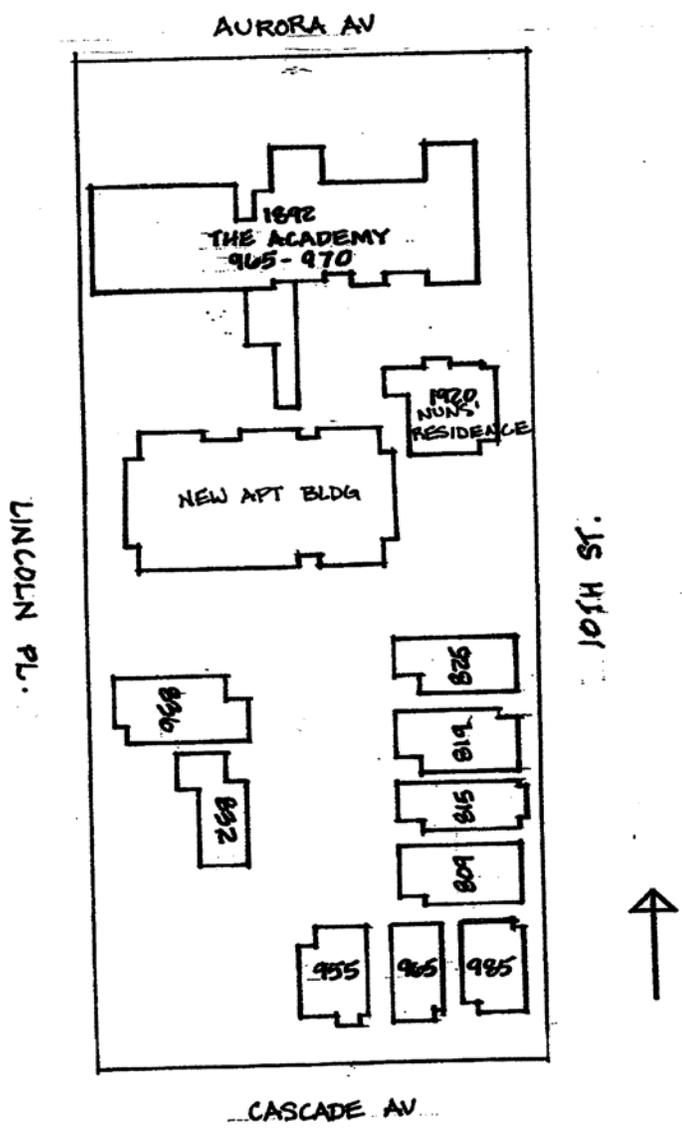
17. Report Title: **University Hill Resurvey**

18: Recorder(s): **Kathryn Howes Barth, AIA; Lara Ramsey** 19: Date(s): **Apr/ May 2002**

20: Recorder Affiliation: **Kathryn Howes Barth, AIA; Ramsey Planning and Preservation**

Attach Photo and Map if Extensively Altered

Colorado Historical Society, Office of Archaeology and Historic Preservation
1300 Broadway, Denver, CO 80203











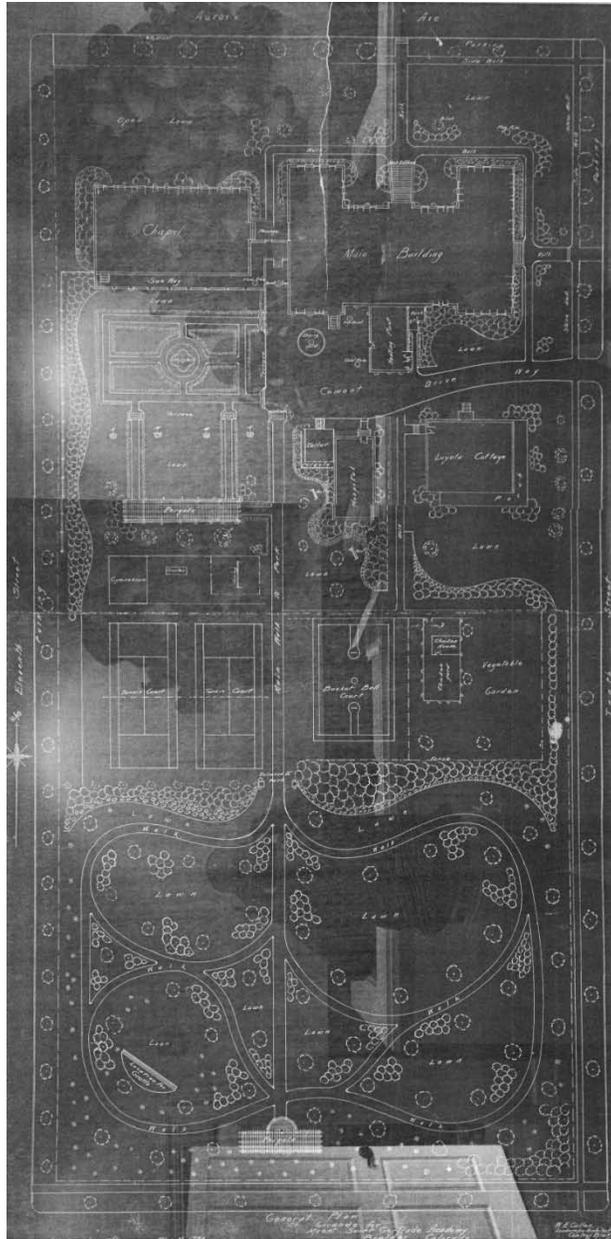






Attachment B: Photographs



















Attachment C: Scale Plans