



**CITY OF BOULDER  
LANDMARKS BOARD MEETING**

**DATE:** Wednesday, October 7, 2015

**TIME:** 6:00 pm

**PLACE:** 1777 Broadway, Municipal Building, City Council Chambers

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1. Call to Order
2. Approval of minutes from the September 2, 2015 Landmark Board Meeting
3. Public Participation for Items not on the Agenda
4. Discussion of Landmark Alteration, Demolition Applications issued and pending
  - Statistical Report
5. Public Hearings
  - A. Public hearing and consideration of an application for the on-site relocation of a contributing accessory building at 410 Highland Avenue per Section 9-11-18 of the Boulder Revised Code, 1981 (HIS2015-00229). Applicant: Joel Smiley, Owner: David Wurtz
  - B. Public hearing and consideration of a Landmark Alteration Certificate to construct a 405 sq. ft. addition to the main house, modify the fenestration on the south elevation, and construct a new 280 sq. ft. free-standing, one-car garage, at 800 Arapahoe Avenue per section 9-11-18 of the Boulder Revised Code (HIS2015-00232). Applicant: Steve Dodd, Owner: Historic Boulder
  - C. Public hearing and consideration of an application for the removal of outdoor seating at 1236 Canyon Boulevard, the Glen Huntington Bandshell in Central Park, per Section 9-11-18 of the Boulder Revised Code, 1981 (HIS2015-00237). Applicant/Owner: Parks and Recreation Department, City of Boulder
6. Matters from the Landmarks Board, Planning Department, and City Attorney
  - A. Chautauqua sidewalk at Baseline Rd., Melanie Sloan & Brian Wiltshire Transportation engineering
  - B. Boulder Valley Comprehensive Plan update, Caitlin Zacharias
  - C. Update Memo
  - D. Subcommittee Update
    - 1) Design Guidelines and Code Revisions
    - 2) Outreach and Engagement
    - 3) Potential Resources
7. Debrief Meeting/Calendar Check
8. Adjournment

For more information contact James Hewat at [hewatj@bouldercolorado.gov](mailto:hewatj@bouldercolorado.gov) or (303) 441-3207.  
You can also access this agenda via the website at:  
<https://bouldercolorado.gov/historic-preservation> then select "Next Landmarks Board Meeting".

### PUBLIC HEARING PROCEDURES

#### **Board members who will be present are:**

Kate Remley, Acting Chair  
Fran Sheets  
Deborah Yin  
George Clements  
Briana Butler

John Gerstle *\*Planning Board representative without a vote*

The Landmarks Board is constituted under the Landmarks Presentation Ordinance (Ordinance No. 4721; Title 9, Chapter 11, Boulder Revised Code, 1981) to designate landmarks and historic districts, and to review and approve applications for Landmark Alteration Certificates on such buildings or in such districts.

Public hearing items will be conducted in the following manner:

1. Board members will explain all ex-parte contacts they may have had regarding the item.\*
2. Those who wish to address the issue (including the applicant, staff members and public) are sworn in.
3. A historic preservation staff person will present a recommendation to the board.
4. Board members will ask any questions to historic preservation staff.
5. The applicant will have a maximum of 10 minutes to make a presentation or comments to the board.
6. The public hearing provides any member of the public three minutes within which to make comments and ask questions of the applicant, staff and board members.
7. After the public hearing is closed, there is discussion by board members, during which the chair of the meeting may permit board questions to and answers from the staff, the applicant, or the public.
8. Board members will vote on the matter; an affirmative vote of at least three members of the board is required for approval. The motion will state: *Findings and Conclusions*.

\* Ex-parte contacts are communications regarding the item under consideration that a board member may have had with someone prior to the meeting.

All City of Boulder board meetings are digitally recorded and are available from the Central Records office at (303) 441-3043. A full audio transcript of the Landmarks Board meeting becomes available on the city of Boulder website approximately ten days after a meeting. Action minutes are also prepared by a staff person and are available approximately one month after a meeting.

**CITY OF BOULDER  
LANDMARKS BOARD  
September 2, 2015  
900 Baseline Road, Chautauqua Community House  
6:00 p.m.**

The following are the action minutes of the September 2, 2015 City of Boulder Landmarks Board meeting. A digital recording and a permanent set of these minutes (maintained for a period of seven years) are retained in Central Records (telephone: 303-441-3043). You may also listen to the recording on-line at: [www.boulderplandevlop.net](http://www.boulderplandevlop.net).

**BOARD MEMBERS:**

Kate Remley, Acting Chair

Mike Schreiner

Fran Sheets

Deborah Yin

\*John Gerstle \**Planning Board representative without a vote*

**STAFF MEMBERS:**

Debra Kalish, Senior Assistant City Attorney

James Hewat, Senior Historic Preservation Planner

Marcy Cameron, Historic Preservation Planner

Angela Smelker, Historic Preservation Intern

Holly Opansky, Landmarks Board Secretary

**1. CALL TO ORDER**

The roll having been called, Acting Chair **K. Remley** declared a quorum at 6:02 p.m. and the following business was conducted.

**2. APPROVAL OF MINUTES**

On a motion by **M. Schreiner**, seconded by, **F. Sheets** the Landmarks Board approved (4-0) the minutes as amended of the August 5, 2015 board meeting.

**3. PUBLIC PARTICIPATION FOR ITEMS NOT ON THE AGENDA**

**Susan Connelly**, Executive Director of the Chautauqua Association, welcomed and offered herself and fellow colleague, Deb Vandenhoner, as resources.

**Mike Boyers**, 2784 Mapleton Avenue, spoke in support of a proposal to relocate two buildings and landmark five properties on the 1000 block of 14th Street.

**Abby Daniels**, 1123 Spruce Street, Executive Director of Historic Boulder, addressed the board, voicing concern that the relocation of two buildings on the 1000 block of 14<sup>th</sup> Street was advertised as demolition of the two buildings when it should have indicated that the applications were for relocations and that the applications should have been referred to the full Landmarks Board for a public hearing.

**Dan Corson**, 757 8th Street, former chairman of the Landmarks Board, voiced concern regarding a lack of transparency in the decision to relocate two buildings on the 1000 block of 14<sup>th</sup> Street suggesting that board members should not be swayed by staff influencing such decisions.

**Karl Anuta**, 4840 Thunderbird Drive, former chairman of the Landmarks Board, voiced concern regarding the Chautauqua lease, and requested the Landmarks Board review his memo about terms and historic preservation concerns.

#### **4. DISCUSSION OF LANDMARK ALTERATION AND DEMOLITION APPLICATIONS ISSUED AND PENDING**

- Statistical Report — **D. Yin** inquired about the permits regarding three partial demolitions approved since the new rule change in August 2015; **M. Cameron** clarified the data. **F. Sheets** inquired about the property at 2245 Arapahoe Avenue; **M. Cameron** replied that this application was withdrawn since the report was run and shared.

#### **5. PUBLIC HEARINGS**

- A.** Public hearing and consideration of an application to designate the building and property at 2322 23<sup>rd</sup> Street as a local historic landmark per Section 9-11-5 of the Boulder Revised Code, 1981 (HIS2015-00077). Applicant / Owner: Douglas Johnson and Theresa Hernandez.

##### **Staff Presentation**

**Angela Smelker**, Historic Preservation Intern, presented the item to the board.

##### **Applicant's Presentation**

**Douglas Johnson**, 2303 Mapleton Avenue, owner of the 2322 23rd Street property, spoke in support of landmark designation.

##### **Public Hearing**

**Abby Daniels**, 1123 Spruce Street, Director of Historic Boulder, spoke in support of landmark designation.

**Kathryn Barth**, 2940 20th Street, spoke in support of landmark designation.

##### **Motion**

On a motion by **M. Schreiner**, and seconded by **F. Sheets**, the Landmarks Board voted (4-0) to recommend to the City Council designation of the property at 2322 23<sup>rd</sup> Street as a local historic landmark, to be known as the Herkert-Glasser Cottage, finding that it meets the standards for individual landmark designation in Sections 9-11-1 and 9-11-2, B.R.C. 1981, and adopts the staff memorandum dated September 2, 2015, including the following as the findings of the Board:

#### **FINDINGS**

The Landmarks Board finds that, based upon the application and evidence presented and subject to the conditions of approval, the proposed designation application will be consistent with the purposes and standards of the Historic Preservation Ordinance, and:

1. The proposed designation will protect, enhance, and perpetuate a building reminiscent of past eras and persons important in local and state history and provide a significant example of architecture from the past. Sec. 9-11-1(a), B.R.C. 1981.
2. The proposed designation will maintain an appropriate setting and environment and will enhance property values, stabilize the neighborhood, promote tourist trade and interest, and foster knowledge of the city's living heritage. 9-11-1(a), B.R.C. 1981.
3. The proposed designation draws a reasonable balance between private property rights and the public interest in preserving the city's cultural, historic, and architectural heritage by ensuring that demolition of buildings important to that heritage will be carefully weighed with other alternatives. 9-11-1(b), B.R.C. 1981.
4. The proposed designation is consistent with the criteria specified in Section 9-11-5(c), B.R.C. 1981.

## **6. MATTERS FROM THE LANDMARKS BOARD, PLANNING DEPARTMENT AND CITY ATTORNEY**

**A.** Tom Carr, City Attorney, offered a presentation on the Chautauqua lease negotiations.

**T. Carr** provided a background about the facility stating that in 1898 the City of Boulder and the Colorado Chautauqua Association (CCA) created this public / private partnership where the City owns the land (80 acres) and some buildings and leases 26 acres to CCA, whom maintains the buildings. CCA is an independent 501c3.

The basic points of the existing lease are for a 20 years term; the rent is \$2,500 moth plus \$2,000 in lieu of taxes = \$4,500 total CCA pays to the City; and the responsibilities of the City is to maintain the streets while the CCA maintains the alleys, and the City handles the major utility upgrades (part of the capital investment plan); bylaws and articles of incorporation, use of facilities, traffic control and parking, and limitation on subleases.

**T. Carr** proceeded to share the proposed new lease terms and the Board asked questions on some of the following topics:

**Responsibilities:** The Board expressed an interest in detailing how the streets could be upgraded, in an effort to maintain the original character per the Guiding Principals (and not change the overall feeling of a "mall").

**By-Law and Articles of Incorporation:** The Board expressed an interest in finding out if there would be an enhanced commitment from the City in the new lease, and if there is interest in having more City representation on the CCA board. However, there was reservation about making this mandatory to signing the lease, especially if there is another way to be more involved; one suggestion would be to consider having City representation on the CCA executive committee, instead of on their board, because the executive committee helps design the agenda.

**Use of Facilities and Privately Owned Cottages:** The Board expressed support of removal of language from the lease that encouraged the CCA to maximize use. It also expressed an interest in better understanding the financial operations of Chautauqua (perhaps a balance sheet?) in an effort to analyze the potential need(s) for subsidizing or increased revenue through events or rent, etc. The Board expressed an interest in supporting “the widest practicable use in terms of scope and time”, as well as in supporting “sensitivity to all users”. A concern was expressed about the intent of the primary function of the Chautauqua — protecting the site and spirit and guiding principals, facility access program, and to support exchange of ideas. To address this, there was a suggestion to incorporating some language / intent about “Chautauqua historic principals, general design guidelines, and subject to review” to govern CCA property. There was also a concern about the current / original level of events being curtailed

The Board requested to meet in a timely fashion to create a thoughtful list of recommendations above and beyond the above (before the September 10 Joint meeting).

**B. Update Memo**

**C. BDAB Design Guidelines**

- 1) Kalani Pohao, City of Boulder Urban Designer, presented an update and status of the Downtown Urban Design Guidelines draft dated August 28, 2015.

**D. Subcommittee Update**

- 1) Design Guidelines and Code Revisions
- 2) Outreach and Engagement
- 3) Potential Resources

**7. DEBRIEF MEETING / CALENDAR CHECK**

**8. ADJOURNMENT**

The meeting adjourned at 9:33 p.m.

Approved on \_\_\_\_\_, 2015

Respectfully submitted,

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Chairperson



**Non-Designated Post-1940 Demo/Off Site Relocation Reviews**

**Case Count: 4**

Sequence #: 61  
Case Manager: Marcy Cameron

Decision: Application Approved  
Date: 08/27/2015  
By: Staff

**HIS2015-00228 2910 18TH ST**  
 Entire structure demo of a house built in 1958

Sequence #: 67  
Case Manager: Marcy Cameron

**Not Landmarked**  
Decision: Application Approved  
Date: 09/04/2015  
By: Staff

**HIS2015-00236 655 S 46TH ST**  
 Demolition of more than 50% of roof in preparation of second story addition.

Sequence #: 68  
Case Manager: James Hewat

**Not Landmarked**  
Decision: Application Approved  
Date: 09/11/2015  
By: Staff

**HIS2015-00240 1145 GEORGETOWN RD**  
 Full structure demolition review for single family dwelling, garage, and associated shed constructed c.1963.

Sequence #: 69  
Case Manager: Marcy Cameron

**Not Landmarked**  
Decision: Application Approved  
Date: 09/04/2015  
By: Staff

**Non-Designated Pre-1940 Demo/Off Site Relocation Reviews**

**Case Count: 5**

**HIS2015-00225 1005 14TH ST**  
 Relocation of building constructed c.1900 to lot at 1027 14th St. Demolition of rear addition (west side) approved by LDRC. Details regarding the relocation to be submitted to Historic Preservation Staff.

Sequence #: 24  
Case Manager: Marcy Cameron

**Not Landmarked**  
Decision: Application Approved  
Date: 09/04/2015  
By: LDRC

**HIS2015-00226 1027 14TH ST**  
 Relocation of stone building constructed in 1924 to rear of lot at 1033 14th St. Details of relocation to be submitted to Historic Preservation Staff.

Sequence #: 25  
Case Manager: Marcy Cameron

**Not Landmarked**  
Decision: Application Approved  
Date: 09/04/2015  
By: LDRC

**HIS2015-00227 2620 PINE ST**  
 Proposed demolition of an accessory building.

Sequence #: 26  
Case Manager:

**Not Landmarked**  
Decision: Application Approved  
Date: 08/25/2015  
By: LDRC

**HIS2015-00230 948 MARINE ST**  
 Total demo of a detached garage built in 1920.

Sequence #: 27  
Case Manager: Marcy Cameron

**Not Landmarked**  
Decision: Application Approved  
Date: 09/04/2015  
By: LDRC

**HIS2015-00233 1122 PLEASANT ST**

**Not Landmarked**

Removal of a 1990 addition located on the east side of residence and entry vestibule located on south side of residence as detailed on drawings dated 08.28th, 2015. Original 1902 house to remain intact. Any changes to the demolition plan will require review on new demolition application.

Sequence #: 28  
Case Manager: James Hewat

Decision: Application Approved  
Date: 09/10/2015  
By: LDRC

## Historic Preservation Reviews Summary

between 8/21/2015 and 9/21/2015

This summary shows all historic preservation cases on which the application was approved, denied or withdrawn within the stated date range. This is based on the last action and the date shown on the main screen of the case.

### Landmark Alteration Certificate

Application Approved	5
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### Non-Designated Post-1940 Demo/Off Site Relocation

Application Approved	4
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### Non-Designated Pre-1940 Demo/Off Site Relocation

Application Approved	5
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# MEMORANDUM

October 7, 2015

**TO:** Landmarks Board

**FROM:** Lesli Ellis, Comprehensive Planning Manager  
James Hewat, Senior Historic Preservation Planner  
Deb Kalish, Senior Assistant City Attorney  
Marcy Cameron, Historic Preservation Planner  
Angela Smelker, Historic Preservation Intern

**SUBJECT:** Public hearing and consideration of an application for the on-site relocation of a contributing accessory building at 410 Highland Ave. per Section 9-11-18 of the Boulder Revised Code, 1981 (HIS2015-00229).

## STATISTICS:

1. Site: 410 Highland Ave.
2. Zoning: RL-1 (Residential-Low 1)
3. Lot size: 13,810 sq. ft.
4. Garage size: 680 sq. ft. (approx.)
5. Applicant/Owner: Joel Smiley/David Wurtz
6. Date of Construction: Between 1912 and 1919

## STAFF RECOMMENDATION:

Staff considers the proposed relocation of the historic garage to be inconsistent with the conditions specified in Section 9-11-18, B.R.C. 1981; Section 7 of the *General Design Guidelines*; and Section D of the *Mapleton Hill Design Guidelines*. Staff recommends that the Landmarks Board adopt the following motion:

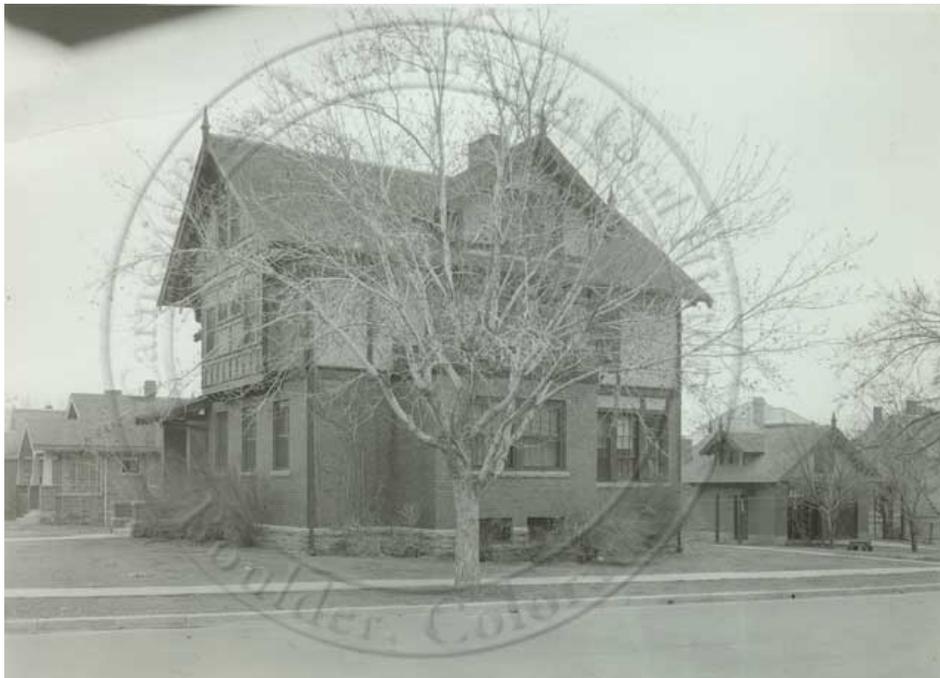
*I move that the Landmarks Board adopt the staff memorandum dated October 7, 2015, as the findings of the board and deny the Landmark Alteration Certificate request for the relocation shown on plans dated 08/26/2015, finding that it does not meet the standards for issuance of a Landmark Alteration Certificate in Section 9-11-18, B.R.C. 1981.*

## SUMMARY:

- On Aug. 26, 2015, the applicant submitted a Landmark Alteration Certificate application to relocate the garage on the property at 410 Highland Ave.

- Because the proposal calls for the relocation of a building in a historic district, review by the full Board is required.
- Staff considers that the 1912 house and garage, which were constructed within the 1865-1946 period of significance for the Mapleton Hill Historic District and retain a high degree of integrity, are contributing buildings.
- Staff finds the proposed new construction to be inconsistent with the criteria for approval of an application for a Landmark Alteration Certificate as per 9-11-18, B.R.C. 1981; the *General Design Guidelines*; and the *Mapleton Hill Design Guidelines*.
- Staff recommends that alternatives be explored to improve vehicular access to the garage including use of the historic west facing doors.

## PROPERTY HISTORY



*Figure 1. 410 Highland, c. 1920s.*

Prominently situated at the southeast corner of Highland and 4<sup>th</sup> Street, the Tudor Revival house at 410 Highland Ave. was designed by Arthur E. Saunders for Edward C. and Estella M. Randall in 1912. Saunders studied architecture in Santa Cruz, California, and came to Boulder in 1903 to begin his practice. Among Boulder's most prolific early architects, other notable buildings he designed in Boulder include the Farwick House in Boulder Canyon, the Mercantile Bank, Howe Mortuary, and the Lincoln and Washington schools.



Figures 2 & 3. Left: Architect Arthur E. Saunders, 1917. Right: Clover Leaf Creamery Soda Fountain at 1424 Pearl Street, possibly Mrs. Randall in front, 1910.

In 1906, Edward C. Randall and his wife, Estella, established the Clover Leaf Creamery at 1424 Pearl St. in Boulder inside the Citizen's National Bank building.

In 1934, Henry C. and Laurena Hickman purchased the property. Henry was president of the Boulder School Board for 12 years and later became a partner in the Boulder County Abstract of Title company in 1922. Henry and Laurena had three children – their son, James, was elected 34<sup>th</sup> mayor of Boulder in 1960.

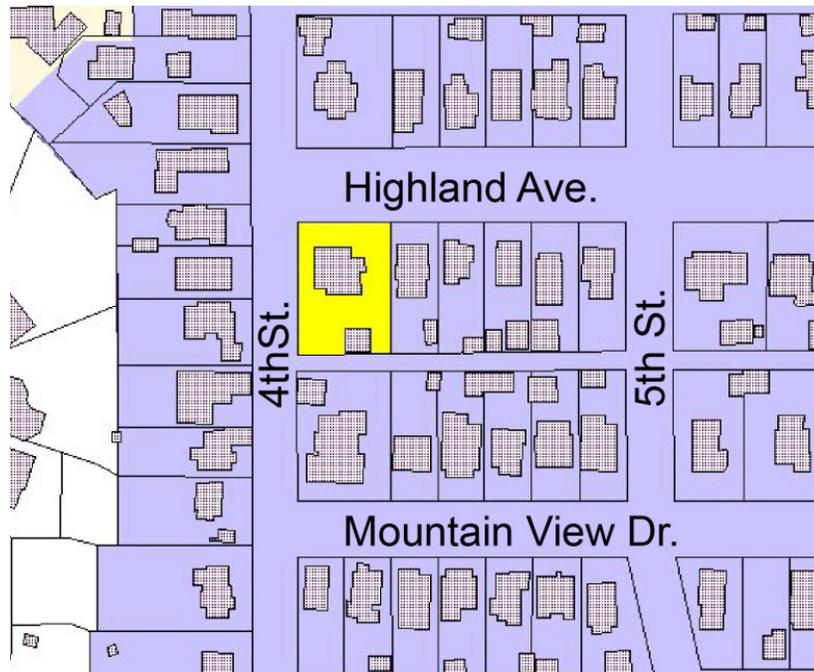
Both the house and the garage at 410 Highland Avenue feature Tudor Revival design elements which are relatively rare in the Mapleton Hill neighborhood. The 2005 Accessory Building Survey of Mapleton Hill found the garage to be in excellent condition and to be a contributing resource to the historic district.

In *Historic Homes of Boulder County*, author Jane Valentine Barker notes that the two-car garage at 410 Highland Avenue originally contained “a gas pump with storage tank beneath the floor. There is also a work pit on one side of the building. Randall used the garage for servicing his creamery trucks.”<sup>1</sup>

## DESCRIPTION

The property is located on the east side of 4<sup>th</sup> St. between Mountain View Dr. and Highland Ave. in the Mapleton Hill addition to the city, which was platted in 1888. The approximately 5,000 sq. ft. house is located on a 13,810 sq. ft. lot with the garage located on and taking access from the alley. The property is located within the Mapleton Hill Historic District.

<sup>1</sup> Barker, Jane Valentine. *Historic Homes of Boulder County*, Boulder: Pruett Publishing Co. (1979), 89.



*Figure 4. Location Map, 410 Highland Ave.*

The two and one-half story Tudor Revival house at 410 Highland Ave. was constructed in 1912. The half timbering overhanging eaves, exposed rafters, and multi-light windows are all indicative of the Tudor Revival which was popular in the United States during the first half of the twentieth century.



*Figure 5. 410 Highland Ave., 2015.*

Historic photographs taken from Mt. Sanitas indicate that the garage (also Tudor-Revival) was built after the house, sometime between 1912 and 1919.



*Figure 6 & 7. 410 Highland Ave., 1912 & 1919 (arrow indicates garage location)*

The gable front garage has wood shake single roofing, two intersecting gabled dormers, each with two double-hung windows. Like the house, the upper level of the building is half-timbered and stuccoed. A horizontal sliding window is located on both east and west gable ends. The garage features wood trim around the windows and door, and finials decorate the north and south dormers as well as the east and west gable ends.



*Figure 8. Close-up view of garage at 410 Highland, c. 1920s.*

The lower half of the west elevation features one overhead door while two smaller overhead doors are featured on the south elevation. An additional entry/exit door is located on the north elevation. On the lower half of the east elevation are two evenly spaced, paired, double-hung windows. *Figure 8* shows a close up view of the garage from the 1920s. It appears that new garage doors

were added to the south (alley facing) side of the building sometime in the last twenty years to provide vehicular access from the alley.



*Figure 9. View of west elevation of garage at 410 Highland Ave. from alley, 2015.*

The house and garage exist in their original condition and are substantially intact. The only non-historic alteration to the garage is the addition of garage doors on the south elevation which were approved in 2001 to improve vehicular access to the building. The buildings clearly contribute to the historic significance of the district. A large deck addition above an extended basement area at the south (rear) side of the main house was part of the 2001 approval.



*Figure 10. South elevation of 410 Highland Ave., 2015.*

## PROPOSED RELOCATION OF EXISTING GARAGE

In their letter, the owner explains that the current location of the garage is a hindrance to its practical use stating there is little space for a car to use while turning into the garage, thus making it difficult to use as parking. The owner states, "Previous owners have used the garage as storage and let the structure deteriorate because of its lack of utility." Historically, the garage has taken access via a curb cut on 4<sup>th</sup> Street. More recently, doors were added to the south face of the building to facilitate vehicular access from the alley. The back out distance from the south facing doors to the south edge of the alley is approximately 21 feet where 24 feet is required for new construction. The applicant also states that they wish to relocate the garage to increase its visibility from 4<sup>th</sup> Street thereby, "adding to the historical richness of the area as observed from the street".



*Figure 11. View of southwest corner of 410 Highland Property from 4th Street. Garage at 401 Pine Street is visible, 2015.*

The site plan shows the garage to be relocated 38.5 feet west, though it is unclear whether the garage will take access from the alley or 4<sup>th</sup> Street in this location. All garage elevations will remain unaltered except for the removal of the basketball hoop from the west elevation.

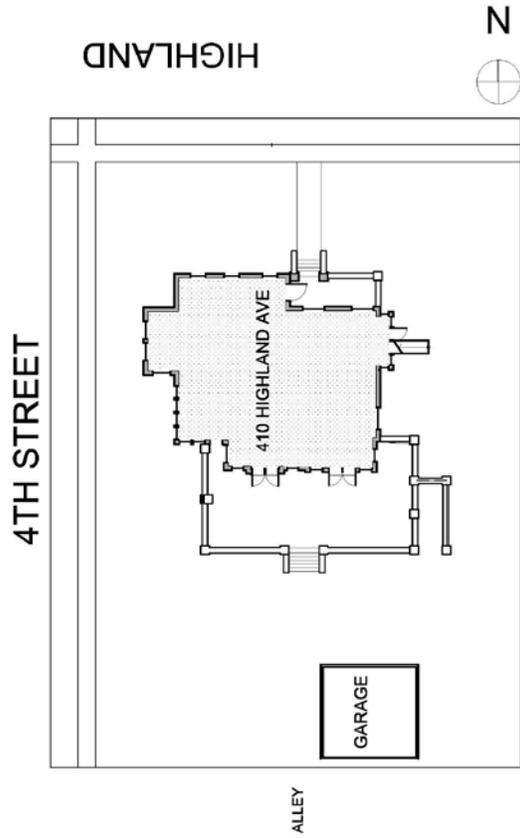


Figure 12. Existing site plan, 2015.

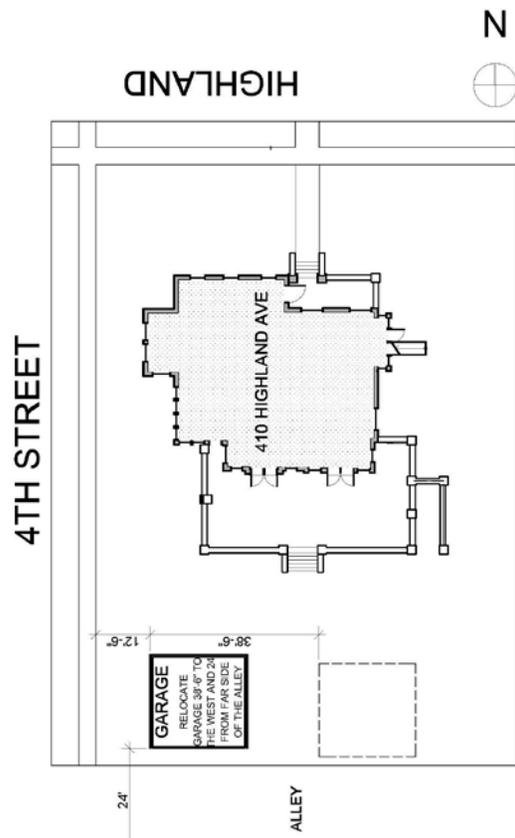


Figure 13. Proposed site plan, 2015.



Figure 14. Proposed location as viewed from 4<sup>th</sup> Street. The garage at 401 Pine Street is seen at the right.

## **CRITERIA FOR THE BOARD'S DECISION**

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Subsection 9-11-18, B.R.C. 1981, sets forth the conditions for approving a request for a Landmark Alteration Certificate.

- (a) The landmarks board and the city council shall not approve an application for a landmark alteration certificate unless each such agency finds that the proposed work is consistent with the purposes of this chapter.
- (b) Neither the Landmarks Board nor the City Council shall approve a Landmark Alteration Certificate unless it meets the following conditions:
  - (1) The proposed work preserves, enhances, or restores and does not damage or destroy the exterior architectural features of the landmark or the subject property within an historic district;
  - (2) The proposed work does not adversely affect the special character or special historic, architectural, or aesthetic interest or value of the landmark and its site or the district;
  - (3) The architectural style, arrangement, texture, color, arrangement of color, and materials used on existing and proposed constructions are compatible with the character of the existing landmark and its site or the historic district;
  - (4) With respect to a proposal to demolish a building in an historic district, the proposed new construction to replace the building meets the requirements of paragraphs (b)(2) and (3) above.
- (c) In determining whether to approve a Landmark Alteration Certificate, the Landmarks Board shall consider the economic feasibility of alternatives, incorporation of energy-efficient design, and enhanced access for the disabled.

## **ANALYSIS**

1. *Does the proposed application preserve, enhance, or restore, and not damage or destroy the exterior architectural features of the landmark or the subject property within an historic district?*

The 2005 accessory building survey of Mapleton Hill identifies the garage at 410 Highland Ave. as having been constructed c. 1912 and recommends that it be considered a contributing building to the Mapleton Hill Historic District. The building a highly articulated and well-preserved example of early twentieth-century automobile architecture. It is intrinsic to the to the significance of the property and survives as one of the most notable historic garage in the Mapleton Hill Historic District.

Staff considers the relocation of the garage 38.5 feet to the west would not preserve or enhance the historic character of the property. Bringing the building closer to the southwest corner of this large and visible corner lot at the west end of the Mapleton Hill Historic District would alter the historic relationship of the building to the house, the immediate alley scape and change how the property is perceived from 4<sup>th</sup> Street.

2. *Does the proposed application adversely affect the special character or special historic, architectural, or aesthetic interest or value of the district?*

Staff finds that the proposed relocation of the garage would affect the special character or special historic, architectural, and aesthetic interest or value of the property by altering the historic configuration of buildings on the property and change how this highly visible and important historic property is perceived from 4<sup>th</sup> Street. The proposal is generally inconsistent with the *General Design Guidelines* the *Mapleton Hill Design Guidelines*, and the *Secretary of the Interior's Standards for the Treatment of Historic Properties (Setting)* (see Design Guidelines Analysis section).

3. *Is the architectural style, arrangement, texture, color, arrangement of color, and materials used on existing and proposed structures compatible with the character of the historic district?*

Changes to the architectural style, texture, color and materials are not proposed.

4. *Does the proposal to demolish the building within the Mapleton Hill Historic District and the proposed new construction to replace the proposed demolished building meet the requirements of paragraphs 9-11-18(b)(2), 9-11-18(b)(3) and 9-11-18(b)(4) of this section?*

Not applicable – relocation of building.

#### **DESIGN GUIDELINES ANALYSIS:**

The Historic Preservation Ordinance sets forth the standards the Landmarks Board must apply when reviewing a request for a Landmark Alteration Certificate. The Board has adopted the *General Design Guidelines* to help interpret the historic preservation ordinance. The following is an analysis of the proposed new construction with respect to relevant guidelines. Design guidelines are

intended to be used as an aid to appropriate design and not as a checklist of items for compliance.

The following is an analysis of the proposal’s compliance with the appropriate sections of the *General Design Guidelines*.

**GENERAL DESIGN GUIDELINES –Garages & Other Accessory Structures, 7.0**

7. GARAGES & OTHER ACCESSORY STRUCTURES			
7.1 Existing Historic Accessory Structures			
<i>A primary concern of the Landmarks Board in reviewing proposed changes in historic districts is the protection of existing historic accessory structures and the character of the site and district.</i>			
	GUIDELINES:	ANALYSIS:	CONFORMS
.1	<i>Retain and preserve garages and accessory buildings that contribute to the overall character of the site or district.</i>	Staff considers that relocation of the garage will change the historic relationship of buildings on the property and alter the setting of this western edge of the Mapleton Hill Historic District. Property is highly visible and among the most prominent historic properties in this area of the district.	<b>No</b>
.2	<i>Retain and preserve the character-defining materials, features, and details of historic garages and accessory buildings, including roofs, materials, windows, and doors.</i>	The garage has been located in its current location on the property for approximately 100 years. On-site relocation of the building would alter the character defining spatial relationship of buildings which is intrinsic to the character of this highly visible historic property and change the setting of this area of the Mapleton Historic District.	<b>No</b>

**Mapleton Hill Historic District Guidelines**

<b>D. ALLEYS, EASEMENTS and ACCESSWAYS</b>			
<i>Alleys are a strong visual element of the district, and have much variety of scale and detail. They play an important role in the development patterns that give the more visible areas their character. Alleys provide access to rear parking and garages. They have a varied edge quality, with buildings both on the property lines and set back. The size and quality of these accessory buildings varies considerably. Careful consideration should be given to changes in traditional uses.</i>			
	<b>Guidelines:</b>	<b>Analysis:</b>	<b>CONFORMS?</b>
1.	<i>The use of alleys to provide access to the rear of properties should be preserved.</i>	Access to garage appears always to have historically been taken from 4 <sup>th</sup> Street. It is unclear as to whether access would be taken from the ally or 4 <sup>th</sup> Street in the proposed new location.	<b>Maybe</b>
2.	<i>Efforts should be made to protect the variety of shape, size and alignment of buildings along the alleys. Alleys should maintain a human scale and be sensitive to pedestrians.</i>	The setting of the alley would be altered by the proposed relocation though it is unclear whether the human scale or pedestrian experience would be affected by this alteration.	<b>Maybe</b>
3.	<i>Buildings such as garages, sheds, etc. which contribute to this variety should be retained in their original form whenever possible.</i>	The relocation of the garage on this highly visible corner property would alter the historic setting of this edge of the historic district. Relocating the garage would change the spatial relationship that has existed on the property for 100 + years.	<b>No</b>
5.	<i>Efforts should be made to maintain the character of the alleys in the District.</i>	Relocation of the building on this highly visible corner lot would affect historic character of the west end of the immediate alley scape.	<b>No</b>

**SECRETARY OF THE INTERIOR’S STANDARDS  
 FOR THE TREATMENT OF HISTORIC PROPERTIES**

<i>The setting is the area or environment in which a historic property is found. It may be an urban or suburban neighborhood or a natural landscape in which a building has been constructed. The</i>
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	<i>elements of setting, such as the relationship of buildings to each other, setbacks, fence patterns, views, driveways and walkways, and street trees together create the character of a district or neighborhood.</i>		
	Recommended	Not Recommended	Consistency
	<i>Retaining the historic relationship between buildings and landscape features of the setting.</i>	Removing or relocating historic buildings or landscape features, thus destroying their historic relationship within the setting. Relocation of the building on this highly visible corner lot would affect historic character of the west end of the immediate alley scape.	<b>No</b>

Current historic preservation practice in the United States finds that relocation of designated historic buildings to be rarely appropriate and should be considered only as a last resort, usually as an alternative to unavoidable demolition. The Mapleton Hill Historic District was designated as a local historic district in 1982 and expanded in 2002. The historic district recognizes and protects the special historic character of Mapleton Hill. Mapleton Hill was home to many of Boulder’s early, prominent citizens and has a rich diversity of late-19<sup>th</sup> and early 20<sup>th</sup> century architectural styles. Its prominent bluff location and tree-lined streets contribute to its environmental significance.

Boulder’s historic design guidelines are intended to interpret the historic preservation ordinance in a manner consistent with the *Secretary of the Interior’s Standards for the Treatment of Historic Properties*. The high visibility of this historic property at the western edge of the Mapleton Hill Historic District and relative relationship of buildings to the street, the alley, and each other are important character defining features of this property.

The relocation of the garage to the southwest corner of this highly visible and historically prominent property would clearly change the spatial relationship of buildings on it and alter the setting of the alley and this part of the historic district. In this case, staff considers the proposal for the on-site relocation of the garage inconsistent with the *General Design Guidelines for Boulder’s Historic Districts and Individual Landmarks*, the *Mapleton Historic District Design Guidelines* and does not meet the standards for issuance of a landmark alteration certificate

as set out in the historic preservation ordinance in Section 9-11-18(a)&(b)(1)-(4) of the Boulder Revised Code, 1981.

**FINDINGS:**

Staff recommends that the Landmarks Board deny the application citing the following findings:

1. The proposed relocation of the contributing building does not meet the standards set out in 9-11-18 of the Boulder Revised Code 1981.
2. The proposed relocation of the historic garage would have an adverse effect on the historic value of this highly visible and historically prominent property, as it would alter the character of the property and setting in the district.
3. The change in orientation and setting as a result of the proposed relocation of the garage, the is substantially inconsistent with Section 9-11-18B.R.C.1981, Section 7 of the *General Design Guidelines*, and Section D of the *Mapleton Hill Historic District Design Guidelines*.

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**ATTACHMENTS:**

- A: Tax Assessors Card
- B: Photographs
- C: Applicant's Materials
- D: Plans and Elevations

Attachment A: Tax Assessors Card

Appraised 19 35  
 Paper 1019

## BOULDER COUNTY REAL ESTATE APPRAISAL

OWNER: 410 Highland Ave. Boulder  
 HOUSE No. 410 STREET Highland CITY Boulder  
 LOTS 276 30 BLOCK 8 ADDITION Mapleton  
 Year Constructed 1912 Est. Life in Years 40

588  
 276 30

ESTIMATE OF VALUATION			
	BLDG. PART A	BLDG. PART B	GARAGE
No. Cubic Feet	123447	51000	
Cost per cu. ft.	28	28	
Total Cost	\$11,280	\$1,428	
Porch			
Garage			
Extras			
TOTAL	\$11,590	\$1,667	\$450
10% Obsolescence	1159	166.7	45
20% Physical Dep.	2318	333.4	90
Net After Deducting Depreciation	\$6,953	\$967	\$210
2% Utility Dep.	139	193.4	42
PRESENT VALUE	\$4,280	\$570	\$126

CLASS OF BLDG.	DESCRIPTION	AMOUNT
Construction	Basement	450
Char. of Const.	Roof	1160
Exterior	Heating	1667
Interior Finish	Plumbing	1667
Floors	Light	1667
Stories	Priv. Garage	450
Fire Resisting	Barns or Sheds	450
Foundation	State of Reps.	450
	Local Imps.	450

**ADDITIONS AND BETTERMENTS**

YEAR	AMOUNT	YEAR	AMOUNT
	\$		\$

**BUILDING PLAN**

Handwritten notes on the plan include: 7x15 x 23 = 2415, 56 x 38 x 23 = 23609, 20 x 29 x 23 = 10340, 62 x 34 x 23 = 5083, 43447 cu. ft.

SUMMARY		ANNUAL ASSESSMENT	
DESCRIPTION	AMOUNT	YEAR	TOTAL
Building Permit	\$	1938	\$ 1050
Original Cost, Improvements Only	\$	1939	\$ 4550
Additions and Betterments	\$	1940	
Owner's Estimate of Present Value	\$	1941	
Private Appraisal	\$	1942	1050
Insurance	\$	1943	4550
Mortgage	\$	1944	
Monthly Rental	\$	1945	
Advertised for Sale	\$	1946	
Transferred in 19	\$	1947	

1936 1500 8340  
 1938 1500 8340



Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for 410 Highland Ave.



Tax Assessor Card Photo c. 1949.





Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for 410 Highland Ave.



Tax Assessor Card Photos c. 1979

**Attachment B: Current Photographs**



410 Highland Ave., view of north elevation (façade) of house, 2015.



410 Highland Ave., view of west elevation of house and garage, 2015.

Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for 410 Highland Ave.



410 Highland Ave., south elevation of house and garage from alley, 2015.



410 Highland Ave., view of west elevation of garage and alley looking east, 2015.

Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for 410 Highland Ave.



410 Highland Ave., view of southwest corner of garage, 2015.



410 Highland Ave., View of southeast corner of garage, 2015.

Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for 410 Highland Ave.



410 Highland Ave., view of southwest corner of property, garage seen at right, 2015.



410 Highland Ave., alley view looking west toward 4<sup>th</sup> Street, 2015.

Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for 410 Highland Ave.



View looking south along 4<sup>th</sup> Street, 410 Highland Ave. property at left, 2015.



View of entrance into alley from 4<sup>th</sup> Street (looking east), 410 Highland Ave. garage at left, 2015.

Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for 410 Highland Ave.



View looking north along 4<sup>th</sup> Street, house at 410 Highland Ave. seen at right, 2015.

Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for 410 Highland Ave.

**Attachment C: Applicant's Materials**

Dear Landmarks,

410 Highland has a beautiful and historic garage off the south side of the property, adjacent to the alley. There's just one problem. The alley on which it rests no longer offers enough space for drivers to turn in, thus making it very difficult to use for parking. Previous owners have used the garage as storage, and let the structure deteriorate because of its lack of utility. Unfortunately, the roof has failed and the interior is now exposed to the elements.

We are seeking permission to move the garage 38.5 feet west in order to make the structure useful for parking as it was originally and historically intended. We believe this proposal is highly consistent with the [Mapleton Hill historic district design guidelines](#), which quote the following:

1. "Alleys provide access to rear parking and garages." *Section VI. D.*
2. "Access to parking should be from the alley. Drives should not be introduced between structures." *Section VI. Q.*
3. "The use of alleys to provide access to the rear of properties should be preserved." *Section VI. D.*

Historically, homeowners were able to access their garages from the alley. In this case, Highland Ave is being used for parking, which is historically inconsistent, obstructs beautiful views of the house, and adds parking congestion on one of Boulder's most historic blocks. This proposal does not require adding additional drives, thus maximizing greenery and meeting guideline #2 above.

In addition to being consistent with the guidelines, we believe there are ancillary benefits to this proposal.

In its current location, the structure is hidden from view from 4th Street. In the proposed location, the structure will be more visible from 4th Street, adding to the historical richness of the area as observed from the street.

Once we are able to park in the garage, we intend to rehabilitate the structure with a new roof, remove the basketball hoop, and refurbish both the interior and exterior. We will make frequent use of the structure, and thus will be substantially motivated to invest in its longevity.

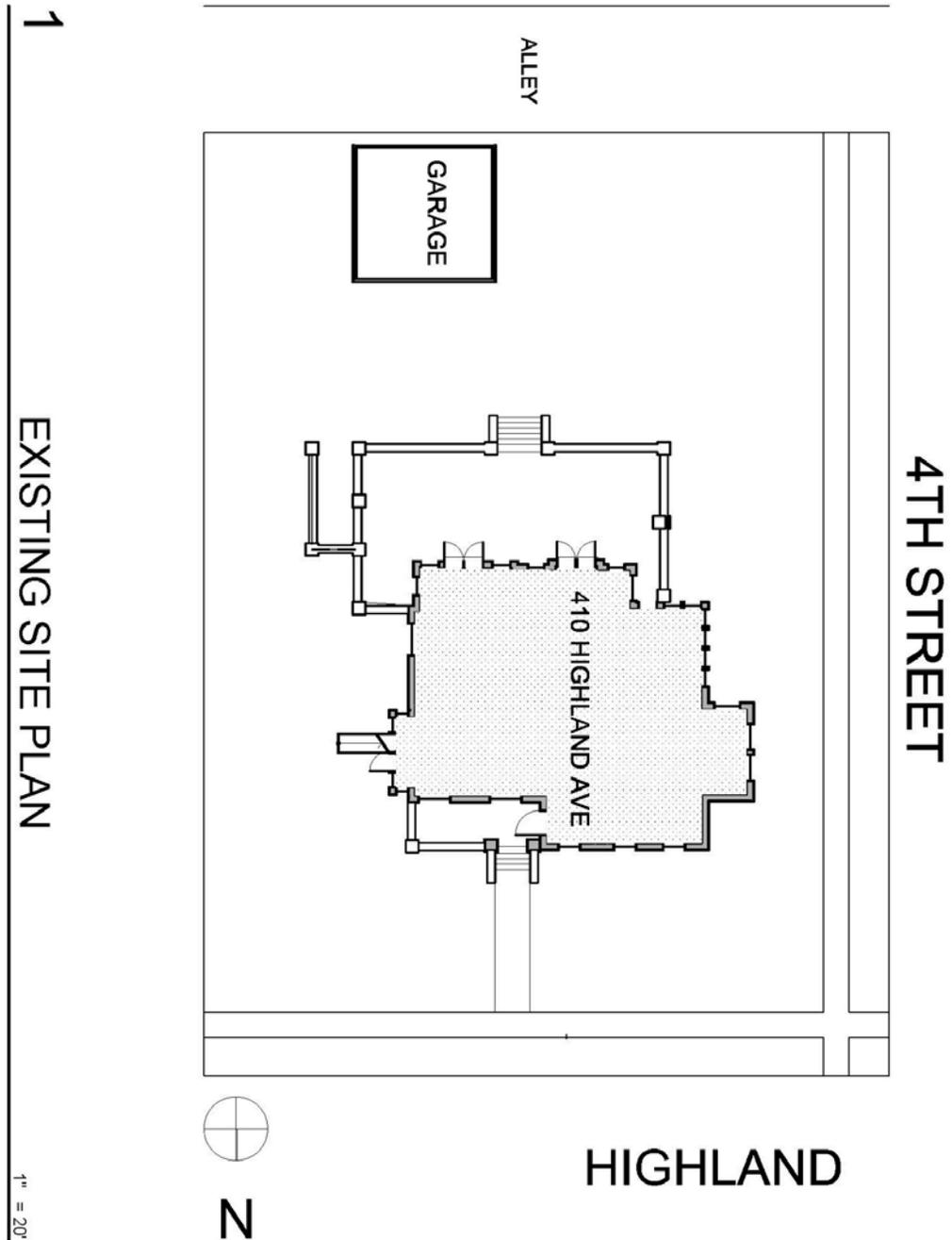
Although rare, we are aware of some precedent for these types of requests in Mapleton Hill. At 702 Pine St, which was discussed on December 1, 2010, a detached historical garage was relocated 20 feet west. Meeting minutes indicate that sightlines from Pine St and a desire to allow the owner to utilize the structure were important factors in the motion to approve that application.

We hope that you'll deeply consider this request, which will allow us to make use of this beautiful structure as it was intended the day it was originally constructed.

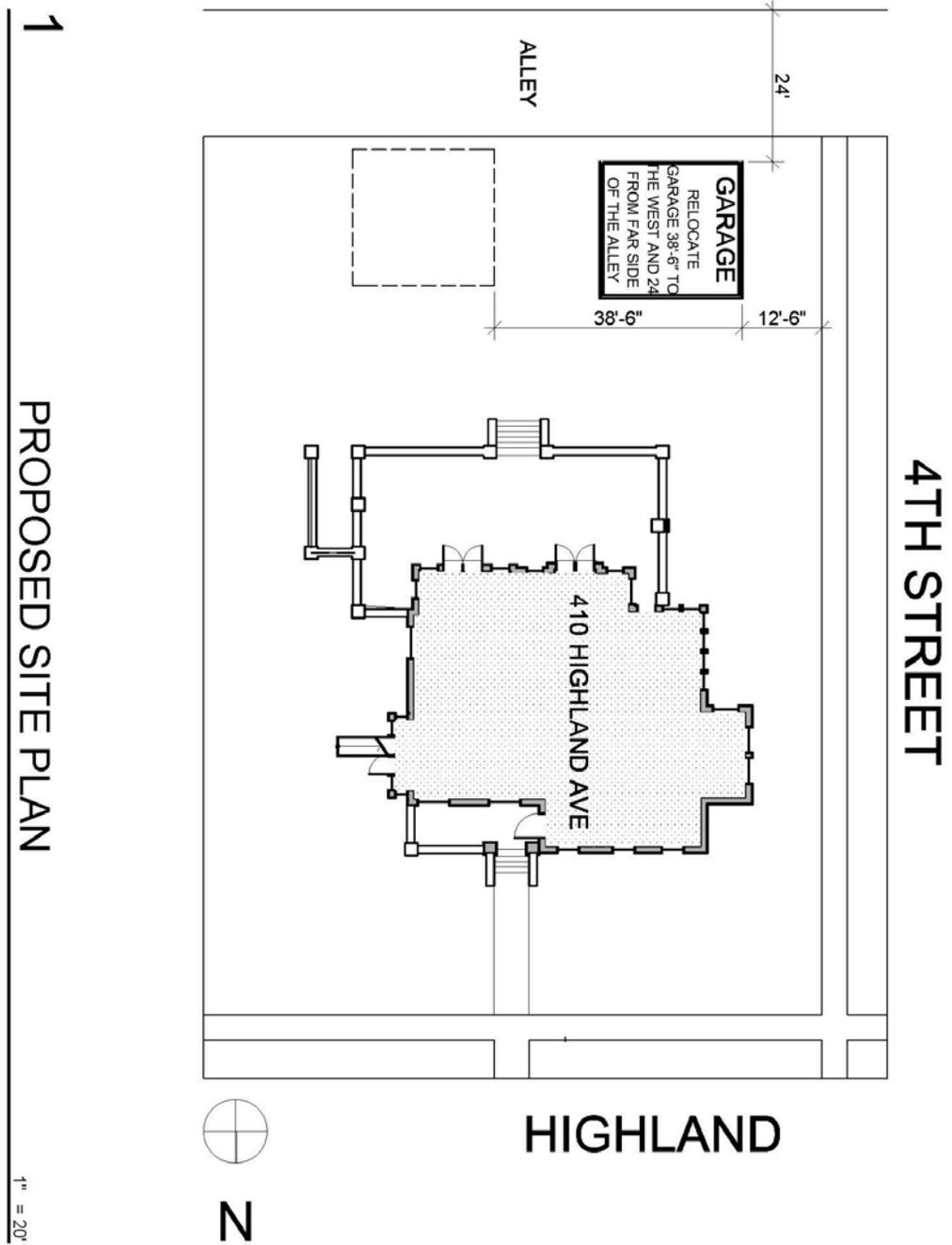
Sincere regards,

David Wurtz  
Owner, 410 Highland Ave.

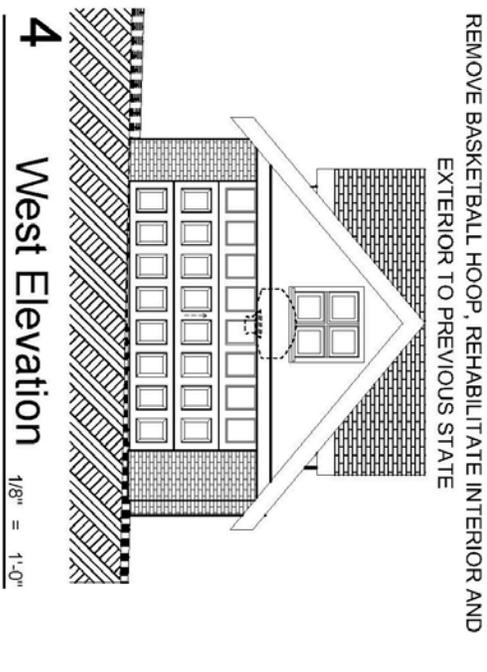
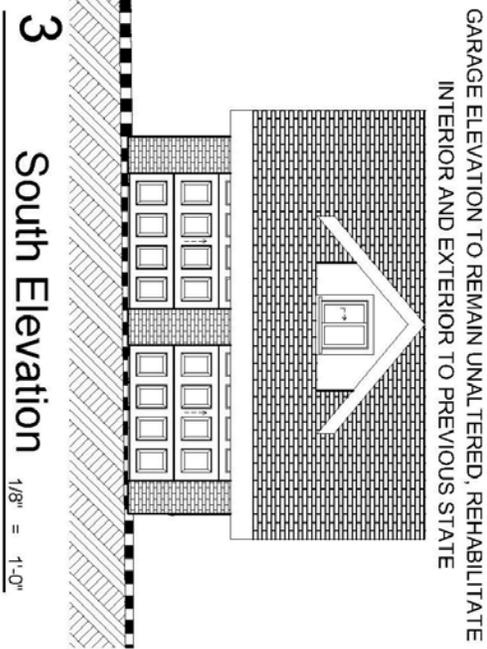
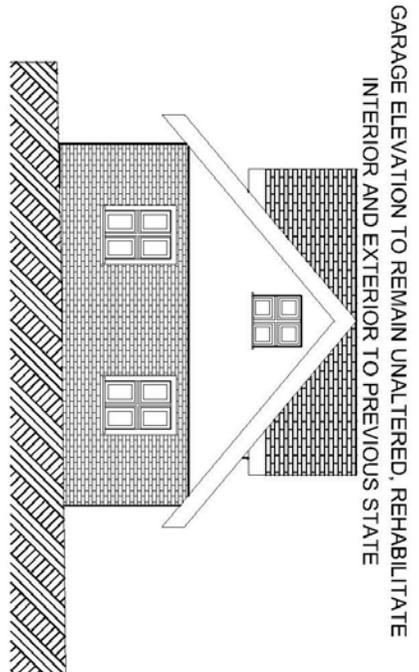
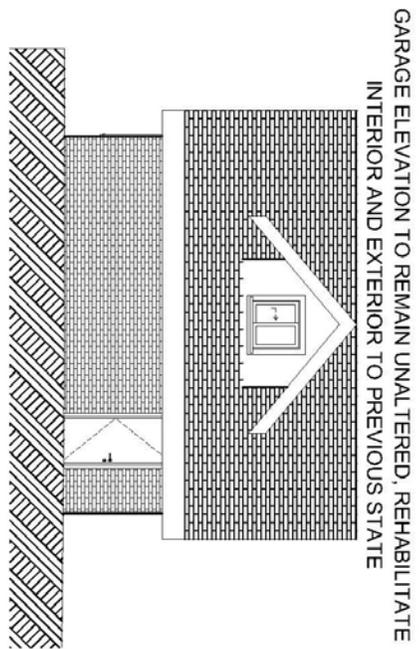
**Attachment D: Plans and Elevations**



410 Highland Ave., Existing site plan, 2015.



410 Highland Ave., Proposed site plan, 2015.



410 Highland Ave., Existing Elevations (no changes proposed), 2015.

Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for 410 Highland Ave.



410 Highland Ave., Proposed Location as viewed from 4<sup>th</sup> Street, 2015.

## MEMORANDUM

October 7, 2015

**TO:** Landmarks Board

**FROM:** Lesli Ellis, Comprehensive Planning Manager  
James Hewat, Senior Historic Preservation Planner  
Deb Kalish, Senior Assistant City Attorney  
Marcy Cameron, Historic Preservation Planner  
Angela Smelker, Historic Preservation Planner

**SUBJECT:** Public hearing and consideration of a Landmark Alteration Certificate to construct a 405 sq. ft. addition to the main house, modify the fenestration on the south elevation, and construct a new 280 sq. ft. free-standing, one-car garage, per Section 9-11-18 of the Boulder Revised Code 1981 (HIS2015-00232).

### STATISTICS:

1. Site: 800 Arapahoe Ave.
2. Designation: Individual Landmark, Hannah Barker House
3. Date of Construction: c. 1878
4. Zoning: RMX-1 (Residential Mixed-1)
5. Lot size: 7,632 sq. ft.
6. Existing House: 2,300 sq. ft. (approx.)
7. Proposed Addition: 405 sq. ft.
8. Proposed Garage: 317 sq. ft.
9. Applicant: Steve Dodd, Architect

### STAFF RECOMMENDATION:

If the applicant complies with the conditions listed below, staff considers the proposed addition, modification of window and door openings on the south elevation and new free-standing construction, will be generally consistent with the conditions specified in Section 9-11-18, B.R.C. 1981 and the *General Design Guidelines*. Staff recommends that the Landmarks Board adopt the following motion:

The Landmarks Board adopts the staff memorandum dated October 7, 2015, in matter 5C (HIS2015-00232) as the findings of the board and approves construction of an addition at the rear of the main house and construction of a free-standing garage as shown on plans dated 09/15/2015, finding that they generally meet the standards for

issuance of a Landmark Alteration Certificate in Section 9-11-18, B.R.C. 1981, subject to the following conditions:

**CONDITIONS OF APPROVAL:**

1. The applicant shall be responsible for constructing the addition and garage in compliance with the approved plans dated 09/15/2015, except as modified by these conditions of approval.
2. Prior to submitting a building permit application and final issuance of the Landmark Alteration Certificate, the applicant shall submit final architectural plans that shall be subject to the final review and approval of the Landmarks design review committee and that include:
  - (A) Retention of the three windows at the south elevation of the main house.
  - (B) Elimination of the two new window openings at the south elevation of the main house.
  - (C) Modification of the plans to include a single door at the deck rather than two new openings.
  - (D) Further integration of the deck into the roof structure of the addition.
  - (E) Consideration of moving the garage further south, as close to the rear of the property as possible.
3. The Landmarks design review committee shall review details regarding the new construction, including materials, door and window details including moldings, and proposed insets, railing details, paint colors, and hardscaping on the property to ensure that the approval is consistent with the *General Design Guidelines* and the historic preservation ordinance.

**SUPPORT FOR BOZA VARIANCE UNDER CRITERION 4**

The applicant is requesting support for a variance from the Board of Zoning Adjustment for a variance to the required front and rear yard setbacks. Staff recommends that, if the Landmarks Board finds that the proposal meets the *General Design Guidelines* and the historic preservation ordinance, the board express support for the variance. See the Analysis section for more information.

### **Suggested Language:**

The Landmarks Board supports a variance to the required front and rear yard setback under Section 9-2-3(h)(4), finding that the proposed construction generally meets the *General Design Guidelines* and the historic preservation ordinance. The board considers that the construction of an addition and a garage in a "by-right" location would have an adverse impact on the historic character of the landmarked house and site.

### **SUMMARY:**

- Until 2008, the property encompassed approximately 20,000 sq. ft. when it was subdivided into two lots. The 7,632 sq. ft. lot that included the house was designated as an individual landmark (the Hannah Barker House), by the Boulder City Council on March 17, 2009.
- Historic Boulder, Inc., purchased the property. With the help of Colorado State Historical Funding, Historic Boulder has undertaken extensive structural stabilization and restoration of the exterior of the house, including reconstruction of the porch, cupola, and repainting following a historic paint analysis.
- Historic Boulder is selling the property and the prospective owner has submitted a Landmark Alteration Certificate request to modify the fenestration at the south elevation of the house, construct an addition at the rear of the house and construct a new, one-car garage immediately west of the house.
- The Landmarks Design Review Committee (Ldrc) referred the application to the full Landmarks Board for a quasi-judicial hearing.
- The applicant has met several times with staff to review the proposed design.
- The work will require a front and rear yard setback variance and the applicant is requesting support for a variance from the Landmarks Board. (See Analysis section.)
- Staff considers the proposed changes to the house including the rear addition and adjacent new construction to be generally consistent with the standards for approval of a Landmark Alteration Certificate as per Section 9-11-18, B.R.C. 1981, and the *General Design Guidelines*.
- Staff's recommendation for approval is based upon the understanding that the conditions above will be reviewed and approved by the Ldrc, prior to the issuance of a Landmark Alteration Certificate.

### **PROPERTY HISTORY<sup>1</sup>**

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<sup>1</sup> Landmarks Board Designation Memorandum dated 09.05.2007.



*Hannah C. Barker,  
undated. Carnegie Branch  
Library for Local History.*

The property at 800 Arapahoe Ave. is associated with Hannah Barker, a Boulder pioneer, philanthropist and civic leader. Hannah Connell Barker was born in Ireland in 1844 and came to Boulder in 1867, where she began teaching in Ward, Colorado. She married wealthy Boulder entrepreneur Ezra Barker in 1877 and they purchased the property at 800 Arapahoe Ave. Upon Ezra's death in 1883, Hannah inherited the extensive land holdings and wealth that Ezra had amassed.

Hannah's impact on the town was far-reaching, including platting the town of Highland Lawn in 1884, involvement in the Literary Society, the Boulder Women's Club, and founding the Boulder Creamery in 1887. She contributed financially to the Congregational Church, the University of Colorado, Chautauqua, and the YMCA. In 1911, she donated half a city block at the corner of 15<sup>th</sup> and Spruce Streets for use as a city park and public facility. In 1907, she sold her summer home and ranch in Nederland to the city of Boulder for \$23,000, to make way for the construction of a reservoir and dam, which were named in her and Ezra's honor. From 1898 until her death in 1918, Hannah served as a director of the Boulder Bank.



*800 Arapahoe (originally  
724 Valley Rd.), Engraving,  
c.1880s*

Prior to 1900, Hannah lived in her house with her close friend and fellow widow Mary K. Davidson, as well as Vina Knowles, who may have been Mary's sister. Hannah died in 1918 from influenza after suffering from poor health for more than two years.

The house at 800 Arapahoe is significant for the association with the Barkers and Mary Davidson as persons of local significance, and moreover to the association with Hannah Barker, one of the most significant pioneer women in Boulder.

## CONSTRUCTION HISTORY

The house at 800 Arapahoe Ave. was constructed in phases, spanning from the 1870s until 1901. The original building on the lot, constructed by Caleb and Carrie Stowell, was a small, gable-roof brick house, dating to the early 1870s. The Stowells added a one-

story masonry addition to the west soon after the construction of the gable portion, and a few years later added wooden lean-tos to the west and south of the house. In 1875, they constructed a two-story, Italianate building to the north, transforming the modest, vernacular building into a grand house executed in a fashionable style of the day. In 1877, the lot was purchased by Ezra K. and Hannah C. Barker and in 1900 Hannah Barker embarked on a significant remodeling project on the house which added additional rooms on the front and west side of the house, as well as the full-width porch at the front of the house. The addition nearly doubled the size of the house, and the cupola was moved to the center of the new roof.



*Figure 1. 800 Arapahoe Ave., c.1900.  
Photograph Courtesy the Carnegie Branch Library for Local History.*

A Historic Structure Assessment undertaken in 2007 describes the construction history of the property, which was comprised of five structures combined within the 19<sup>th</sup> century:

1. The original pre-1875 gable brick structure was a two room brick house, dating back to the early 1870s, now demolished.
2. Two original lean-to wooden structures, one on the West and one on the South of Building #1, shed roof, 1 room, ca. mid to late 1870s, now demolished.
3. The original Italianate Barker House, hipped roof with cupola, c. 1875/1878, the rear half of the existing building.
4. The Italianate front addition, matching hip roof with relocated cupola, reconfigured structure, c. 1890s, the front half of the existing building.
5. The front porch and side room/bay window addition, shed roof, c. 1901, wrapping the front (North) and side (West) elevations.



Figure 2. Highlighted image showing rear additions, 800 Arapahoe Ave., c. 1940s.



Figure 3. 800 Arapahoe Ave., rear portion of the building, facing northeast, 2007 (demolished in 2009)

The rear portion of the house was removed in 2009 in an effort to preserve the building. That part of the building was in poor condition and was compromising the structural integrity of the main house. Additionally, the footprint of the rear portion of the house extended past the new property line when the lot was subdivided. The property also previously included a concrete block garage, constructed in 1960, and an alley house, constructed in 1922. Both were demolished in 2009.

The main house was used as a single family house until approximately 1939, when the interior was converted into four apartments. By 1949, the exterior brick had been

painted white, the cupola removed, and the decorative brackets on the cornice of the house had been removed. By 1970 the house contained five units and remained occupied until approximately 1997, when approval to develop a bed and breakfast on the property was granted, and the interior of the house was gutted. The house remained vacant for more than a decade, and was then proposed for demolition. Historic Boulder, Inc. purchased the property and has undertaken extensive work on the building including structural stabilization, restoration of the porch, cupola, and repainting following a historic paint analysis.



Figure 4. 800 Arapahoe Ave., 2009 and 2015.

## PROPERTY DESCRIPTION

The 7,632 sq. ft. property is located on the south side of Arapahoe Ave., between 7<sup>th</sup> and 9<sup>th</sup> streets. The property is bounded by 802 Arapahoe Ave. on the east and south sides, and 716 Arapahoe Ave. on the west. It is located within the potential Expanded Highland Lawn Historic District.



Figure 5. Location Map, 800 Arapahoe Ave. showing the property boundary (dashed line).



*Figure 6. 800 Arapahoe Ave., 2015.*

Approximately 2,300 sq. ft. in size, the Italianate house has a low hipped roof, topped by a decorative cupola, and large overhanging boxed eaves with decorative brackets. The 1875 portion of the house has tall, narrow arched window openings, while the 1890s portion features square top rectangular window openings of similar proportion with stone sills and lintels. A full-length front porch spans the north elevation (façade) of the house, with simple columns spanned by arches, with a decorative brick railing topped with rough-cut stone. Decorative pyramid-shaped stone pilasters flank the five steps onto the porch.



*Figure 7. North and East Elevations, 800 Arapahoe Ave., 2015.*

The east elevation features five window openings; the two windows near the façade are square with stone sills and lintels. Windows on the southern portion of the elevation have brick arches and all of the windows were originally 2-over-2 double-hung sash. A

one-story bay window with three windows and decorative paneling and a brick chimney with decorative brickwork are located on this elevation.



*Figure 8. North and East Elevations, 800 Arapahoe Ave., 2015.*

The west elevation features a one-story bay addition (constructed c.1901 for Hannah Barker), wraps the northwest corner of the building. A two-story bay with windows on the first and second levels is located toward the south portion of the elevation. A brick chimney is present on this elevation.

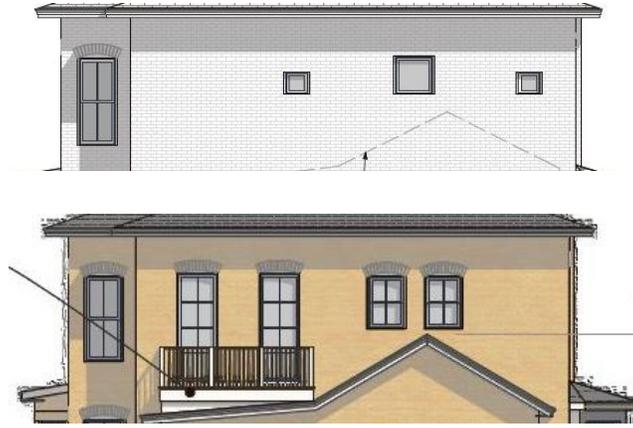


*Figure 9. South (Rear) Elevation, 800 Arapahoe Ave., 2015.*

The south (rear) elevation is the least articulated of the elevations, with three, small square openings on the second level and two door openings on the first level. Two window openings on the west elevation bay are also present on this face. Historically, masonry and frame additions obscured the lower level of the rear of the house, and a chimney bisected the elevation. The additions were demolished in 2009. **LANDMARK ALTERATION CERTIFICATE REQUEST**



the new window and door were not provided as part of this application, however, the applicant has indicated that they will be of wood construction.



*Figure 11. Existing and proposed changes to the fenestration at the south (rear) elevation.*

### **ADDITION TO THE HISTORIC STRUCTURE**

Plans show a one-story, 405 sq. ft. addition to be constructed at the rear of the two-story, 2,300 sq. ft. house. In plan, the addition measures approximately 15'5" by 26'5" and would be located approximately 9-10' from the rear property line. The east and west walls of the addition would be inset from the main house approximately 1' and 2'. The gable-and-shed roof form is designed on the silhouette of the original portion of the house that was removed in 2009 and still visible on that wall.





Figure 14: Existing West Elevation

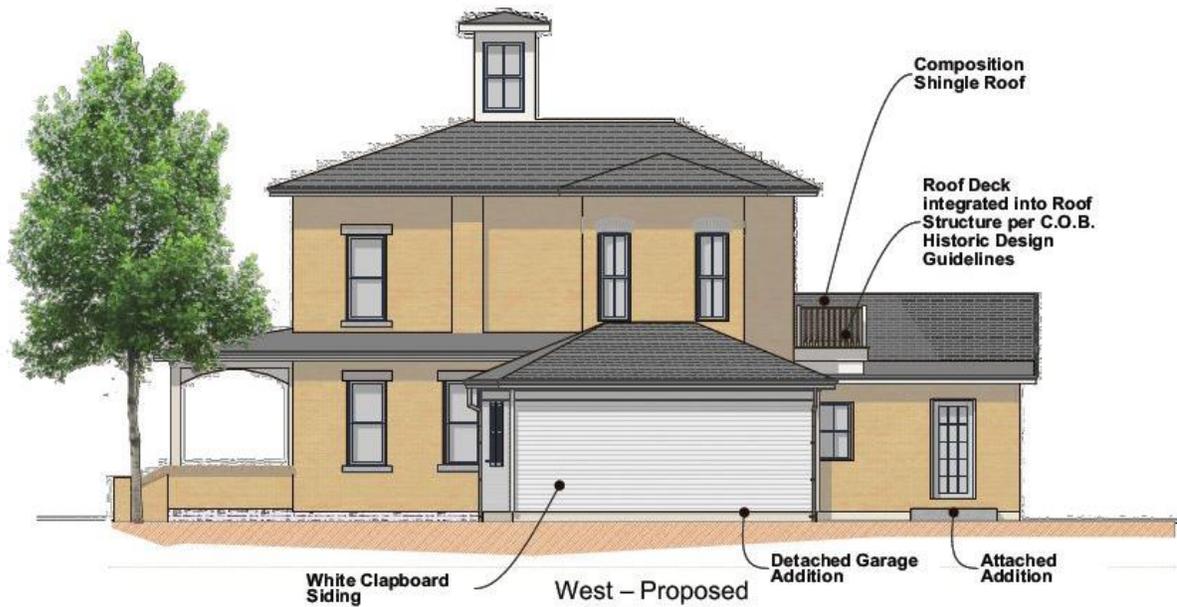
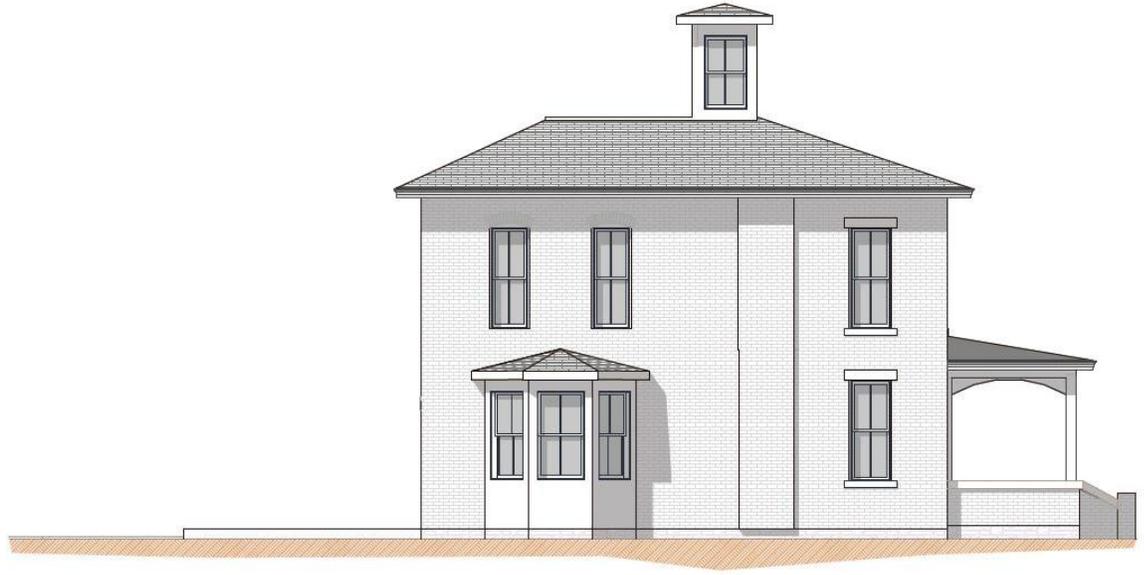


Figure 15: Proposed West Elevation

The west elevation of the addition is shown to feature a multi-light door at the south end of the elevation and a 2-over-2 double hung window at the north end of the elevation. The simple vertical railing of the integrated roof deck is shown above the window.



East – Existing

Figure 16: Existing east Elevation (street facing)



East – Proposed

Figure 17: Proposed east Elevation (street facing)

The east elevation of the addition is shown to have a centrally located, multi-light door flanked by two large, double-hung windows. A 7' x 15' flagstone patio is planned at the east side of the addition.

The applicant proposed to use the reuse bricks from the deconstructed masonry portion of the house for the addition which will be discernable from the historic portion of the house through simplified window openings and modern construction techniques.

### CONSTRUCTION OF A FREE-STANDING GARAGE

A one-car garage is shown to be located west of the house, oriented on an angle to provide necessary back-up space. The garage is simple in design, with a centrally located garage door on the south elevation, pairs of double-hung windows on the east and south elevations. No openings are shown on the west elevation. The garage measures 21' by 15'1" in plan, and 13'1" in height. The driveway material is not specified in the plans.



Figure 18. North and East proposed garage elevations, 2015.

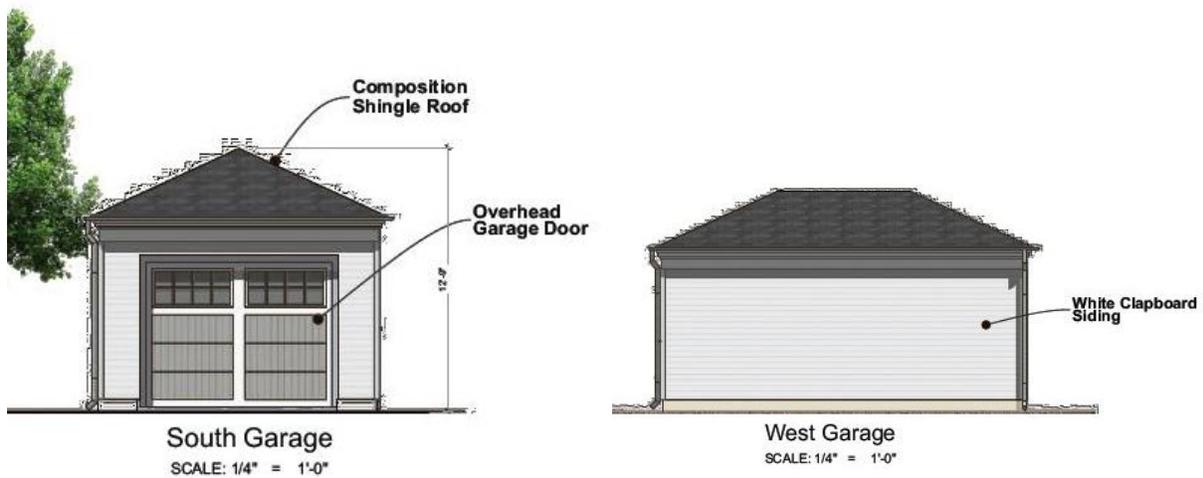


Figure 19. South and West proposed garage elevations, 2015.

## **CRITERIA FOR THE BOARD'S DECISION**

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Subsection 9-11-18(b) and (c), B.R.C. 1981, sets forth the standards the Landmarks Board must apply when reviewing a request for a Landmark Alteration Certificate.

(b) Neither the Landmarks Board nor the City Council shall approve a Landmark Alteration Certificate unless it meets the following conditions:

- (1) The proposed work preserves, enhances, or restores and does not damage or destroy the exterior architectural features of the landmark or the subject property within an historic district;
- (2) The proposed work does not adversely affect the special character or special historic, architectural, or aesthetic interest or value of the landmark and its site or the district;
- (3) The architectural style, arrangement, texture, color, arrangement of color, and materials used on existing and proposed constructions are compatible with the character of the existing landmark and its site or the historic district;
- (4) With respect to a proposal to demolish a building in an historic district, the proposed new construction to replace the building meets the requirements of paragraphs (b)(2) and (3) above.

(c) In determining whether to approve a landmark alteration certificate, the Landmarks Board shall consider the economic feasibility of alternatives, incorporation of energy-efficient design, and enhanced access for the disabled.

## **ANALYSIS**

*1. Does the proposed application preserve, enhance, or restore, and not damage or destroy the exterior architectural features of the landmark or the subject property within a historic district?*

Staff considers that, provided the listed conditions are met, the proposed alterations to the property including construction of a new addition at the rear of the historic house and the construction of a one-story, one-car garage on the property will preserve the historic character of the property and be consistent with the *General Design Guidelines*. (See Design Guidelines Analysis section.) Staff considers that the removal of the three original window openings on the south elevation to be inconsistent with the design guidelines than that these features should be retained. Additionally, staff recommends that only one opening be introduced on the south elevation to provide access to the roof deck.

*2. Does the proposed application adversely affect the special character or special historical, architectural, or aesthetic interest or value of the district?*

The staff finds that, provided the listed conditions are met as outlined above, the proposed application will not adversely affect the special character or special historic, architectural, or aesthetic interest or value of the landmark property as it will be generally compatible with the *General Design Guidelines* in terms of mass, scale, height, design and color. (See Design Guidelines Analysis section.)

*3. Is the architectural style, arrangement, texture, color, arrangement of color, and materials used on existing and proposed structures compatible with the character of the historic district?*

Staff finds that, provided the listed conditions are met, the proposed new construction will be generally compatible with the architectural form, arrangement, texture, color, arrangement of color, and materials used on the proposed building and will be generally compatible with the character of the historic district in terms of mass, scale, height, setback, and design. (See Design Guidelines Analysis section.)

*4. Does the proposal to demolish the building within the Mapleton Hill Historic District and the proposed new construction to replace the proposed demolished building meet the requirements of paragraphs 9-11-18(b)(2), 9-11-18(b)(3) and 9-11-18(b)(4) of this section?*

Not applicable.

**ANALYSIS:**

The Historic Preservation Ordinance sets forth the standards the Landmarks Board must apply when reviewing a request for a Landmark Alteration Certificate. The Board has adopted the *General Design Guidelines* to help interpret the historic preservation ordinance. The following is an analysis of the proposed new construction with respect to relevant guidelines. Design guidelines are intended to be used as an aid to appropriate design and not as a checklist of items for compliance.

The following is an analysis of the proposal's compliance with the appropriate sections of the *General Design Guidelines*.

**ALTERATIONS TO CONTRIBUTING BUILDINGS, 3.0**

<b>3.7</b>	<b>Windows</b>	
	<i>Windows, the elements that surround them, and their relationship to one another are one of the most important character-defining elements of a historic structure and should be preserved. Improper or insensitive treatment of the windows on a historic structure can seriously detract from its architectural character. Windows on facades visible from public streets, particularly the front façade, are especially important.</i>	
		<b>Meets</b>

	<b>Guideline</b>	<b>Analysis</b>	<b>Guideline?</b>
.1	<i>Retain and preserve existing historic windows including their functional and decorative features, such as frame, glass, sashes, muntins, sills, heads, molding, surrounds and hardware. Because windows near the façade are particularly critical to the character of historic buildings, their protection may supersede the protection of historic windows elsewhere. In some cases, it might be appropriate to use window elements from the side or rear elevations to repair those on the front.</i>	Windows near the façade (primary and secondary elevations) are not proposed for removal. Three original window openings on the rear (secondary elevation) of the historic building are proposed to be bricked in. Staff recommends only one new opening be introduced on the rear elevation to provide access to the deck. Resolve details at the Ldrc.	Maybe
.2	<i>Preserve original window locations; do not move windows from their historic placement.</i>	Three original window locations at the rear of the historic house are proposed to be bricked in.	No
.6	<i>The location of the window(s) proposed for retrofit or replacement is important in assessing their significance to a historic building. In general, the more important the elevation where the window is located, the less likely that retrofit or replacement will be appropriate. Elevations will be categorized as primary, secondary or tertiary...</i> <ul style="list-style-type: none"> <li>• <i>Replacement of intact historic windows on primary elevations is rarely appropriate.</i></li> <li>• <i>Replacement of intact historic windows on secondary elevations is generally inappropriate.</i></li> <li>• <i>Replacement of intact historic windows on tertiary elevations can occur provided it does not compromise the historic integrity of the building.</i></li> </ul>	Staff considers the south elevation, due to its visibility from the alley and architectural prominence, to be a <b>secondary elevation</b> . Staff considers the removal of three historically important window openings on the south elevation to be inappropriate. Revise design for review by the Ldrc.	No

.7	<i>The historic significance of the windows proposed for replacement must also be assessed. In general, the more significant a window is to the building as a whole, the less likely that a retrofit or replacement will be appropriate.</i>	Staff considers the three windows proposed for removal to be <b>“Historically Important”</b> windows, as they are believed to be original to the construction of the house and have not been significantly altered. They are not “Very Historically Important” windows, as they do not define the Italianate style of the building, are not unusual or difficult to replicate (i.e. stained glass); and they were not executed with a high degree of craftsmanship. They do not fall into the “Non-Historic” window category, since they have not been significantly altered.	No
.8	The condition of the window must be evaluated prior to determining whether the window or door may be repaired or replaced. The condition is to be determined by assessing its elements individually.	Two of the window openings are boarded up. The applicant indicates that the wood frames are in place, however, the panes are broken or altogether missing.	No

**ADDITIONS TO HISTORIC BUILDINGS, 4.0.**

<b>4.1 Protection of Historic Structures and Sites</b>			
<i>The primary concern of the Landmarks Board in reviewing additions to historic structures is the protection of the existing structure and the character of the site and district.</i>			
	<b>Guideline</b>	<b>Analysis</b>	<b>Meets Guideline?</b>
.1	<i>Construct new additions so that there is the least possible loss of historic fabric and so that the character-defining features of the historic building are not destroyed, damaged, or obscured.</i>	The addition is proposed at the rear of the historic house, in the location of an addition that had been there previously. The proposed construction will not destroy, damage or obscure character-defining features of the Italianate house.	Yes
.2	<i>New additions should be constructed so that they may be</i>	The proposed addition is located where an addition previously was.	Yes

	<i>removed in the future without damaging the historic structure.</i>	The addition is set in from the corners of the primary building and could be removed at a later time without damaging the historic structure.	
.3	<i>It is not appropriate to construct an addition that will detract from the overall historic character of the principal building and/or the site, or if it will require the removal of significant building elements or site features.</i>	The one-story, 405 sq. ft. addition to the two-story, 2,300 sq. ft. addition will not detract from the overall historic character of the building, and will not require the removal of significant building elements or site features.	Yes
<b>4.2</b>	<b>Distinction from Historic Structures</b>		
	<i>All additions should be discernible from the historic structure. When the original design is duplicated the historic evolution of the building becomes unclear. Instead, additions should be compatible with the historic architecture but clearly recognizable as new construction.</i>		
	<b>Guideline</b>	<b>Analysis</b>	<b>Meets Guideline?</b>
.1	<i>Distinguish an addition from the historic structure, but maintain visual continuity between the two. One common method is to step the addition back and/or set it in slightly from the historic structure. Every project is different and successful designs may incorporate a variety of approaches.</i>	The proposed addition is set in from the primary building. The massing and form of the one-story gabled form will be discernable to the two-story hipped roof building. Detailing, including simplified window openings and simplification of the addition will also differentiate it from the 1878 portion.	Yes
.2	<i>Do not directly copy historic elements. Instead, interpret historic elements in simpler ways in the addition.</i>	The gable roof-form and massing of the proposed addition will reference, but not replicate an early addition. The addition as proposed is shown to be simpler than the main house.	Yes
.3	<i>Additions should be simpler in detail than the original structure. An addition that exhibits a more ornate style or implies an earlier period of architecture than that of the original is inappropriate.</i>	The addition as proposed is simple in style and design and does not imply an earlier period of architecture than the 1878 house.	Yes
.4	<i>The architectural style of additions should not imitate the</i>	The proposed addition does not seek to replicate the Italianate style of the	Yes

	<i>historic style but must be compatible with it. Contemporary style additions are possible, but require the utmost attention to these guidelines to be successful. The use of two distinct historic styles, such as adding Tudor-style half-timbering to a Classic Cottage, is inappropriate.</i>	original building. The addition references an earlier addition in mass, scale and location, but is simple in design.	
<b>4.3</b>	<b>Compatibility with Historic Buildings</b>		
	<i>Introducing new construction that contrasts sharply with an existing historic structure or site detracts from the visual continuity that marks our historic districts. While additions should be distinguishable from the historic structure, they must not contrast so sharply as to detract from the original building and/or the site. Additions should never overwhelm historic structures or the site, in mass, scale or detailing.</i>		
	<b>Guideline</b>	<b>Analysis</b>	<b>Meets Guideline?</b>
.1	<i>An addition should be subordinate to the historic building, limited in size and scale so that it does not diminish or visually overpower the building.</i>	The one-story, 405 sq. ft. addition will be subordinate to and will not visually overpower the two-story, 2,300 sq. ft. house.	Yes
.2	<i>Design an addition to be compatible with the historic building in mass, scale, materials and color. For elevations visible from public streets, the relationship of solids to voids in the exterior walls should also be compatible.</i>	The proposed addition will be compatible with the historic building in mass, scale, materials and color. The relationship of solids to voids on the addition is compatible with the symmetrical pattern found on the main house.	Yes
.3	<i>Adding a partial or full story to the historic portion of a historic building is rarely appropriate.</i>	One-story addition proposed to a two-story house. Addition of a partial or full story is not proposed on the historic portion of the house.	Yes
.4	<i>Reflect the original symmetry or asymmetry of the historic building.</i>	The proposed addition references but does not replicate an earlier addition, and is compatible with the symmetry of the original house.	Yes
.5	<i>Preserve the vertical and horizontal proportion of a building's mass.</i>	The main house's vertical massing will not be diminished or destroyed by the construction of a one-story	Yes

		addition at the rear elevation.	
<b>4.4</b>	<b>Compatibility with Historic Site and Setting</b>		
	<i>Additions should be designed and located so that significant site features, including mature trees, are not lost or obscured. The size of the addition should not overpower the site or dramatically alter its historic character.</i>		
	<b>Guideline</b>	<b>Analysis</b>	<b>Meets Guideline?</b>
.1	<i>Design new additions so that the overall character of the site, site topography, character-defining site features and trees are retained.</i>	The overall character of the site, topography and site features will be retained. The mature trees and historic fence at the front of the property will not be affected. The construction of the addition will not require the removal of mature trees in the rear yard.	Yes
.2	<i>Locate new additions on an inconspicuous elevation of the historic building, generally the rear one. Locating an addition to the front of a structure is inappropriate because it obscures the historic facade of a building.</i>	Addition is proposed at the rear of the historic house and will not be prominently visible from Arapahoe Ave.	Yes
.3	<i>Respect the established orientation of the original building and typical alignments in the area.</i>	Addition does not affect historic orientation and alignments of building of the historic house.	Yes
.4	<i>Preserve a backyard area between the house and the garage, maintaining the general proportion of built mass to open space found within the area. See Guideline 2.1.1.</i>	Lot was subdivided in 2007, altering the historic pattern of the building lot and creating a unique relationship between the lot and house. However, the addition will not detract from the historic character of the main house, as the open space will be maintained on the east and north areas.	Maybe
<b>4.5</b>	<b>Key Building Elements</b>		
	<i>Roofs, porches, dormers, windows and doors are some of the most important character-defining elements of any building. As such, they require extra attention to assure that they complement the historic architecture. In addition to the guidelines below, refer also to Section 3.0 Alterations for related suggestions.</i>		

	<b>Guideline</b>	<b>Analysis</b>	<b>Meets Guideline?</b>
.1	<i>Maintain the dominant roofline and orientation of the roof form to the street.</i>	The one-story, gable and shed roofline of the addition will not affect the orientation of the dominant low-pitched hip roof of the house.	Yes
.2	<i>Rooflines on additions should be lower than and secondary to the roofline of the original building.</i>	The one-story roofline of the addition is lower than and secondary to the two-story historic building.	Yes
.3	<i>The existing roof form, pitch, eave depth, and materials should be used for all additions.</i>	The proposed gable and shed roof form differs from but is compatible with the existing hipped roof form. The addition referenced but does not replicate and earlier rear addition.	Maybe
.5	<i>Maintain the proportion, general style, and symmetry or asymmetry of the existing window patterns.</i>	The window pattern on the main house is symmetrical, typical of the Italianate style. The window pattern on the south elevation of the house and on the addition maintains this symmetry, proportion and general style of the existing window pattern.	Yes
.6	<i>Use window shapes that are found on the historic building. Do not introduce odd-shaped windows such as octagonal, triangular, or diamond-shaped</i>	Odd window shapes are not proposed; proportion of double-hung windows are compatible with the tall, narrow double-hung windows found on the historic building.	Yes
.7	<i>Do not add divided light windows to structures that historically did not have divided light windows.</i>	2-over-2 double-hung windows proposed, referencing the window pattern of the original building.	Yes
.8	<i>Use materials and construction similar to historic windows. Do not use snap-in mullions.</i>	Snap-in mullions not proposed.	Yes

<b>3.2</b>	<b>Roof Decks and Balconies</b>
	<i>Roof decks are deck areas above the first floor that are contained completely or partially in a roof mass. Balconies are railed or balustraded platforms that project from the building. Second story roof decks or balconies are characteristic of only a few architectural styles found in Boulder. <b>They may be compatible additions, however, if located on the rear and if they are integrated into the primary structure.</b> Second story roof decks or balconies are not appropriate for free-standing accessory buildings and garages. Any decks or balconies above the</i>

<i>second story are inappropriate unless based on historic precedent.</i>			
	<b>Guideline</b>	<b>Analysis</b>	<b>Meets Guideline?</b>
.1	<i>Locate roof decks or balconies on the rear, not on the front, of the building. Front roof decks or balconies are appropriate only if recreating a documented historic element.</i>	Roof deck is proposed at the rear of the building, located above the proposed addition.	Yes
.2	<i>Integrate the roof deck or balcony into the structure either by setting it into the building or by incorporating it into the roof structure.</i>	Staff recommends the deck be further integrated into the roof structure of the addition to meet this guideline. Resolve at LDRC.	Yes
.3	<i>Avoid cantilevered projections from the building, and use appropriately scaled brackets or supports.</i>	Roof deck is not cantilevered from the building.	Yes
.4	<i>While current code requirements must be met, new railings should be as close as possible to historic heights. In addition, sensitive design may give the appearance of the lower railing heights found on historic structures.</i>	The proposed railing is simply detailed, and does not appear to be overscaled.	Yes

## SITE DESIGN AND NEW ACCESSORY STRUCTURES

### SITE DESIGN 2.0

<b>2.4 Parking, Driveways</b>			
<i>Historically, private parking was limited to the rear of the lot with access from the alley. There are instances where curb cuts have been added in the front yards, but these are generally later alterations and do not represent traditional parking patterns.</i>			
	<b>Guideline</b>	<b>Analysis</b>	<b>Meets Guideline?</b>
.1	<i>Maintain the traditional pattern of parking at the rear of the lot.</i>	Parking is proposed at the rear of the lot. Due to the subdivision of the lot in 2007, parking is not possible along the alley.	<b>Yes</b>
.2	<i>Access to parking should be from the alleys whenever possible.</i>	Access is from the alley.	<b>Yes</b>

.3	<i>Parking in the front yard is inappropriate.</i>	Parking is not proposed in the front yard.	<b>No</b>
.4	<i>New curb cuts from the street are inappropriate. When adding a garage or significantly altering an existing garage on the alley any front curb cut should be vacated and closed.</i>	Curb cut not proposed.	<b>N/A</b>
.6	<i>Historically appropriate paving materials, such as flagstone or brick, can be used to visually break up larger parking areas.</i>	Paving material is not indicated in application.	<b>Maybe</b>
.7	<i>Paving driveways or garage access areas with asphalt or concrete gives a modern look and is generally inappropriate, particularly when adjacent to unpaved alleys. Flagstone or brick wheel strips are the preferred alternative.</i>	Paving material is not indicated in application.	<b>Maybe</b>

## **GARAGES & OTHER ACCESSORY STRUCTURES**

<b>7.2</b>	<b>New Accessory Buildings</b>		
<p><i>New accessory buildings should follow the character and pattern of historic accessory structures. While they should be take design clues from the primary structure, they must be subordinate to the primary structure in size, massing and detailing. Alley buildings should maintain a scale that is pleasant to walk along and comfortable for pedestrians.</i></p>			
	<b>Guideline</b>	<b>Analysis</b>	<b>Meets Guideline?</b>
.1	<i>It is inappropriate to introduce a new garage or accessory building if doing so will detract from the overall historic character of the principal building and the site, or if it will require the removal of a significant historic building element or site feature, such as a mature tree.</i>	The diminutive size of the one-story, one-car garage will not detract from the overall historic character of the principal building and site. Proposed construction will to require the removal of mature trees or building elements.	<b>Yes</b>
.2	<i>New garages and accessory buildings should generally be located at the rear of the lot, respecting the traditional relationship of such buildings to the</i>	Due to the subdivision of the lot in 2007, parking is not possible along the alley. The accessory building is set back 46-48 ft. from the north	<b>Maybe</b>

	<i>primary structure and the site.</i>	property line, in the side yard of the designated property. Staff recommends the applicant explore the possibility of locating the garage as close to the rear property line as possible. Resolve at LDRC.	
.3	<i>Maintain adequate spacing between accessory buildings so alleys do not evolve into tunnel-like passageways.</i>	Parking along alley not possible due to 2007 subdivision of the lot.	N/A
.4	<i>Preserve a backyard area between the house and the accessory buildings, maintaining the general proportion of built mass to open space found within the area.</i>	Lot was subdivided in 2007, altering the historic pattern of the building lot and creating a unique relationship between the lot and house. However, the addition will not detract from the historic character of the main house, as the open space will be maintained on the east and north areas.	Maybe
.5	<i>New accessory structures should take design cues from the primary structure on the site, but be subordinate to it in terms of size and massing.</i>	The new building is clearly contemporary but generally compatible with the primary building in terms of architectural details and materials.	Yes
.7	<i>Roof form and pitch should be complimentary to the primary structure.</i>	The form and pitch of roof complimentary with the main house.	Yes
.8	<i>Accessory structures should be simpler in design and detail than the primary building.</i>	The proposed garage is simpler than house in scale and detail.	Yes
.9	<i>Materials for new garages and accessory structures should be compatible with those found on the primary structure and in the district. Vinyl siding and prefabricated structures are inappropriate.</i>	Materials as proposed, including wood lap siding, windows and doors are appropriate. Provide material/color details to Ldrc for review and approval.	Yes
.10	<i>Windows, like all elements of accessory</i>	The proportions, design and	Yes

<p><i>buildings, should be simpler in detailing and smaller in scale than similar elements on primary structures.</i></p>	<p>materials of proposed are generally consistent.</p>	
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**Reconfiguration of Fenestration on South (Rear) Elevation**

Staff considers the proposed reconfiguration of the fenestration on the south elevation to be inconsistent with the historic preservation ordinance and Section 3.7 of the *General Design Guidelines* and the three window openings on the south elevation to be “Historically Important Windows” as they are likely original to the construction of the house and have not been significantly altered. The General Design Guidelines defines a Secondary Elevation as “typically a side of a building that has less public visibility, and may have fewer significant character defining features than on the façade. An elevation that has visibility from an alley may be considered a secondary elevation.” Staff considers the south elevation to meet this definition.

Staff considers that the removal of the three window openings will adversely affect the historic integrity of the property, as the window openings are original to the house and the design guidelines discourages the removal or relocation of window openings. Staff considers that a single opening to access the roof deck would be appropriate on the west side of the south elevation. Staff suggests that the door opening be simplified to avoid confusion about the date of the proposed modification. This may include removing the decorative sills.

**Construction of Rear Addition**

Staff considers that the proposed construction of a rear addition is generally consistent with Sections 3.2 and 4.0 of the *General Design Guidelines*. The one-story, 405 sq. ft. addition to the two-story, 2,300 sq. ft. addition will not detract from the overall historic character of the building and will not require the removal of significant building elements or site features. The proposed addition references, but does not replicate an earlier addition and is compatible with the symmetry of the original house. The addition is not prominently visible from Arapahoe Ave., and its scale and massing will not visually overwhelm the historic building. The proposed materials are appropriate, and the addition will be discernable from the historic portion of the building through simplification of window openings and material detailing. Staff recommends that the roof deck be further integrated into the roof structure of the proposed addition to meet Guideline 3.2.2.

### **Construction of a New Accessory Building**

Staff considers that the proposed construction of the new accessory building to be generally consistent with Sections 2.0 and 7.2 of the *General Design Guidelines*. Due to the configuration of the lot, the proposed location is as close to the rear property line as possible to achieve the required 24' vehicle back out distance. The one-story, 317 sq. ft. garage is diminutive in size and simple in detailing. Staff considers that the construction of the garage will not damage or destroy the architectural or historic character of the landmarked site. Staff recommends that the applicant explore locating the garage as close to the rear property line as possible to further lessen the visual impact from Arapahoe Ave.

### **REQUEST FOR SUPPORT OF A BOZA VARIANCE**

Section 9-2-3(h)(4) of the Boulder Revised Code states that a variance should be considered by the Board of Zoning Adjustment (BOZA) if the property is historically designated and that, if the property were developed in conformity with the provisions of the code, the resulting development would have "an adverse impact" upon the historic character of the building. If the Landmarks Board finds that the proposed addition and garage meet the standards for a Landmark Alteration Certificate, staff recommends that the board express support for a BOZA variance.

Staff considers that locating the addition and garage in a conforming location would be inappropriate as it would result in a building that does not match the proportions of the historic house and would detract from the character of the primary house. Staff considers that these "by right" alternatives would have an adverse affect upon the house per Section 9.2.3(h)(4) of the B.R.C. The current proposal is consistent with the historic preservation ordinance and the *General Design Guidelines*. To this end, staff recommends that the Landmarks Board express support for the requested variance from Board of Zoning Adjustment (BOZA) under criterion 4.

### **PUBLIC COMMENT**

Historic Boulder, Inc. has submitted a letter of support for the proposed construction of an addition and new garage. *See Attachment E: Historic Boulder Letter*

### **FINDINGS:**

Provided the conditions outlined in the staff recommendation are met, staff recommends that the Landmarks Board approve the application and adopt the following findings:

1. The proposed new construction meets the standards in Section 9-11-18, B.R.C. 1981.

Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for 800 Arapahoe Ave.

2. The proposed new construction will not have an adverse effect on the value of the landmark property, as it will be generally compatible in terms of mass, scale, and orientation of the landmark site.
3. In terms of mass, scale, and orientation, the proposal will be generally consistent with Section 9-11-18 B.R.C.1981, and the *General Design Guidelines*.

**ATTACHMENTS:**

- A: Background Information
- B: Applicant Letter
- C: Existing and Proposed Plans
- D: Photographs
- E: Letter of Support from Historic Boulder, Inc.

**Attachment A: Background Information**

**Hannah Barker and 800 Arapahoe Ave.**

**The following is an excerpt from the Landmarks Board Designation Memo dated 2008.**



*Ezra K. Barker, undated.  
Carnegie Branch Library for  
Local History*

In 1872, Marinus “Marine” Smith platted the Smith’s Addition to West Boulder, which included the land upon which the house at 800 Arapahoe now stands. In 1877, the property was purchased by Ezra K. Barker, a well-known builder and real estate and mining investor in Boulder. Ezra K. Barker married Hannah Connell on November 30, 1877, in Valmont, Colorado. Hannah was born in 1844 in Ireland, and immigrated to Springfield, Massachusetts with her parents at the age of six. In 1867, at the age of 23, she began traveling west from Iowa with William and Mary K. Davidson (for whom Davidson Mesa is named) and arrived in Ward, Colorado, where she began teaching. After two years, she moved to Boulder, and began teaching in the Boulder Valley School District. Following her marriage to Ezra, she retired from teaching and took up philanthropic and civic affairs. After only 6 years of marriage, Ezra died in 1883, and Hannah inherited the extensive land holdings and wealth that Ezra had amassed.

Hannah continued to develop the Barker land holdings, including platting the town of Highland Lawn in 1884. Highland Lawn was annexed into the city of Boulder in 1891. Hannah was active in many community affairs, including the Literary Society (later the Fortnightly Club, which evolved into the Boulder Public Library), the Boulder Women’s Club, and was a founder of the Boulder Creamery in 1887. She also gave liberally to the Congregational Church, including writing the church history, and donating half the \$2,500 needed to purchase an organ. She also contributed financially to the University to construct a new wing to the Hospital, Chautauqua, and the YMCA. In 1911, she

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Re: Landmark Alteration Certificate for 800 Arapahoe Ave.

donated half a city block at the corner of 15<sup>th</sup> and Spruce Streets for use as a city park and public facility. The site continues today as the Boulder Day Nursery and Public Park and playground. In 1907, she sold her summer home and ranch in Nederland to the city of Boulder for \$23,000, to make way for the construction of a reservoir and dam, which were named in her and Ezra's honor. From 1898 until her death in 1918, Hannah served as a director of the Boulder Bank. Prior to 1900, Hannah lived in her house with her close friend and fellow widow Mary K. Davidson, as well as Vina Knowles, who may have been Mary's sister. Hannah died in 1918 after suffering from poor health for more than two years. She died as a result of influenza, one of many who lost their lives as part of the 1918 flu pandemic. She is buried in Green Mountain Cemetery. Hannah left behind an estate valued at \$62,400, and left her home to her lifelong friend Mary Knowles Davidson. Mary died five years later in 1923. The house passed to her heirs, and in 1927 the estate was finally settled in court, and the house sold to William I. Reynolds. The house at 800 Arapahoe is significant for the association with the Barkers and Mary Davidson as persons of local significance, and moreover to the association with Hannah Barker, one of the most significant pioneer women in Boulder.

Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for 800 Arapahoe Ave.

**Attachment B: Applicant Letter**

## Dodd — Studio

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T 303 440-7957  
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**Date: September 16, 2015 r**

### Written Statement

Hannah Barker House Addition and Detached Garage Addition  
800 Arapaho, Boulder, CO 80302

#### Variance Request:

1. Principal Building rear yard setback reduction from 25'-0" to 9'-2"
2. Accessory Building Front Yard setback reduction from 55'-0" to 46'-0"

### Project Description

The Hannah Barker house is an individual historic landmark built in 1875 and consisting of 1192 sf on the main level and 1068 sf on the upper level. The house was in a state of near total ruin when Historic Boulder purchased the property in 2010 and embarked on a multi-year restoration of the home with help from a broad sector of the community. To date, the house has been structurally stabilized and all of the exterior details have been restored, except for the windows and doors. Historic Boulder is in the process of selling the property to a private party who will complete the window and door restoration as well as a full interior renovation.

As part of the full restoration of the property, it is proposed to add a one story addition of approximately 402 sf attached to the south end of the existing house as well as a one story detached garage of approximately 280 sf to the west of the house toward the rear of the lot. The proposed design was developed in consultation with Historic Boulder and City of Boulder Historic Preservation staff and is in compliance with the City of Boulder Design Guidelines for Individual Landmarks. The project was reviewed by the Landmarks Design Review Committee on September 2, and although there is conceptual support for the proposal, the LDRC decided the significance of the building warranted review by the full Landmarks Board. This meeting is scheduled for October 7.

The location of the attached addition on the south end of the existing house minimizes visual impacts from Arapaho Avenue. This addition will enclose a new kitchen and mud room that will match the roof line and massing of an historic portion of the building at this location, which was demolished as part of the current restoration undertaken by Historic Boulder. The kitchen addition will dramatically improve the live-ability of the existing floor plan and allow preservation of most of the existing interior masonry and wood frame walls. The 15 foot depth of the addition is the minimum required to provided a functional kitchen layout. The proposed attached addition will result in a rear yard setback varying from 9'-2" to 10'-1", where 25 feet is required in the RMX-1 zoning district.

The detached garage is located to minimize driveway length and turnaround area. Vehicle access to the property is from the alley via a 15 foot access easement on the western edge of the adja-

**Memo to the Landmarks Board**  
**Re: Landmark Alteration Certificate for 800 Arapahoe Ave.**

cent property to the south. The required minimum 24 foot back up distance is provided between the garage and the property line. The single car detached garage has a minimal depth of 21'-0" to maximize the front yard setback and minimize visual impact from the street. Even so, a variance is requested to reduce the front yard setback requirement for the accessory building from 55 feet to a setback varying from 46'-0" to 48'-7". This variance is necessary due to the shallow 90 ft. depth of the lot.

The project is in compliance with all other zoning requirements for the RMX-1 zoning district including FAR, Building Coverage, Height, Garage to House separation, Bulk Plane, Side Yard Wall Articulation, and Solar Shadow. Zoning information is summarized in Attachment 1. The variances requested will allow for modest expansion of an historically significant property and contribute to its long term care and maintenance by creating a home which more practically accommodates the needs of modern families.

**Site Conditions**

The Hannah Barker House was originally sited on a lot which extended from Arapaho Avenue south to the alley between Arapaho and Marine Streets. The property was subsequently subdivided in the early 2000's to create two separate parcels. The southern parcel includes a flag extension across the eastern edge of the Barker parcel to meet the City of Boulder street frontage requirement. In addition, a 15 foot access easement along the western edge of the southern parcel provides alley access to the Barker property. A portion of the original Hannah Barker House had to be demolished at the time of the subdivision.

The resulting rather unusual lot configuration has created a hardship for the Barker property with regard to expanding it's modest 1192 sf footprint. Historic considerations prevent building to the east or west, leaving only the south of the house as a possibility. But the subdivision has resulted in the existing house located at the rear yard setback. Any addition to this side of the house requires a variance.



**Neighborhood Conditions**

The property is bounded by another large, historic single family home to the west, and by multi-family (primarily) student housing on all other sides. The adjacent lot to the south is currently vacant but is planned for additional multi-family, student housing.



**Existing Building**

The existing house is currently nearing completion of Phase 3 of the restoration undertaken by Historic Boulder. Phase 1 included emergency protection of the existing building and was completed in 2011. Phase 2 stabilized the foundation and masonry and included structural improvements to the interior, completed in 2012. Phase 3 includes the restoration of the front porch, chimneys, cupola, exterior trim details, and exterior painting.

The next phase of work, to be undertaken by the new owner, will be the restoration of the exterior windows and doors, followed by a complete interior renovation and, if approved, the additions described in this application.

The current condition of the house, as of June 2015, is shown in the attached photos. Exterior painting of the house is now complete.

Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for 800 Arapahoe Ave.



**Main Level Interior**



**Upper Level Interior**



**Front View from Northwest**

Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for 800 Arapahoe Ave.



**Front View from Northeast**



**Rear View from southwest showing outline of demolished portion of house**



**Rear View from southeast showing outline of demolished portion of house**

### **Proposed Design**

The current proposal is a direct result of a meeting with Boulder Historic Preservation staff. The proposed addition has the same width and roof profile as the demolished portion of the house, and extends approximately 15 ft. into the rear yard setback. It provides a service/mudroom entry directly into a new kitchen featuring natural light from the east and south, as well as access to the southeast portion of the yard. The kitchen/mudroom addition allows for the development of a well proportioned main level floor plan and dramatic interior stair in keeping with the stature of the historic house. The proposed window and door proportions are sympathetic to the existing house but do not include head or sill details so that a distinction can be made between the original house and the addition. The design intent is to clad the addition with the original salvaged brick for the demolished structure.

The detached garage has a single 9 foot wide garage door and is clad in white horizontal clap-board siding. It is situated on the west side of the house, which has less visibility than the east side, and is located as far back on the lot as possible while still allowing for minimal turnaround space. A 5 1/2 in 12 hipped roof is proposed, as well as a pair of windows centered on the north and east elevations.

**Variance Criteria**

The site complies with all the criteria of Paragraphs 4 and 5 of the BOZA Variance Criteria:

Paragraph 4 -

City of Boulder Historic Preservation staff planner James Hewat will provide interim documentation with regard to this criteria. A final Landmarks Board determination will be made at the Oct. 7 meeting, and a resolution specifically addressing the setback variance will be put before the board.

As outlined in the project description above, adding to the east or west side of the house would have a detrimental effect on the historic character of the property. The only location suitable for an attached addition is in the rear yard setback.

The detached garage is located as far back on the property as possible while still maintaining the required 24 feet backing distance to the property line. The depth of the garage is a minimal 21 feet to maximize the remaining front yard setback.

Paragraph 5 -

(A) - The proposal does not alter the essential character of the neighborhood. The 800 and 900 blocks of Arapaho Avenue consists of 22 properties fronting the street - 8 single family, 5 duplex/triplex, 8 condo/apartment, and 1 office. This is a neighborhood primarily of mixed single family and higher density housing. The reduced setback at an interior lot line will have no discernible impact on the character of the neighborhood.



(B) - The variance would not impair the use of adjacent properties. The only significant impact is on the property to the south, which is planned for duplex/triplex student housing. This property

**Memo to the Landmarks Board**  
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will be required to have a rear yard setback of 25 feet. The proposed setback encroachments for the attached addition and detached garage do not adversely affect solar access, views, or any of the other requirements from Chapter 7 - Form and Bulk Standards, B.R.C. 1981. A public good is served by allowing this variance as it supports the continued occupation, care and maintenance of a significant Boulder historic landmark.

(C) - The proposed attached addition extends 15 feet into the rear yard setback and represents the minimum dimension for a practical layout of a kitchen. It should be noted that this portion of the property had, until quite recently, been occupied by a portion of the original Hannah Barker House of similar form and massing (See image below). The detached garage is set back as far as possible on the site while still allowing for a 25 foot back up distance from the garage. The garage is at a minimum depth to provide one required off street parking space. The width of 13'-4" provides 1 car parking with minimal additional storage capacity to compensate for the lack of basement storage in the existing house. Therefore, the proposed additions represent the minimum variance to afford relief and are the least modification of the applicable provisions to allow for reasonable development of the property.



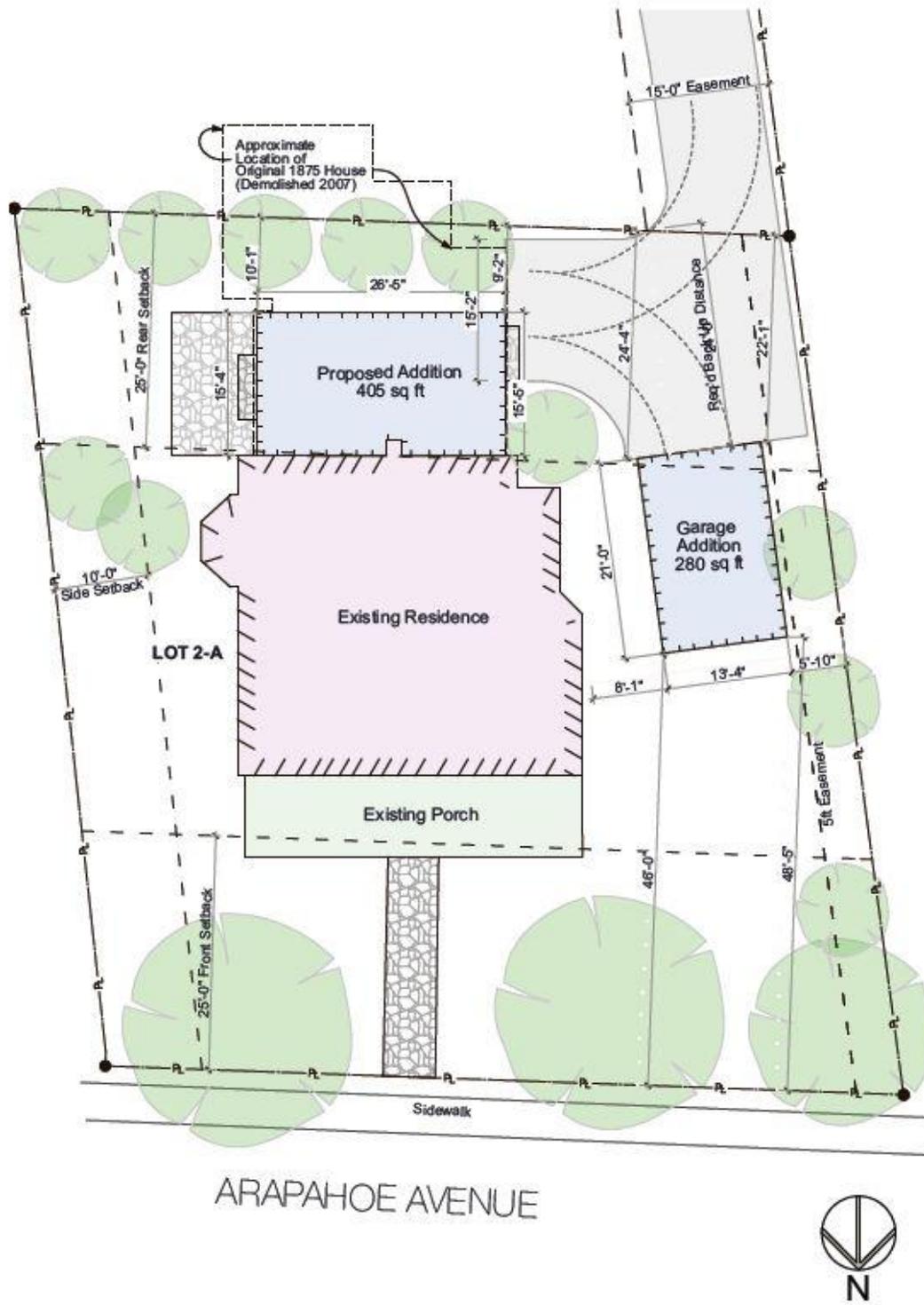
(D) - The maximum proposed height of the ridge line of the attached addition is 15'-6" above grade. The maximum proposed height of the detached garage is 13'-6". The subject property is in the RMX-1 zoning district, solar access area II, which is protected by a 25 foot high solar fence. Since none of the proposed additions exceed the height of the solar fence, there is no conflict with Section 9-9-17 "Solar Access", B.R.C. 1981.

**Attachment 1**

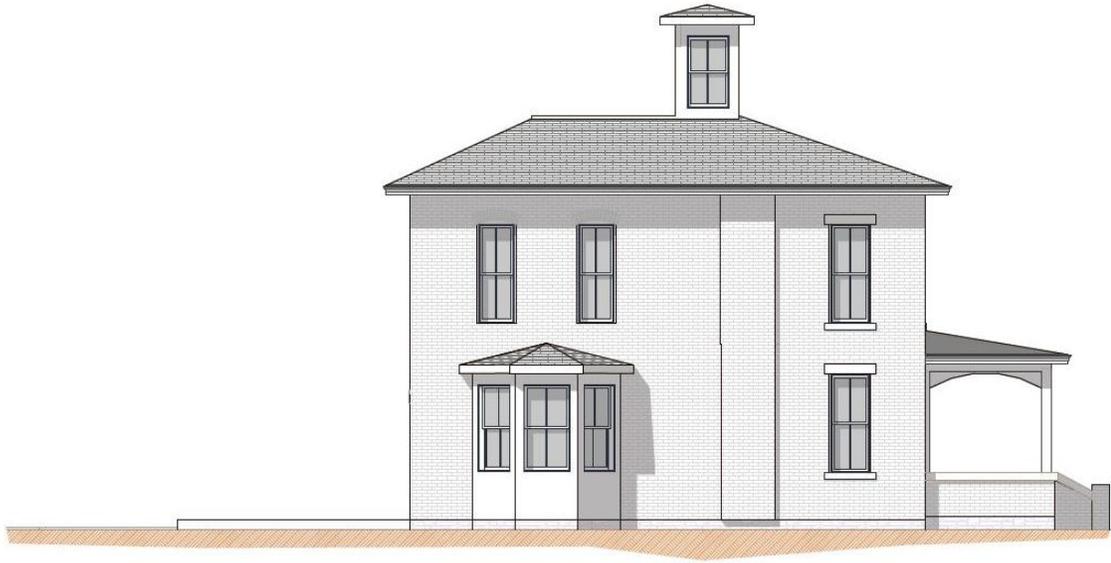
Property Data

<b>SITE/ ZONING DATA</b>	
ZONING	FMX-1
LOT AREA	7,600
OFF STREET PARKING	1 IN GARAGE
MAXIMUM BUILDING HEIGHT	34'-9"
YEAR BUILT	1975
ALTERATION CERTIFICATE REQ'D	YES
<b>BUILDING AREAS</b>	
<b>PRINCIPAL STRUCTURE</b>	
<b>EXISTING CONDITIONED FLR AREA</b>	<b>2,260</b>
MAIN LEVEL	1,192
UPPER LEVEL	1,068
<b>NEW CONDITIONED FLR AREA</b>	
MAIN LEVEL	402
UPPER LEVEL	0
<b>TOTAL CONDITIONED FLR AREA</b>	<b>2,662</b>
<b>ACCESSORY STRUCTURE</b>	
NEW DETACHED GARAGE	280
<b>SETBACKS</b>	
<b>PRINCIPAL STRUCTURE</b>	
SIDE YARD - MIN 5 FT, COMBINED 15 FT	<b>MET</b>
FRONT YARD - 25 FT	<b>MET</b>
REAR YARD - 25 FT	<b>VARIANCE REQUEST</b>
PROVIDE 9'-2" WHERE 25'-0" REQ'D	
<b>ACCESSORY STRUCTURE</b>	
SIDE YARD - MIN 3 FT OR 0 FT	<b>MET</b>
REAR YARD - MIN 3 FT OR 0 FT	<b>MET</b>
FRONT YARD - 55 FT	<b>VARIANCE REQUEST</b>
PROVIDE 46'-0" WHERE 55'-0" REQ'D	
<b>COMPATIBLE DEVELOPMENT</b>	
BULK PLANE REQUIREMENT	<b>MET</b>
SIDE YARD WALL ARTICULATION	<b>MET</b>
<b>ALLOWABLE FAR FLOOR AREA</b>	<b>3,932</b>
<b>PROPOSED FLOOR AREA (FAR)</b>	<b>2,942</b>
MAIN LEVEL	1,974
UPPER LEVEL	1,068
<b>ALLOWABLE BUILDING COVERAGE</b>	<b>2,570</b>
<b>PROPOSED BUILDING COVERAGE</b>	<b>1,874</b>
<b>SOLAR</b>	<b>MET</b>
<b>SOLAR FENCE HEIGHT</b>	<b>25'-0"</b>
MAXIMUM PROPOSED HEIGHT	<b>15'-6"</b>

**Attachment C: Plans and Elevations**



Site Plan - Proposed



East – Existing

SCALE: 3/16" = 1'-0"

Existing East Elevation



North – Existing

SCALE: 3/16" = 1'-0"

Existing North Elevation



South – Existing  
SCALE: 3/16" = 1'-0"

Existing South Elevation



West – Existing  
SCALE: 3/16" = 1'-0"

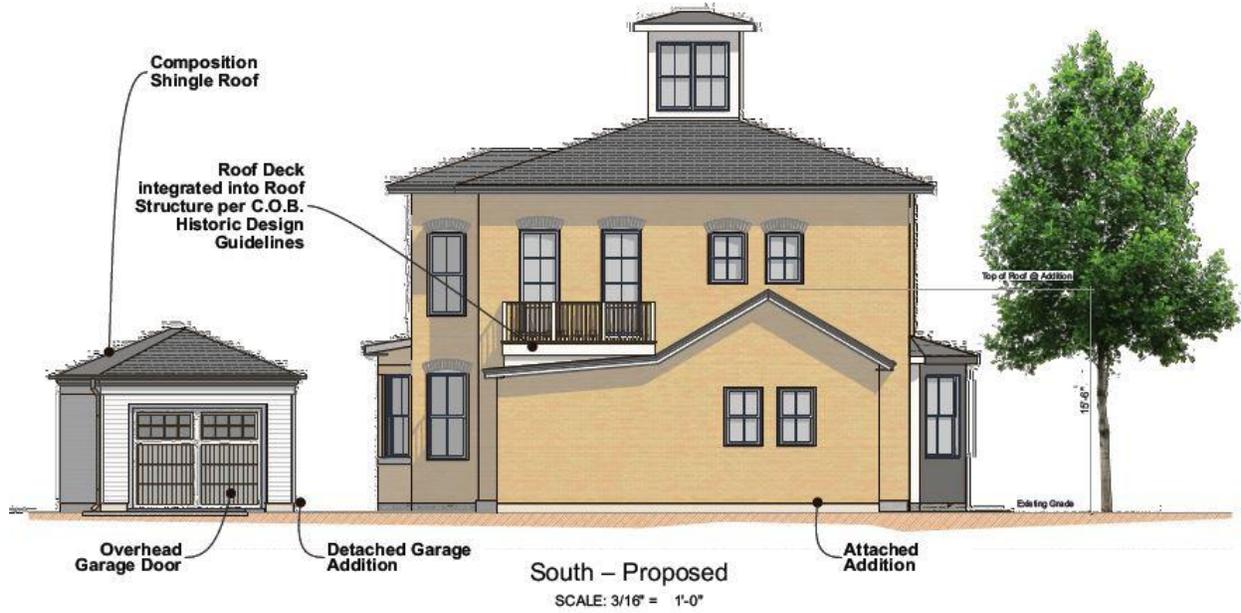
Existing West Elevation



Proposed east elevation



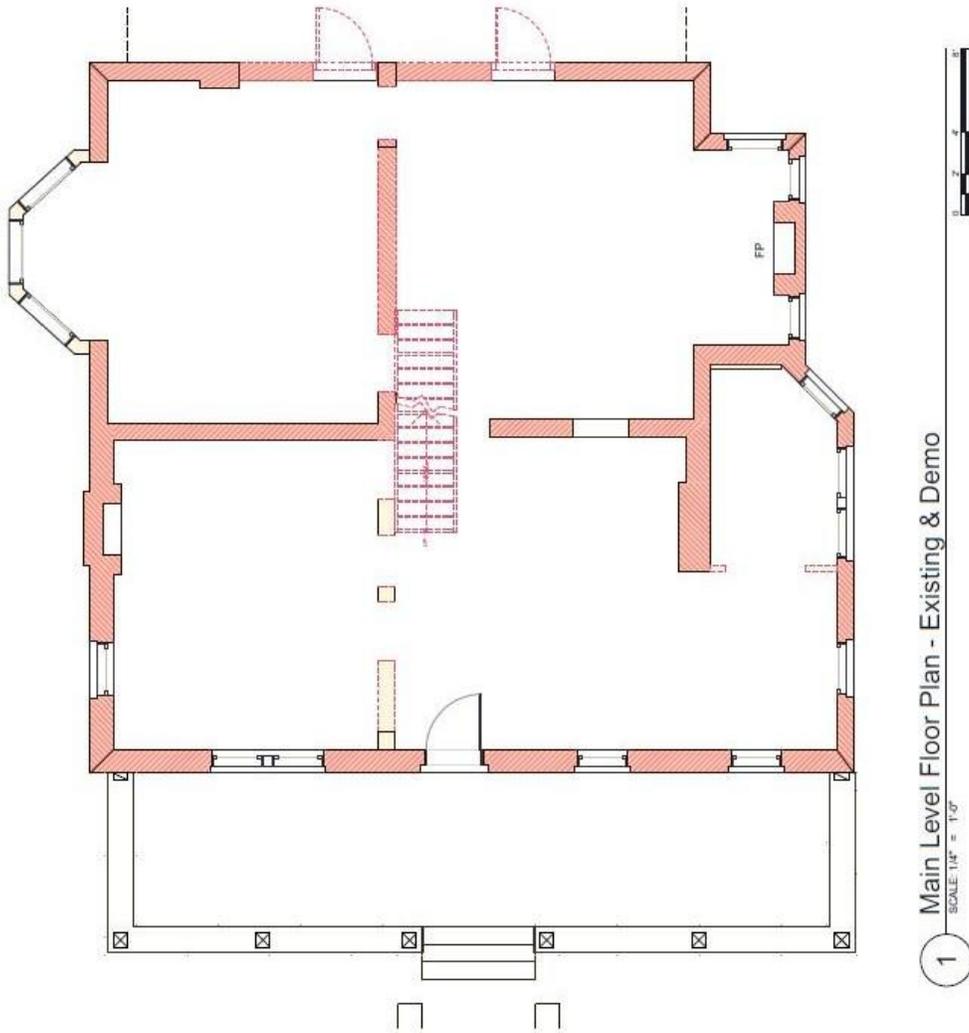
Proposed north elevation



Proposed South elevation

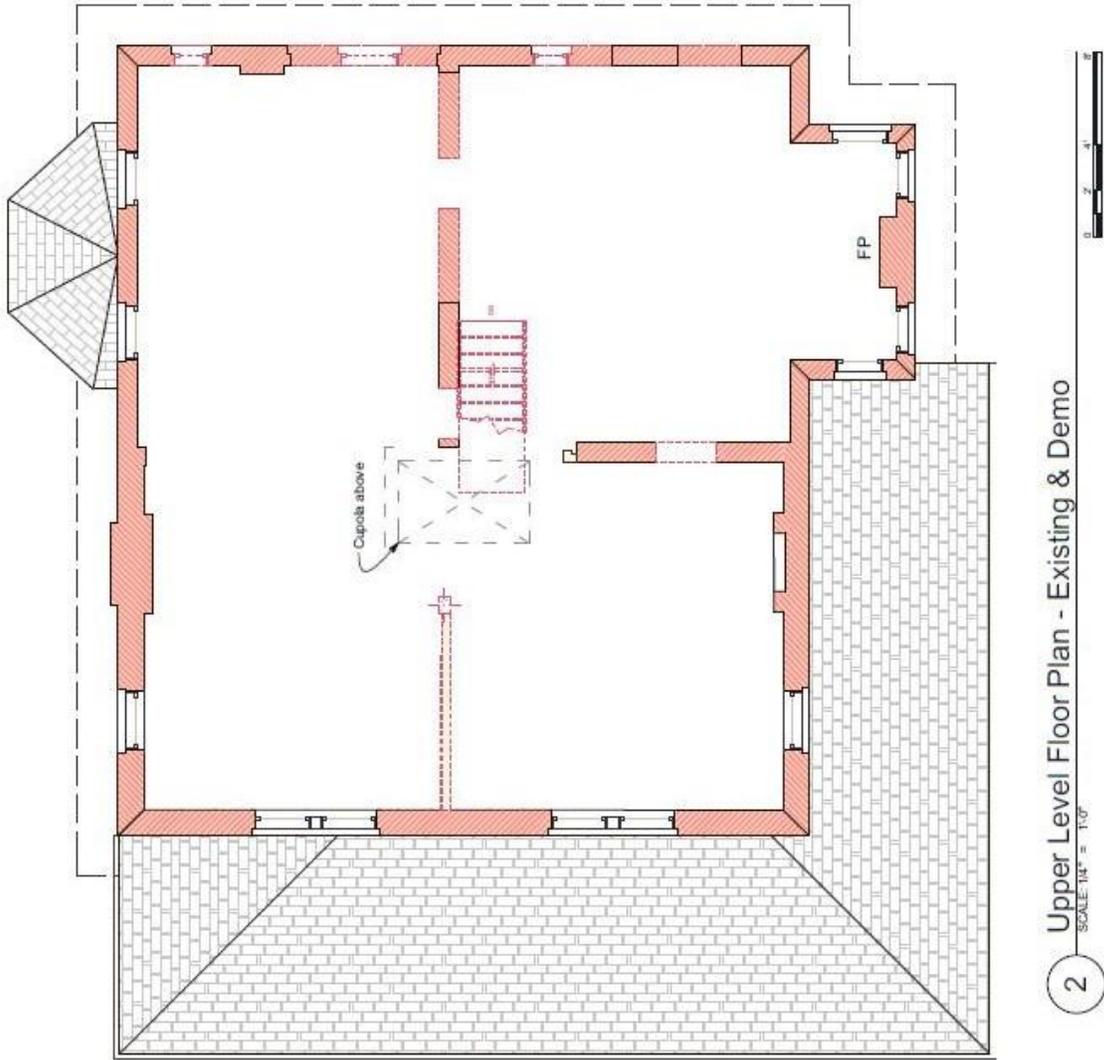


Proposed West elevation

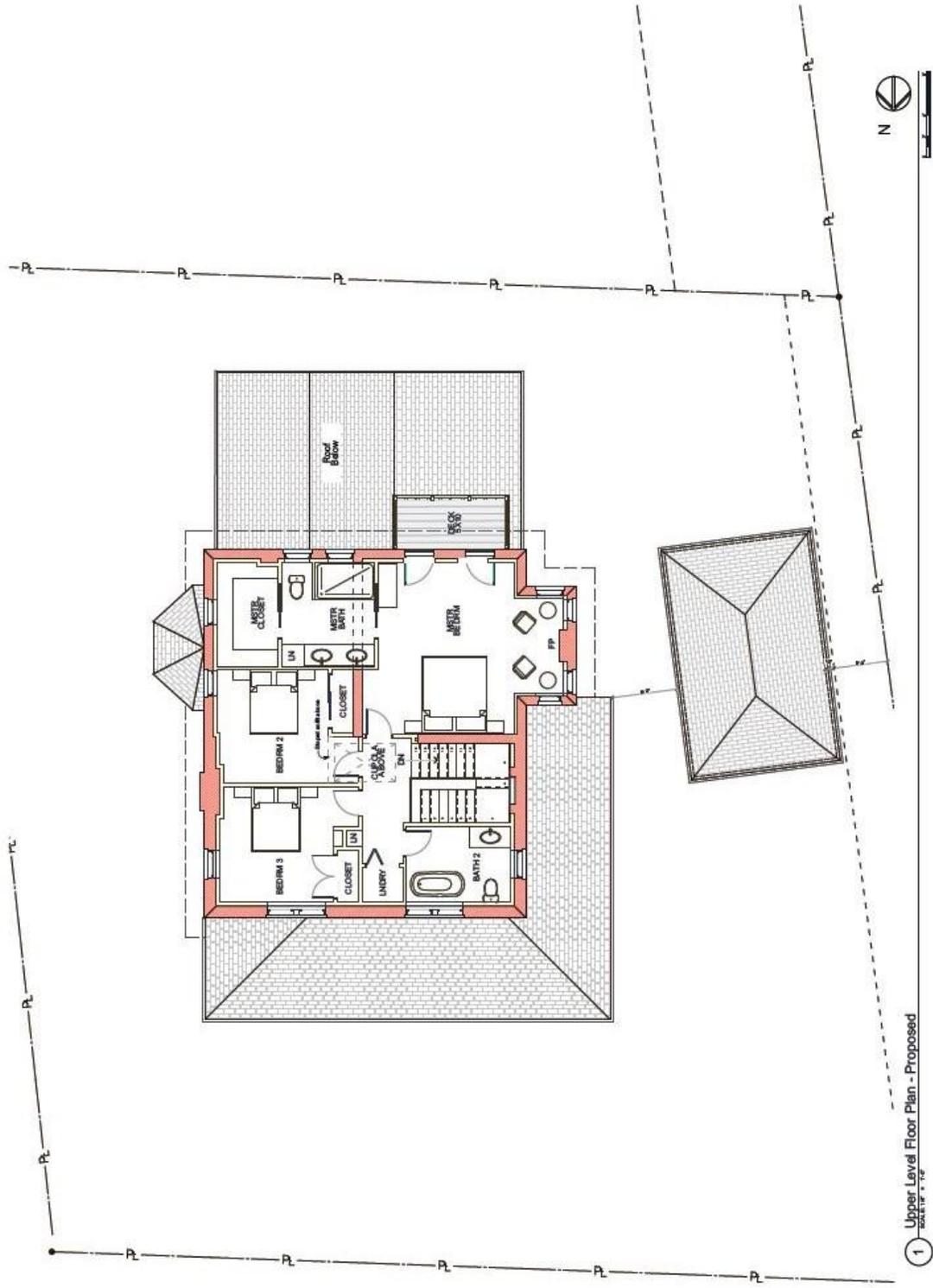


Main Level Existing





Upper Level existing



Upper Level proposed



**East Garage**

SCALE: 1/4" = 1'-0"

Proposed garage east elevation



**North Garage**

SCALE: 1/4" = 1'-0"

Proposed garage north elevation



**West Garage**

SCALE: 1/4" = 1'-0"

Proposed garage west elevation



**South Garage**

SCALE: 1/4" = 1'-0"

Proposed garage south elevation

Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for 800 Arapahoe Ave.



Street (North) Perspective - Proposed

Rendering of proposed north elevation



SE Render - Proposed

Rendering of proposed south and east elevations

Memo to the Landmarks Board  
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SW Render - Proposed

Rendering of proposed south and west elevations

**Attachment D: Photographs**



800 Arapahoe Ave., rear addition, east elevation, 2007 (demolished in 2009)



800 Arapahoe Ave., rear addition, west elevation, 2007 (demolished in 2009)

Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for 800 Arapahoe Ave.



800 Arapahoe, northeast corner, 2015.



800 Arapahoe, north elevation (façade), 2015.

Memo to the Landmarks Board  
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800 Arapahoe, View of proposed location for garage, 2015.



800 Arapahoe, northwest corner, 2015.

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800 Arapahoe, view of south elevation as approached from alley, 2015.



800 Arapahoe, view of proposed location for garage, 2015.

Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for 800 Arapahoe Ave.



800 Arapahoe, south elevation, 2015.



800 Arapahoe, east elevation, 2015.

**Attachment E: Letter of Support from Historic Boulder, Inc.**



September 1, 2015

To David Wein and Steve Dodd,

Thank you for meeting with Historic Boulder's Preservation Committee and presenting your recent plans for the Hannah Barker House after your review with city preservation staff.

**Garage:**

The Committee supported the garage design and felt that it was appropriate in scale and was respectful and subservient to the house.

**Rear Addition:**

We support the design concept for the rear addition. The location and scale seem to meet the General Design Guidelines, and we appreciate that the addition does not fill the back yard.

There were a few differing opinions on whether the massing and roof configuration might confuse history by creating something that is neither a restoration nor a reconstruction. The new addition should be distinguishable as new construction.

In further discussions of the roof form, it was suggested that the bedroom deck might not fit into the roof as much as the General Design Guidelines (that adhere to the Secretary of Interior's Standards) envision. A modified roof form might resolve massing concerns while also improving the deck's relationship with the roof plane.

**Summary:**

Historic Boulder's Board of Directors supports the overall design concepts presented at the August 26th Preservation Committee meeting for the detached garage and rear addition to the Hannah Barker House. As these concepts are further developed, we anticipate that detailed design issues will be resolved in your ongoing discussions with city staff and the Landmarks Design Review Committee.

Sincerely,

Kathryn Barth, Chair of HBI Preservation Committee  
Gail Gray, President on behalf of Historic Boulder's Board of Directors

## MEMORANDUM

October 7, 2015

**TO:** Landmarks Board

**FROM:** Lesli Ellis, Comprehensive Planning Manager  
James Hewat, Senior Historic Preservation Planner  
Debra Kalish, Senior Assistant City Attorney  
Marcy Cameron, Historic Preservation Planner  
Angela Smelker, Historic Preservation Intern

**SUBJECT:** Public hearing and consideration of an application for the removal of outdoor seating at the landmark Glen Huntington Bandshell in Central Park per Section 9-11-18 of the Boulder Revised Code, 1981 (HIS2015-00237).

### STATISTICS:

1. Site: 1236 Canyon Blvd.
2. Designation: Individual Landmark
3. Historic Name: Glen Huntington Bandshell
4. Date of Construction: 1938
5. Zoning: P (Public)
6. Lot size: 88,695 sq. ft.
7. Applicant/Owner: Parks and Recreation Department, City of Boulder

### STAFF RECOMMENDATION:

If the applicant complies with the conditions listed below, staff considers the proposed removal of outdoor seating at the Glen Huntington Bandshell to be generally consistent with the conditions specified in Section 9-11-18, B.R.C. 1981, and the *General Design Guidelines*. Staff recommends that the Landmarks Board adopt the following motion:

*I move that the Landmarks Board adopt the staff memorandum dated Oct. 7, 2015, as the findings of the board and approve a Landmark Alteration Certificate for the proposed removal of outdoor seating shown on plans dated September 2, 2015, finding that they generally meet the standards for issuance of a Landmark Alteration Certificate in Section 9-11-18, B.R.C. 1981, subject to the following conditions:*

## CONDITIONS OF APPROVAL

1. The applicant shall be responsible for the removal of outdoor seating, relocation of the bermed area and construction of a new path, all in compliance with the approved plans dated September 2, 2015, except as modified by these conditions of approval.
2. Prior to submitting a building permit application and final issuance of the Landmark Alteration Certificate, the applicant shall submit the following:
  - Revised plans showing the proposed new path to more closely match the course and permeable materiality of the path shown in the c.1940 photograph or the 1947 Saco DeBoer rendering.
  - Detailed photographs and dimensions of the seating prior to removal in the event that it is to be reinstalled in the future.

These design details shall be reviewed and approved by the Landmarks design review committee, prior to the issuance of a building permit. The applicant shall demonstrate that the design details are in compliance with the intent of this approval and the *General Design Guidelines*.

## SUMMARY

- The application was referred to the full Landmarks Board by the Landmarks design review committee.
- Based upon review of the designating ordinance and subsequent historic research, staff does not consider the bench seating to be part of DeBoer and Huntington's plan and is not an important, character-defining feature of the landmark site.
- Provided the listed conditions are met, staff recommends the Landmarks Board approve the proposal to remove the seating, move the bermed area and construct a new pathway to provide access to the bandshell.

## PROPERTY HISTORY:

The Boulder Bandshell was erected in Central Park by the Boulder Lions Club in 1938 as an outdoor amphitheater for musical concerts and other forms of community entertainment. Architect Glen Huntington designed the structure and landscape architect and city planner Saco R. DeBoer selected the site and prepared the landscape plan. Huntington is credited with designing some of the most prominent buildings in Boulder, including the County Courthouse and Boulder High School, as well as many fraternities, sororities, and residential

buildings. DeBoer worked primarily in Denver, but consulted with the City of Boulder on a number of projects during the 1920s and 1930s.

In 1910, DeBoer was appointed as landscape architect for the City of Denver and during his tenure in this role completed several large projects there including the Sunken Gardens and Speer Boulevard. Aside from writing zoning recommendations for the City of Boulder, DeBoer's other Boulder works include his design for Beech Park in University, the Boulder High School grounds with Glen Huntington, the Flagstaff Amphitheater, and North Boulder Park. Having lived and worked in Denver for over sixty years, DeBoer is best remembered for his efforts at integrating the American City Beautiful movement into his city planning and park development work.



*Figure 1. Glen Huntington Bandshell, 2015.*

Central Park has occupied the block bounded by Broadway, Canyon Blvd., and 13th St. since the late 1800s, although it was initially called "Cigarette Park." When the Bandshell was constructed in 1939, railroad tracks ran along Water Street (Canyon Blvd.) and Broadway was a two-lane road with parking on either side. Train service to central Boulder was discontinued in 1957 and Canyon Boulevard was constructed in the 1960s. Today it functions as a major east-west thoroughfare through the city and is designated as a state highway.

Over the course of the last 77 years, the Glen Huntington Bandshell (named after its designer) has been the site of a variety of musical concerts, cultural programs, educational presentations, and civic gatherings in the heart of Boulder. In

Memo to the Landmarks Board

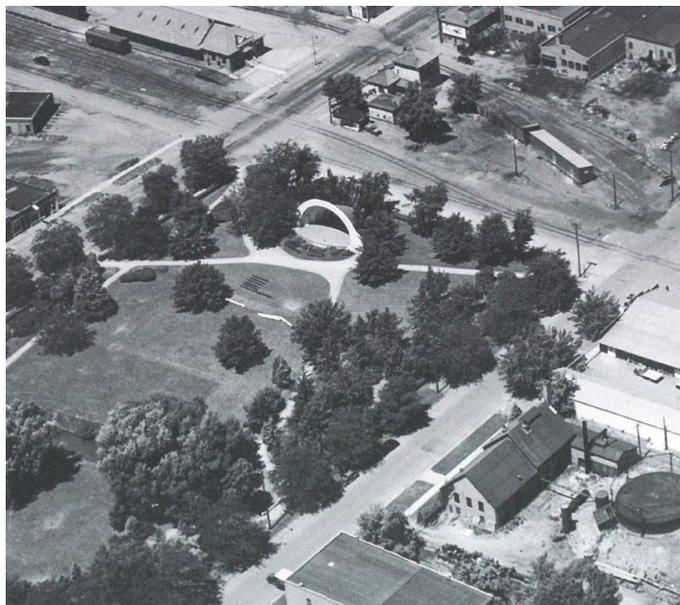
Re: Landmark Alteration Certificate for Glen Huntington Bandshell.

response to a proposal to remove the structure from its current location in 1995, the Modern Architecture Preservation League submitted a landmark designation application. Later that year, the City Council designated the Bandshell as a local landmark, recognizing its historic, architectural and environmental significance to the city.

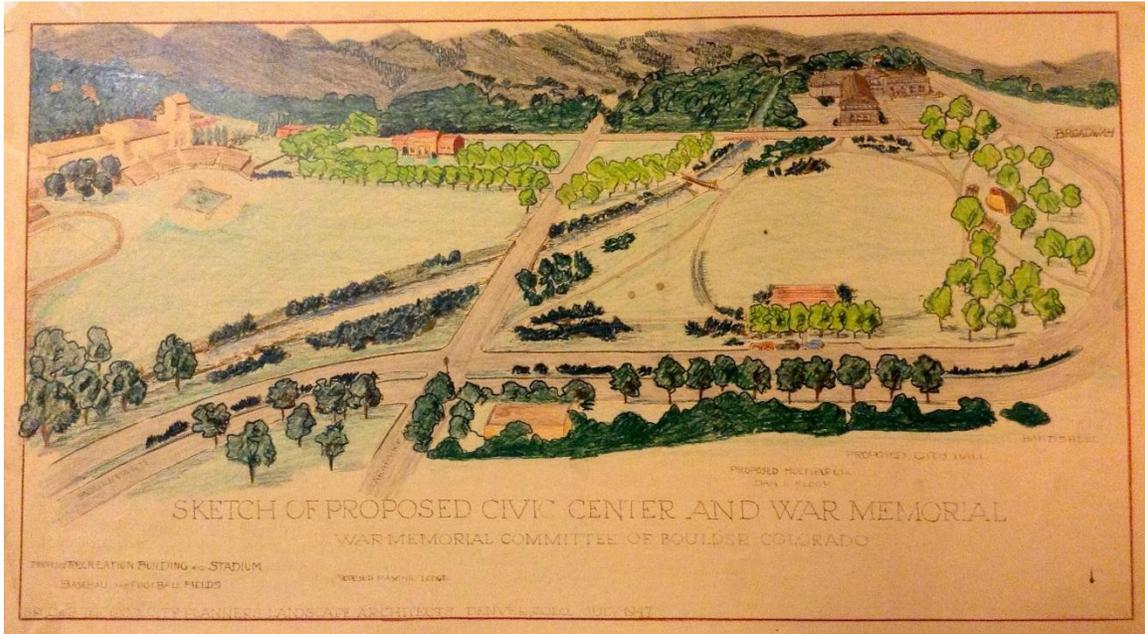
In designating the Bandshell in 1995, the Landmarks Board (then the Landmarks Preservation Advisory Board) and the City Council found the structure and its site to have historic significance for the role it has played in the social and cultural life of the city; its importance in the history of park development in Boulder; and for its association with the Boulder Lions Club and that organization's program of improving Boulder Parks.

Likewise, the 1995 designation documentation of the Bandshell found it to be architecturally significant as a rare representative of the Art Deco in Boulder and as the only example of park bandshell construction in the city and one of the few such examples in the state; and as a representative work of Saco R. DeBoer and Glen W. Huntington, noted landscape architect and architect, who are associated with the site design and the design of the structure.

The Bandshell is also environmentally significant for its planned and natural site characteristics; as a component of the central urban park; and as an established, familiar, and prominent visual landmark with its arched design and its location near major thoroughfares.



*Figure 2. Aerial looking northwest over Central Park, c. 1940.*



*Figure 3. "Sketch of proposed civic center and war memorial by DeBoer, 1947.  
Note Bandshell with no seating seen at right.*

Figure 2 shows the landscaping around the Bandshell in 1940, with two paths crossing in front of the stage. Figure 3 shows a rendering prepared by Saco DeBoer in 1947 as part of the plan for a boulevard through Central Park and along Boulder Creek and for a new city building. Benches or other seating is not depicted in the rendering.

## DESCRIPTION



*Figure 4. Location map and Landmark Boundary of Bandshell.*

Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for Glen Huntington Bandshell.

The semi-elliptical Glen Huntington Bandshell is located on the south side of Canyon Boulevard between Broadway and 13<sup>th</sup> Street and faces southward towards a bermed area with amphitheater seating. Six concentric arches comprise the clamshell form of the Bandshell reflecting a simplified streamline Art Deco design, characteristic of many such structures constructed around the country during the 1930s and 1940s.



Figure 5. View of Bandshell seating, facing northwest, 2015.

The 1995 Landmark boundary is described as, “the northern 170 feet of Block 13, Original Townsite to the City of Boulder, County of Boulder, State of Colorado, also known as the Boulder Bandshell”.

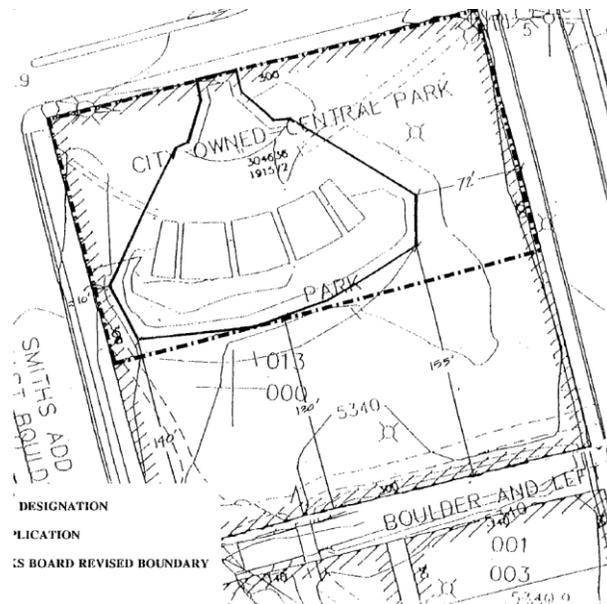


Figure 6. 1996 Landmark Designation Boundary (Hatched Line)

The seating directly facing the Bandshell consists of 15 rows of benches divided by aisles into five groups. There is a low stone retaining wall behind the seating. Photographs indicate that the seating was constructed in 1950, about 12 years after the Bandshell's construction. As shown on the landmark boundary map (*see Figure 5*), the extent of the landmark includes the bermed embankment and seating.



*Figure 7. The installation of the seating and floodlights at the Bandshell, 1950.*



*Figure 8. View of Bandshell seating, 2015.*

Today, much of the landscaping around the Bandshell amphitheater reflects the original plan including trees along the edges and to the rear and bushes behind

the seating area to the south. Photographs indicate that evergreen shrubs were located in front of the stage until the early 1980s.



*Figure 9. View of low retaining wall and vegetation behind Bandshell seating, 2015.*

## **PROPOSED REMOVAL OF OUTDOOR SEATING**

The application proposes to remove the 1950 outdoor seating in front of the Bandshell to provide a more functional and multi-use lawn area to promote use of the Bandshell, coinciding with efforts to better integrate that area into the Central Park and the Civic Area as a whole. As proposed, this scheme seeks to improve the Bandshell as a performing arts facility integral to the functioning of the east end of the Civic Area. In an effort to achieve this goal, Parks and Recreation proposes to move the bermed area closer to the stage, reducing some of the flat gravelled area to bring spectators and performers closer together. The bermed area is shown to be a lawn seating area intended to improve spectator and performer experience. It is anticipated that this configuration will somewhat improve the acoustic experience for attendees, as they will be closer to the stage.

Parks and Recreation indicates that the removal of the seating and change in grading will coincide with other improvements within the landmark boundary area including improved lighting and increased programming for the Bandshell. A curved multi-use lane is proposed to curve across the southeast half of the landmarked area and a “tree grove” is to be planted at the southwest corner.

Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for Glen Huntington Bandshell.



Figure 10. Proposed site plan with Bandshell seating removed. Blue dashed line shows the landmark boundary.



Figure 11. Proposed view looking northeast after removal of seating, 2015.



Figure 12. View of Central Park if the Bandshell seating were to remain.  
Notice change in orientation of bike lane to the right, 2015

## **CRITERIA FOR THE BOARD'S DECISION**

---

Sections 9-11-18, B.R.C. 1981, sets forth the standards the Landmarks Board must apply when reviewing a request for a Landmark Alteration Certificate.

- (a) The landmarks board and the city council shall not approve an application for a landmark alteration certificate unless each such agency finds that the proposed work is consistent with the purposes of this chapter.
- (b) Neither the Landmarks Board nor the City Council shall approve a Landmark Alteration Certificate unless it meets the following conditions:
  - (1) The proposed work preserves, enhances, or restores and does not damage or destroy the exterior architectural features of the landmark or the subject property within an historic district;
  - (2) The proposed work does not adversely affect the special character or special historic, architectural, or aesthetic interest or value of the landmark and its site or the district;
  - (3) The architectural style, arrangement, texture, color, arrangement of color, and materials used on existing and proposed constructions are compatible with the character of the existing landmark and its site or the historic district;
  - (4) With respect to a proposal to demolish a building in an historic district, the proposed new construction to replace the building

- meets the requirements of paragraphs (b)(2) and (3) above.
- (c) In determining whether to approve a Landmark Alteration Certificate, the Landmarks Board shall consider the economic feasibility of alternatives, incorporation of energy-efficient design, and enhanced access for the disabled.

## ANALYSIS

*1. Does the proposed application preserve, enhance, or restore, and not damage or destroy the exterior architectural features of the landmark or the subject property within an historic district?*

Staff considers that the existing seating is not character-defining as it does not appear in DeBoer and Huntington's plan for the Bandshell (*see Figure 3*). Its removal will not damage important features of the property provided the listed conditions are met and the bermed lawn area will enhance the Bandshell by making it a more viable performance space integral to the Central Park area of the Civic area. Likewise, constructing a new pathway will not damage the landmark provided the listed conditions are met. Staff recommends that the proposed path more closely follow the path show in the 1938 aerial photograph and DeBoer's c.1947 rendering.

*2. Does the proposed application adversely affect the special character or special historic, architectural, or aesthetic interest or value of the district?*

The proposal will not adversely affect the historic, architectural or aesthetic value of the landmark as outlined in (1), above.

*3. Is the architectural style, arrangement, texture, color, arrangement of color, and materials used on existing and proposed structures compatible with the character of the historic district?*

Provided the listed conditions are met, the proposal will be compatible with the character of the Glen Huntington Bandshell Landmark.

*4. Does the proposal to demolish the building within the Mapleton Hill Historic District and the proposed new construction to replace the proposed demolished building meet the requirements of paragraphs 9-11-18(b)(2), 9-11-18(b)(3) and 9-11-18(b)(4) of this section?*

Staff does not consider the bench seating to be an important character-defining feature of the landmark and its removal will meet the above requirements.

**DESIGN GUIDELINES ANALYSIS:**

The Historic Preservation Ordinance sets forth the standards the Landmarks Board must apply when reviewing a request for a Landmark Alteration Certificate. The Board has adopted the *General Design Guidelines* and the Mapleton Hill Historic District Design Guidelines to help interpret the historic preservation ordinance. The following is an analysis of the proposed new construction with respect to relevant guidelines. Design guidelines are intended to be used as an aid to appropriate design and not as a checklist of items for compliance.

The following is an analysis of the proposal’s compliance with the appropriate sections of the *General Design Guidelines*.

**GENERAL DESIGN GUIDELINES**

2.5 Sidewalks			
	Guideline	Analysis	Meets Guideline?
.1	<i>New walkways should be designed to be compatible in location, pattern, spacing, dimensions, materials and color with existing walkways that contribute to the overall historic character of the landmark.</i>	The 1940 aerial photograph ( <i>Figure 2</i> ) show pathways crossing in front of the Bandshell. These pathways appear to have been eliminated sometime after 1950 when the concrete and wood plank benches were installed. The paths are visible in De Boer’s c.1947 rendering, and appear to have been consciously designed to provide access across the park as well as to the Bandshell. Staff considers that while the geometry of the proposed path differs from that on the 1940 photograph, it does recall the east curving path in that photograph. Steps might be taken to more closely a new path to more closely match the configuration of the 1940 path.	Maybe

3.0 Alterations			
	Guideline	Analysis	Meets Guideline?
	<i>. . . an alteration should preserve the historic (resource) . . .</i>	The proposal calls for the removal of seating installed in 1950. The concrete and plank benches do not appear to have been part of DeBoer and Huntington’s plan for the Bandshell. The 1995 designating ordinance for the landmark does not specifically call out the benches, but refers generally to the importance of the “planned and natural site characteristics.” While the seating has been in place for 65 years, staff does not consider this element a significant character-defining feature of the landmark.	Yes

4.4 Compatibility with Historic Site and Setting			
<i>Additions should be designed and located so that significant site features, including mature trees, are not lost or obscured. The size of the addition should not overpower the site or dramatically alter its historic character.</i>			
	Guideline	Analysis	Meets Guideline?
.1	<i>Design new additions so that the overall character of the site, site topography, character-defining site features and trees are retained.</i>	The addition of the proposed new pathway will retain the general character of the landmark provided steps are taken to ensure that its course and configuration match the historic (c. 1940 condition) as closely as possible. Likewise, staff does not consider the proposed concrete and plank bench seating or the relocation of the bermed area north on the site will significantly alter the character of the landmark. Consider using permeable paving material for path and provide for slightly more level area in front of	Maybe

		the stage. Review revisions at Ldrc.	
.3	<i>Respect the established orientation of the original building and typical alignments in the area.</i>	The addition of the proposed new pathway will retain and relocation of bermed area will maintain the alignment and orientation of features to the Bandshell in the landmark area. Review details at Ldrc.	Yes

<b>8.7 Public Improvements</b>			
<i>Public Improvement features such as street lighting, street and alley paving, tree planting, parks, and sidewalks all contribute to the historic character of a historic district or site.</i>			
	<b>Guideline</b>	<b>Analysis</b>	<b>Meets Guideline?</b>
.1	<i>Any public improvement should maintain and reinforce the character of the landmark.</i>	Staff considers that the proposed removal of the benches, the relocation of the bermed area and the construction of a pathway will maintain and strengthen the character of the landmark. In addition, the proposed reconfiguration will enhance and improve the function of the Bandshell, its long-term viability as a vital component of the Civic area. Review details at the Ldrc.	Yes

Staff considers that proposed conditions are met, the removal of seating, relocation of the bermed area and creation of a new pathway in the landmark boundary are all generally consistent with the *General Design Guidelines*. Keeping the Bandshell an active and vibrant part of Central Park has been a challenge since at least the mid-1970s and staff considers the proposed changes will open this historic asset for use and appreciation that will help ensure its long term viability. While not within the purview of the historic preservation program, the success of the Bandshell as a performing will also depend on consistent and accessible programming in coordination with Parks and Recreation to change negative perceptions of the place as underutilized and isolated.

Provided the outlined conditions are met, staff considers issuance of a Landmark Alteration Certificate for the proposed removal of the seating, relocation of the bermed area and location of a new pathway across the landmark will be generally consistent with the Historic Preservation Ordinance, the *General Design Guidelines*. As such, staff finds the application meets the standards in Section 9-11-18, B.R.C. 1981.

**FINDINGS:**

Provided the conditions outlined in the staff recommendation are met, staff recommends that the Landmarks Board approve the application and adopt the following findings:

1. The proposed new construction will meet the standards in Section 9-11-18 of the Boulder Revised Code 1981.
2. The proposed removal of the bench seating, relocation of the bermed area and construction of a new pathway will not have an adverse effect on the value of the landmark property, as it will be generally compatible in terms of mass, scale, or orientation with other buildings in the district.
3. In terms of mass, scale, and orientation, the proposal will be generally consistent with Section 9-11-18, B.R.C.1981, and the *General Design Guidelines*.

---

**ATTACHMENTS:**

- A: Current Photographs
- B: Historic Photographs & Maps
- C: Individual Landmark Designation Ordinance
- D: Proposed Plans

**Attachment A: Current Photographs**



Bandshell seating looking northwest, 2015.



Bandshell seating looking north, 2015.

Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for Glen Huntington Bandshell.



Bandshell seating looking northeast, 2015.



Bandshell seating looking southwest, 2015.

Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for Glen Huntington Bandshell.



Bandshell seating looking east toward 13<sup>th</sup> Street. 2015.



Close up view of benches, 2015.

Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for Glen Huntington Bandshell.



Alternate close up view of Bandshell seating, 2015.



Landscaping behind Bandshell seating, 2015.

Memo to the Landmarks Board

Re: Landmark Alteration Certificate for Glen Huntington Bandshell.



Bandshell looking north, 2015.

Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for Glen Huntington Bandshell.

**Attachment B: Historic Photographs & Maps**

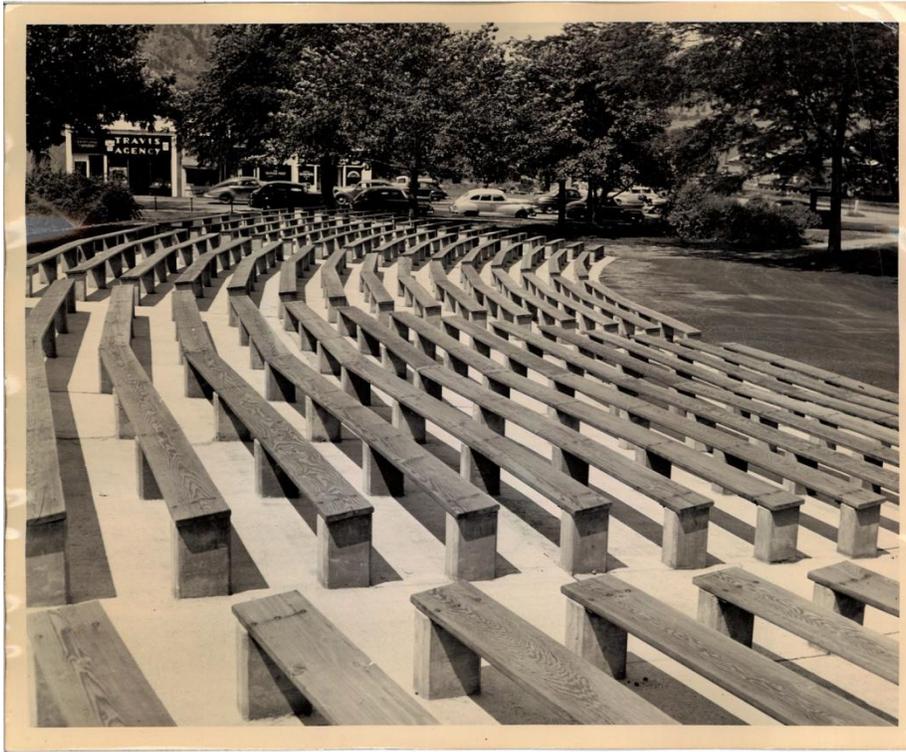


Aerial view of Central Park showing Bandshell (top center) with no seating, 1938.

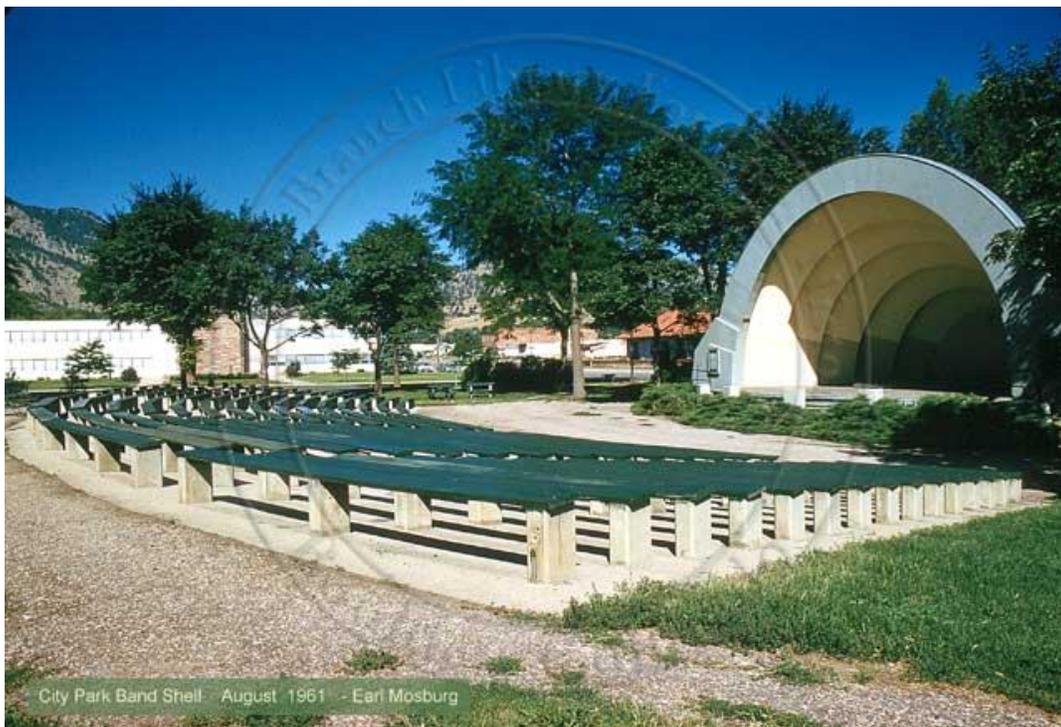


Aerial view of Central Park after installation of seating, 1958.

Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for Glen Huntington Bandshell.

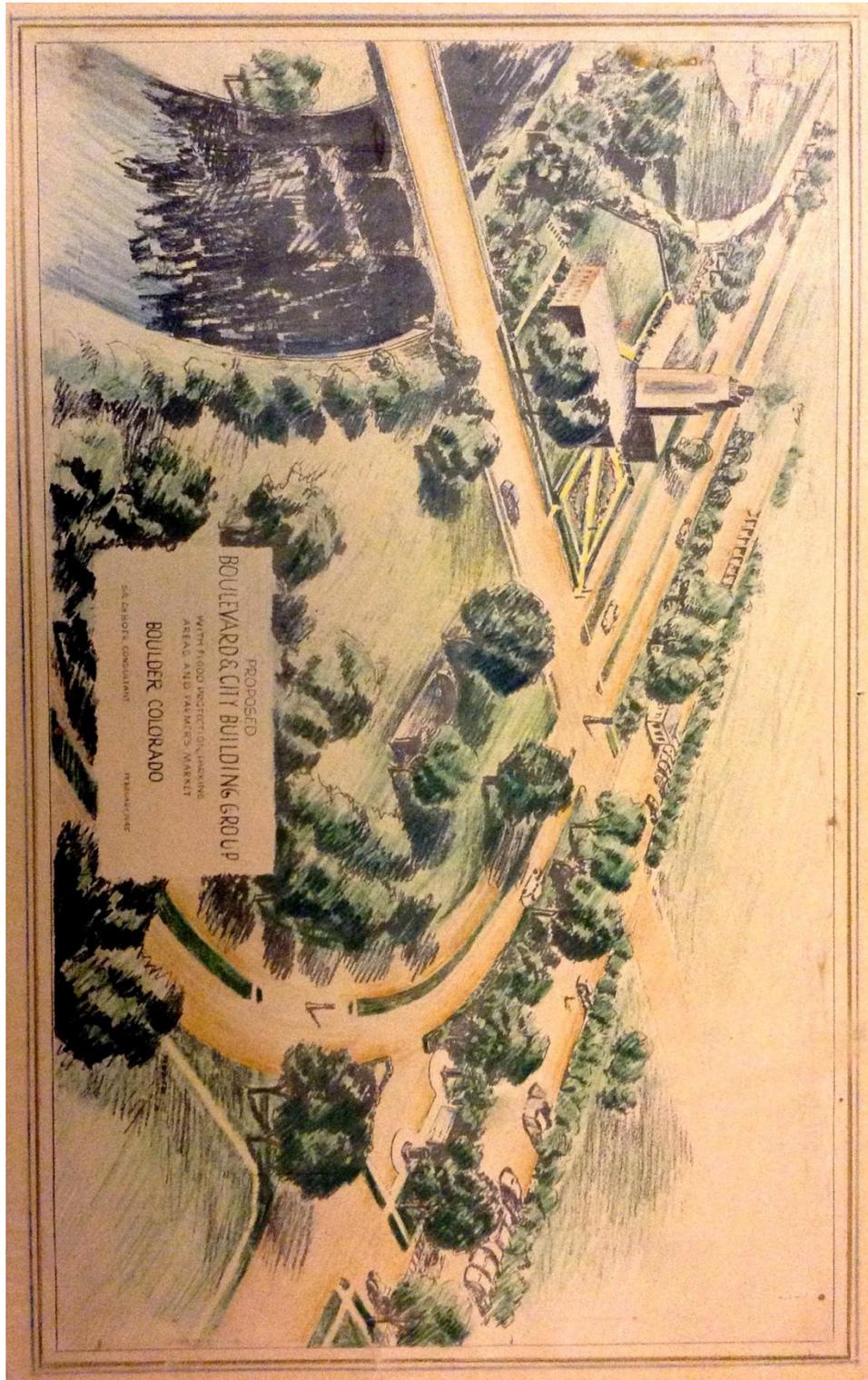


View of seating looking west towards Broadway shortly after installation (Municipal Building has not yet been constructed), 1950.



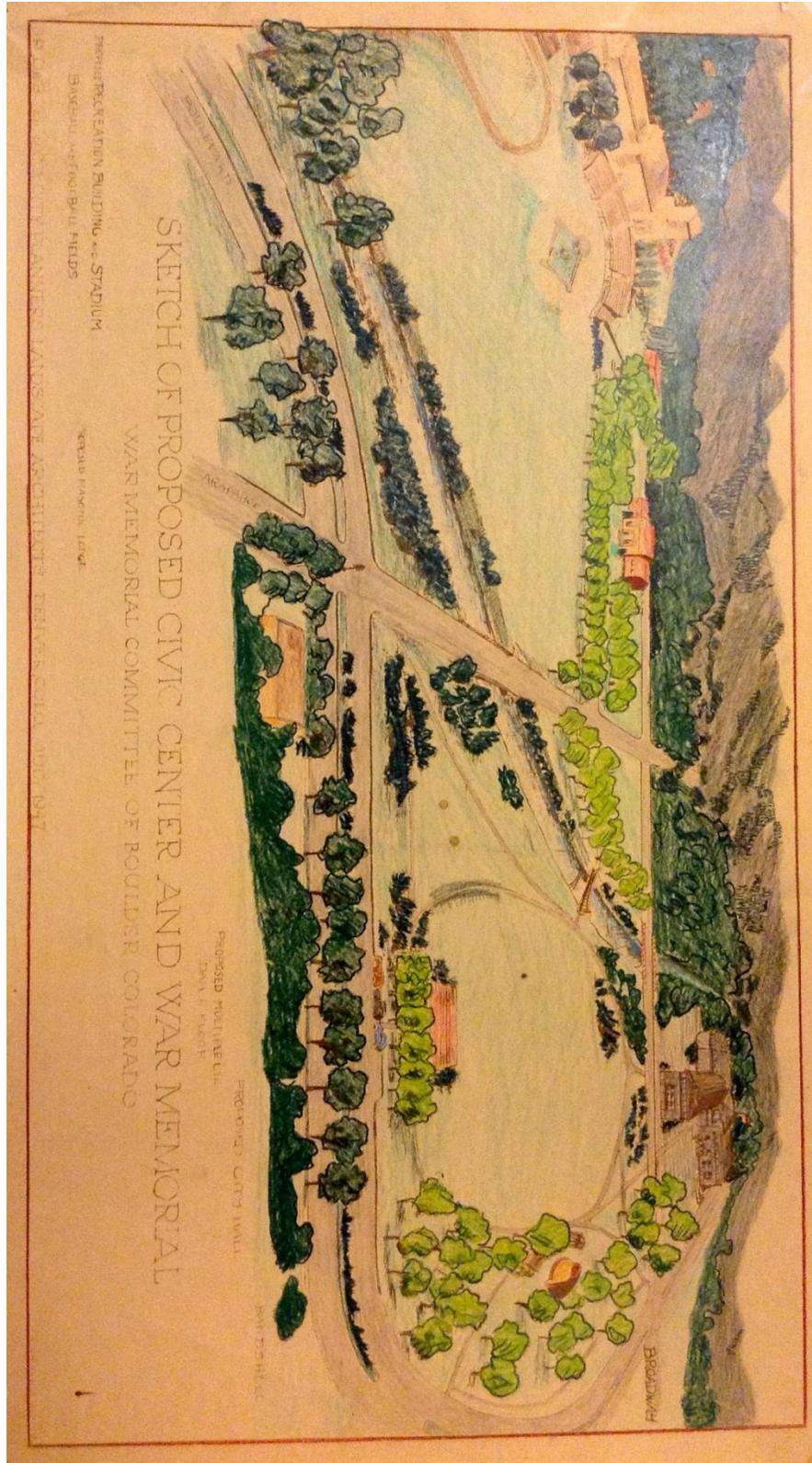
View of Bandshell looking northwest, 1961.

Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for Glen Huntington Bandshell.



"Proposed Boulevard & City Building Group," by Saco DeBoer & Co., 1945. Bandshell seen in center.

Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for Glen Huntington Bandshell.



“Sketch of Proposed Civic Center and War Memorial,” by Saco DeBoer & Co., 1947. Bandshell seen at far right.

Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for Glen Huntington Bandshell.



Close up view of Bandshell (red structure in center along crease) taken from "Boulder Creek Boulevard" by S.R. DeBoer & Co., undated.

**Attachment C: Individual Landmark Designation Ordinance**

**ATTACHMENT A**

**ORDINANCE NO. 5751**

**AN ORDINANCE DESIGNATING THE STRUCTURE AND ITS SITE, LOCATED ON THE NORTHERN 170 FEET OF BLOCK 13, ORIGINAL TOWNSITE TO THE CITY OF BOULDER, COLORADO, ALSO KNOWN AS THE BOULDER BAND SHELL, A LANDMARK UNDER CHAPTER 10-13 OF THE REVISED CODE OF THE CITY OF BOULDER, COLORADO 1981 AND SETTING FORTH DETAILS IN RELATION THERETO.**

**BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF BOULDER, COLORADO, THAT:**

**Section 1. The council enacts this ordinance pursuant to its authority under Chapter 10-13 of the Revised Code of the City of Boulder, Colorado, 1981 to designate as a landmark a structure having a special character or special historical, architectural, or aesthetic interest or value.**

**Section 2. The council finds that: 1) on or about May 3, 1995 the applicant, Modern Architecture Preservation League, applied to the City of Boulder Landmarks Preservation Advisory Board to designate said property as a landmark; 2) the board held a public hearing on the proposed designation on July 25, 1995; and 3) on July 25, 1995 the board recommended that the council approve the proposed designation.**

**Section 3. The council also finds that upon public notice required by law, the council held a public hearing on the proposed designation on September 19, 1995 and upon the basis of the presentations at that hearing finds that the structure and its site, located on the northern 170 feet of Block 13, Original Townsite to the City of Boulder, does possess a special character and special historical, architectural, or aesthetic interest or value warranting its designation as a landmark.**

**Section 4. There is hereby created as a landmark the structure and its site, located on the northern 170 feet of Block 13, Original Townsite to the City of Boulder,**

**County of Boulder, State of Colorado, also known as the Boulder Band Shell, whose legal description is shown on Attachment B.**

**Section 5. The characteristics of the subject property that justify its designation as a landmark are: 1) its historical significance for the role it has played in the social and cultural life of the city; for its importance in the history of park development; and for its association with the Boulder Lions Club; 2) its architectural significance as a rare representative of Art Deco style as reflected in its streamlined composition, compound arch, and simplified design; as Boulder's only example of park band shell construction and one of few such examples in the state; and as representative of the work of Saco DeBoer and Glen Huntington, noted landscape architect and architect; and, (3) its environmental significance for its planned and natural site characteristics; as a component of the central urban park; and as an established, familiar and prominent visual landmark.**

**Section 6. The council further finds that the foregoing landmark designation is necessary to promote the public health, safety, and welfare of the residents of the city.**

**Section 7. The council directs that the planning department give prompt notice of this designation to the property owner and cause a copy of this ordinance to be recorded as required by Section 10-13-6 (d) of the Revised Code of the City of Boulder, Colorado 1981.**

**Attachment D: Proposed Plans**



Updated Site Plan Scope, 2015. Bandshell area is circled in red.



Proposed Plan for Farmers' Market Loop, 2015.



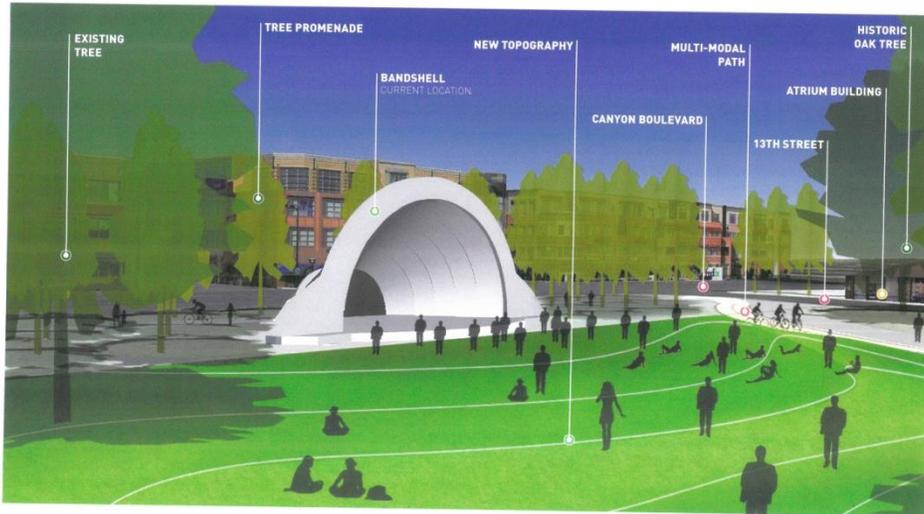
Alternate proposed plan for Farmers' Market Loop if seating were to remain, 2015.

Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for Glen Huntington Bandshell.

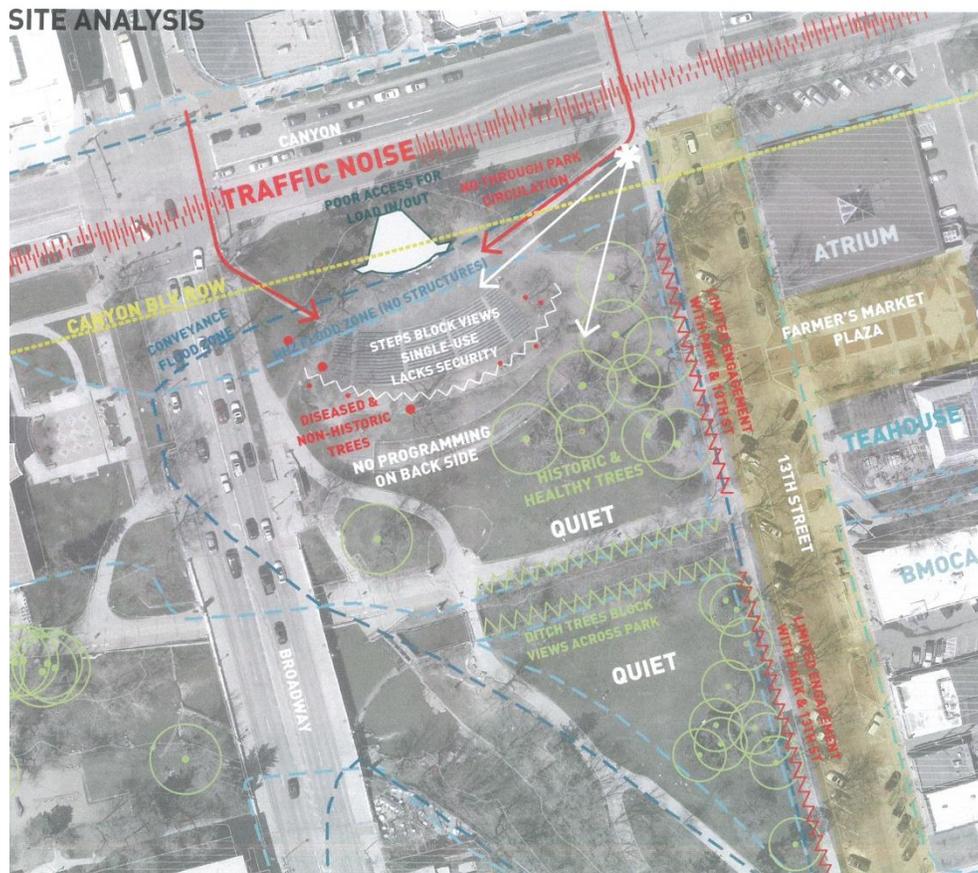


Enlargement Plan: Central Park, 2015.

## “ALLEY” - EXISTING LOCATION



“Alley” – Existing Plan, 2015.



Site Analysis, 2015.

**BOULDER CIVIC AREA**  
**PARK SITE PLAN**  
**BANDSHELL LOCATION OPTION 1**  
**BANDSHELL IN ORIGINAL LOCATION**

**CRITERIA:**

**SITE CONTEXT**

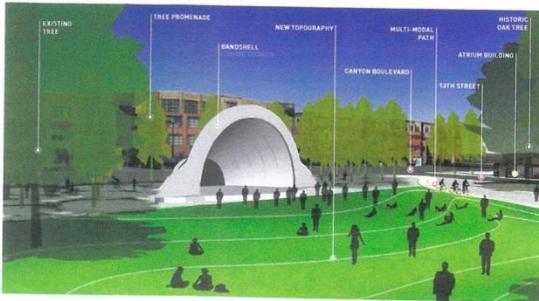
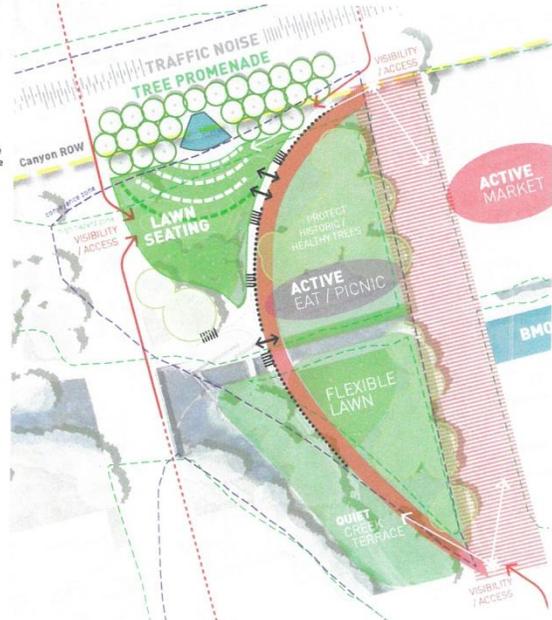
- Removes formal seating area and incorporates informal lawn seating.
- Added multi-modal park circulation through the park gives more "eyes on the park".
- Landscape along Canyon features Tree promenade with DG paving for open circulation and new high branching trees. Multi-Modal path runs along the back of the bandshell (assumes curb line stays the same).
- Back of bandshell and access issues remain.
- Canyon Boulevard ROW will likely result in potential conflicts with multi-modal circulation.
- Landscape or sound walls won't help mitigate traffic noise to significant level for comfort and performances.

**PROGRAMMING**

- Lawn seating area could fit around 700 people for an event (small to medium scale).
- Direct access to Farmer's Market for similar programming events.
- Informal lawn good for everyday park use and flexible programming that does or doesn't use the bandshell.
- Could re-purpose the bandshell for more art-based programming with performances limited by ambient noise.
- Site context and noise level limits the kind of performances. For example, acoustic performances will be severely limited by noise level. All performances will need to be amplified.

**STRUCTURE**

- Existing Bandshell location remains, saving cost and potential logistical complications from moving the structure.
- Minor additions to the structure can include lighting and painting.
- Structure located within the flood HHZ and Conveyance Zone and restricts opportunities to enhance the structure or move it slightly within the flood zone.
- No structure expansion or building additions because of location in HHZ flood zone.



**DALLAS, TX**  
**FAIR PARK**

This bandshell is used for outdoor concerts as it has for many years, it also has a successful lighting display when the bandshell is in use for a performance.

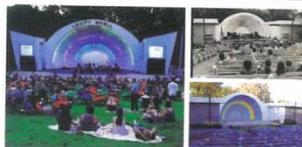


**MEMPHIS, TN**  
**LEVITT SHELL AT OVERTON PARK**

The Overton Park Shell was built in 1938 by the City of Memphis and designed by architect Max Baughman, who modeled it after similar band shells in Chicago, New York and St. Louis. Over the years, there have been numerous efforts, some to rehabilitate the Shell and some to destroy it. Over the past 20 years, the City of Memphis has spent hundreds of thousands of dollars on the Overton Park before having to end its program.

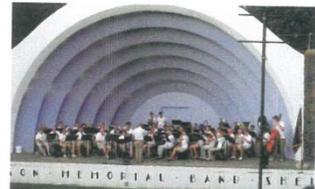
In 2006, the Shell partnered with the City of Memphis and the Memphis Music Foundation to renovate the Shell and present 50 live concerts every year. It was renamed Levitt Shell at Overton Park and renovation was begun in 2007. It is open again with live music for all on September 4, 2008.

The Shell previously had formal seating that it removed for an open lawn in addition to adding modern lighting and acoustical features to the structure.



**LINDSBORG, KS**  
**SWENSSON PARK**

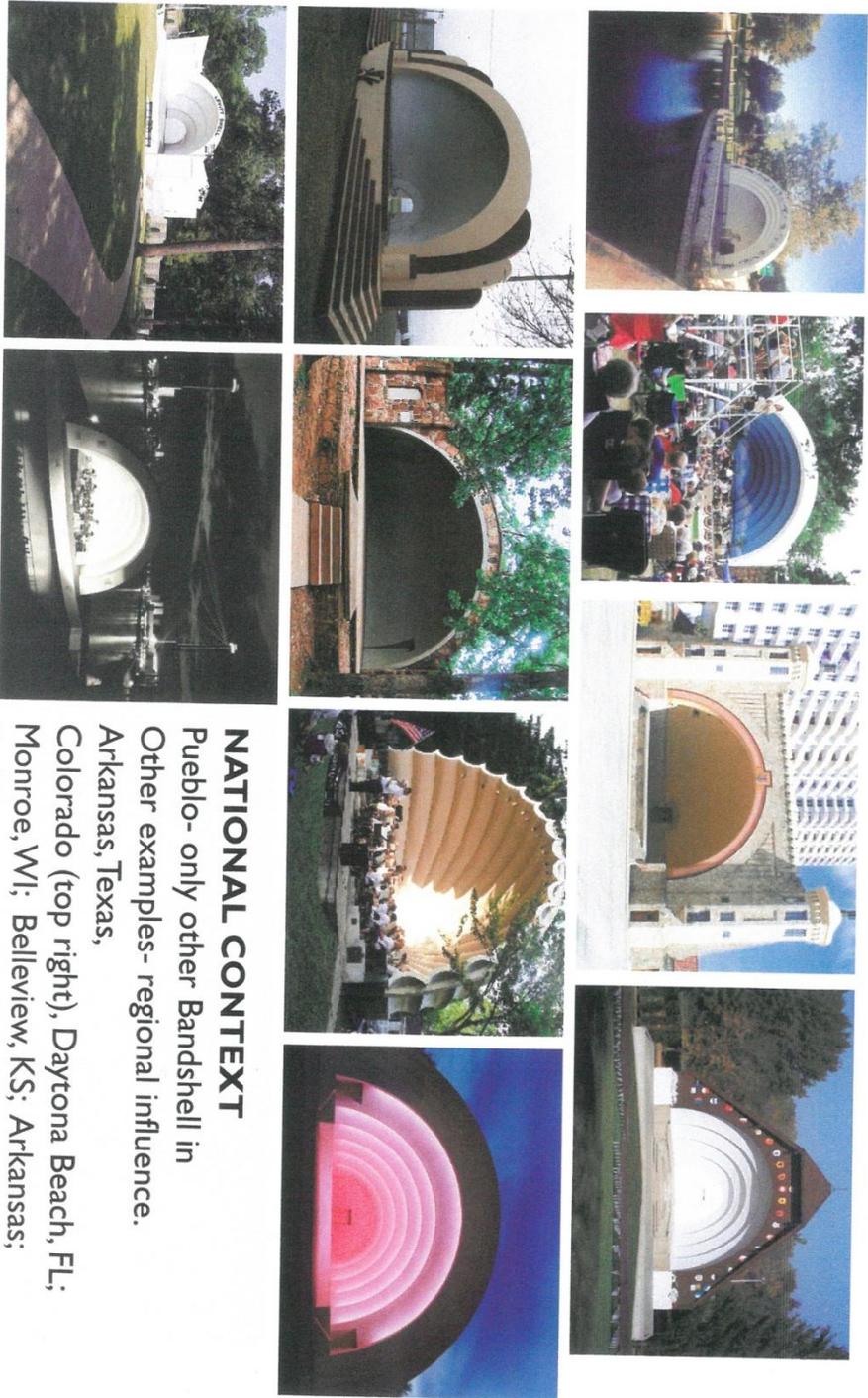
"A band shell built as a VFW project in 1930 was as a centerpiece on the east side of the park. Many times during the year, you can see open-air musical performances, and local Broadway RFD outdoor theatre productions. Considering the heavy use of the Bandshell today, outdoor theatres in Lindborg, its physical state is a reflection of its importance to the community and its history."



**HARLEM, NYC**  
**JACKIE ROBINSON PARK**

Jackie Robinson Park is still used for musical programs and films in the summer. Its site in Harlem attracts numerous people. The bandshell is smaller so it can only accommodate smaller acts. The site and structure itself has been well maintained over the years.

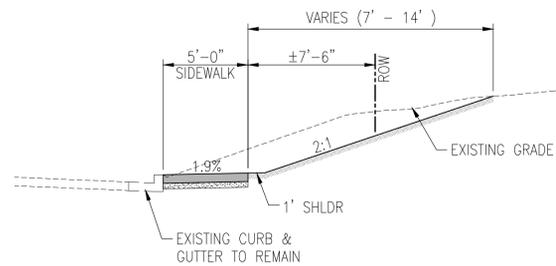
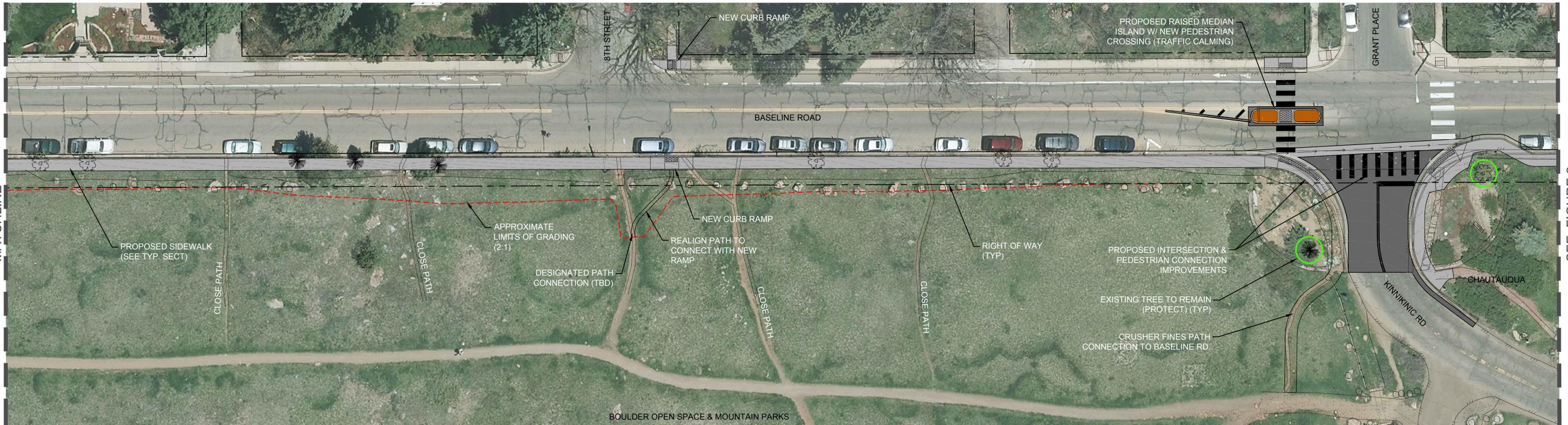




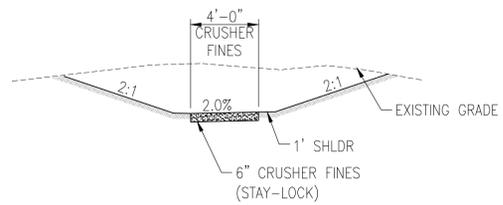
**NATIONAL CONTEXT**

Pueblo - only other Bandshell in  
Other examples - regional influence.

- Arkansas, Texas,
- Colorado (top right), Daytona Beach, FL;
- Monroe, WI; Belleview, KS; Arkansas;
- Ft. Atkinson, Fair Park, TX; Memphis,
- TN; Chicago – Century of Progress,
- 1933.



SIDEWALK TYPICAL SECTION  
6TH STREET TO GRANT PLACE



OPEN SPACE CONNECTION PATH TYPICAL SECTION  
6TH STREET TO GRANT PLACE

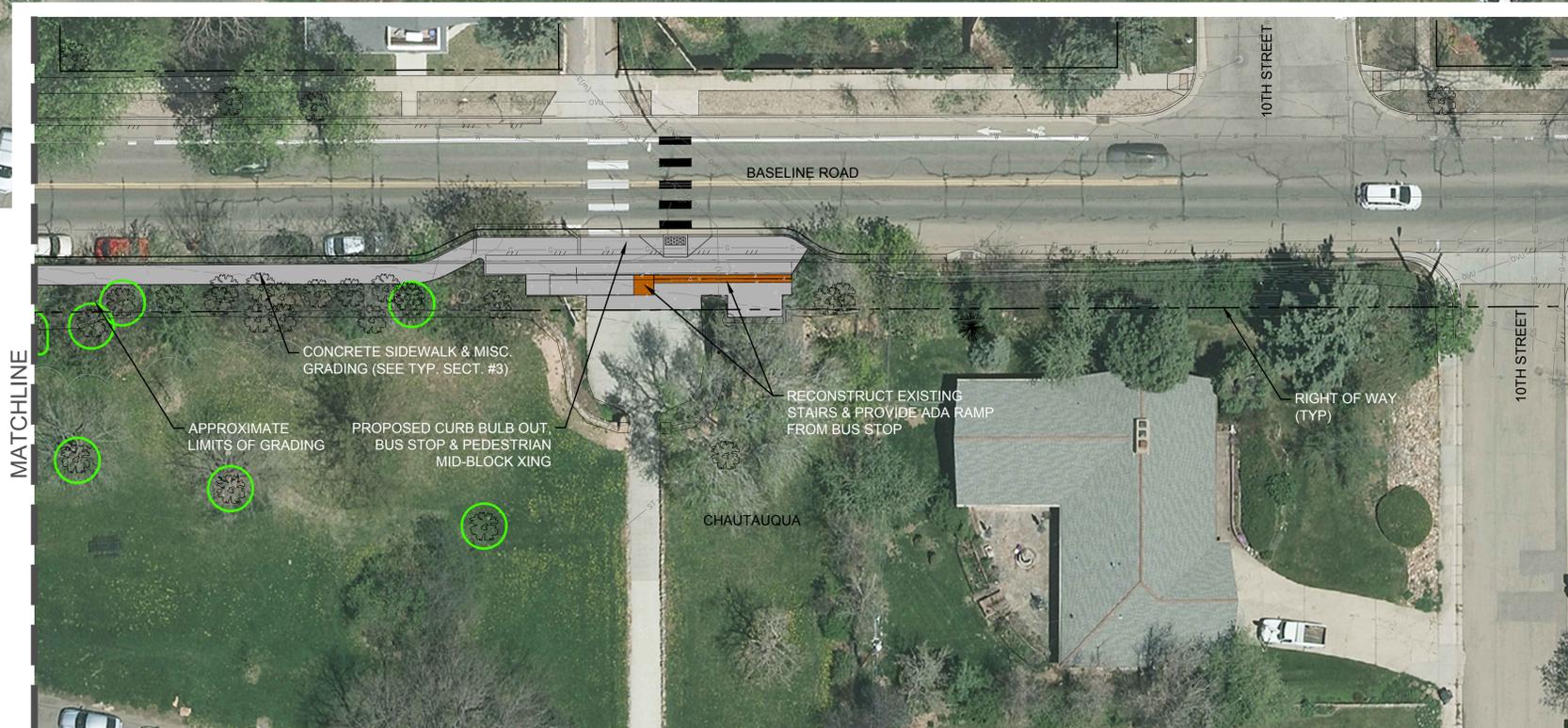
**WEST BASELINE PEDESTRIAN IMPROVEMENTS  
CONCEPTUAL SITE PLAN  
6th STREET to GRANT PLACE  
SEPTEMBER, 2015**

**FIGURE 1**

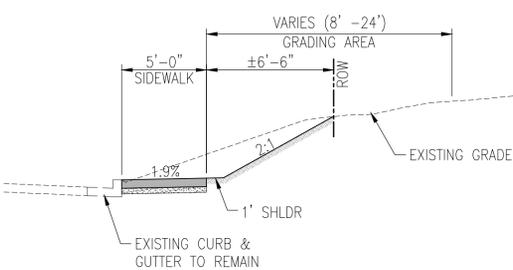


SEE FIGURE 1

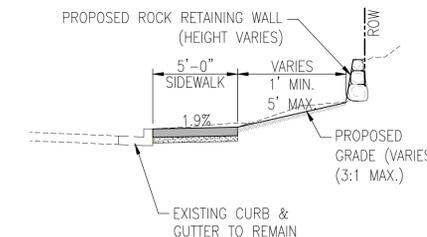
MATCHLINE



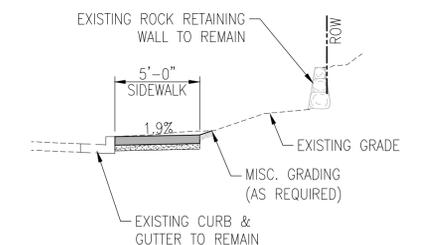
MATCHLINE



CHAUTAUQUA SIDEWALK TYPICAL SECTION #1  
GRANT PLACE TO 9TH STREET



CHAUTAUQUA SIDEWALK TYPICAL SECTION #2  
9TH STREET TO LINCOLN PLACE



CHAUTAUQUA SIDEWALK TYPICAL SECTION #3  
LINCOLN PLACE TO 10TH STREET

**WEST BASELINE PEDESTRIAN IMPROVEMENTS  
CONCEPTUAL SITE PLAN  
GRANT PLACE to 10th STREET  
SEPTEMBER, 2015**



**CITY OF BOULDER  
CITY COUNCIL AGENDA ITEM**

**MEETING DATE: August 5, 2014**

**AGENDA TITLE:** Second reading and consideration of a motion to publish by title only an ordinance submitting to the registered electors of the City of Boulder at the special municipal coordinated election to be held on Tuesday, November 4, 2014, the question of authorizing the city council to increase the sales and use tax by up to 0.3 cents on every dollar, effective from January 1, 2015 through December 31, 2017 for the purpose of funding a variety of capital improvement projects; giving approval for the collection, retention and expenditure of the full tax proceeds and any related earnings, notwithstanding any state revenue or expenditure limitation; and setting forth the effective date, ballot title, amendments to section 3-2-5, "Rate of Tax," B.R.C. 1981 and related details.

**PRESENTERS**

Jane S. Brautigam, City Manager  
Tom Carr, City Attorney  
David Gehr, Deputy City Attorney  
Bob Eichen, Chief Financial Officer  
David Driskell, Executive Director of Community Planning and Sustainability  
Maureen Rait, Executive Director of Public Works  
Tracy Winfree, Director Public Works Transportation  
Molly Winter, Director of Downtown, University Hill Management Division and Parking  
Jeff Dillon, Director of Parks and Recreation  
David Farnan, Director of Library and Arts  
Alisa Lewis, City Clerk  
Peggy Bunzli, Budget Officer  
Elena Lazarevska, Senior Financial Analyst

## EXECUTIVE SUMMARY

In preparation for the discussion of this agenda item, city council members have reviewed or considered potential 2014 ballot items in four previous meetings during 2014. The meetings were held on Feb. 18, Apr. 22, Jun.17, and Jul. 22. Council expressed interest in placing a temporary sales and use tax increase for three years (2015, 2016 and 2017) on the ballot for the November 4, 2014 election.

During the Jul. 22 meeting council passed on first reading a proposed .3% temporary sales and use tax increase for three years to fund Community, Cultural and Safety investments that cannot be funded with current revenues. The proposed investments and amounts associated with them can be found later in the background and analysis section of this memo.

Some council members requested options that would lower the rate of the temporary tax. **Attachment J** is an option that would reduce the temporary tax to .28% for three years by eliminating the underpass at Arapahoe and 13<sup>th</sup> Street. **Attachment K** is .27% for three years and would eliminate the underpass, the Eben Fine Park Stream Bank Restoration, and \$250,000 from the Chautauqua lighting project. There was also a request to determine if other options are possible for the underpass project. The response to this question can be found in **Attachment L**.

## STAFF RECOMMENDATION

### Suggested Motion Language:

Staff requests council consideration of this matter and action in the form of one of the two following motions:

#### **Option 1 if changes are made to the ordinance passed on July 22**

Consideration of a motion to approve Ordinance No. 7983 submitting to the registered electors of the City of Boulder at the special municipal coordinated election to be held on Tuesday, November 4, 2014, the question of authorizing the city council to increase the sales and use tax by up to 0.3 cents on every dollar, effective from January 1, 2015 through December 31, 2017 for the purpose of funding a variety of capital improvement projects; giving approval for the collection, retention and expenditure of the full tax proceeds and any related earnings, notwithstanding any state revenue or expenditure limitation; and setting forth the effective date, ballot title, amendments to section 3-2-5, "Rate of Tax," B.R.C. 1981 and related details, as amended.

#### **Option 2 if no changes are made to the ordinance passed on July 22**

Move to continue the item until August 19, 2014

## **COMMUNITY SUSTAINABILITY ASSESSMENTS AND IMPACTS**

- Economic:
  - An increase in the sales and use tax rate would create an incremental economic impact equal to the amount of the tax increase approved by the voters. Any increase would be charged on all retail purchases, and items subject to use tax for the length of the tax. The new revenue collected would provide increased funds for capital investments that can help the economic vitality of the city.
- Environmental:
  - It is expected that some of the capital investments that would be funded with this tax increase may generate more travel to the City of Boulder to enjoy the improvements made in the city. At the same time, the investments would include efficient and effective improvements to infrastructure, which would help address environmental sustainability.
- Social:
  - It is projected that an increase in the sales and use tax would provide more opportunities for everyone to enjoy the uniqueness of the quality of life in Boulder.

## **OTHER IMPACTS**

- Fiscal: Three tenths percent increase in the sales and use tax rate for the City of Boulder would increase the tax on a hundred dollar purchase by thirty cents. Other fiscal impacts to the city are covered in the background and analysis sections of this agenda item.
- Staff time: The staff time needed to complete the background work for ballot items is included within the departmental work plans.

## **PUBLIC FEEDBACK**

A public hearing was held at the Jul. 22 City Council meeting. Several people participated in the public hearing and provided input on the proposed investments.

## **BACKGROUND and ANALYSIS**

The following link leads to the Feb. 18 agenda packet when 2014 ballot items were considered briefly by the City Council.

[February 18 Comprehensive Financial Strategy Update](#)

As follow up to the Feb. 18 meeting, more specific ballot topics were considered at the Apr. 22 study session. The summary and answers to most of the questions asked by council members at the Apr. 22 study session were provided in the Jun. 3 council packet under agenda item 3B starting on page 7. At the Apr. 22 study session, ballot items were considered and reviewed in the context of the ongoing long range fiscal planning used by the city. An explanation of this and the progress made to date can be found in attachment

2 of the Apr. 22 study session packet, starting on page 40. The following link leads to this attachment.

[Attachment 2 - Long Range Fiscal Planning](#)

At the Jun. 17 Council meeting, the City Council discussed proposed recommendations. The link for the Jun. 17 meeting is:

[June 17 Council Meeting - Potential Ballot Items](#)

At the Jul. 22 regular council meeting the City Council passed on first reading a .3% three year temporary sales and use tax for Community, Cultural and Safety investments. The link to that meeting is

[https://www-static.bouldercolorado.gov/docs/00\\_Agenda-1-201407171129.pdf](https://www-static.bouldercolorado.gov/docs/00_Agenda-1-201407171129.pdf)

***Temporary Three Year Sales and Use Tax Options for Capital Investments***

The following table was developed to assist council in discussing the possible options in terms of percentage increases in sales and use tax, as well as in the number of years the increase would be effective. The expected collections for .3% and a three year time duration have been highlighted.

<b>Rate</b>	<b>One Year Amount</b>	<b>Three years</b>	<b>Five Years</b>
.1%	\$3.0M	\$9.0M	\$15.0M
.2%	\$6.1M	\$18.3M	\$30.5M
.3%	\$9.2M	\$27.6M	\$46.0M

**Staff Recommendation**

Based upon staff review of the capital investments discussed previously and in light of a focus on shorter term investments that would be impactful to the community, the staff is recommending that city council consider placing a 0.3 percent - 3 year temporary sales and use tax on the ballot in Nov. 2014 that would include the following investments:

**Hill Investments (Attachment B):**

Residential Pedestrian Lighting	\$2,000,000	
Commercial District Event Street	\$ 750,000	
Commercial District Irrig. and St. Tree Improv.	\$ 520,000	\$3,270,000

**Civic Area Initial Improvements – Begin Vision Plan (Attachments C and D)** \$8,700,000

**Boulder Creek Area (Attachment E):**

Boulder Creek Path Lighting	\$1,040,000	
Boulder Creek Path Improvements	\$ 885,000	
Arapahoe.13 <sup>th</sup> Underpass	\$2,500,000	
Eben Fine Park Stream Bank Restoration	\$ 700,000	\$5,125,000

**Public Arts (Attachment F):** \$ 600,000

<b>Chautauqua Pedestrian Safety Access and Lighting: (Attachment G)</b>	\$1,500,000
<b>Dairy Center for the Arts (Attachment H):</b>	\$3,850,000
<b>Museum of Boulder (Attachment I):</b>	\$4,000,000
Contingency	<u>\$ 555,000</u>
Total	<u>\$27,600,000</u>
Estimated Revenue-3 years -.3%	<u>\$27,600,000</u>
Difference	-0-

There are attachments for each of the capital investment and they can be found at the end of this agenda memo.

**Other Cultural Enhancements in the City of Boulder**

Prior to the Apr. 22 study session, several culturally focused non-profits contacted the City Manager to request city consideration of including specific capital investments. Since that study session, additional information has been received regarding each of the proposals, and city council has received communications from each of them in support of using the proposed temporary tax for financing for their needs. Copies of the letters from each of the entities can be found in the Apr. 22 study session packet, starting on page 33, as Exhibits B-D, at the link below.

[April 22 Study Session - Letters from Non Profits](#)

**Agreements Proposed for Use and Flow of Funds for Entities that Do Not Use City Financial and Accounting Internal Controls and Processes**

If this ballot issue goes forward, all parties want it to be successful. At the same time, the handling of taxpayer funds requires due diligence, oversight for appropriate usage, accountability, and other appropriate levels of fiscal stewardship. For internal city investments, appropriate internal controls are already in place for both the collection of revenues and the expenditures of city funds. In addition, these controls are periodically reviewed and tested by internal city staff and external city auditors.

These same processes are not in place for capital investments that do not fall under city processes and procedures. Therefore, staff feels that appropriate controls will need to be agreed upon by any external entity receiving funds, if this ballot proposal goes forward and is approved by the voters. As proposed, the ballot language would require that an agreement be entered into and approved by the City Manager for any project that is not subject to city fiscal controls. This would include draws on the funds available for the investments and the appropriate documentation that will be required. Staff does not propose placing the procedures and process in the actual ballot language as it could be

confusing and difficult to modify if things would change in the future. Initial discussions indicate that this process is acceptable to any entity that would be in such a relationship.

### **Contingency**

There are many unknowns that can occur when capital investments will be built over a period of time. Examples are: inflationary costs can rise unexpectedly and be greater than are estimated in the original cost projections, revenues can fall short of projections, and unexpected costs can occur that were unforeseen. The fire training center was a prime example of all three and the project was delayed for nearly a decade until a solution was found so the project could move forward. Therefore, to mitigate these issues a contingency is needed. The proposed \$555,000 is approximately two percent of the total investments. Finance staff members have reviewed the capital investment estimates and feel the costs and revenues have been projected conservatively so this level of contingency will be acceptable.

### **Operating Costs for Investments**

The major cause of failed capital improvement programs across the United States is the lack of a funding stream adequate to pay for the new operating costs associated with new capital investments. There have been numerous stories across the United States of new schools and prisons that have been built, or where funds are in place to build them, that have not been completed or have not been able to be used because there were no resources to pay for the new operating costs. If the voters approve investing in new or expanded investments, then new operating dollars need to accompany the approval of the investments, if they cannot be absorbed within existing resources. At this time, it does not appear that the capital investments being considered will generate large increases in operating costs. It is expected that the new operating costs can either be absorbed in or reallocated in the city's operating budget. Staff will monitor costs as the investments develop and report back to council if operating costs escalate beyond expectations.

### **NEXT STEPS**

If council decides to make no changes to the ordinance that was passed on first reading Jul. 22, staff suggests that this item be continued until Aug. 19. This would allow staff to provide additional information council may want and to provide facts and data sheets about the individual investments and post them on the website.

If changes are made on second reading a third reading would occur on Aug. 19. All ballot items must be passed on final reading by council by the end of August to meet county deadlines.

If a fourth reading would be needed, past Aug. 19, it will need to be a special meeting and must meet all timeline requirements, which would be difficult to do.

### **ATTACHMENTS**

- A: Temporary Sales and Use Tax Ballot Ordinance
- B: University Hill Investments
- C: Civic Area Investments

- D: Civic Area: Additional Information
- E: Boulder Creek Area Investments
- F: Public Art Investments
- G: Chautauqua Investments
- H: Dairy Center for the Arts Investments
- I: Museum of Boulder Investments
- J: .28% Temporary Sales and Use Tax Option
- K: .27% Temporary Sales and Use Tax Option
- L: Options for the Underpass at Arapahoe and 13<sup>th</sup> Street

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## ORDINANCE NO.7983

(Tax Increase for Capital Facilities)

AN ORDINANCE SUBMITTING TO THE ELECTORS OF THE CITY OF BOULDER AT THE SPECIAL MUNICIPAL COORDINATED ELECTION TO BE HELD ON TUESDAY, NOVEMBER 4, 2014, THE QUESTION OF AUTHORIZING THE CITY COUNCIL TO INCREASE THE SALES AND USE TAX BY UP TO 0.3 CENTS ON EVERY DOLLAR, EFFECTIVE FROM JANUARY 1, 2015 THROUGH DECEMBER 31, 2017 FOR THE PURPOSE OF FUNDING A VARIETY OF CAPITAL IMPROVEMENT PROJECTS; GIVING APPROVAL FOR THE COLLECTION, RETENTION AND EXPENDITURE OF THE FULL TAX PROCEEDS AND ANY RELATED EARNINGS, NOTWITHSTANDING ANY STATE REVENUE OR EXPENDITURE LIMITATION; AND SETTING FORTH THE EFFECTIVE DATE, BALLOT TITLE, AMENDMENTS TO SECTION 3-2-5, "RATE OF TAX," B.R.C. 1981 AND RELATED DETAILS.

WHEREAS the City Council finds that it is appropriate for voters to approve collection, retention, and expenditure of the full amount collected from the tax proposed by the ballot issue described below.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF BOULDER, COLORADO:

Section 1. A special municipal coordinated election will be held in the City of Boulder, county of Boulder and state of Colorado, on Tuesday, November 4, 2014, between the hours of 7 a.m. and 7 p.m.

Section 2. At that election, there shall be submitted to the electors of the City of Boulder entitled by law to vote the issue of a sales and use tax increase as described in the ballot issue title in this ordinance.

Section 3. The official ballot shall contain the following ballot title, which shall also be the designation and submission clause for the issue:

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ISSUE NO. \_\_\_\_

**TAX INCREASE FOR CAPITAL FACILITIES**

SHALL CITY OF BOULDER TAXES BE INCREASED (\$9,200,000 first full fiscal year increase) ANNUALLY BY INCREASING THE SALES AND USE TAX BY 0.3 CENTS FOR THE PERIOD OF JANUARY 1, 2015 TO DECEMBER 31, 2017;

AND IN CONNECTION THEREWITH,

SHALL ALL OF THE REVENUES COLLECTED USED TO FUND CAPITAL IMPROVEMENTS THAT WILL INCLUDE WITHOUT LIMITATION THE FOLLOWING:

- UP TO \$ 8,700,000 FOR CAPITAL IMPROVEMENTS FOR THE BOULDER CIVIC AREA GENERALLY BOUNDED BY CANYON BLVD, ARAPAHOE AVE, 9<sup>TH</sup> STREET AND 13<sup>TH</sup> STREET,
- UP TO \$ 3,270,000 FOR CAPITAL IMPROVEMENTS IN THE UNIVERSITY HILL COMMERCIAL DISTRICT AND HIGH DENSITY RESIDENTIAL AREAS INCLUDING LIGHTING, IRRIGATION AND TO IMPROVE PUBLIC STREETS,
- UP TO \$ 5,125,000 FOR CAPITAL IMPROVEMENTS TO THE BOULDER CREEK PATH AND ITS ENVIRONS GENERALLY BETWEEN 3<sup>RD</sup> AND 17<sup>TH</sup> STREETS, INCLUDING LIGHTING AND PATH IMPROVEMENTS TO INCREASE SAFETY,
- UP TO \$ 600,000 FOR PUBLIC ART AND TO PRESERVE OR RESTORE THE EXISTING ART COLLECTION,
- UP TO \$ 3,850,000 TO IMPROVE THE DAIRY CENTER FOR THE ARTS PROPERTY,
- UP TO \$ 1,500,000 FOR IMPROVEMENTS TO CHAUTAUQUA PARK AND ITS ENVIRONS FOR ACCESS, PEDESTRIAN, SAFETY, AND LIGHTING IMPROVEMENTS,

- UP TO \$ 4,000,000 FOR CAPITAL IMPROVEMENTS AT THE MUSEUM OF BOULDER PROVIDED THAT THE MUSEUM OF BOULDER HAS FIRST RAISED AND DEDICATED AN EQUAL AMOUNT AND IN COMPLIANCE WITH TERMS, CONDITIONS, AND TIMING APPROVED BY THE CITY COUNCIL, AND
- ANY REMAINING FUNDS TO BE APPROPRIATED BY THE BOULDER CITY COUNCIL TO FUND CAPITAL IMPROVEMENT PROGRAM PROJECTS;

AND IN CONNECTION THEREWITH,

SHALL THE FULL PROCEEDS OF SUCH TAXES AT SUCH RATES AND ANY EARNINGS THEREON BE COLLECTED, RETAINED, AND SPENT, AS A VOTER-APPROVED REVENUE CHANGE WITHOUT LIMITATION OR CONDITION, AND WITHOUT LIMITING THE COLLECTION, RETENTION, OR SPENDING OF ANY OTHER REVENUES OR FUNDS BY THE CITY OF BOULDER UNDER ARTICLE X SECTION 20 OF THE COLORADO CONSTITUTION OR ANY OTHER LAW?

FOR THE ISSUE \_\_\_\_\_ AGAINST THE ISSUE \_\_\_\_\_

Section 4. If this ballot issue is approved by the voters, the City Council will adopt terms, conditions, and timing of payments prior to any appropriations to the Museum of Boulder that it finds are necessary to protect the public health, safety and welfare of the residents and visitors of the City of Boulder. In the event that the city, in its legislative or administrative capacity, determines that the Museum of Boulder cannot meet such terms or conditions in a reasonable or timely manner, such funds may be appropriated by the City Council for other capital improvement projects that are consistent with the ballot issue title.

Section 5. If this ballot issue is approved by the voters, the City Council further amends the Boulder Revised Code, effective on January 1, 2015, to read:

**3-2-5. Rate of Tax.**

- 1 (a) Except as specified in Subsection (b) of this section, the amount of the tax hereby levied is  
2 3.56-86 percent of the purchase price of tangible personal property or taxable services sold  
3 or purchased at retail.
- 4 (b) The amount of the tax hereby levied on food sold in or by a food service establishment  
5 shall be the amount levied in Subsection (a) of this section plus 0.15 percent of the  
6 purchase price of such food. Cover charges, admission, or entrance fees and mandatory  
7 service or service-related charges shall be included as part of the purchase price of such  
8 food. However, a mandatory service or service-related charge shall not be included as part  
9 of the purchase price of such food if the full amount of the charge is passed on to the  
10 employees of the food service establishment who have provided direct service to each  
11 person paying the charge, and if all federal and state income and other applicable taxes due  
12 on such charge have been withheld by the food service establishment and paid to the  
13 appropriate government.
- 14 (c) Of said amount:
- 15 (1) Parks and Recreation: 0.25 percent shall be deemed a parks and recreation tax, which  
16 tax shall expire at midnight on December 31, 2035 (Ord. No. 7862, approved by voters  
17 in 2012).
- 18 (2) Open Space and General: 0.33 percent shall be used for the purposes, during the time  
19 periods, and in the following amounts, as follows:
- 20 (A) An open space tax through midnight on December 31, 2018 (Ord. No. 5893,  
21 approved by voters in 1997).
- 22 (B) An open space tax for 0.22 percent, and a general sales and use tax for 0.11  
23 percent from January 1, 2019 through midnight on December 31, 2034 (Ord. No.  
24 7912, approved by voters in 2013).
- 25 (C) An open space tax for 0.10 percent, and a general sales and use tax for 0.23  
26 percent from January 1, 2035 and continuing without expiration (Ord. No. 7912,  
27 approved by voters in 2013).
- 28 (3) Open Space: 0.15 percent shall be deemed an open space tax through midnight on  
December 31, 2019 (Ord. No. 7301, approved by voters in 2003).
- (4) Transportation and General: 0.15 percent shall be used for the purposes, during the  
time periods, and in the following amounts, as follows:
- (A) a transportation tax from January 1, 2014 through midnight on December 31,  
2029 (Ord. Nos. 7913 and 7922, approved by voters in 2013).

1 (B) a general sales and use tax from January 1, 2030, which tax shall expire at  
2 midnight on December 31, 2039 (Ord. No. 7922, approved by voters in 2013).

3 (5) Capital improvement tax. 0.3 percent shall be deemed a capital improvement tax  
4 through midnight on December 31, 2017 (Ord. No. \*\*\*, approved by voters in 2014).

5 As each tax expires, the aggregate tax shall be reduced accordingly.

6 Section 6. If this ballot issue is approved by the voters, the City Council may adopt  
7 amendments to the Boulder Revised Code to further implement this sales and use tax increase  
8 and such other amendments to the Boulder Revised Code as may be necessary to implement the  
9 intent and purpose of this ordinance.

10 Section 7. If a majority of all the votes cast at the election on the issue submitted shall be  
11 for the issue, the issue shall be deemed to have passed and shall be effective upon passage, and it  
12 shall be lawful for the City Council to provide for the amendment of its tax code in accordance  
13 with the issue approved.

14 Section 8. The election shall be conducted under the provisions of the Colorado  
15 Constitution, the charter and ordinances of the City, the Boulder Revised Code, 1981, and this  
16 ordinance, and all contrary provisions of the statutes of the state of Colorado are hereby  
17 superseded.

18 Section 9. The officers of the City are authorized to take all action necessary or  
19 appropriate to effectuate the provisions of this ordinance and to contract with the county clerk to  
20 conduct the election for the City.

21 Section 10. If any section, paragraph, clause, or provision of this ordinance shall for any  
22 reason be held to be invalid or unenforceable, such decision shall not affect any of the remaining  
23 provisions of this ordinance.

24 Section 11. This ordinance is necessary to protect the public health, safety and welfare of  
25 the residents of the City, and covers matters of local concern.  
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Section 12. The City Council deems it appropriate that this ordinance be published by title only and orders that copies of this ordinance be made available in the office of the city clerk for public inspection and acquisition.

INTRODUCED, READ ON FIRST READING, AND ORDERED PUBLISHED BY TITLE ONLY this 22<sup>nd</sup> day of July, 2014.

\_\_\_\_\_  
Mayor

Attest:

\_\_\_\_\_  
City Clerk

READ ON SECOND READING, PASSED, ADOPTED, AND ORDERED PUBLISHED BY TITLE ONLY this 5<sup>th</sup> day of August, 2014.

\_\_\_\_\_  
Mayor

Attest:

\_\_\_\_\_  
City Clerk

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## CHAUTAUQUA PEDESTRIAN SAFETY, ACCESS AND LIGHTING IMPROVEMENTS

The Colorado Chautauqua is a unique public asset to the City of Boulder and provides a world-class destination for recreation, culture and historic distinction to the community and visitors. Through collaborative stewardship, city staff continues to work closely with the Colorado Chautauqua Association and members of the community to provide stewardship of this critical asset for the community and future generations. Through the current Pay-As-You-Go capital funding initiative, the community has an opportunity to experience capital improvements that will have a current and lasting impact on the visitor experience of Chautauqua.

Based on direction from Council, an interdepartmental team comprised of Public Works, Parks and Recreation and Open Space and Mountain Parks have developed a scope and initial cost estimates to enhance visitor experiences, improve public safety for access, lighting and amenities. The proposed Chautauqua Park historic site visitor experience improvements will include health and safety related items such as historic lighting designed to keep within cultural landscape design guidelines, access improvements such as safe pedestrian walkways and educational and interpretive signage. The estimated scope of this work is approximately \$1.5 million depending on final design drawings and historic preservation reviews.

### **Three three key improvement investments include:**

- 1. Improved access and pedestrian safety along Baseline Road that may include new sidewalks, aligned parking and related safety enhancements totaling approximately \$1M (see Attachment 1)**
- 2. Pedestrian lighting along key access points for safety and accessibility from Baseline Road through the major park access walks to visitor facilities totaling approximately \$250,000 (see Attachment 2).**
- 3. Interpretive and wayfinding signage for historic interpretation of the site and to improve overall visitor experiences and understanding of the site character totaling approximately \$250,000 (see attachment 3).**

### **Collaborative Stewardship**

As noted above, the improvements will continue to inform the collaborative stewardship process (**see attachment 4**). If these projects are selected for funding, a working group will hold several meetings to shape next steps on the broader stewardship and implementation of the improvements.

The overall purpose of the next phase of the collaborative stewardship is to build off of the previous work done to adopt guiding principles by putting these into action. The guiding principles are not intended to define the specific structures, processes, or agreements for making key decisions at Chautauqua. The next phase will focus on the implementation items that can put these guiding principles into action.

Leading up to and following council action on the projects, staff will begin developing a work plan for this next phase of the stewardship improvements.

**ATTACHMENTS**

**Attachment G-1:** Transportation Improvements Concept Design

**Attachment G-2:** Chautauqua Master Exterior Lighting Plan

**Attachment G-3:** Chautauqua Master Signage Plan

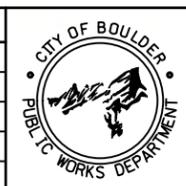
**Attachment G-4:** Collaborative Stewardship of the Colorado Chautauqua - Guiding Principles for Place Management and Fiscal Sustainability



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Print Date: 7/2/2014	0000
Drawing File Name: Baseline West-Chautauqua Concept Design01.dgn	
Horiz. Scale: 1:80      Vert. Scale: As Noted	
Unit Information      Unit Leader Initials	

Sheet Revisions		
Date:	Comments	Init.



**CENTENNIAL**  
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Arvada, CO 80002  
(720) 279-7250

As Constructed
No Revisions:
Revised:
Void:

<b>BASELINE RD. WEST-CHAUTAUQUA PARK PEDESTRIAN IMPROVEMENTS</b>			
Designer:	Structure Numbers		
Detailer:			
Sheet Subset:	Subset Sheets:		

Project No./Code
Sheet Number





# **Colorado Chautauqua National Historic Landmark Master Exterior Lighting Plan**

January 20, 2012  
Clanton & Associates

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## Introduction

On the Chautauqua campus, the exterior lighting helps to organize and define the nighttime visual environment. The placement, style, and performance of the lighting equipment determine much of the visual character of the environment after dark as well as the overall visibility for visitors. Changes in light levels should signify changes in public (more light) versus private (less light) zones of the park. During the day, the decorative elements of the lighting equipment will support the historic nature of the architecture and site and provide a unifying aesthetic element on the property. In addition to identifying where to provide light, the masterplan also designates areas that should remain dark. Every effort should be made to minimize light trespass and light pollution for the residences and adjacent open space.

The site lighting system should provide for driver and pedestrian visibility and way finding. Traveled pathways are lighted to provide guidance and good visibility while parking lots are lighted to provide security for both pedestrians and motorists. All of these design issues should be addressed with minimal energy use and effective maintenance in mind.

## Design Philosophy

The exterior lighting masterplan for Chautauqua will provide light for safety and comfort while preserving the natural resources and atmosphere that make the park so unique.

The lighting program throughout will help retain a low level of natural ambient light suitable for the City of Boulder open space and mountain parks, save energy, and reduce waste to support Chautauqua green building goals. Low glare, well-placed lighting will provide a safe and comfortable nighttime environment. This masterplan recommends lighting strategies for areas where Chautauqua deems that safety and security is a concern, but does not propose lighting throughout the entire park. Specific control measures will ensure that lighting is not used when it is not needed.

The following design principles address the philosophy of site lighting throughout the Chautauqua National Historic Landmark:

- Image & Identity
- Environmentally Sensitive Lighting
- Historic Preservation
- Nighttime Visibility
- Safety and Security
- Nighttime Aesthetics

### *Image and Identity*

The most important issue related to Chautauqua image and identity is not so much the selection of luminaire style, but rather the consistent application of styles, mounting heights, and light levels throughout the entire historic site. This masterplan establishes a clear hierarchy of lighting equipment and strategies to support the architecture and infrastructure of the park.

The luminaire styles should be influenced by the architectural styles of the park structures. However, many traditional lighting fixtures create as much glare as they do useful light and are not designed to minimize light trespass and light pollution. With some modifications, many traditional styles can be made to better control the light and still stay true to the traditional forms.

Light enhances architectural form and will support massing, hierarchy, and details of the architecture. Surfaces will be revealed with light, but views of the light fixtures will be minimized. Light fixtures should be integrated into the architecture where possible by mounting in eaves, under canopies, recesses, or within low walls. Light fixtures shall be inconspicuous unless there is an intentional decorative purpose. In general, the pedestrian level of the architectural form shall be the emphasis for appropriate exterior lighting. Only a few select facades should have light above the pedestrian level as a way to identify Chautauqua's very prominent and public features.

### ***Environmental Issues and Goals***

Environmentally sensitive lighting minimizes light pollution and light trespass, and applies only the right amount of light where and when it is needed. To limit light trespass and light pollution, the Lighting Masterplan complies with the City of Boulder Outdoor Lighting Standards, Section 9-9-16. All exterior area lighting will be shielded or fully shielded, aimed downward, and will utilize white light sources. Lighting levels will be minimized and lighting controls will ensure that lighting is turned off in some areas when it is not needed.

- ***Dark Skies – Minimizing Light Pollution***

Light pollution is uncontrolled light that travels into the atmosphere. This light represents wasted energy and creates "sky glow" that reduces visibility of stars in the night sky. Unshielded luminaires and excessively high light levels cause more light pollution than properly controlled light fixtures. The lighting within Chautauqua will be well shielded and designed to limit light levels to help maintain dark skies.

- ***Friendly Neighbor – Limiting Light Trespass***

Light trespass is often felt as "the light shining in my window". Usual culprits are unshielded floodlights, high wattage lamps, and other unshielded luminaires that are improperly located and poorly aimed. Light trespass will be avoided throughout Chautauqua. Light trespass can be minimized with careful equipment selection, proper location, and proper aiming and shielding.

- ***Lighting only WHAT is necessary.***

The determination of what to light is just as important as how to light. Some areas may be specifically designated as dark preserves. When an area does require lighting, the design should contain the light to that area as much as possible. For instance, light from parking areas should be adequately shielded to limit stray light onto adjacent areas or buildings. This same principle applies to street and trail lighting locations to minimize stray light onto adjacent cabins. By lighting only what is necessary, the light that is used will be more effective as compared to a design that lights all areas equally.

- ***Lighting only WHEN it is necessary.***

Energy use and light pollution can be reduced by turning off lights when they are not needed. Time control and motion sensors can be used to automatically turn lights off in areas that are used less at night yet still provide light when needed for late night use.

### ***Historic Preservation***

The Chautauqua Design Guidelines note that the development of the park spanned several decades. While lighting equipment such as street poles may have some historic character, the guidelines state that simplicity should be the most important consideration. This masterplan illustrates various period styles that could be used on the site. While the style may reflect a lantern-like aesthetic, the lighting technology will still address glare and uplift from the luminaire.

The lighting of building facades and structures at Chautauqua will focus on highlighting elements and features of the existing architecture. The designs should take care to hide the lighting equipment and not use any stylized fixtures that become an additional decorative element on the façade.

### ***Nighttime Visibility***

- *Lighting Quality, not Quantity.*

Often, architectural exterior lighting is used principally for floodlighting instead of lighting quality, resulting in over-lit facades that create reflected light pollution or trespass. High quality accent lighting creates a composition of light and darkness on the architecture, using less light for greater effect. Streets and parking lots are also often over-lit when light level is used as the main lighting criteria without concern for the many other factors that affect visibility.

Lighting quality involves many issues such as contrast, brightness adaptation, minimal glare and light source color. Good visibility is achieved by balancing brightness, lighting vertical surfaces, providing clear visual cues, and controlling glare. These strategies create a high quality visual environment using low light levels and minimal energy.

- *Brightness Adaptation.*

Our eyes adjust to the brightest object in our field of view. This adjustment of our eyes is referred to as brightness adaptation. If an object is very bright, such as uncontrolled light from a floodlight, everything else in the immediate surrounding area appears relatively dark, making it harder to detect object details.

- *Reducing Glare.*

Glare is usually caused by uncontrolled light emitted from unshielded luminaires. An example of this is unshielded wall pack fixtures or floodlights located on a building façade. These situations can be easily avoided with proper equipment selection, location, aiming, and shielding.

- *Better Visibility with White Light.*

Light source color is another key to low light level visibility. Reaction time and color recognition under low light levels is superior with white light sources like metal halide, fluorescent, LED, and induction lamps. Using a warm colored light source (3000 K) will give a warm residential aesthetic while taking advantage of the white light visibility benefit.

- *Lighting Vertical Surfaces.*

Illuminated surfaces improve the sense of brightness, safety, and security in an exterior environment. These surfaces allow pedestrians to see other people and objects in silhouette as well as accenting the character of the architecture and features.

- *Wayfinding.*

Sign lighting provides an obvious complement to wayfinding features. However, lighting may also augment wayfinding in the form of indicators. For example bollards may alert motorists to the presence of pedestrians. Additionally, changes in brightness provide visual cues and orientation for pedestrians. Continuously lighted streets may identify a primary vehicle route while lower lighting levels suggest private or residential areas.

## ***Safety and Security***

Lighting to improve safety involves lighting hazards so that they can be seen with sufficient reaction time. Hazards may include vehicle intersections, crosswalks, stairs and ramps, and other site features that may be perceived as unsafe if not well identified at normal night time lighted conditions. The lighting system, along with other site design elements, must provide visual information to assist users in avoiding such things as a collision or loss of bearings.

Security can be described as the perception of safety. Lighting to improve security involves lighting potentially hazardous locations and situations. For example, an increase in reaction time can improve the ability to find refuge, or call for help. Lighting can also act as a deterrent by increasing the visibility in an area of concern. However, it should be noted that an increase in the number of people in an area will be a more effective deterrent against crime than an increase in light level.

## ***Nighttime Aesthetics***

The lighting system at night should reveal a hierarchy of brightness levels and provide subtle surface brightness throughout the public spaces. The style of lighting equipment will be less noticeable at night but an organized sequence of lighted areas and surfaces will provide wayfinding and a sense of security. For example, a street that provides access to cottages may have a relatively low light level when the surrounding cottage porches have lights. Similarly, the lighted façade of the Auditorium at the end of Morning Glory Drive provides a visible destination at the end of a public street.

## ***City of Boulder Lighting Ordinance***

The City of Boulder adopted a lighting ordinance in 2003. Its objective is to ensure safety and security, establish the use of white light sources (compact fluorescent, LED, and induction), prevent overlighting, and minimize light pollution. The ordinance sets limits on the following lighting characteristics:

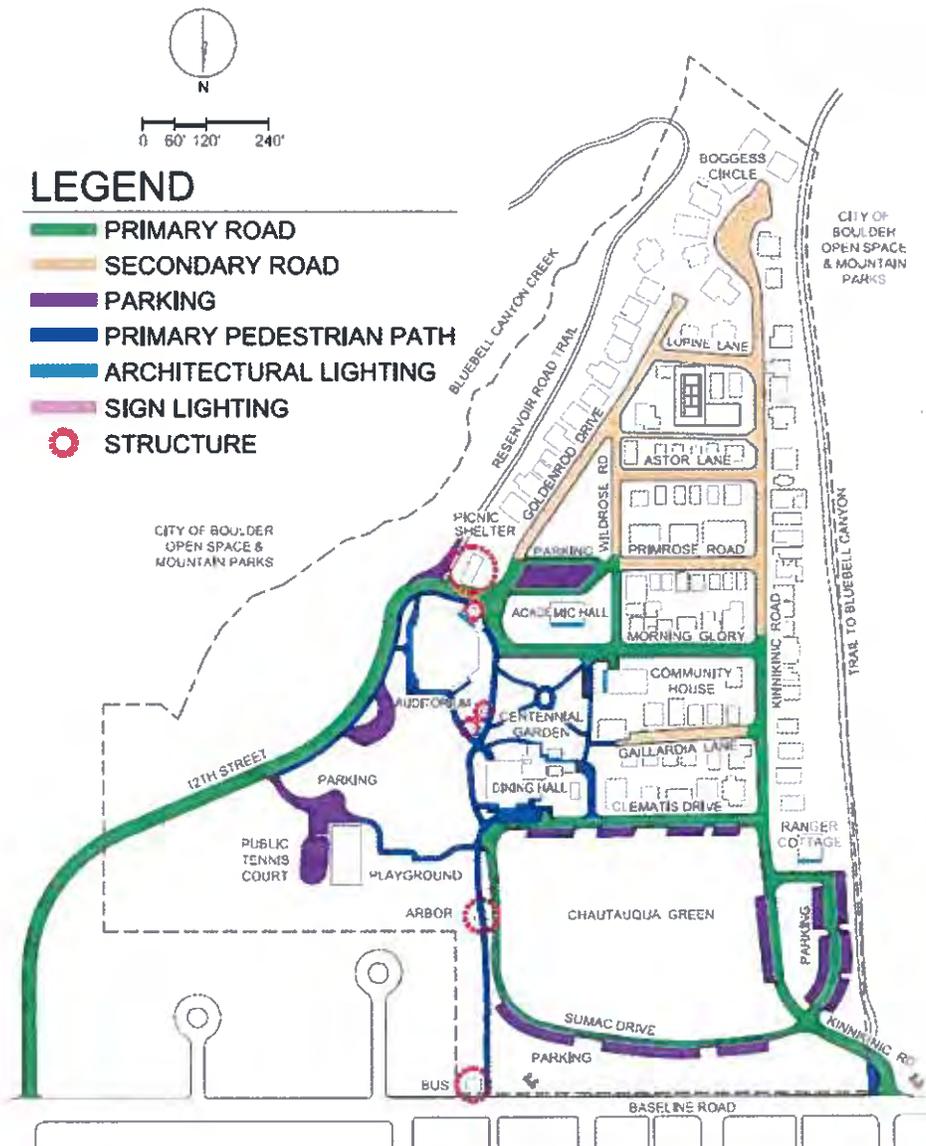
Maximum allowable light levels (illuminance in footcandles)	Building Entries: 5 Parking Lots: 5 Pedestrian Walkways: 3
Maximum uniformity ratio	15:1
Maximum lumen rating for full cutoff luminaires	14,000
Maximum lumen rating for cutoff and semi cutoff luminaires	1,250
Maximum lumen rating for unshielded luminaires	900
Lighting controls	Recommended after close of business
Maximum pole height	20' adjacent to residential 25' otherwise
Flagpole lighting	(1) Uplight not to exceed 3,500 lumens

Additional and special use requirements can be found in the City of Boulder Land Use Code, Chapter 9-9, under Section 9-9-16, Lighting, Outdoor.

## Prescriptive Designs and Strategies

The previously described concepts are applied to the typical components found throughout the Chautauqua park: roads, pedestrian spaces, structures, and residences. Roadways are made up of primary (public) routes that are frequently used by park visitors who are not necessarily staying there (open space parking, auditorium drop-off). Secondary (residential) routes serve all of the cottages but most likely are not frequented by the visiting public. Pedestrian spaces include both paths and open areas. Structures may be small focal points such as the arbor and signage or large, public facades such as the auditorium. Finally, the residential component includes all of the rented and privately owned cottages.

The map below color codes these components.



The following sections illustrate prescriptive designs and strategies for each of the components described on the map. Each section documents typical existing conditions, lighting equipment specifications, rules of thumb for location, spacing, and mounting heights, and appropriate sketches for mounting details.

**Primary Roadways (Public)**

**EXISTING CONDITIONS:**



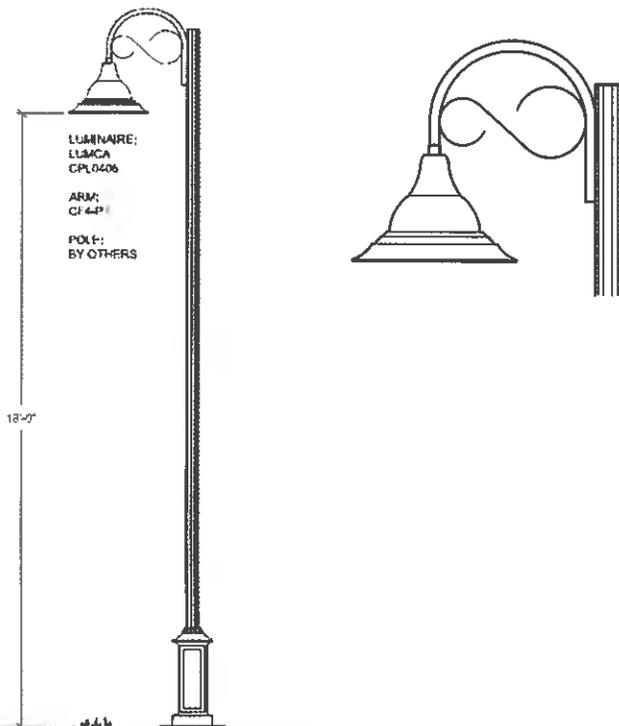
Currently, cobrahead luminaires with high pressure sodium lamps are mounted on wood poles for the majority of the street lighting. The poles are not consistently located at intersections or on the same side of the road.

**PROPOSED LIGHTING CONCEPT:**



A traditional style, pole-mounted luminaire will provide lighting along the primary roads at intersections. Along stretches of primary roadway without intersections, luminaires should be spaced uniformly at curves or other decision points.

**EXAMPLES**



**LUMINAIRE SPECIFICATIONS**

Horizontal Distribution	Type IV or V
Lamp Type	Induction
Lumen Output	6000 lumens (85 watt)
Color Temperature	3000 K
Color Rendering Index	80+
Pole Height	18'
Pole Layout	Locate at intersections and mid-block
Controls:	Photocell ON, dim to 50% after curfew.

## Secondary Roadways (Residential)

### EXISTING CONDITIONS:



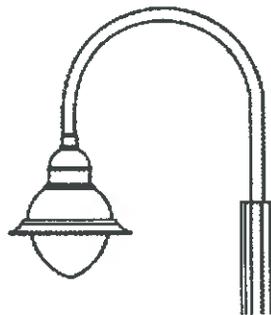
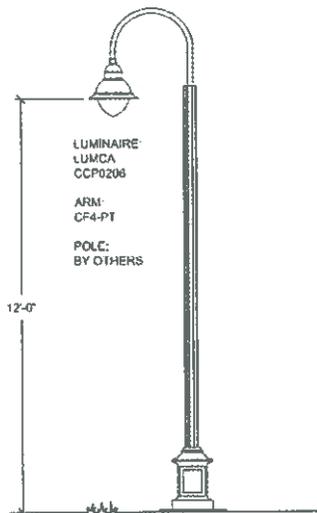
Currently, cobrahead luminaires with high pressure sodium lamps are mounted on wood poles for the majority of the secondary street lighting. Pole locations are not consistent. The remainder of the street lighting in residential streets comes from the porch lighting on the cabins.

### PROPOSED LIGHTING CONCEPT:



Smaller scale poles and luminaires should light the secondary streets. The cabin porch lanterns provide background brightness while the streetlights illuminate the roadway. Backlight from the luminaires should be controlled to prevent light trespass onto the cabin property.

### EXAMPLES



Note: Teardrop shaped globes introduce additional upright and do not meet the City of Boulder Lighting Ordinance. Because the lamp is concealed fully within the opaque shroud, a variance may be possible.

### LUMINAIRE SPECIFICATIONS

Horizontal Distribution	Type IV or V
Lamp Type	Induction
Lumen Output	3500 lumens (55 watt induction)
Color Temperature	3000 K
Color Rendering Index	80+
Pole Height	12' - 14'
Pole Layout	Locate at intersections.
Controls:	Photocell ON, dim to 50% after curfew.

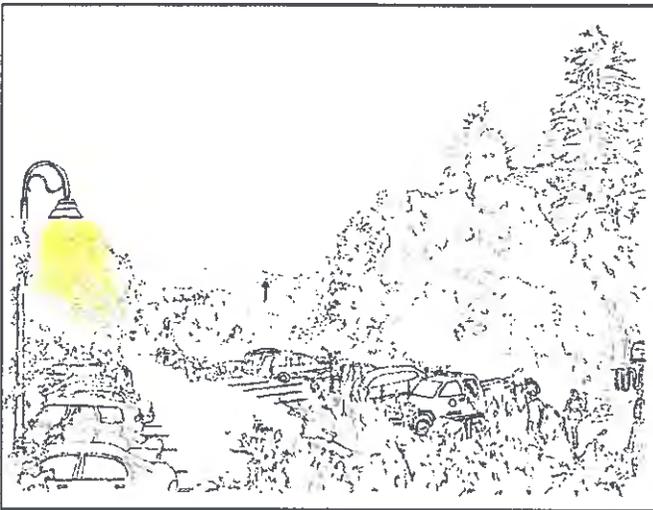
### Parking (Public)

#### EXISTING CONDITIONS:



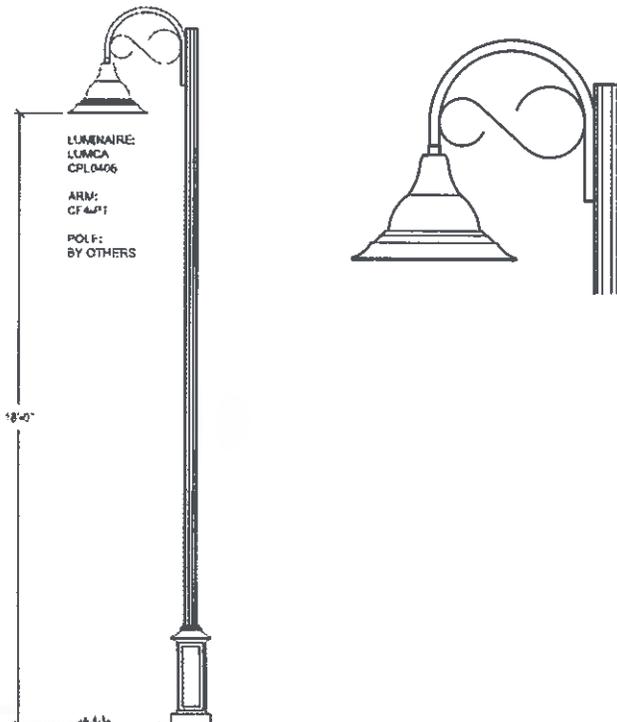
Currently, cobrahead luminaires with high pressure sodium lamps provide the lighting for parking lots. No specific lighting is provided for public parking in areas such as along the Chautauqua Green.

#### PROPOSED LIGHTING CONCEPT



A traditional style, pole-mounted luminaire should provide lighting for the parking areas. The luminaire and pole configuration should match that of the adjacent roadway (primary or secondary).

#### EXAMPLES

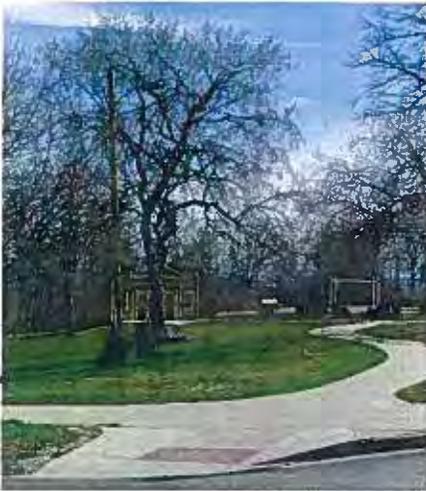


#### LUMINAIRE SPECIFICATIONS

Horizontal Distribution	Type IV or V
Lamp Type	Induction or CFL
Lumen Output	3500 lumens (55 watt induction)
Color Temperature	3000 K
Color Rendering Index	80+
Pole Height	12' – 14'
Pole Layout	Space at 4-6 times pole ht.
Controls:	Photocell ON, dim to 50% after curfew.

## Pedestrian Paths

### EXISTING CONDITIONS:



Currently, pedestrian scale lighting exists along some paths and in the Centennial Garden. However, it is typically provided by adjacent street lighting (cobrahead luminaires).

### PROPOSED LIGHTING CONCEPT



For pedestrian paths that are frequently traveled at night and are not near lighted roadways, smaller scale lighting should be used. Matching existing acorn style lighting is recommended.

### EXAMPLES



### LUMINAIRE SPECIFICATIONS

Horizontal Distribution	Type IV or V
Lamp Type	CFL
Lumen Output	1200 lumens (18 watt)
Color Temperature	3000 K
Color Rendering Index	80+
Mounting Height	12'
Pole Layout	Locate poles at path intersections and traffic / pedestrian conflict areas.
Controls:	Photocell ON, dim to 50% after curfew.

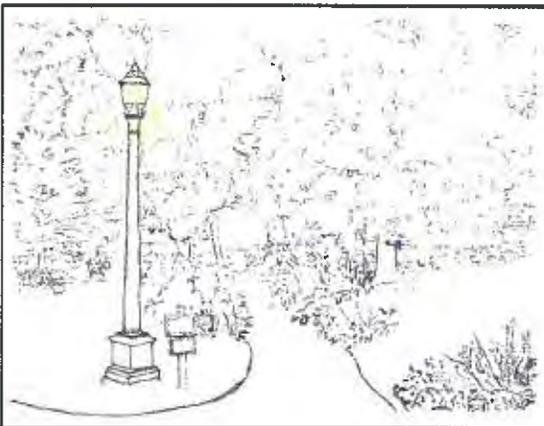
**Parks and Public Spaces**

**EXISTING CONDITIONS:**



Centennial Garden, currently lit by acorn style lights, is an example of an illuminated public space. The park serves as a pedestrian corridor at night as well.

**PROPOSED LIGHTING CONCEPT**



These areas will use the pedestrian luminaire to match the existing acorn style lighting.

**EXAMPLE PRODUCTS**



**LUMINAIRE SPECIFICATIONS**

Horizontal Distribution	Type IV or V
Lamp Type	Induction or CFL
Lumen Output	1200 lumens (18 watt CFL)
Color Temperature	3000 K
Color Rendering Index	80+
Pole Height	12'
Pole Layout	Locate at path intersections.
Controls:	Photocell ON, dim to 50% after curfew.

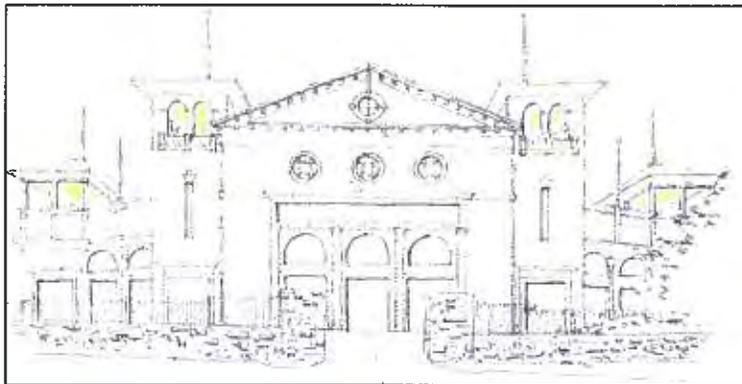
### Building Facades

#### EXISTING CONDITIONS:



The existing Auditorium façade has no exterior lighting. While it would not be lit every night, its prominence to drivers coming to Boulder on Highway 36 makes it a good landmark and public icon during events.

#### PROPOSED LIGHTING CONCEPT:



Like many buildings in the park, small architectural details (niches, cupolas, etc.) could be lit with minimal lighting equipment and energy use.

Lighting in niches should be mounted at the top, lighting downward. Uplighting of the cupolas must be contained within the roof overhangs to reduce light escaping into the night sky.

#### EXAMPLES



#### LUMINAIRE SPECIFICATIONS

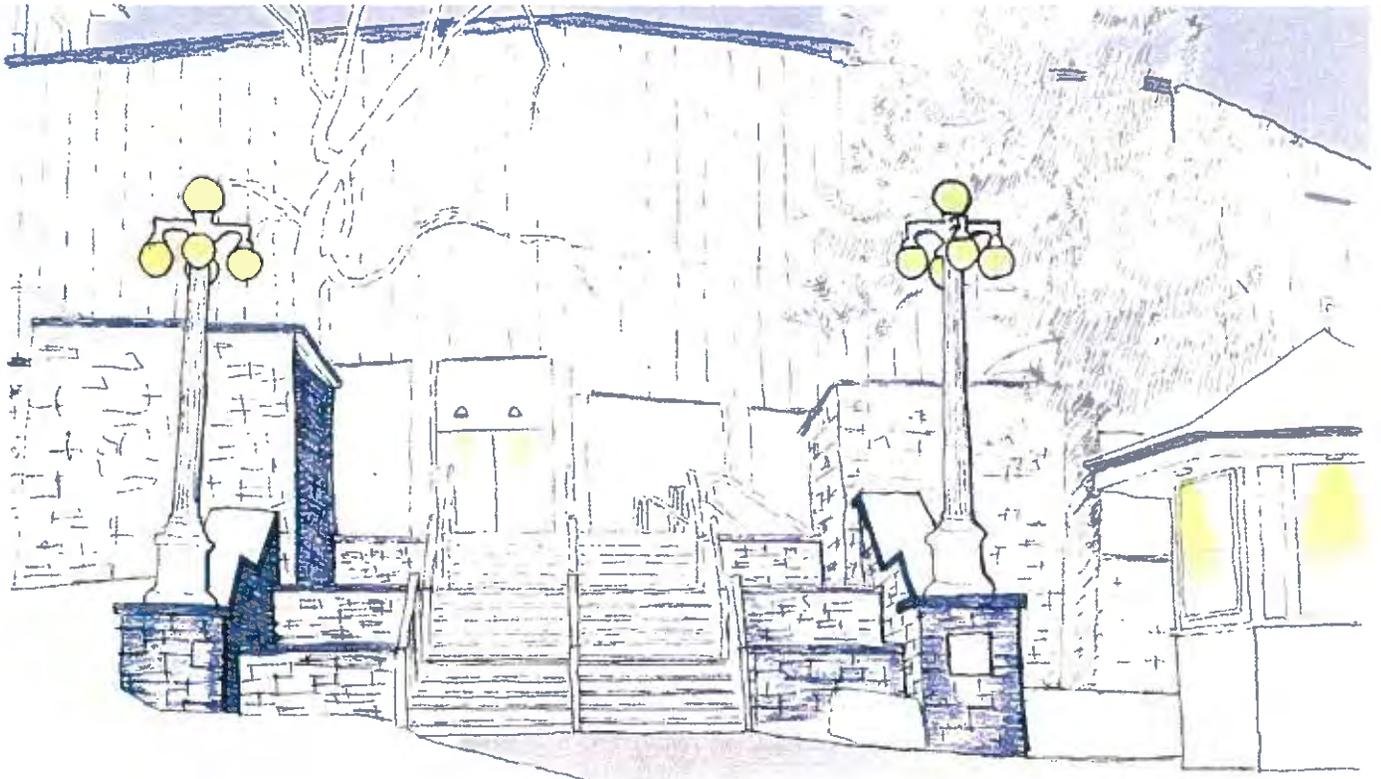
Distribution	20°-40° beam spread
Lamp Type	Linear LED
Lumen Output	400 – 900 lumens max
Color Temperature	3000 K
Color Rendering Index	80+
Controls:	Provide for the changing of overall light levels by switching different luminaire types separately. Controls should provide for a minimum of two “scenes” such as open/closed, event/no event, etc.



**Auditorium – Non-Event Evenings**



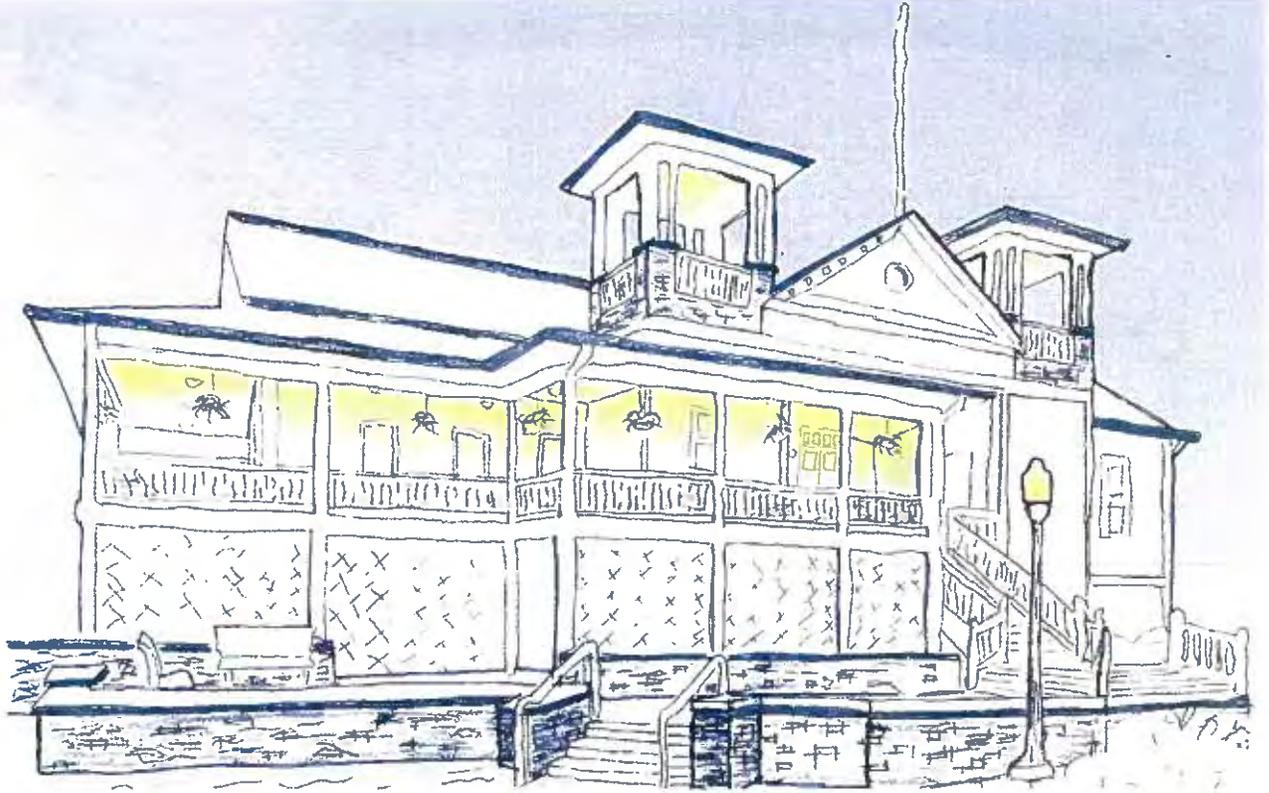
**Auditorium – Event Schedule**



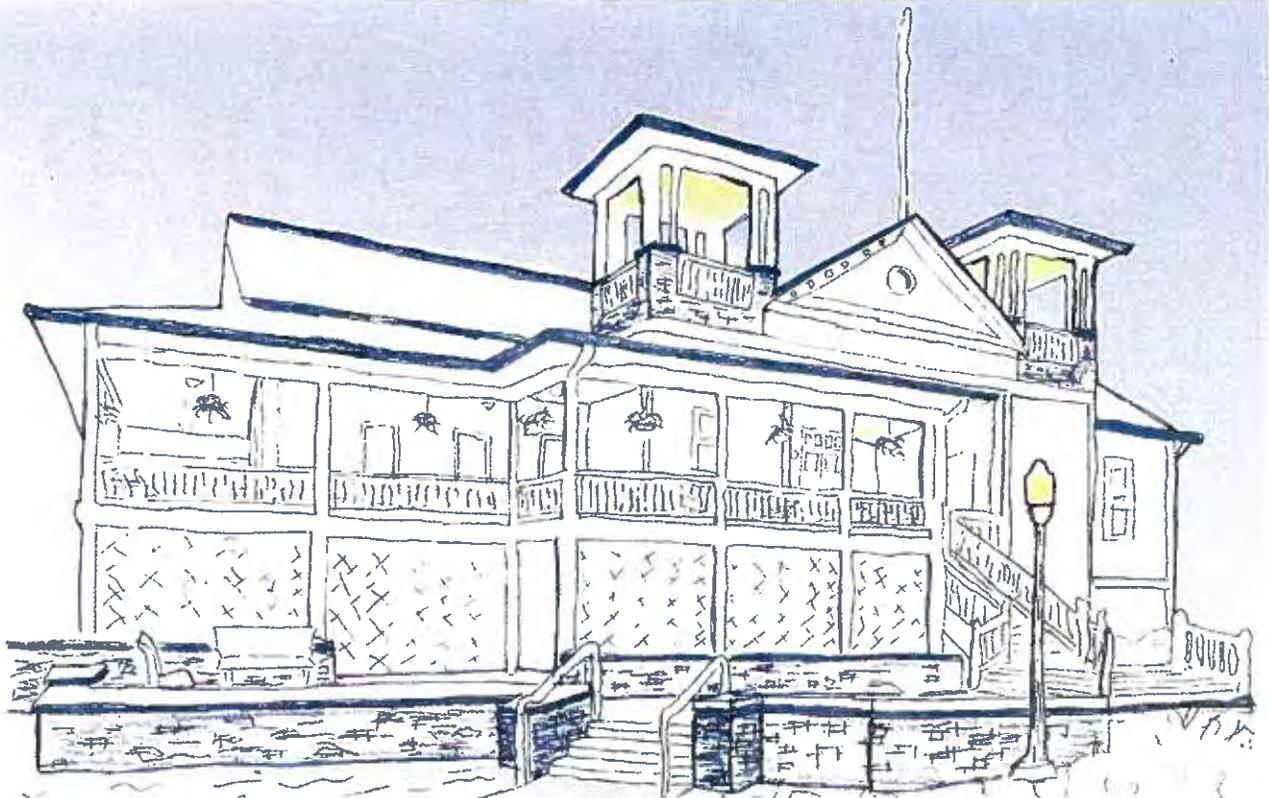
**Auditorium –Event Evenings**



**Auditorium –Event Evenings**



**Dining Hall – Open**



**Dining Hall – Closed**



**Academic Hall**



**Community House**

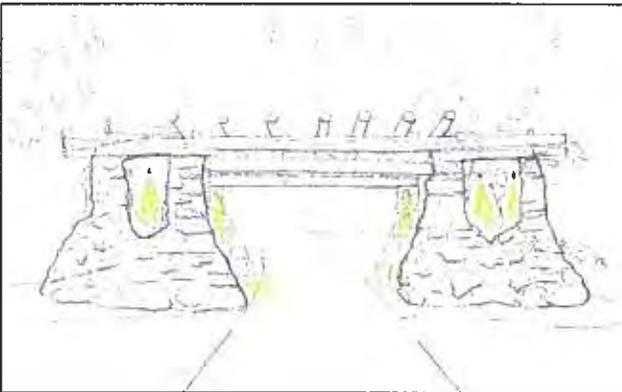
### Monuments/Structures

#### EXISTING CONDITIONS:



Currently, very few structures are lit in the Park. However, structures such as the Arbor receive a significant amount of pedestrian traffic at night and warrant additional illumination.

#### PROPOSED LIGHTING CONCEPT:



Structure lighting should remain subtle, downward directed, and controllable so that it is only on during events or certain times of the evening.

In this lighting concept for the arbor, only the inside surfaces of the stone columns are illuminated. The reflected light will produce a glow inside the structure, inviting pedestrians to pass through on their way to the Auditorium or to Baseline Road.

#### EXAMPLES:



#### LUMINAIRE SPECIFICATIONS:

Distribution	Flood or Narrow Flood
Lamp Type	LED
Lumen Output	100 – 400 lumens
Color Temperature	3000 K
Color Rendering Index	80+
Controls:	Provide for the changing of overall light levels by switching different luminaire types separately. Controls should provide for a minimum of two "scenes" such as open/closed, event/no event, etc.

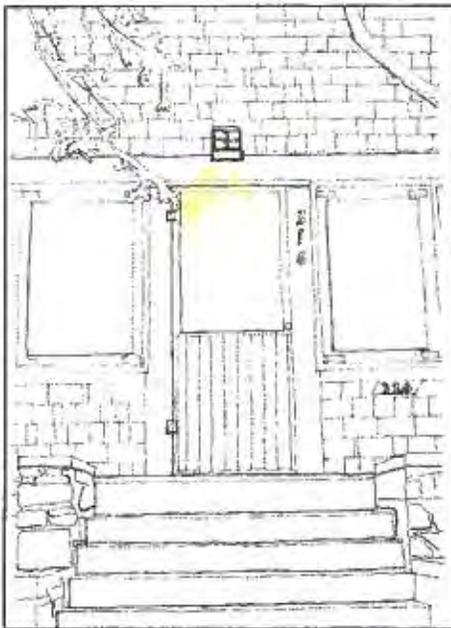
**Residential Exterior**

**EXISTING CONDITIONS:**



Currently, exterior lighting on and around the cabins is kept to a minimum. Most cabins have a lantern style porch light beside or above the door.

**PROPOSED LIGHTING CONCEPT**



The lamps in the porch lights should be changed to compact fluorescent or LED and controlled with an automatic timer. The location of lights and building number should be paired in such a way that the number is clearly illuminated for late night arrivals and easy address identification.

For Private cottage owners:

CCA is implementing this porch lighting plan on all CCA owned cottages and CCA may offer assistance to private cottage owners in retrofitting existing switches with timers to maintain consistency throughout the park by providing a source for the timers being used and contact information for the CCA electrician. The timers being used are completely programmable and can be set to turn porch lights on from dusk until dawn.

**EXAMPLES**



Lamp Type	Compact Fluorescent or LED
Lumen Output	400 – 900 lumens (max)
Color Temperature	3000 K
Color Rendering Index	80+
Mounting Height	Over door.
Controls:	Photocell ON / Timer OFF.

### Historic Globe Lighting

#### EXISTING CONDITIONS:



The decorative globe fixtures located at the auditorium are dated from the early 1900's and are a character defining feature of the district.

These luminaires have been relamped with low wattage compact fluorescent lamps. This approach keeps the historic fixture while reducing glare, energy consumption, and light pollution.

#### LAMP RETROFITS

Lamp Type	Compact Fluorescent
Lumen Output	900 lumens (max)
Color Temperature	3000 K
Color Rendering Index	80+
Controls:	Provide automatic time switch.

## Control Strategies

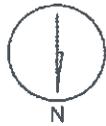
Exterior lighting control for the campus uses several different strategies:

- Automatic photocontrol: turns the light ON at sunset and OFF at dawn.
- Automatic photocontrol with time switch: turns light ON at sunset and OFF at a set time of night.
- Automatic photocontrol with time switch and manual override: turns the light ON at sunset and OFF at a set time; can be overridden to stay ON later and then reset to the regular schedule the next day.
- Partial night photocontrol: turns the light ON at sunset, dims the light to 50% at 10pm (or other selected time) and then OFF at dawn.

The control schedule for all of the lighting components is listed in the following table. The lighting varies by time of year (standard season and event nights) and by time of day (dusk to curfew and curfew to dawn).

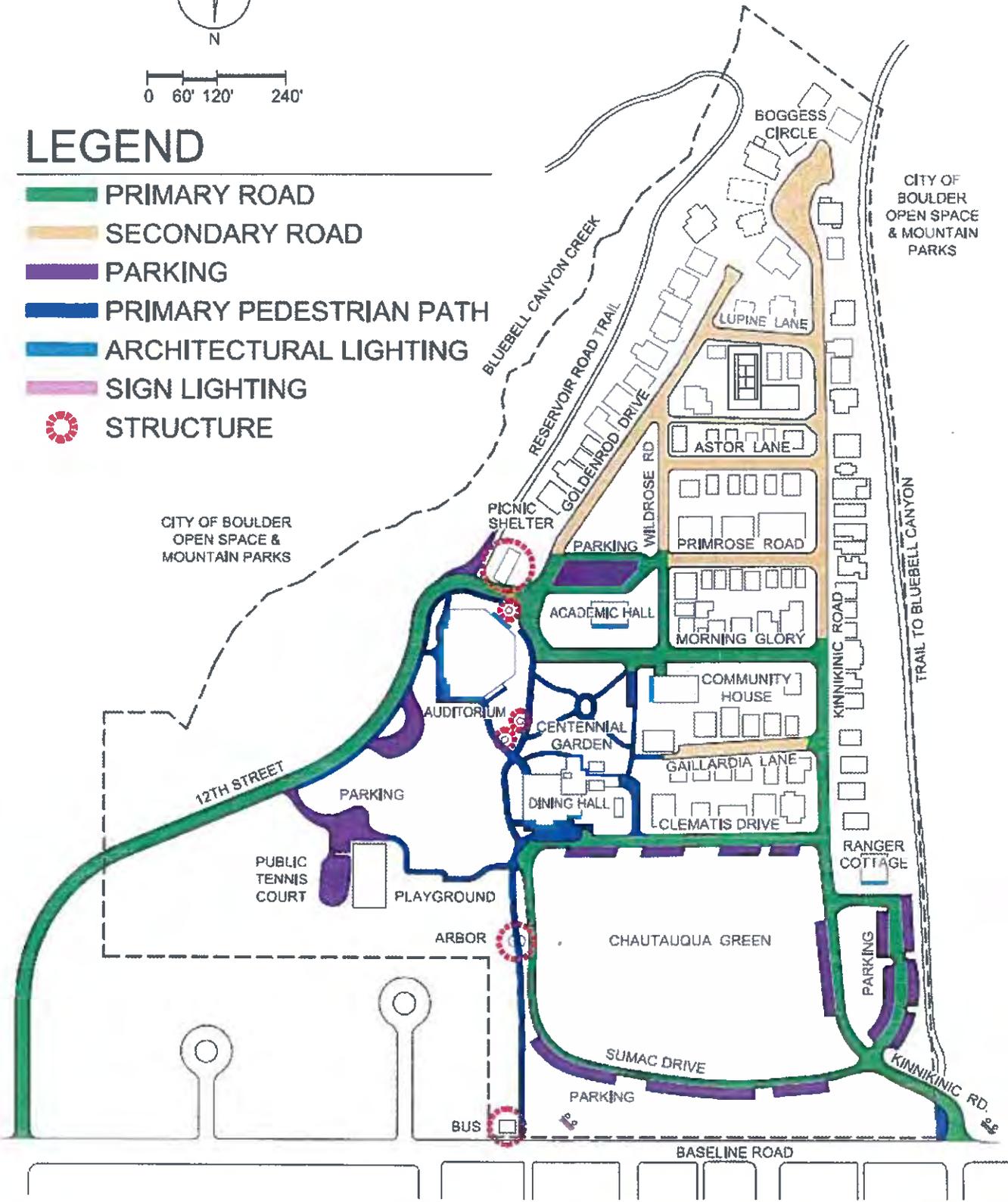
Exterior Lighting	Standard Seasonal Schedule		Event Schedule		Control Type
	Dusk to 10 PM	10 PM to Dawn	Dusk to Post Event Time	Post Event Time to Dawn	
Primary Lighting	ON	ON at HALF POWER	ON	ON at HALF POWER	Auto
Secondary Lighting	ON	ON at HALF POWER	ON	ON at HALF POWER	Auto
Pedestrian Lighting	ON	ON at HALF POWER	ON	ON at HALF POWER	Auto
<b>Architectural Lighting</b>					
Auditorium	Tower Lighting ON	OFF	ALL ON	OFF	Auto/Manual for Event
Community House	ALL ON	OFF	ALL ON	OFF	Auto/Manual for Event
Dining Hall	Tower Lighting ON	OFF	ALL ON	OFF	Auto/Manual for Event
Academic Hall	ALL ON	Entry Lighting ON	ALL ON	Entry Lighting ON	Auto/Manual for Event
Ranger Cottage	ALL ON	OFF	ALL ON	OFF	Auto
<b>Structure Lighting</b>					
Kiosks	OFF	OFF	ON	OFF	Auto/Manual for Event
Arbor	ON	OFF	ON	OFF	Auto/Manual for Event
Trolley Stop	ON	OFF	ON	OFF	Auto/Manual for Event
Picnic Shelter	OFF	OFF	ON	OFF	Auto/Manual for Event
<b>Sign Lighting</b>					
Baseline Entry	ON	ON	ON	ON	Auto
Trolley Stop	ON	OFF	ON	OFF	Auto/Manual for Event

# Maps and Drawings



## LEGEND

- PRIMARY ROAD
- SECONDARY ROAD
- PARKING
- PRIMARY PEDESTRIAN PATH
- ARCHITECTURAL LIGHTING
- SIGN LIGHTING
- STRUCTURE



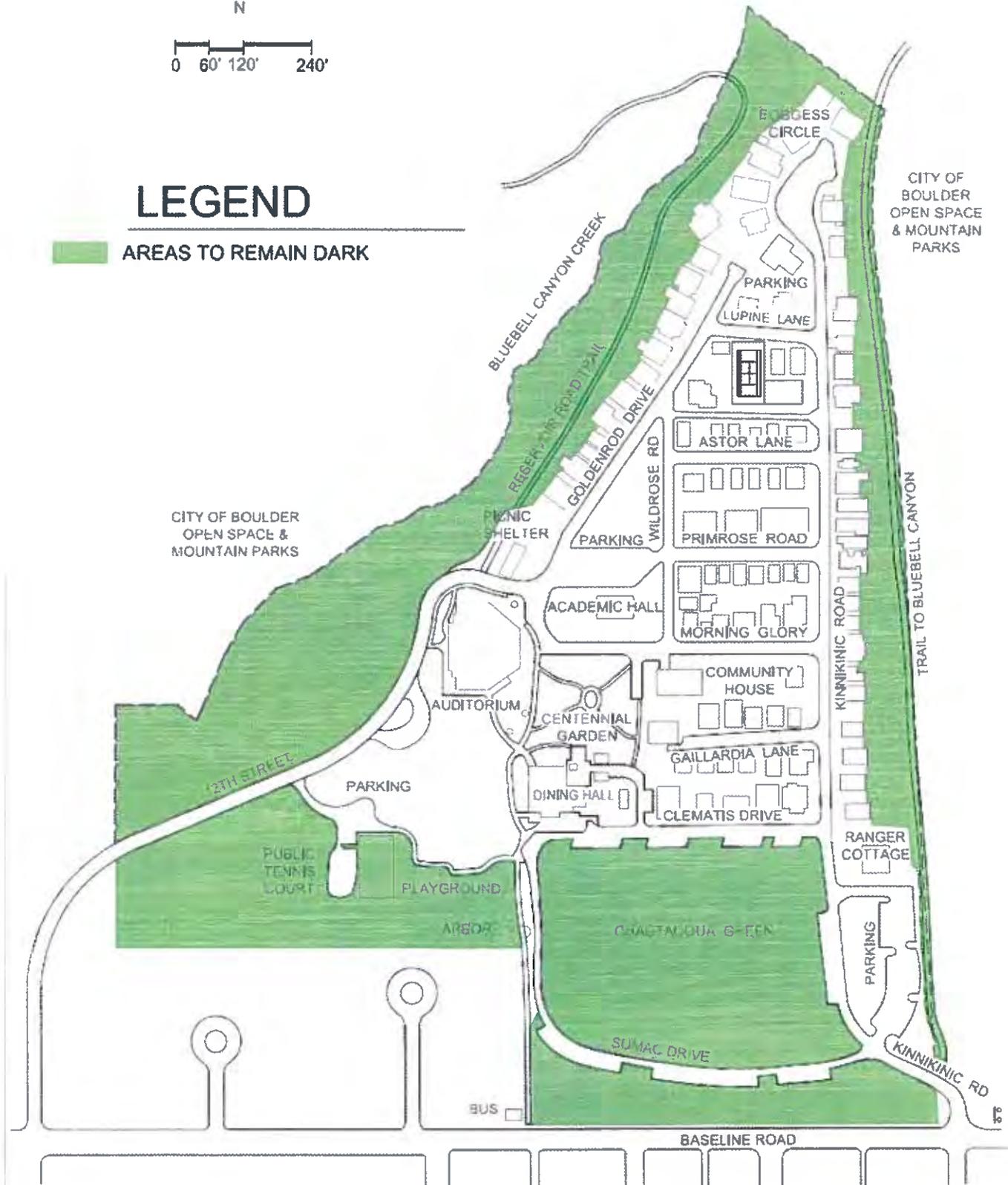
## AREA CLASSIFICATIONS

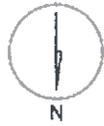


0 60' 120' 240'

# LEGEND

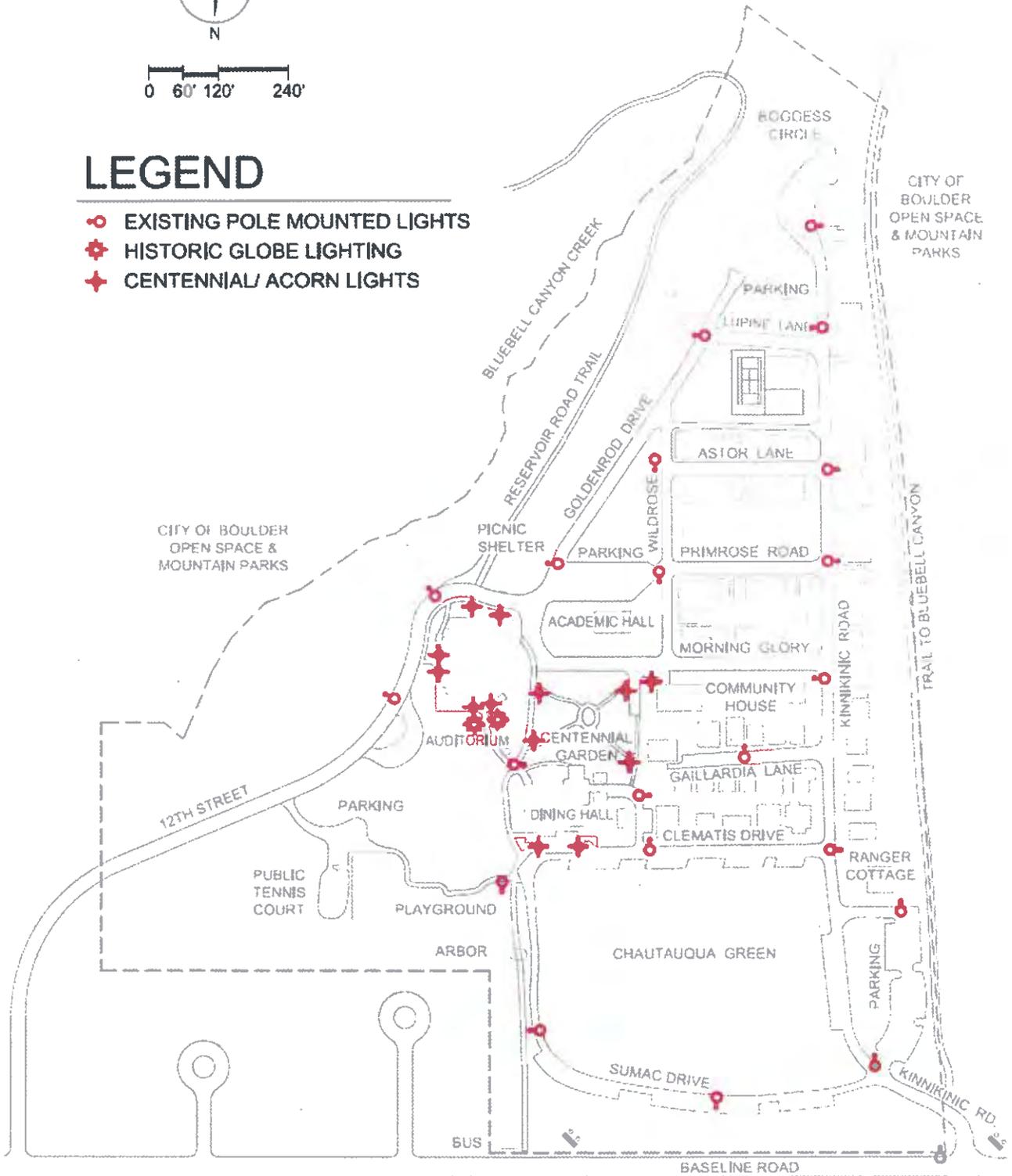
 AREAS TO REMAIN DARK



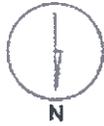


# LEGEND

-  EXISTING POLE MOUNTED LIGHTS
-  HISTORIC GLOBE LIGHTING
-  CENTENNIAL/ ACORN LIGHTS

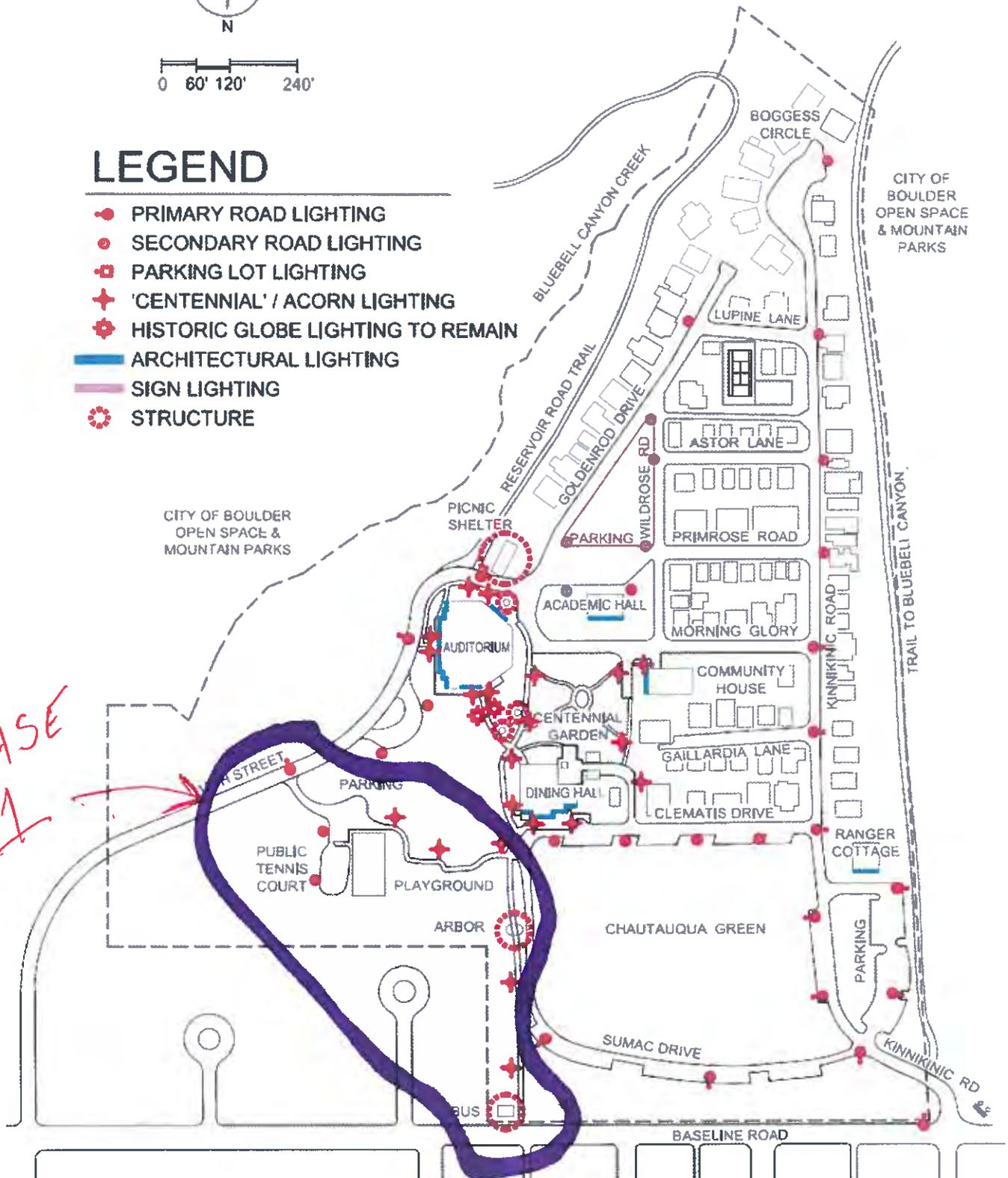


## EXISTING POLE MOUNTED LIGHTING LOCATIONS (APPROX.)



# LEGEND

- PRIMARY ROAD LIGHTING
- SECONDARY ROAD LIGHTING
- PARKING LOT LIGHTING
- + 'CENTENNIAL' / ACORN LIGHTING
- ⊗ HISTORIC GLOBE LIGHTING TO REMAIN
- ARCHITECTURAL LIGHTING
- SIGN LIGHTING
- ⊗ STRUCTURE



PHASE I

# LIGHTING MASTER PLAN



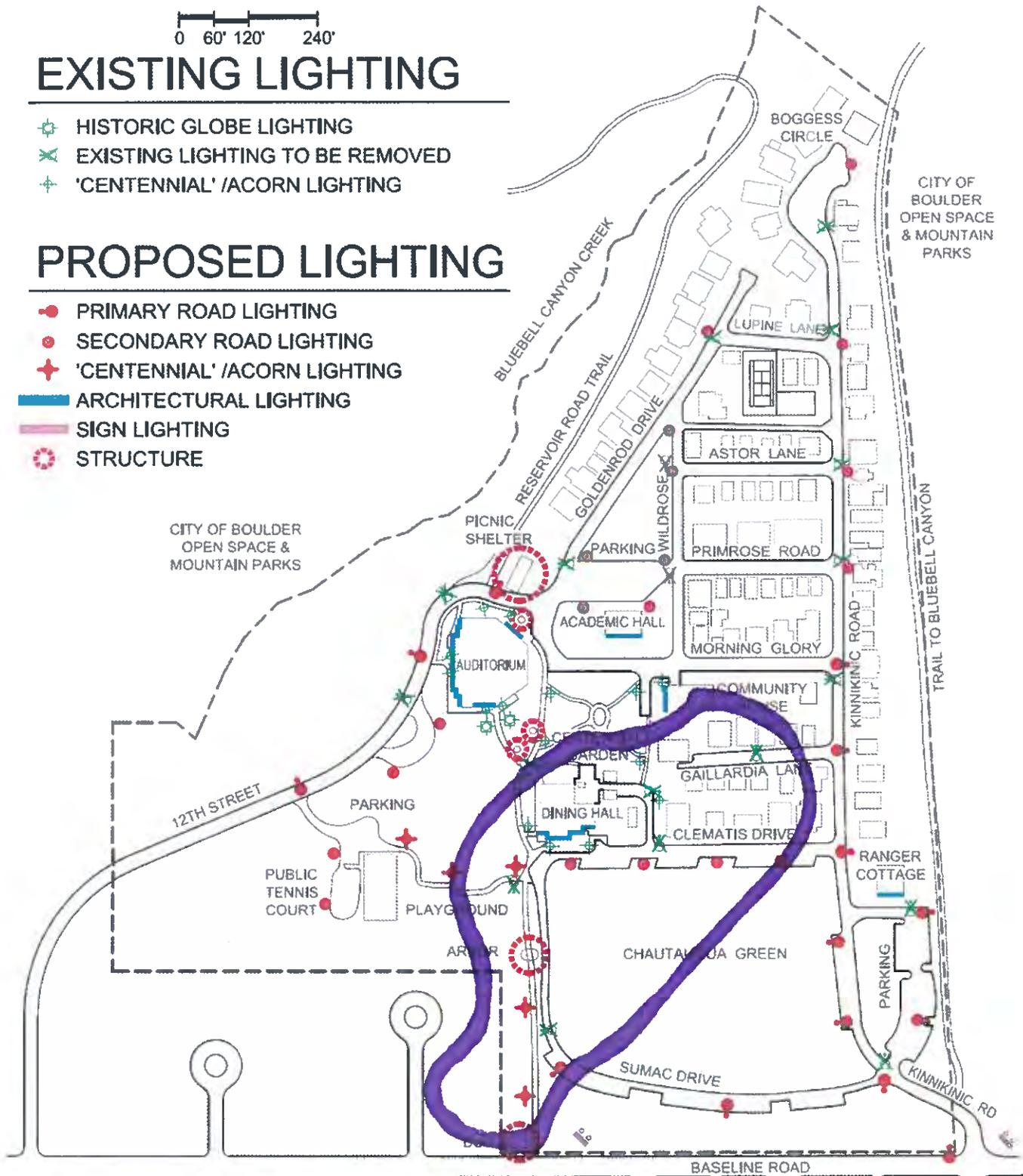
0 60' 120' 240'

# EXISTING LIGHTING

-  HISTORIC GLOBE LIGHTING
-  EXISTING LIGHTING TO BE REMOVED
-  'CENTENNIAL' /ACORN LIGHTING

# PROPOSED LIGHTING

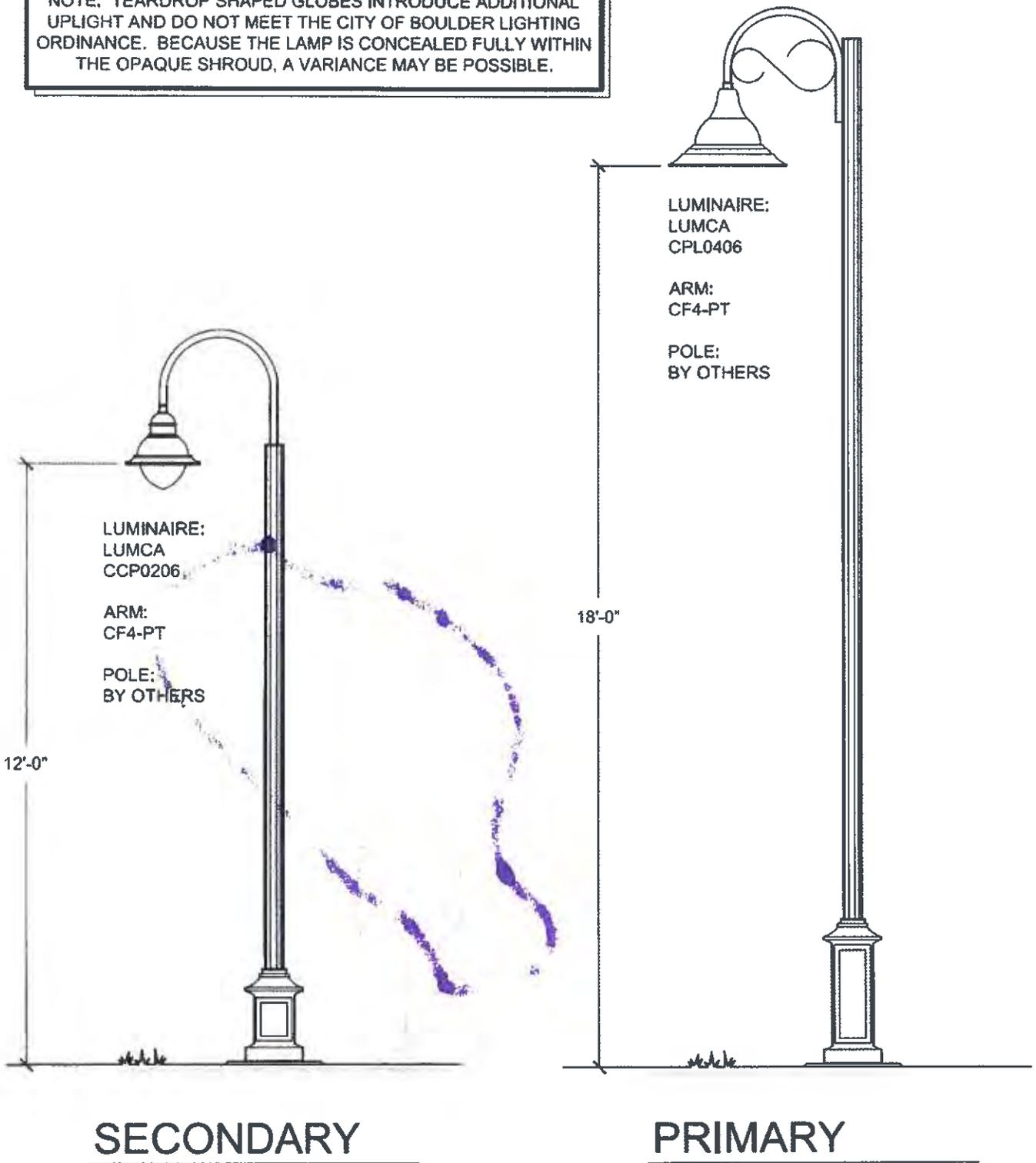
-  PRIMARY ROAD LIGHTING
-  SECONDARY ROAD LIGHTING
-  'CENTENNIAL' /ACORN LIGHTING
-  ARCHITECTURAL LIGHTING
-  SIGN LIGHTING
-  STRUCTURE



## EXISTING & NEW PROPOSED LOCATIONS (APPROX.)

# Appendix A

NOTE: TEARDROP SHAPED GLOBES INTRODUCE ADDITIONAL UPLIGHT AND DO NOT MEET THE CITY OF BOULDER LIGHTING ORDINANCE. BECAUSE THE LAMP IS CONCEALED FULLY WITHIN THE OPAQUE SHROUD, A VARIANCE MAY BE POSSIBLE.



## CHAUTAUQUA STREET LUMINAIRES

## Appendix B

In 1998, Clanton & Associates completed a lighting design for the Centennial Garden. At that time, other recommendations were made for the auditorium architectural lighting and pedestrian lighting north of the arbor and near the playground. This appendix contains the documentation for those recommendations. The concepts and designs shown in the masterplan continue the recommendations made at that time.



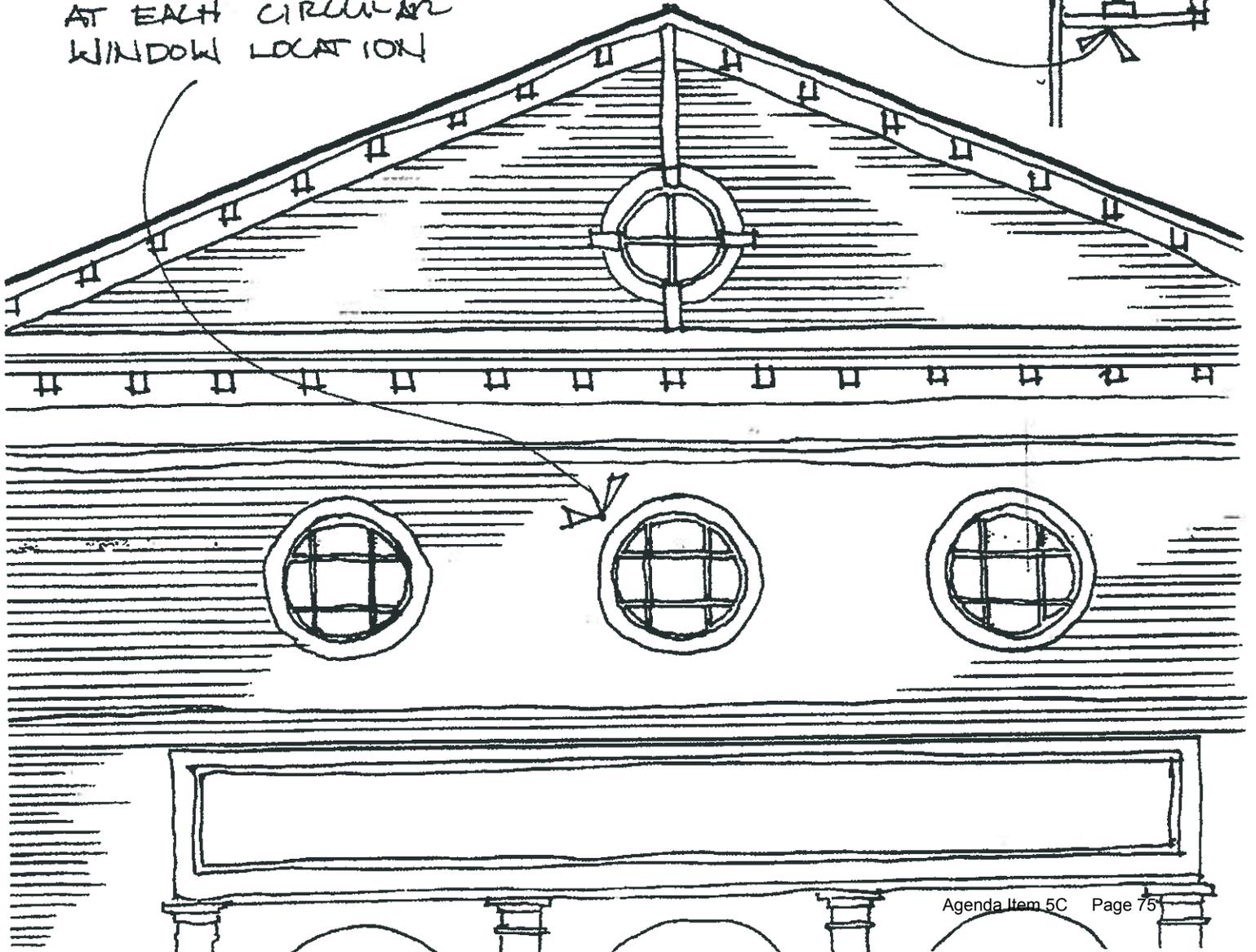
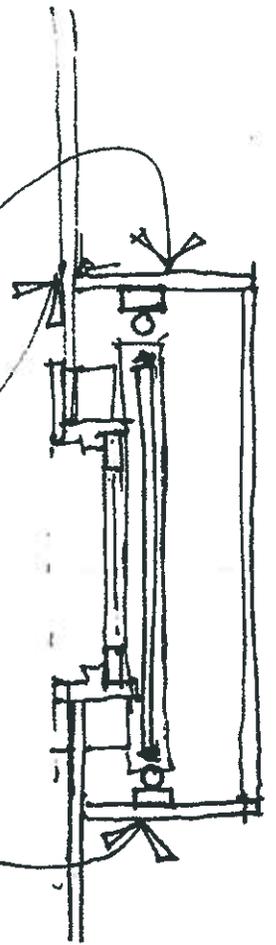
# "FALSE" LIGHTED WINDOW

BUILD A PLYWOOD BOX BEHIND EACH WINDOW

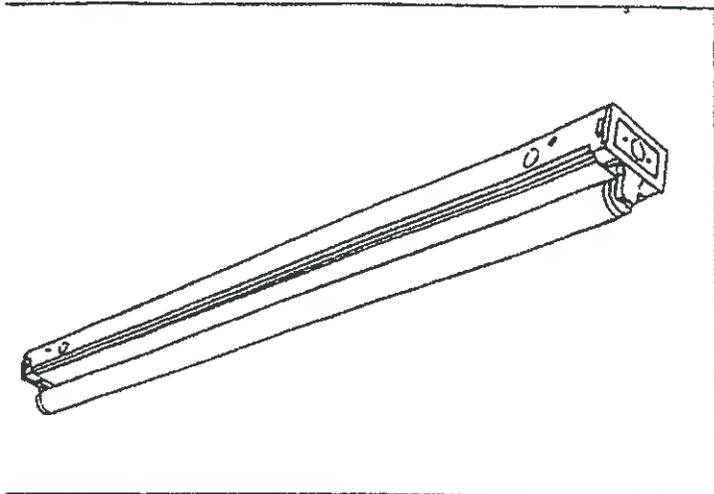
INSTALL A HINGE TO PERMIT LAMP REPLACEMENT

INSTALL FOUR STRIPLIGHTS IN EACH BOX

INSTALL LIGHT BOX AT EACH CIRCULAR WINDOW LOCATION



# CS2-1, CS3-1 CS4-1, CS8-1 STRAIGHTLINER CHANNEL ONE LAMP TS & RS



Type: \_\_\_\_\_

Job Description: \_\_\_\_\_

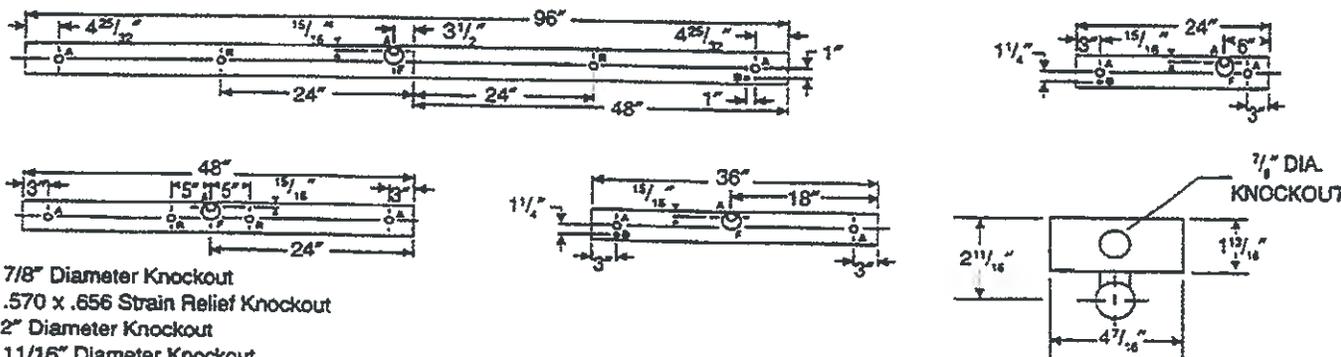
**FEATURES:**

- Available 2', 3', 4' or 8'.
- Heavy die formed steel channel.
- Rotary lock lampholders for positive lamp contact.
- Channel ends double as joiners.
- Individual or row mounting. Surface or suspended.
- Ballast covers on 4' and 8' units are secured with 1/4-turn fasteners.

**SPECIFICATIONS:**

- Ballasts**  
Energy efficient ballasts are thermally protected, automatic resetting, Class P, high power factor, CBM, sound rated A, unless otherwise specified. 20 watt ballasts are trigger start, low power factor, Class P. All are U.L. listed.
- Housing**  
Die formed steel with heat sink embossments for cooler running ballasts. Socket saddles are factory installed.
- Finish**  
All parts pre-painted with high gloss baked white enamel, minimum reflectance 86%, applied over iron phosphate pre-treatment for maximum adhesion and rust resistance.
- Labels**  
All fixtures carry the U.L. label. 2', 3' and 4' units are listed for use on combustible low density, cellulose fiberboard ceilings. (CSA approval available. Use Suffix "CSA"). (HPF only).

**Cross Section**

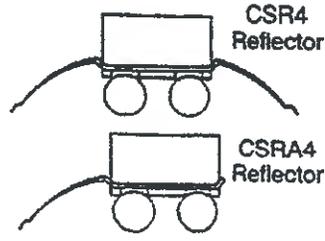
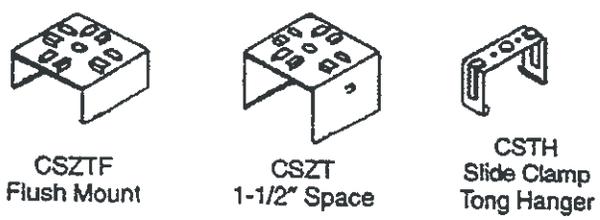


- A - 7/8" Diameter Knockout
- B - .570 x .656 Strain Relief Knockout
- F - 2" Diameter Knockout
- R - 1 1/16" Diameter Knockout

Note 1: All Non-Shielded (strip) fixtures - Deduct 1/16" from overall dimension for continuous row mounting. Dimensions shown include end panel.

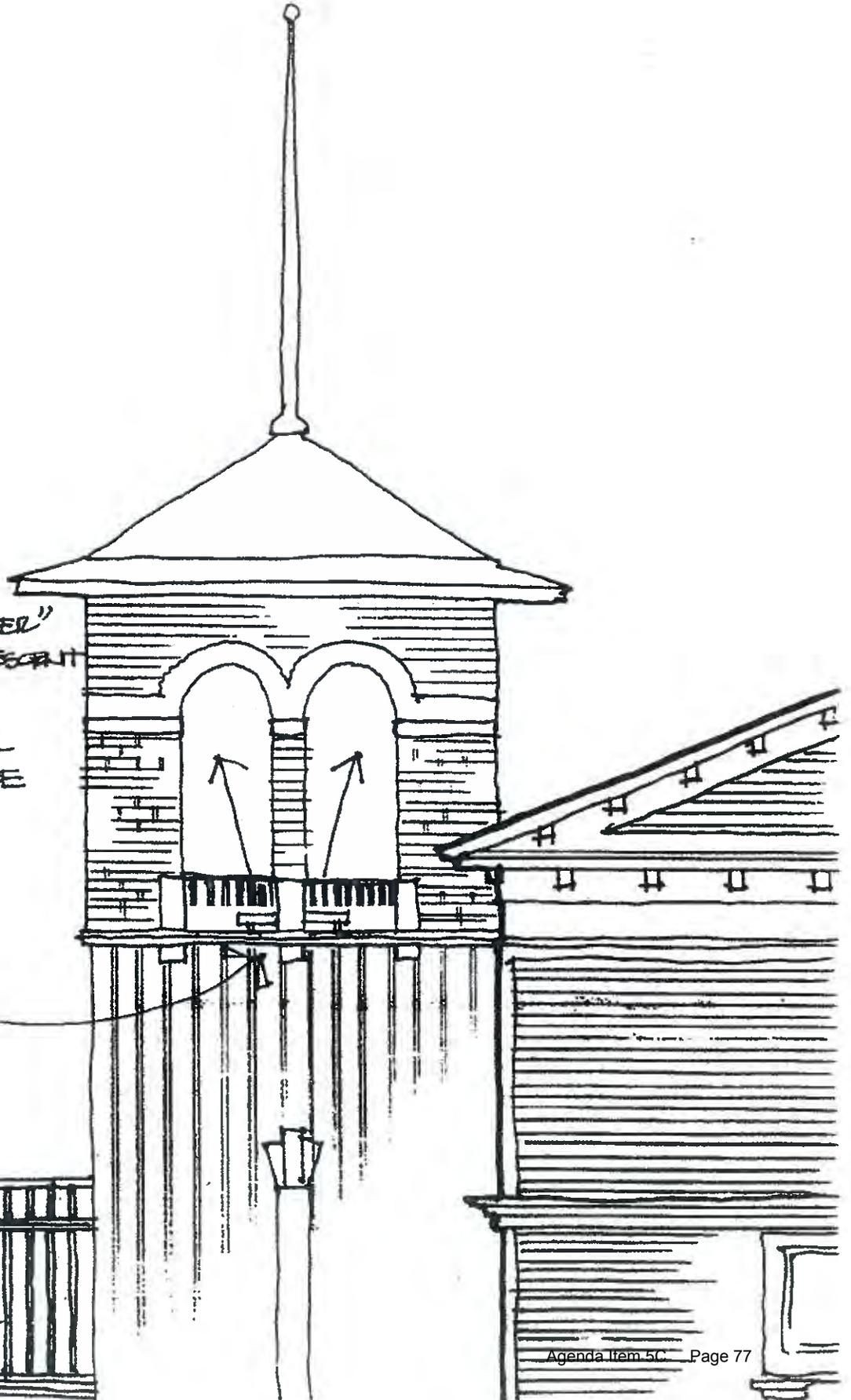
**Mounting Data**

**Accessories**



# UPLIGHTING FOR COPULA

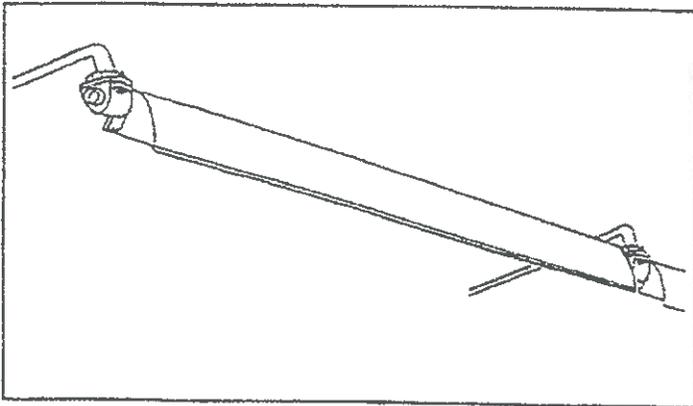
INSTALL "SIGNLIGHTER"  
ADJUSTABLE FLUORESCENT  
INSIDE RAILING.  
CONCEAL AS WELL  
AS POSSIBLE. USE  
ONE FOR EACH  
OPEN FACADE.



**SLA**

# Outdoor Sign and Poster Luminaire

## Asymmetric Distribution End Arm Mount



Type: \_\_\_\_\_

Job Description: \_\_\_\_\_

### SPECIFICATIONS:

#### Construction

Socket housings are constructed of die-cast aluminum and permit easy access to the socket and ample splicing room. Full socket housings on unit must be used. Neoprene sleeves around sockets provide weathertight enclosure. Reflector is constructed of extruded aluminum and is optically designed to provide maximum illumination. Reflector ends are precision die cast with a keyed shoulder which securely locks the reflector to the socket housing. A simple nut adjustment gives the reflector 360° aiming. One inch diameter holes are provided at each end of the reflector for drainage.

#### Shielding

A "DR" acrylic shield with outstanding impact resistance is recommended for areas with temperatures 35°F or lower. The shield is optional and protects the lamp for wind, ensuring proper lamp operating temperature. The shield must be specified as shown in the ordering guide.

#### Finish

Exterior finish is anodized diffuse. Optional painted colors are available. Internal reflector is high reflectance baked white enamel.

#### Installation

The SLA may be mounted singly or in continuous rows. See back of this page for a typical layout.

#### Labels

The SLA is U.L. approved as being raintight or weatherproof in normal outdoor use. U.L. approved for uplighting or downlighting and bears appropriate U.L. labels.

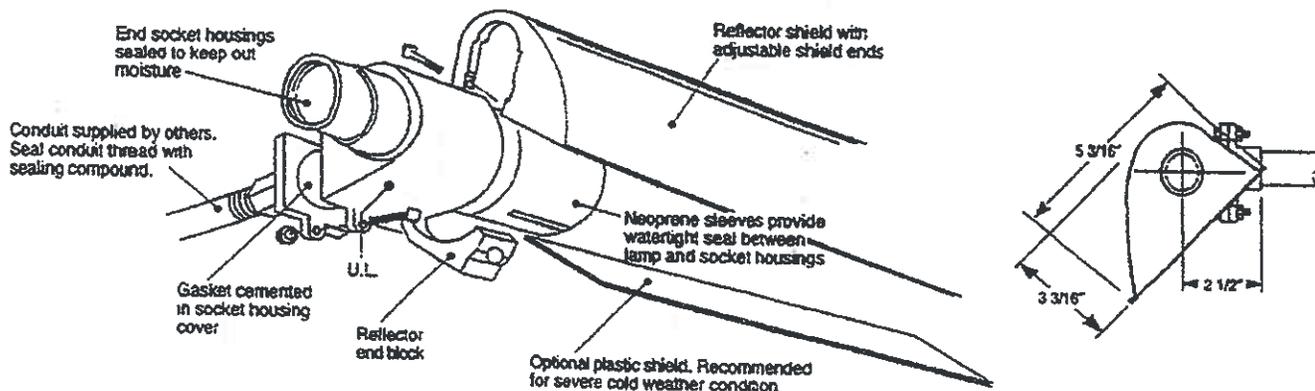
### APPLICATIONS:

- Wet location sign light can be mounted in any direction and still operate properly and retain its wet location approval.
- Asymmetric reflector provides outstanding distribution for a crisp clean appearance.
- Choice of lamps allows maximum flexibility for any application.
- Choice of three ballast types for any application.
- U.L. approval for uplighting even in outdoor applications.

### Ballast & Electrical

The SLA may be ordered with or without ballasts. Fixtures less ballasts may be wired with any of a wide choice of ballast types available including the plastic sign types. A choice of three outdoor ballasts are available from the factory. Other ballasts may be ordered for indoor use. Ballasts must be remote mounted no longer than 15' from the socket. For electronic ballast lead lengths, consult factory. Units are wired with leads in socket housings only. All conduit, condulets and extension wiring are furnished by the installing contractor.

### General Assembly



Socket housings are threaded for standard 3/4" rigid conduit.



# FORUM

PRO-10 (430 MA, T-8)  
 PRO-30 (800 MA, T-12)  
 PRO-40 (1500 MA, T-12)

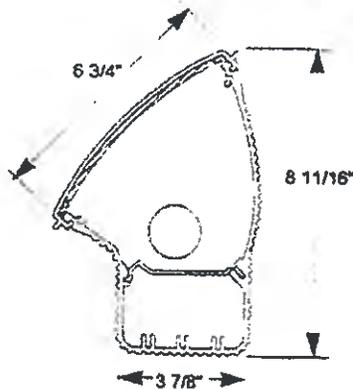
## PROJECTOR (Outdoor, Wet Location)

### FORUM PROJECTOR SERIES

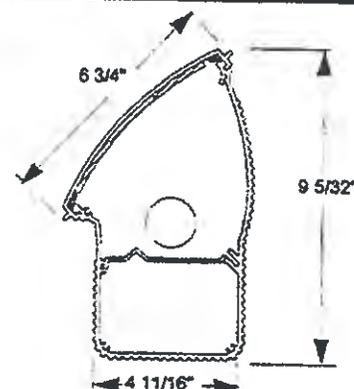
The PRO is a heavy duty, wet location, integral ballasted, floodlight with a high degree of beam control. The optics are designed to evenly illuminate vertical or horizontal surfaces.

**Applications:** For illuminating sides of buildings, signs, columns, parapets and facia.

**Mounting:** The PRO can be ground, parapet, or ledge mounted as close as one foot from the surface to be illuminated. The mounting brackets permit 359 degree rotation for up or down orientation and end-to-end mounting for an uninterrupted light pattern.



PRO-10



PRO-30, PRO-40

### HOW TO SPECIFY

WET LOCATION

LIGHT LENGTH  
4', 6' or 8'

BRIGHT DIP ANODIZED (STANDARD)  
CUSTOM PAINTED FINISHES AVAILABLE

## PRO - 10 X L - 120 - FINISH

10 = 430 MA  
 30 = 800 MA  
 40 = 1500 MA

VOLTAGE  
 120 V or 277 V

### CANDLEPOWER SUMMARY

CATALOG NO.: PRO-10  
 LAMP TYPE: F40T12WW/RS  
 LUMENS: 3200  
 FIXTURE EFFICIENCY: 67%  
 LUMINAIRE INPUT WATTS: 51  
 TEST REPORT NO.: B.A.L. 5822.0

CATALOG NO.: PRO-30  
 LAMP TYPE: F48T12/WW/HO  
 LUMENS: 4200  
 FIXTURE EFFICIENCY: 67%  
 LUMINAIRE INPUT WATTS: 84  
 TEST REPORT NO.: B.A.L. 5822.MOD

### SPECIFICATION:

**Housing:** Shall be .125 thick extruded aluminum 6063-T5 alloy with external surface ribs for heat dissipation to prolong ballast life. Sockets shall be pre-wired and factory installed. The ends shall be .250 thick cast aluminum mechanically attached and gasketed for water tightness. Standard finish shall be bright dip anodized.

**Lens:** Shall be extruded acrylic with 100% DR for maximum toughness. Lens shall be gasketed along all edges for water tight seal.

**Reflector:** Reflector shall be die formed 22 gauge aluminum with 86% reflectivity

**Mounting Brackets:** Shall be fabricated from 12 gauge CRS with provisions for 359 degree rotation.

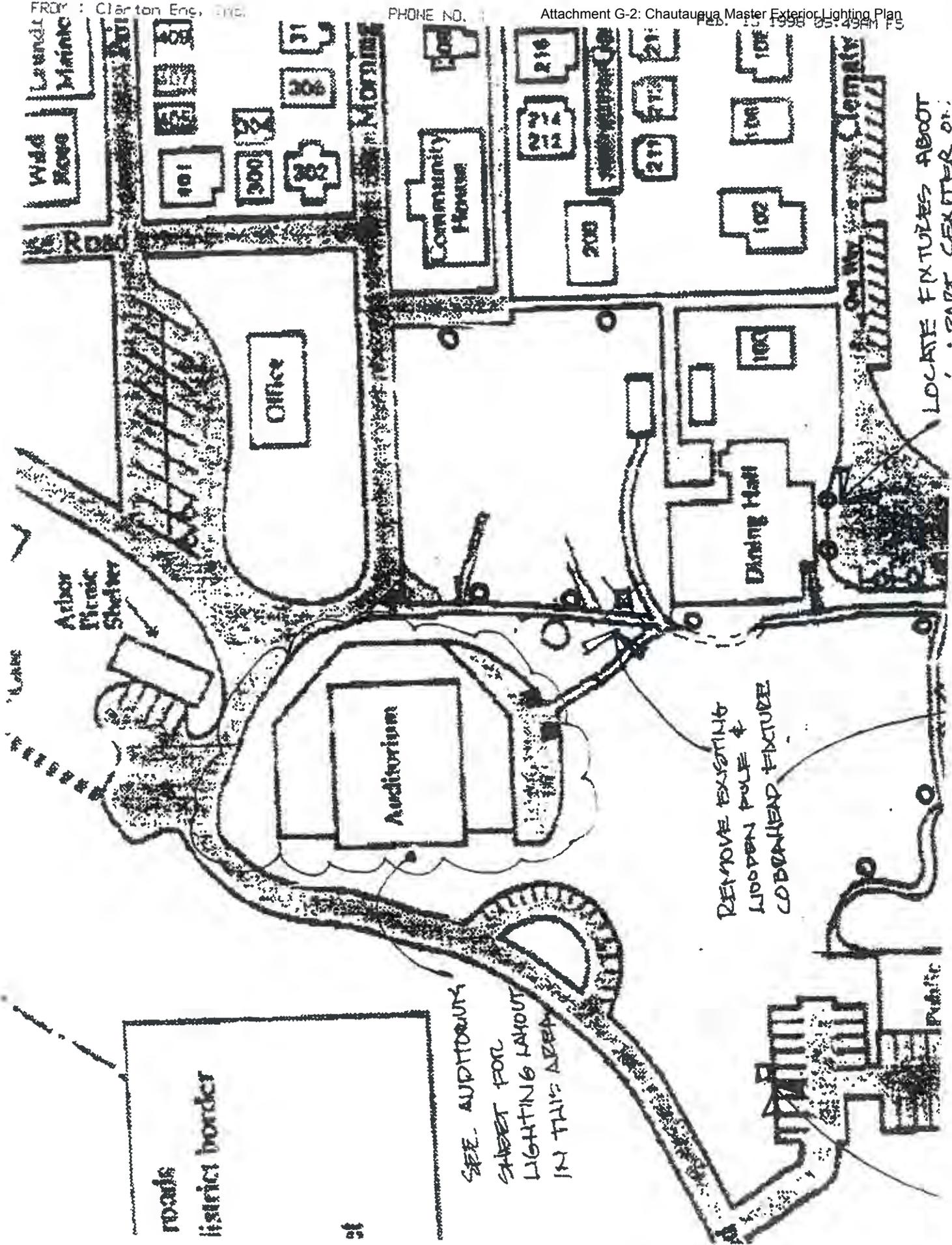
**Ballast:** Ballast shall be CBM/ETL certified Class P.

**Product Listing:** The fixture shall be listed with I.L.

ANGLE CANDELA LUMENS		
180	562	
175	585	53
165	702	155
155	732	208
145	867	288
135	931	277
125	1257	355
115	1286	385
105	778	307
95	231	95
90	91	
85	42	16
75	37	11
65	25	6
55	15	3
45	4	0
35	0	0
25	0	0
15	0	0
5	0	0
0	0	0

ANGLE CANDELA LUMENS		
180	736	
175	778	53
165	920	155
155	959	208
145	1136	288
135	1220	277
125	1647	355
115	1688	385
105	1019	307
95	303	95
90	119	
85	55	16
75	48	11
65	33	6
55	20	3
45	5	0
35	0	0
25	0	0
15	0	0
5	0	0
0	0	0

FEB. 15 1998 05:49AM FS



roads district border

SEE AUDITORIUM SHEET FOR LIGHTING LAYOUT IN THIS AREA

REMOVE EXISTING LIPOON POLE & COBURN END FIXTURE

LOCATE FIXTURES ABOUT 1/2 WAY CENTER OF...



**Colorado Chautauqua National Historic Landmark  
Master Signage Plan: Wayfinding and Interpretive**

February 27, 2009

Presented by:  
ECOS Communications, Inc.  
*for*  
Colorado Chautauqua Association

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**Purpose**

This document serves as a set of implementation instructions for a new system of wayfinding and interpretive signs at the Colorado Chautauqua National Historic Landmark. The recommendations and specifications herein comply with the recently amended (February 2009) Chautauqua Park Historic District Design Guidelines, originally adopted by the City of Boulder's Landmarks Preservation Advisory Board in June 1987.

**Context**

In 2007, the Colorado Chautauqua Association (CCA) underwent a site-wide interpretive planning process using outside consulting. The resulting document, the Interpretive Services Plan for Chautauqua, sets forth detailed recommendations for a set of wayfinding signs and a set of interpretive signs to better orient and educate visitors about the site: navigation, offerings, and historic significance.

In addition, CCA applied for and received National Historic Landmark status for the Colorado Chautauqua site in 2006. The heritage and preservation enthusiasts anticipated to visit Chautauqua will expect a level of interpretation on par with other NHL sites. This expected increase in visitors specifically interested in Chautauqua's historical story brings another strong argument to the need for high quality interpretive signage (available to visitors without need for personal interpretive staff).

**Scope**

The Design Guidelines presented herein shall apply to all new signage installed on the 40 acres designated a National Historic Landmark. While all of this property is owned by the City of Boulder, its management is split among three entities: CCA and two City of Boulder departments: Parks and Recreation, and Open Space and Mountain Parks. All signage occurring on property within the National Historic Landmark boundary shall be subject to the guidelines herein, regardless of management status.

*Note: City of Boulder regulatory signage related to parking, speed limits, and all city code is not subject to these Design Guidelines.*

*CCA is an independent non-profit entity that owns 63 historic buildings on the site (cottages, lodges, and the Community House) and manages 26 acres at the site, including the entire historic core and the site's most important public structures: the Auditorium, the Dining Hall, and the Academic Hall. The mission of the Colorado Chautauqua Association is to preserve, perpetuate, and improve the site and spirit of the historic Chautauqua by enhancing its community and values through cultural, educational, social and recreational experiences.*

## Wayfinding: Overview



### Introduction

Visitors to the Colorado Chautauqua National Historic Landmark and associated park and trail system need to be properly directed around the site and educated about its offerings. The system of strategically placed directional, identity, and directory signage proposed in this plan will serve this purpose, and greatly improve the visitor experience.

The intact historic nature of the site demands that great care be taken in the design, materials, size, messaging, and placement of signs. The Chautauqua motto of "Voluntary Simplicity" governs each decision, even as care is taken to match the style of the period of significance (1898-1930) where it may show ornamentation or typical graphic elements.

Colors and type styles used throughout the wayfinding system draw from the site's primary public buildings and what has become the Chautauqua style over the past several decades.

Materials are historically appropriate, and consist primarily of painted or stained wood for all posts and sign frames. Design elements are few and simple, making the signs relatively easy and inexpensive to produce.

### Design Challenges

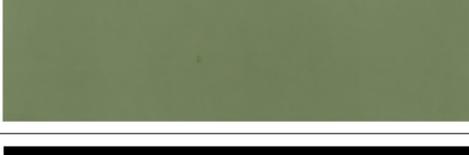
The scale of Chautauqua has stayed intimate over time, even as American vehicles, municipal codes, and habits call for larger roadways and greater caution. The goal with this wayfinding system is to strike a balance between making signage large enough to be legible and serve its purpose, while keeping sign panel sizes and heights to a minimum. This balance is attempted again where it comes to color: keep the signage consistent with the site's neutral palette while giving enough visual interest to call visitors' attention to directions and information.

*Note: Requirements of the Americans with Disabilities Act have been considered in specifications for the signs and graphics herein.*

**Wayfinding: Color Palette**

Colors selected for wayfinding signage were derived from those found in existing architecture and are specified using Kwal paint formulas.

Lettering for signage is specified as a matte black vinyl from Avery Graphics.

Sample	Kwal Paint Match	Pantone Closest Match
	CL 2933M - Salsify	413
	CL 2725D - Dissent	465
	8673M - Tavern Taupe	7535
	CW055W - Honeywind	413
	7735D - Topaz	7405
	8644M - Seal Beach	7538
	Black	100% Process
	CW057W - White Solitude	N/A

**Wayfinding: Fonts**

The Windsor font is currently used on all Chautauqua Park signage. During an exploration of period typography, it was determined that Windsor is relevant to the character and styles used at the turn of the century.

1. **Full Windsor display**
2. **Directional Signs**  
Initial Caps
3. **Identity Signs**  
Large/Small Caps
4. **Large/Small Caps Proportion**  
Small caps are sized at 77% of their larger counterparts.

**1**      **ABCDEFGHIJKLMNOPQRSTUVWXYZ**  
**abcdefghijklmnopqrstuvwxyz**

**2**      **Community House**

**3**      **COMMUNITY HOUSE**

**4**      

## Wayfinding: Sign Types

Wayfinding signs on the site fall into two primary categories: Directionals and Identities. Directory maps and other programmatic signage is considered informational.

Directional signs may be intended primarily to be viewed either by visitors traveling along roadways (Vehicular Directionals) or by visitors traveling along footpaths (Pedestrian Directionals).

### Type G - Gateways

Occur at primary property entrances.

### Types P1 and P2 - Pedestrian Directionals

Provide directional information to pedestrian traffic. Scaled down versions of V (Vehicular Directional) signs, located on or adjacent to pedestrian pathways.

### Types V1 and V2 - Vehicular Directionals

Provide directional information to vehicular traffic. Their secondary function is to provide directional information to pedestrian traffic. For placement on roadways on the right side of the driver, before a decision point.

### Types A1 and A2 - Building Identities

Identify buildings. These are free-standing, single post ground signs positioned parallel to building, scaled to be viewed by vehicles and pedestrians.

### Types B1 and B2 - Area Identities

Identify open spaces and features of interest (such as "Chautauqua Park"). These are free-standing, double post ground signs positioned parallel to the road, scaled to be viewed by vehicles and pedestrians.

### Type D - Directory Maps

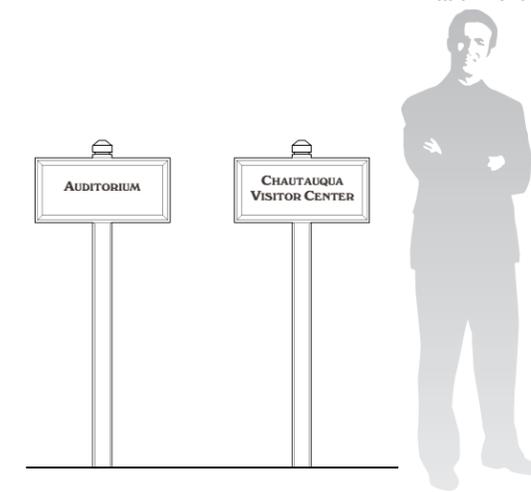
Provide visual orientation and destination locations. Placed in areas where visitors congregate or merge.

### Type C - Changeable Panels

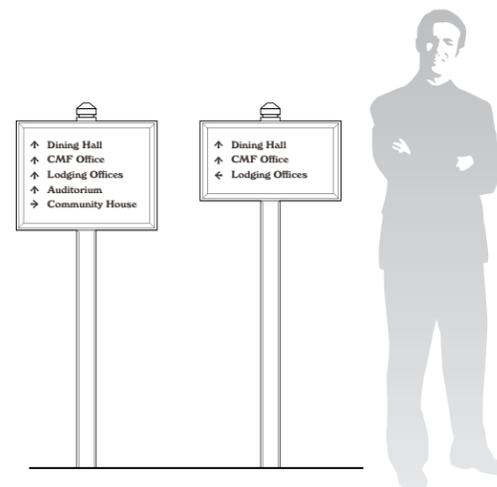
Provide seasonal or alternating information to visitors. Applied to any sign that requires a changeable messaging.



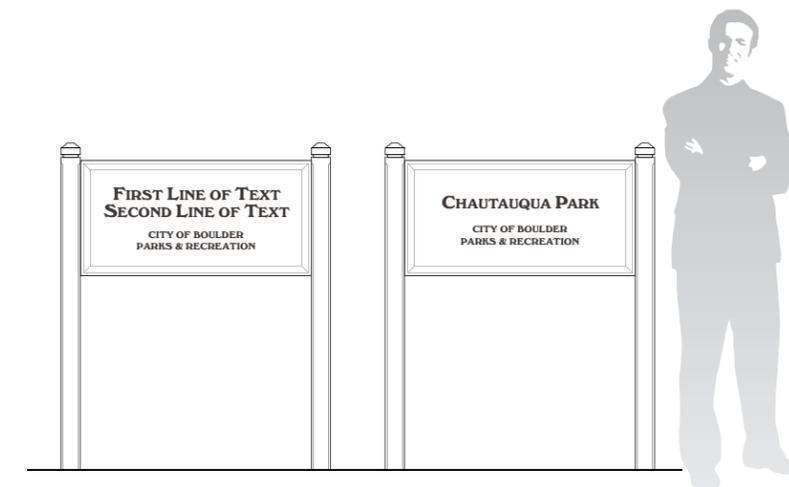
Type G



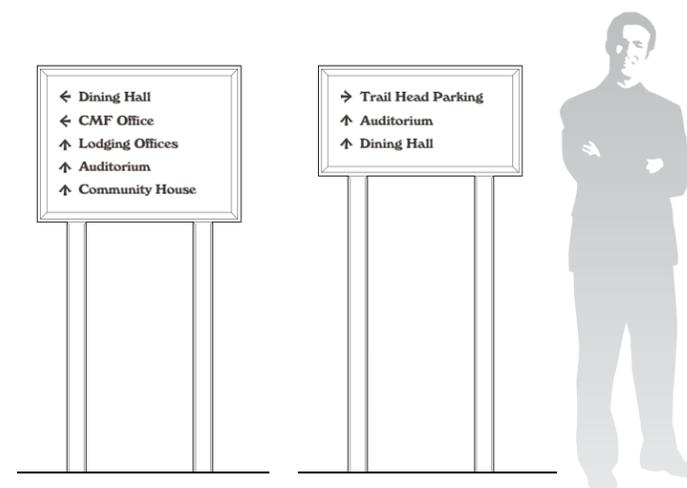
Types A1 and A2



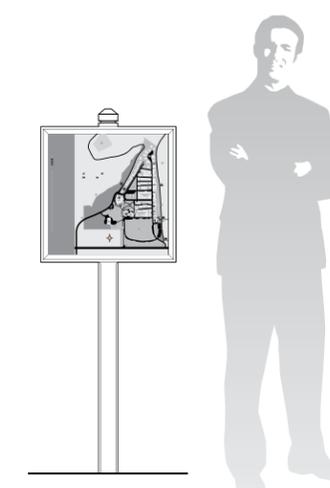
Types P1 and P2



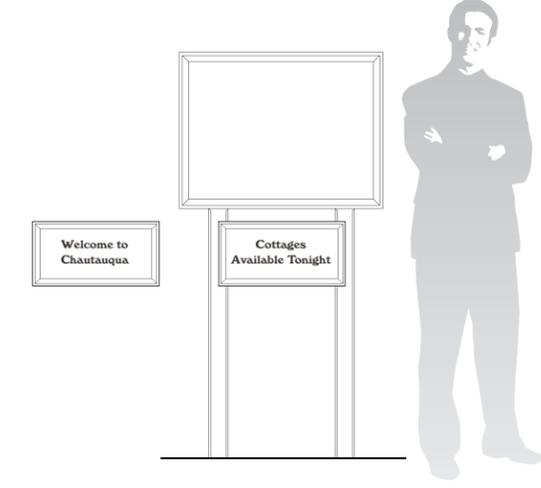
Types B1 and B2



Types V1 and V2



Type D



Type C

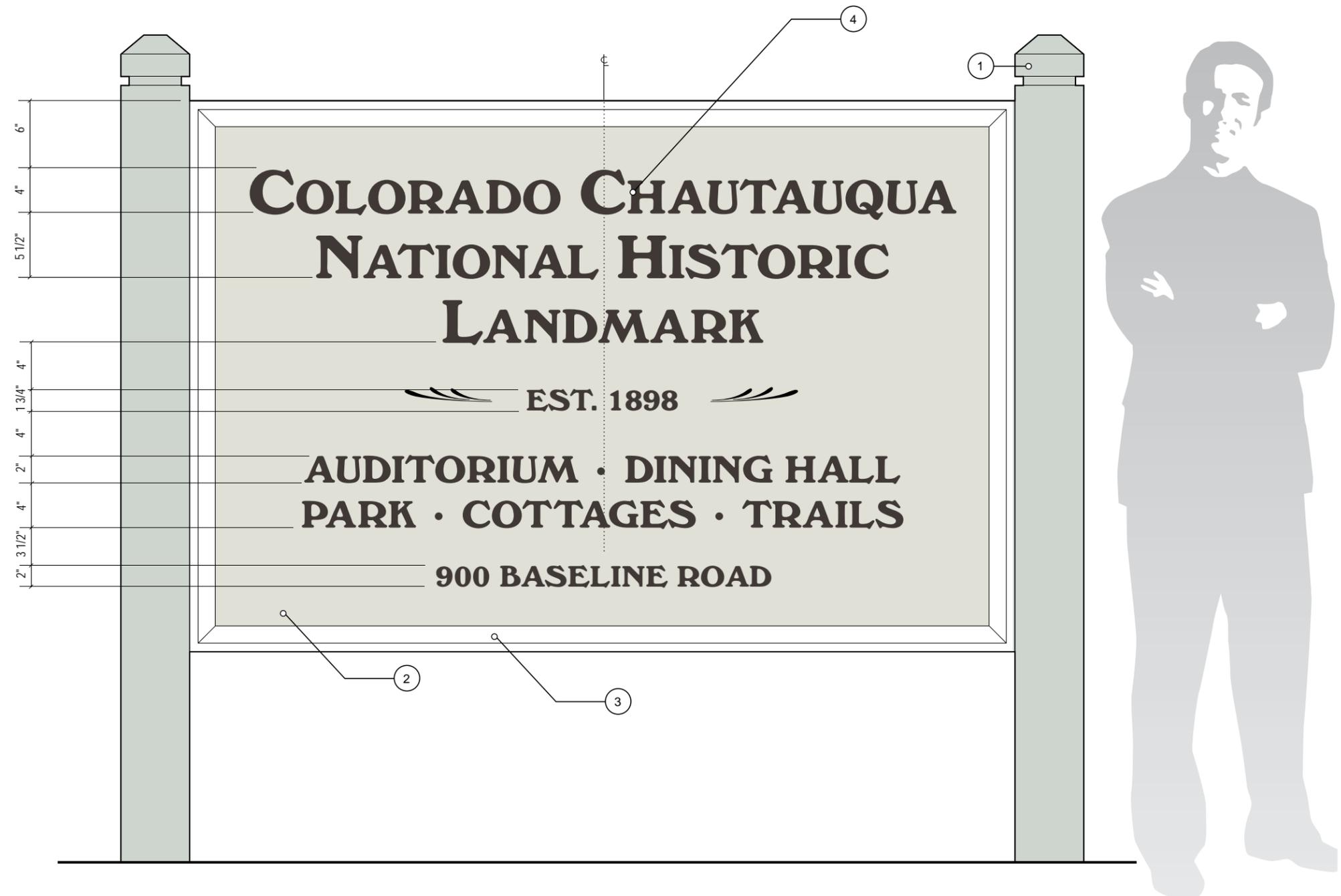
**Wayfinding:** Type G - Graphic Layout

The existing gateway sign (entrance identity) at Chautauqua's Baseline entrance will be repainted, and a new message will be applied to the front and back faces. Other primary entry signs to be developed will follow this general design, and may be one- or two-sided.

1. Finished with exterior grade penetrating opaque stain to match 8644M Seal Beach.
2. Finished with exterior grade sign paint with smooth low-sheen finish, to match CL2933M Salsify.
3. Finished with exterior grade enamel to match CW057W White Solitude.
4. Matte Black A9090-O High Performance opaque vinyl (Avery), or black silk screen/print.

**NOTE:**

*The decision to choose one fabrication method over the other for graphic information should be made considering sign size, durability needed/ desired, and risk of vandalism.*



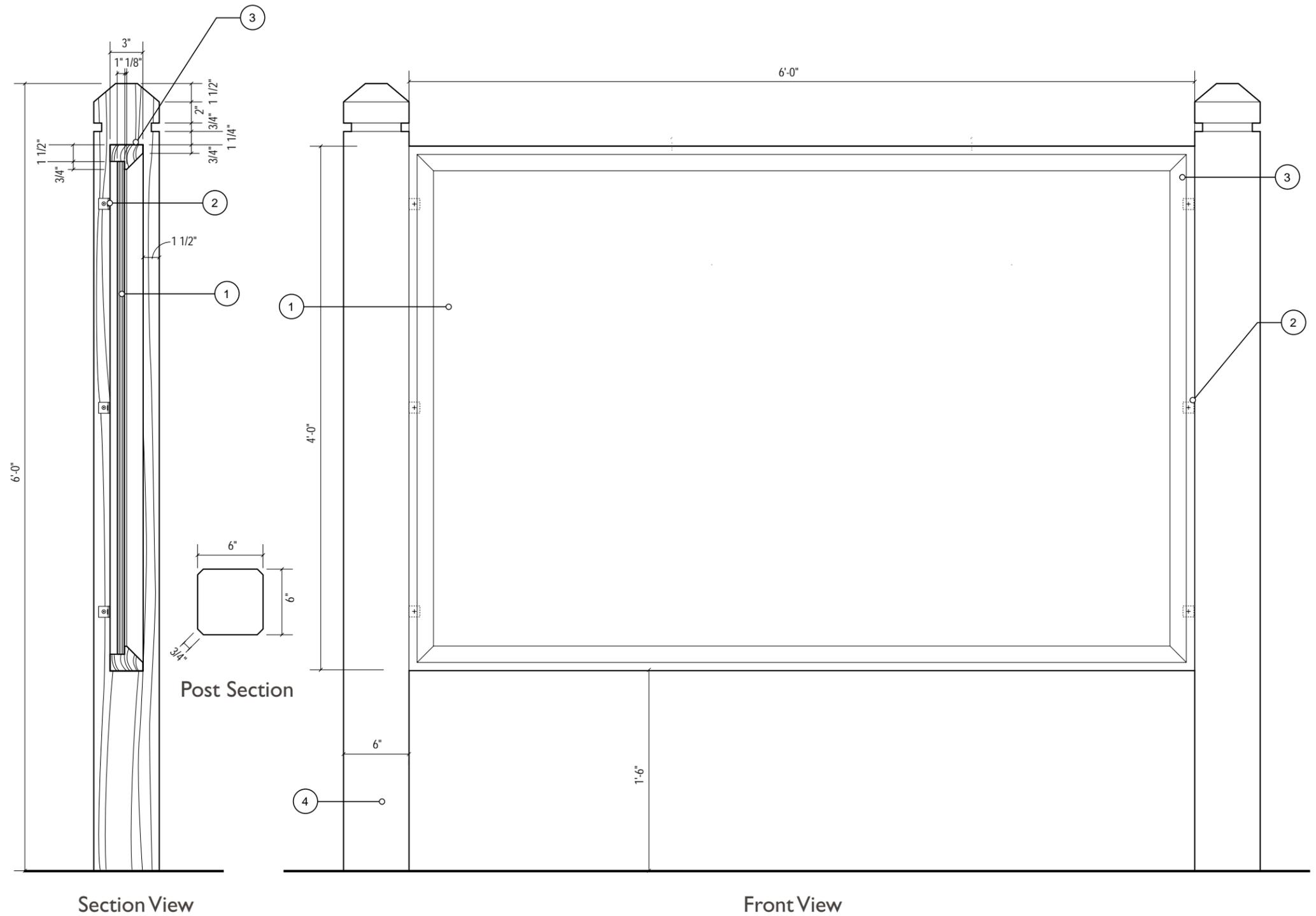
**Wayfinding:** Type G - Structure

Additional gateway signs (entrance identity) may be fabricated and installed at alternate entrances.

1. 1" thick SignPly (or approved equal) Single-sided, painted aluminum over furniture grade exterior plywood core.
2. Stainless steel angle bracket with galvanized or stainless steel wood screw.
3. Frame made from clear grain hardwood or cedar and finished smooth.
4. Clear grain cedar post. Post cap routed and sawed from solid post material – not added as a separate component.

**NOTE:**

*All surfaces of sign frame/panel and post must be primed and painted prior to assembly to ensure complete weather seal.*



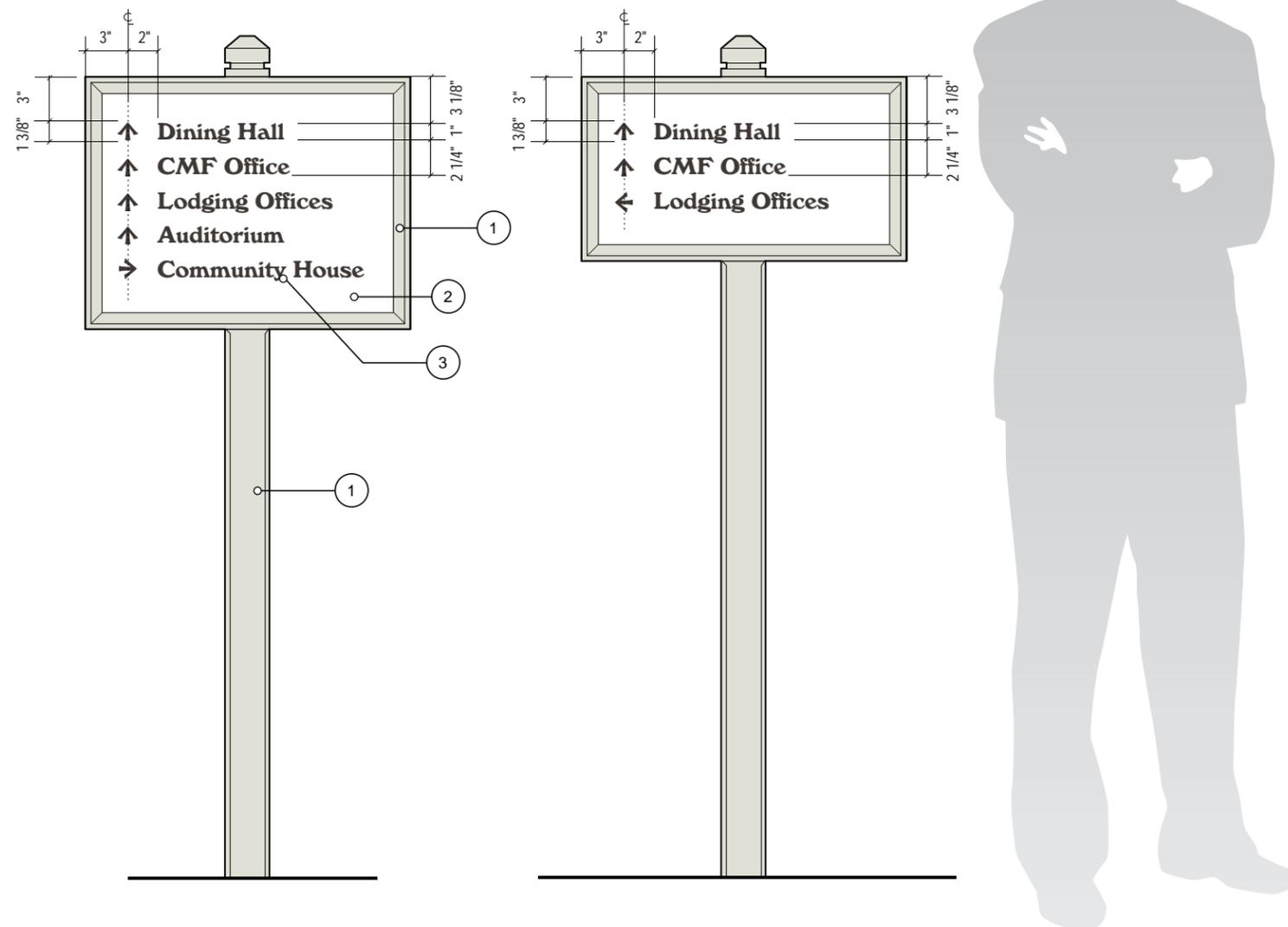
### Wayfinding: Types P1 and P2 - Graphics

Pedestrian directional signs include two size formats. The large format will accommodate four to five line items. The small format will accommodate one to three line items.

1. Finished with exterior grade penetrating opaque stain to match CL 2933M Salsify.
2. Finished with exterior grade enamel to match CW057W White Solitude.
3. Matte Black A9090-O High Performance opaque vinyl (Avery), or black silk screen/print.

**NOTE:**

*The decision to choose one fabrication method over the other for graphic information should be made considering sign size, durability needed/ desired, and risk of vandalism.*



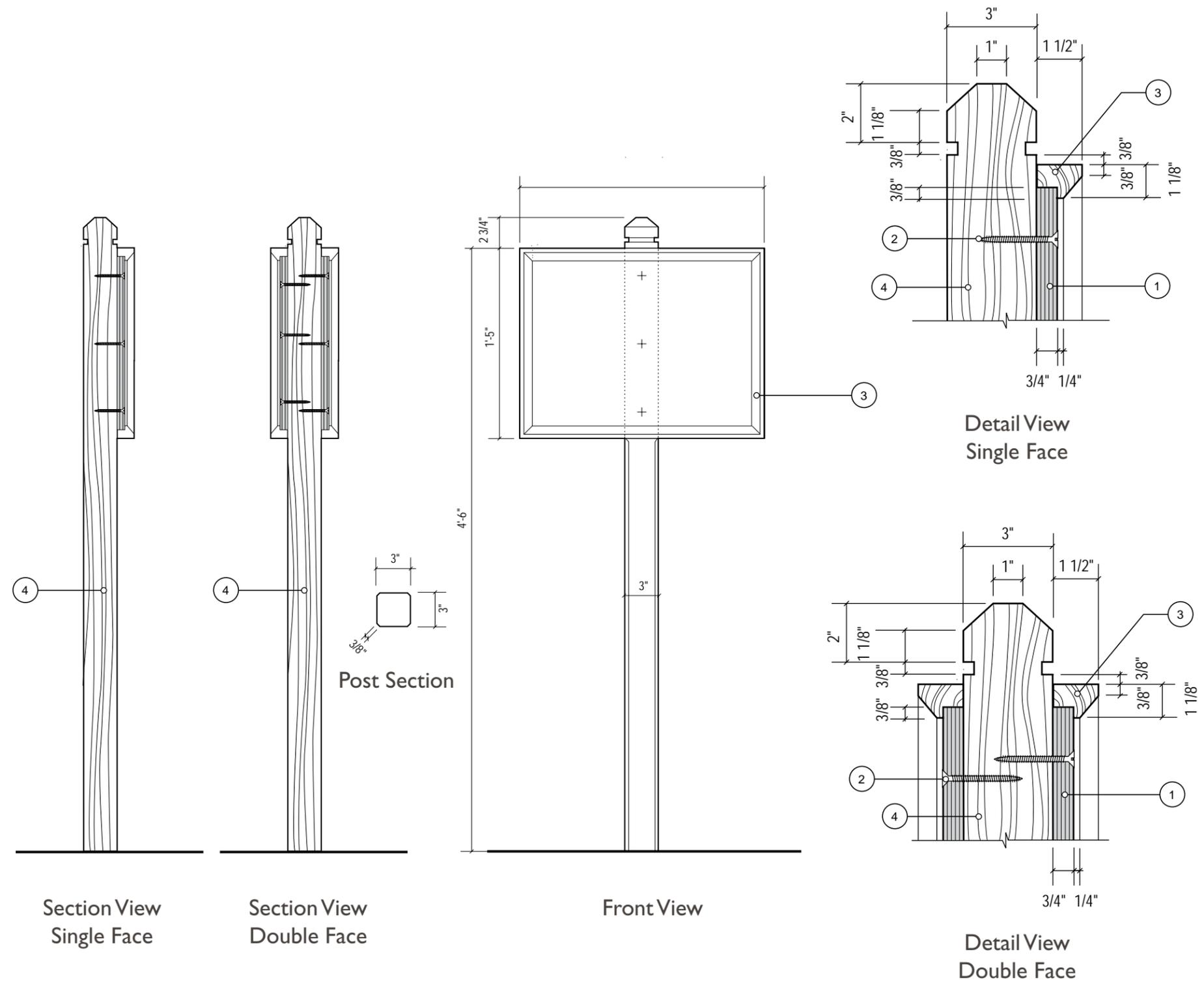
### Wayfinding: Type PI - Structure

Large pedestrian directional signs are to be placed perpendicular to pedestrian routes accessing more than three destinations.

1. 3/4" thick SignPly (or approved equal) Single-sided, painted aluminum over furniture grade exterior plywood core.
2. Galvanized wood screw.
3. Frame made from clear grain hardwood or cedar and finished smooth.
4. Clear grain cedar post. Post cap routed and sawed from solid post material – not added as a separate component.

**NOTE:**

*All surfaces of sign frame/panel and post must be primed and painted prior to assembly to ensure complete weather seal.*



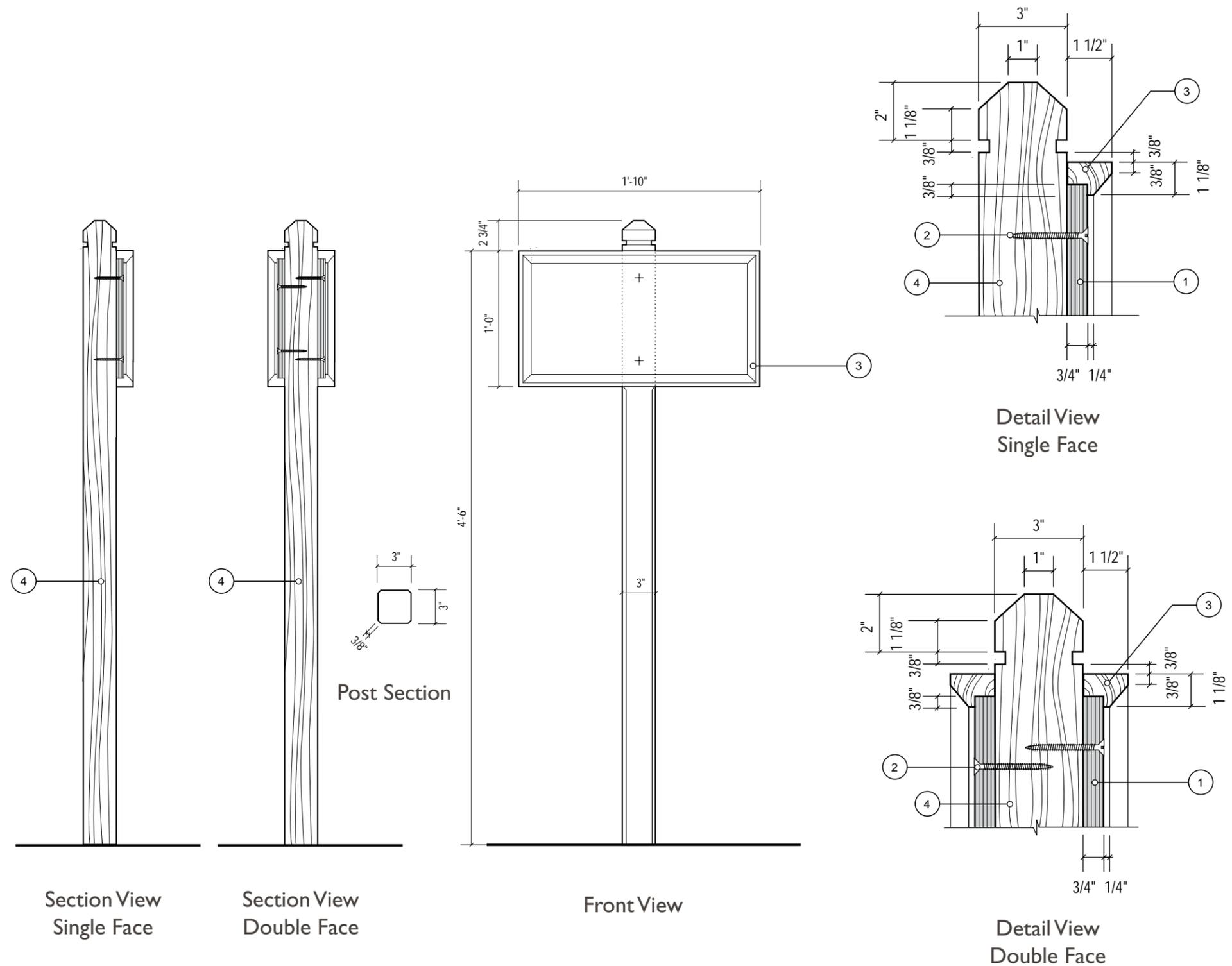
### Wayfinding: Type P2 - Structure

Small pedestrian directional signs are to be placed perpendicular to pedestrian routes accessing three or fewer destinations.

1. 3/4" thick SignPly (or approved equal) Single-sided, painted aluminum over furniture grade exterior plywood core.
2. Galvanized wood screw.
3. Frame made from clear grain hardwood or cedar and finished smooth.
4. Clear grain cedar post. Post cap routed and sawed from solid post material – not added as a separate component.

**NOTE:**

*All surfaces of sign frame/panel and post must be primed and painted prior to assembly to ensure complete weather seal.*



**Wayfinding:** Types V1 and V2 - Graphics

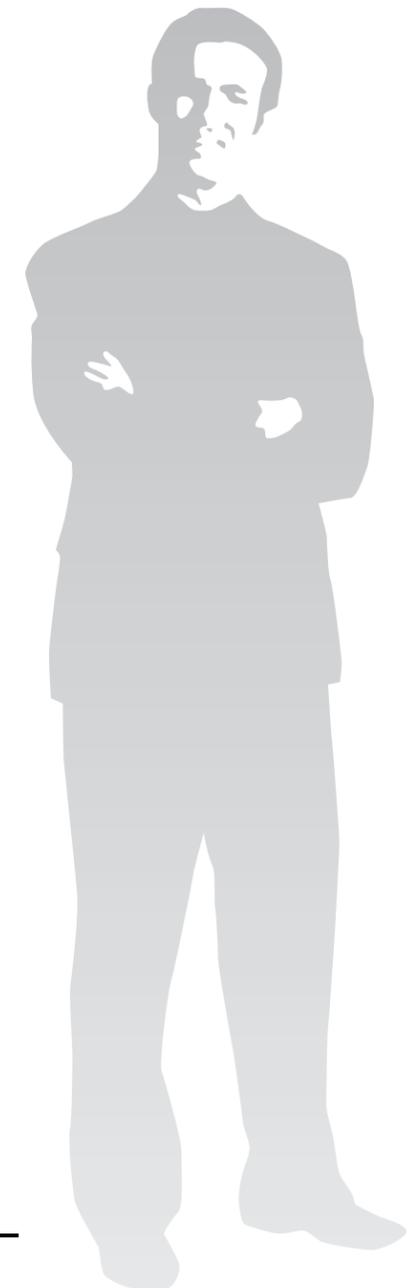
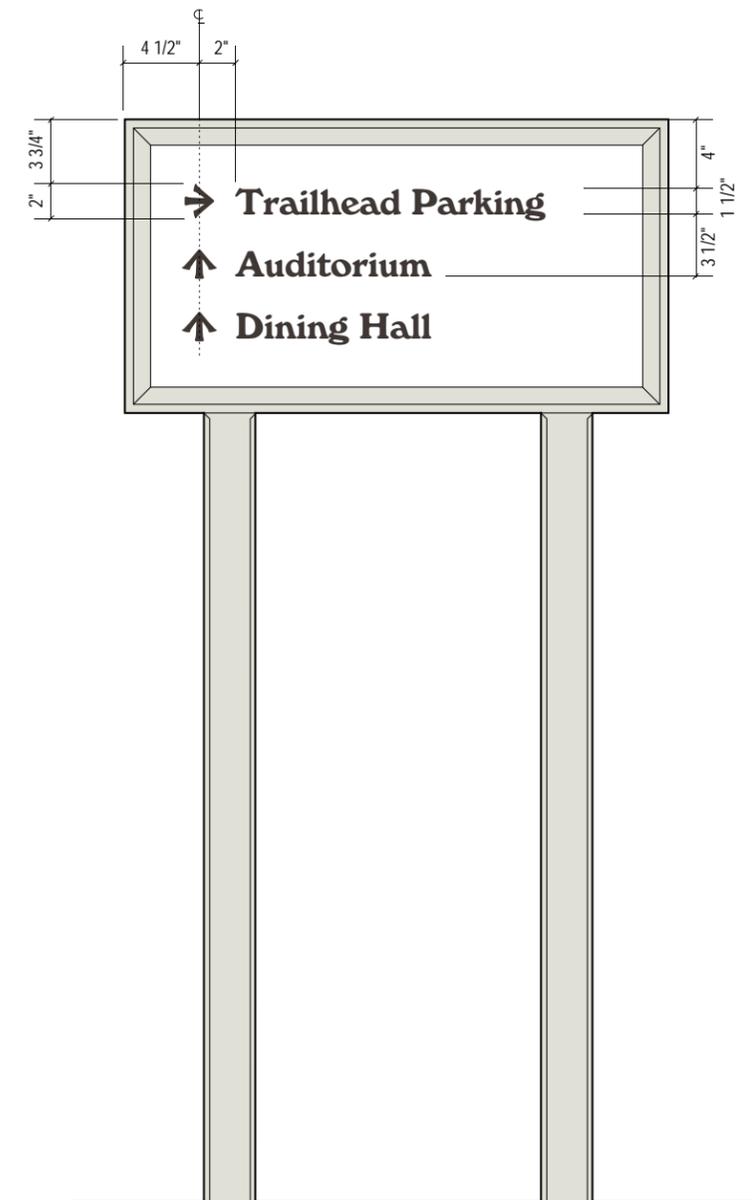
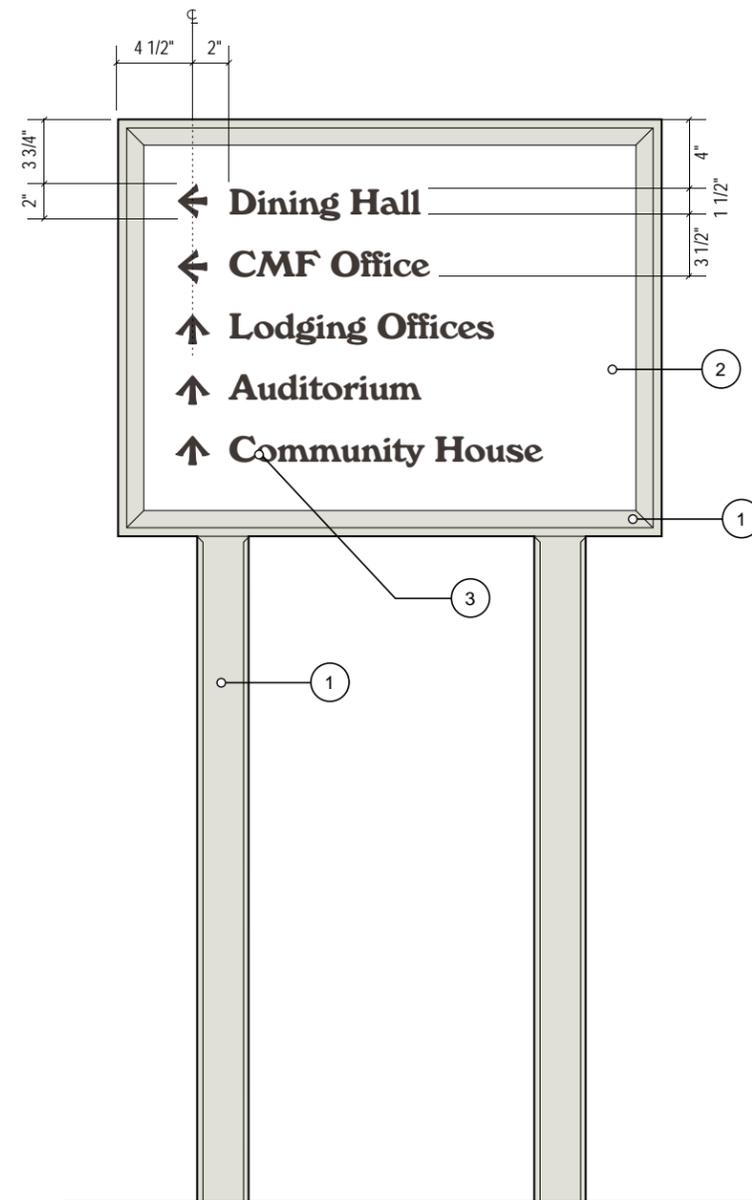
Vehicular directional signs include two size formats. The large format will accommodate four to five line items. The small format will accommodate one to three line items.

The smaller of two types of Vehicular directional signs will accommodate one to three line items.

1. Finished with exterior grade penetrating opaque stain to match CL 2933M Salsify).
2. Finished with exterior grade enamel to match CW057W White Solitude.
3. Matte Black A9090-O High Performance opaque vinyl (Avery), or black silk screen/print.

**NOTE:**

*The decision to choose one fabrication method over the other for graphic information should be made considering sign size, durability needed/ desired, and risk of vandalism.*



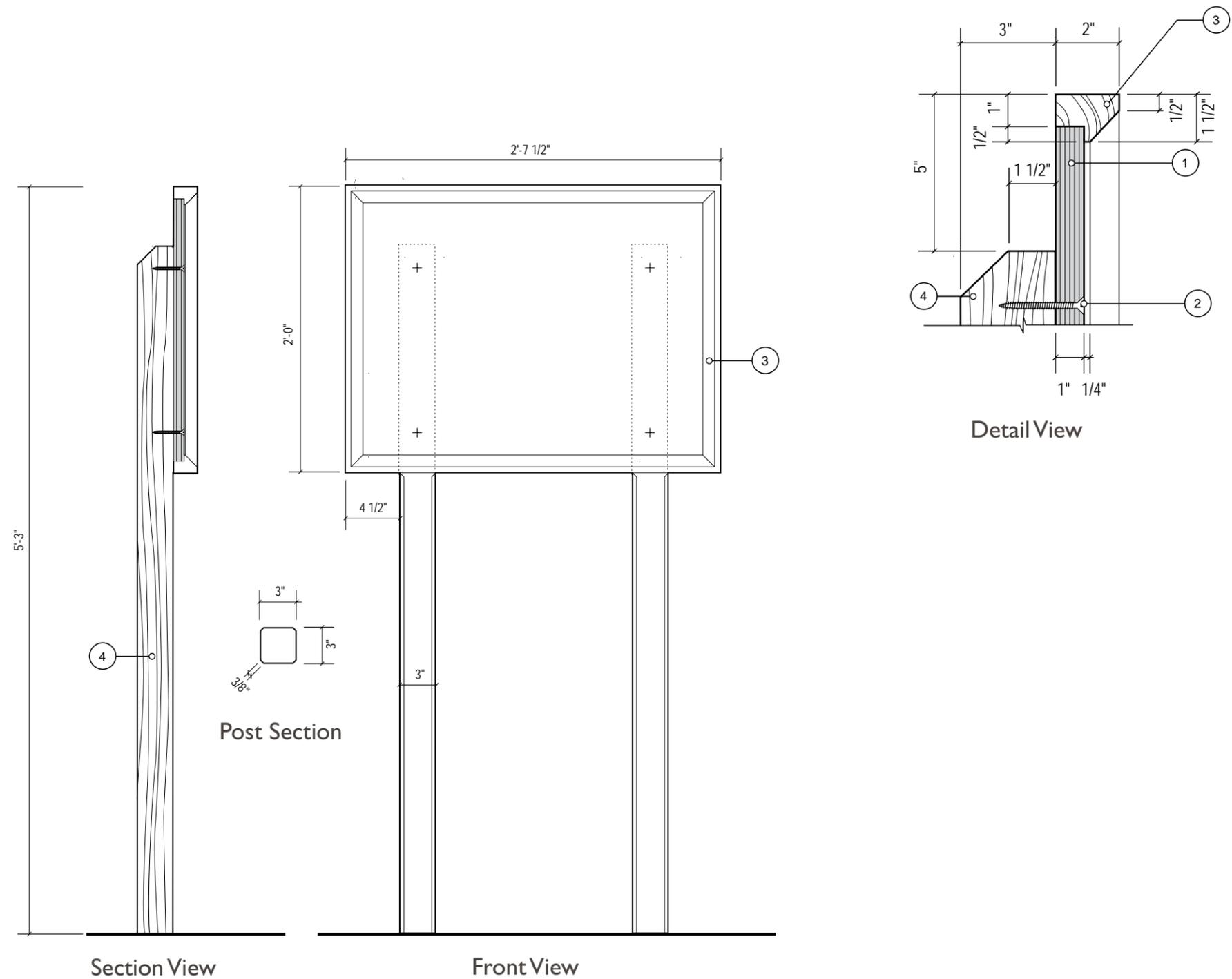
### Wayfinding: Type VI - Structure

Large vehicular directional signs are to be placed perpendicular to vehicular routes accessing four or more destinations.

1. 1" thick SignPly (or approved equal) Single-sided, painted aluminum over furniture grade exterior plywood core.
2. Galvanized wood screw.
3. Frame made from clear grain hardwood or cedar and finished smooth.
4. Clear grain cedar post. Top beveled and finished smooth.

**NOTE:**

*All surfaces of sign frame/panel and post must be primed and painted prior to assembly to ensure complete weather seal.*



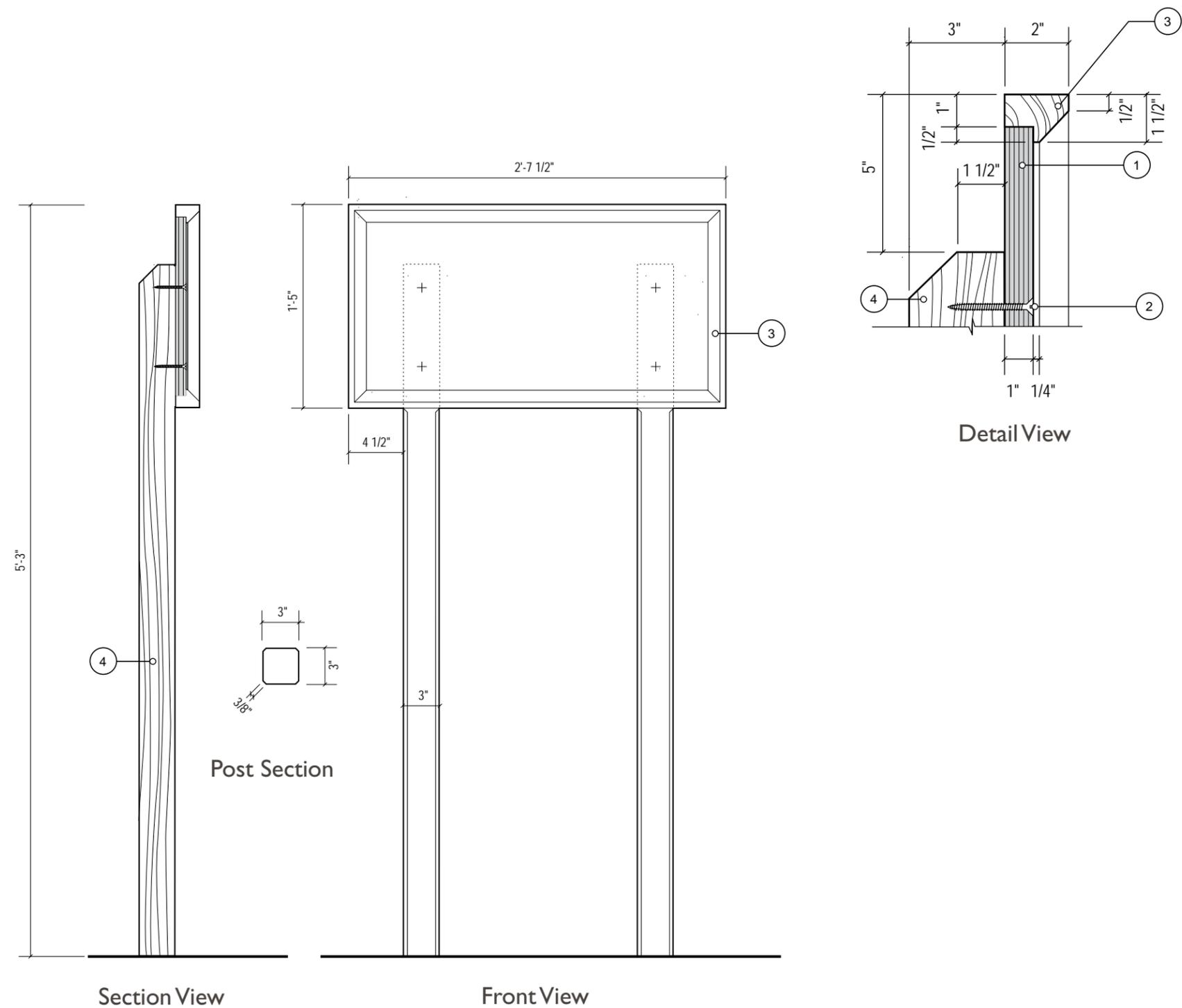
### Wayfinding: Type V2 - Structure

Small vehicular directional signs are to be placed perpendicular to vehicular routes accessing three or fewer destinations.

1. 1" thick SignPly (or approved equal) Single-sided, painted aluminum over furniture grade exterior plywood core.
2. Galvanized wood screw.
3. Frame made from clear grain hardwood or cedar and finished smooth.
4. Clear grain cedar post. Top beveled and finished smooth.

**NOTE:**

*All surfaces of sign frame/panel and post must be primed and painted prior to assembly to ensure complete weather seal.*



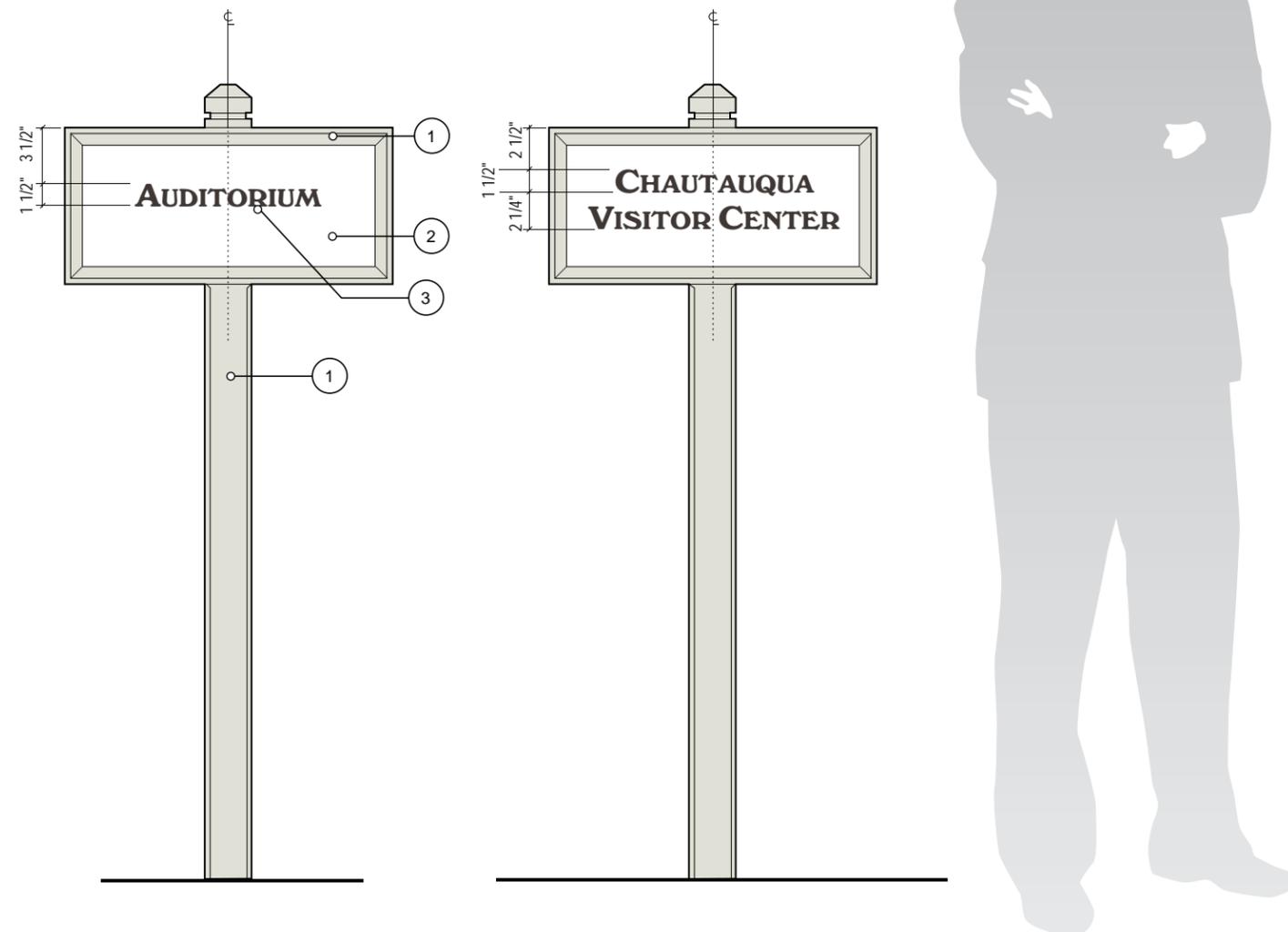
**Wayfinding:** Type A - Graphic Layout

Identity signs may accommodate one or two line names.

1. Finished with exterior grade penetrating opaque stain to match CL 2933M Salsify.
2. Finished with exterior grade enamel to match CW057W White Solitude.
3. Matte Black A9090-O High Performance opaque vinyl (Avery), or black silk screen/print.

**NOTE:**

*The decision to choose one fabrication method over the other for graphic information should be made considering sign size, durability needed/ desired, and risk of vandalism.*



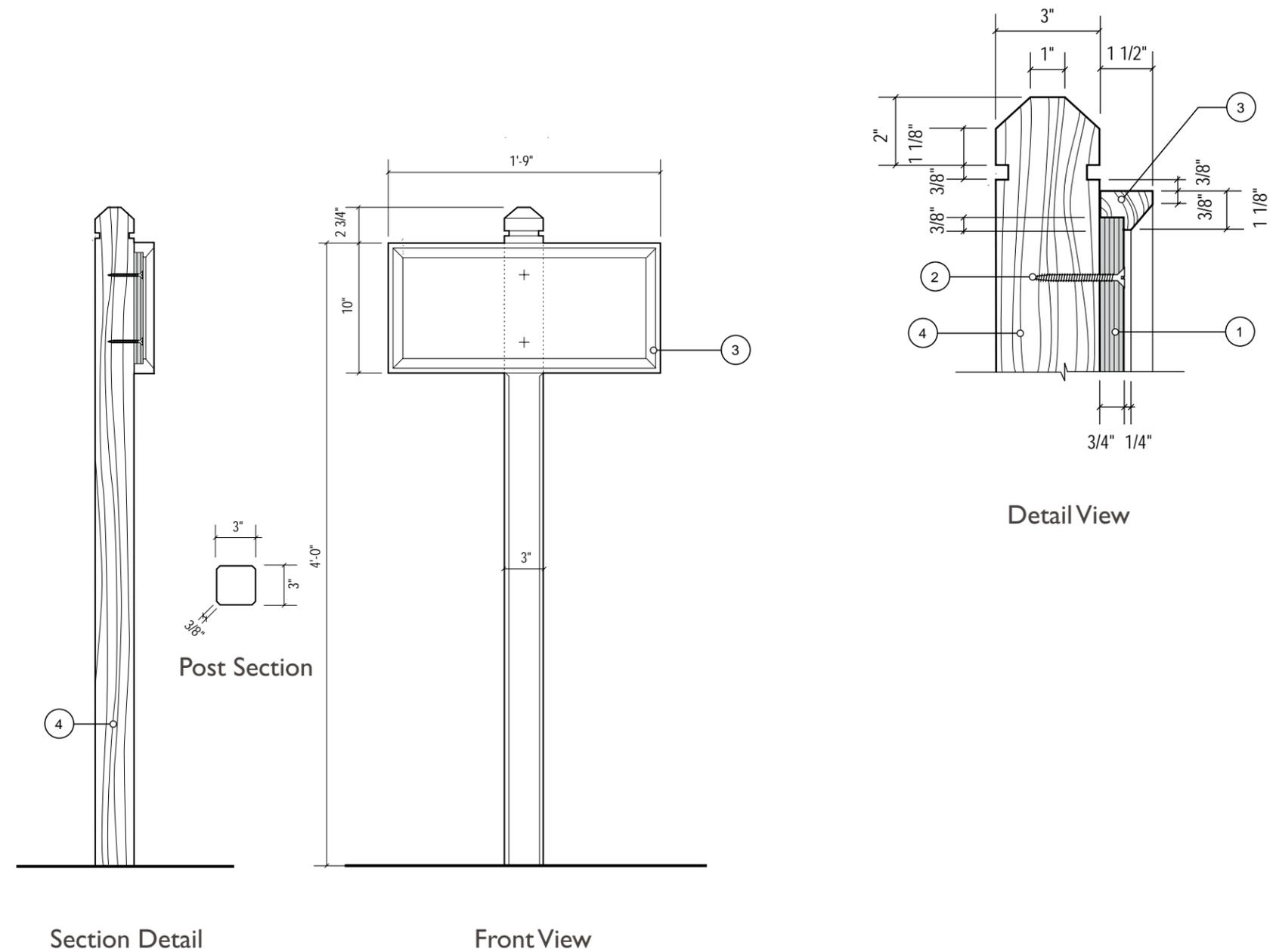
**Wayfinding:** Type A - Structure

Identity signs are placed parallel to the building or facility it represents.

1. 3/4" thick SignPly (or approved equal) Single-sided, painted aluminum over furniture grade exterior plywood core.
2. Galvanized wood screw.
3. Frame made from clear grain hardwood or cedar and finished smooth.
4. Clear grain cedar post. Post cap routed and sawed from solid post material – not added as a separate component.

**NOTE:**

*All surfaces of sign frame/panel and post must be primed and painted prior to assembly to ensure complete weather seal.*



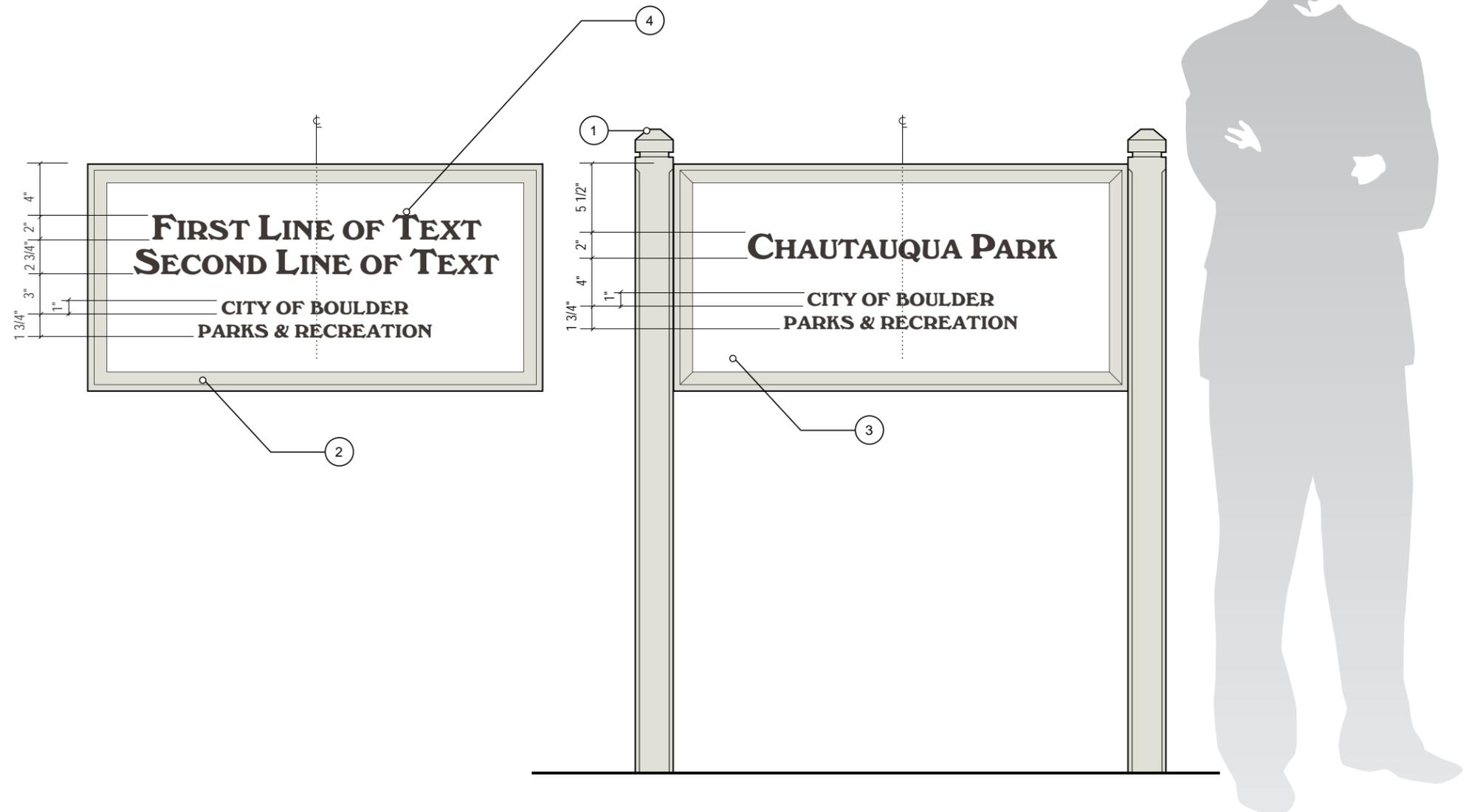
### Wayfinding: Type B - Graphic Layout

Area identity signs include two graphic formats– a two line identity and a single line identity. Both include accommodations for two lines of sub text.

1. Finished with exterior grade penetrating opaque stain to match 8644M Seal Beach.
2. Finished with exterior grade sign paint with smooth low-sheen finish, to match CL2933M Salsify.
3. Finished with exterior grade enamel to match CW057W White Solitude.
4. Matte Black A9090-O High Performance opaque vinyl (Avery), or black silk screen/print.

**NOTE:**

*The decision to choose one fabrication method over the other for graphic information should be made considering sign size, durability needed/ desired, and risk of vandalism.*



### Wayfinding: Type B - Structure

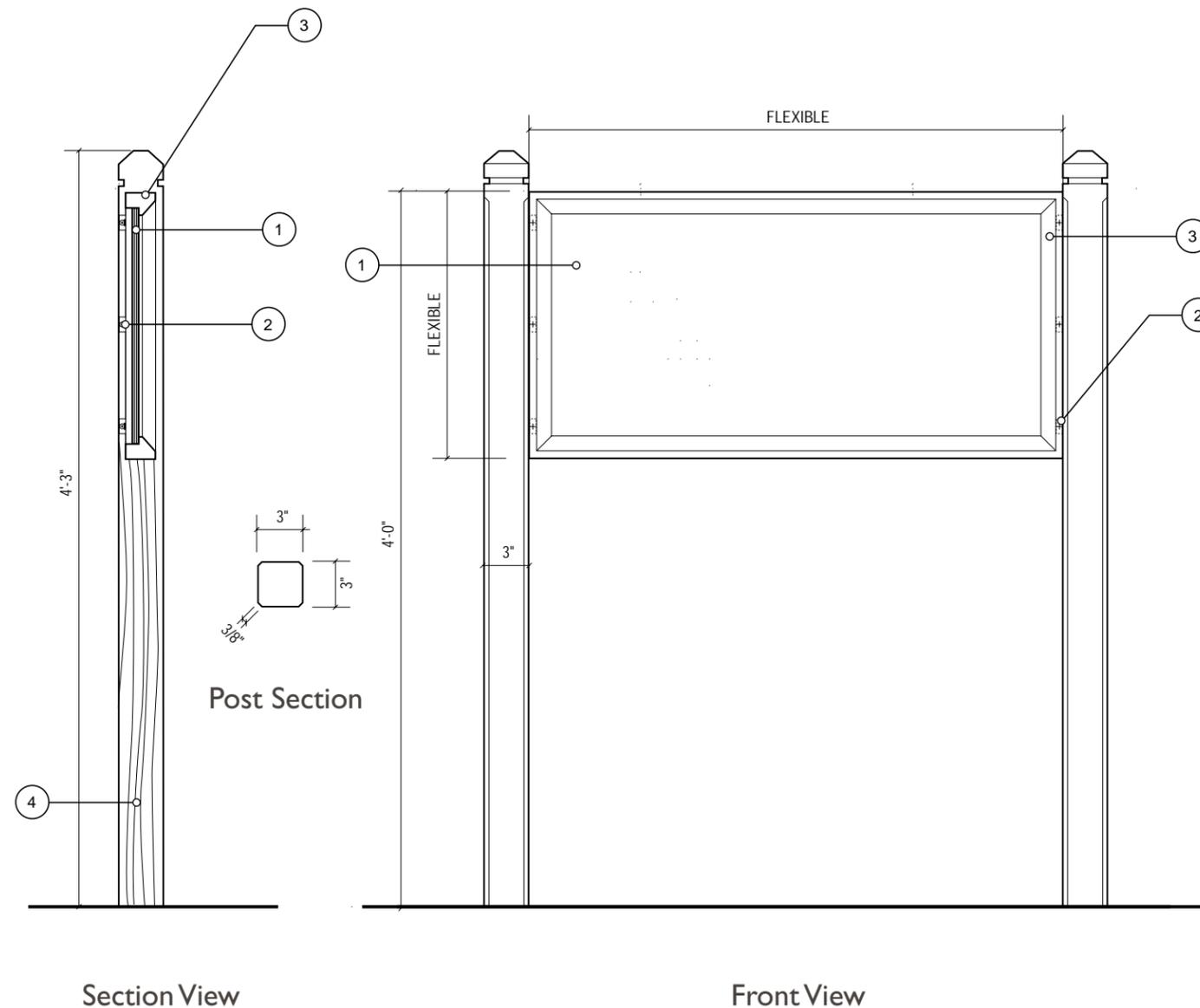
Area identity signs are to be placed parallel to vehicular routes Preferably at or near pedestrian access entries.

1. 1/2" thick SignPly (or approved equal) Single-sided, painted aluminum over furniture grade exterior plywood core.
2. Stainless steel angle bracket with galvanized or stainless steel wood screw.
3. Frame made from clear grain hardwood or cedar and finished smooth.
4. Clear grain cedar post. Post cap routed and sawed from solid post material – not added as a separate component.

**NOTES:**

*All surfaces of sign frame/panel and post must be primed and painted prior to assembly to ensure complete weather seal.*

*This sign type can be used for future needs currently unforeseen, and scaled proportionately up or down 20% to accommodate necessary messages.*

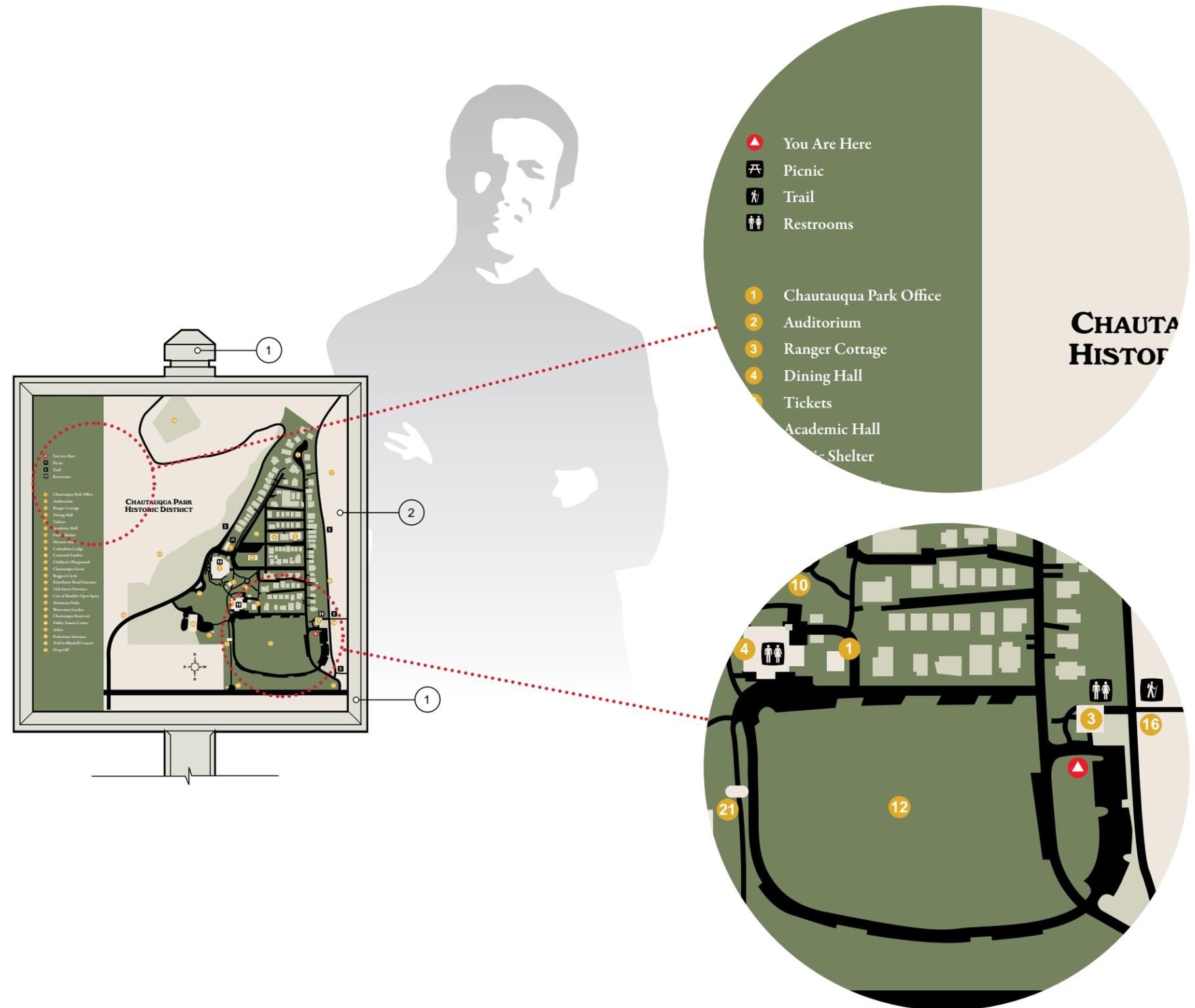


**Wayfinding:** Type D - Graphic Layout

The free standing directory maps include four map configurations, each representing a right-read orientation to assist the viewer in place navigation.

1. Finished with exterior grade penetrating opaque stain to match CL 2933M Salsify.
2. Porcelain enamel panel. Colors derived from project standard palette.

NOTE:  
*Fiberglass embedment digital output is acceptable to locations likely to require changes to the map graphic.*



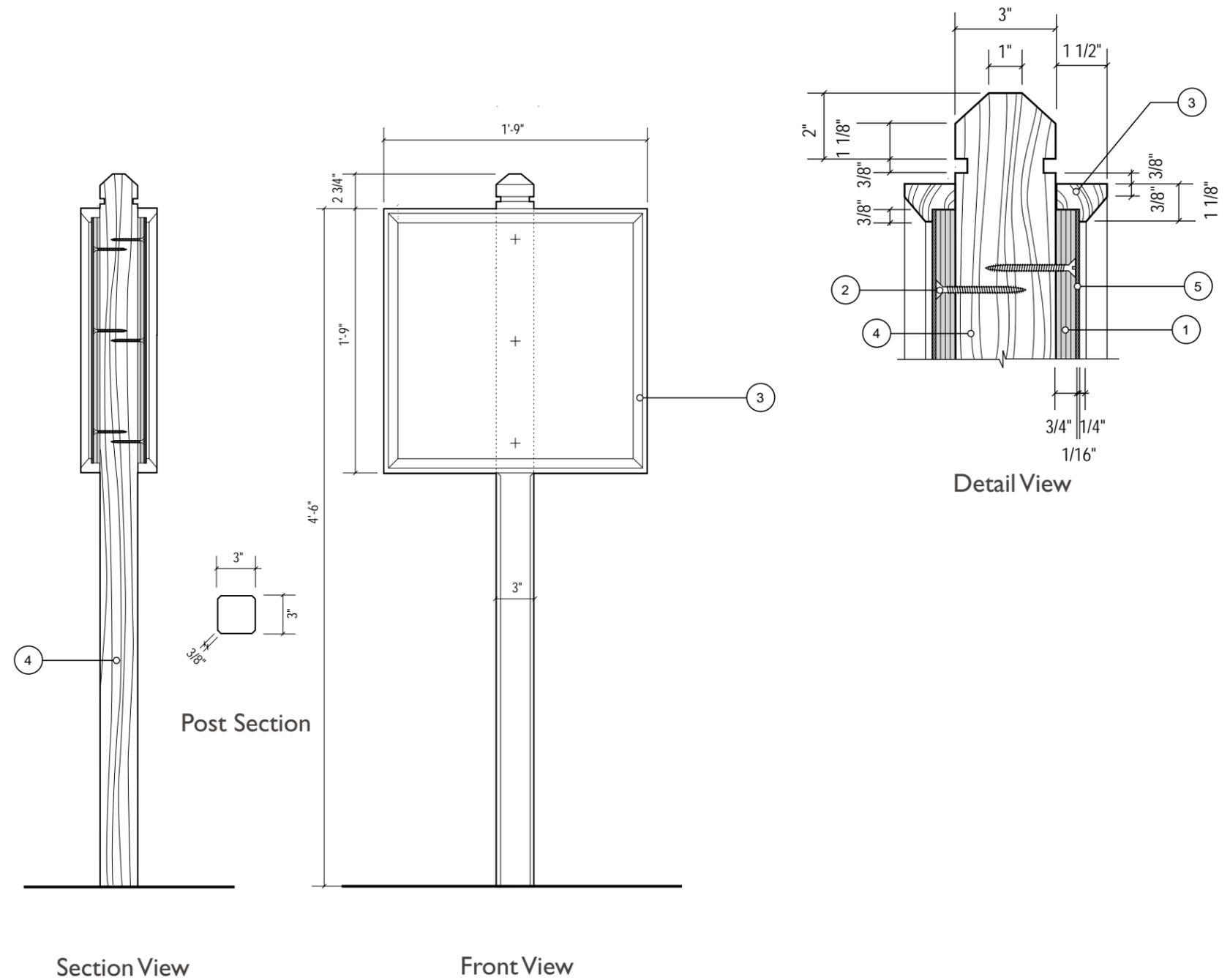
**Wayfinding:** Type D - Structure

Directory map signs are to be strategically placed in areas where visitors congregate or converge.

1. 3/4" thick SignPly (or approved equal) Single-sided, painted aluminum over furniture grade exterior plywood core.
2. Galvanized wood screw.
3. Frame made from clear grain hardwood or cedar and finished smooth.
4. Clear grain cedar post. Post cap routed and sawed from solid post material – not added as a separate component.
5. Porcelain enamel or fiberglass embedded panel.

**NOTE:**

*All surfaces of sign frame/panel and post must be primed and painted prior to assembly to ensure complete weather seal.*



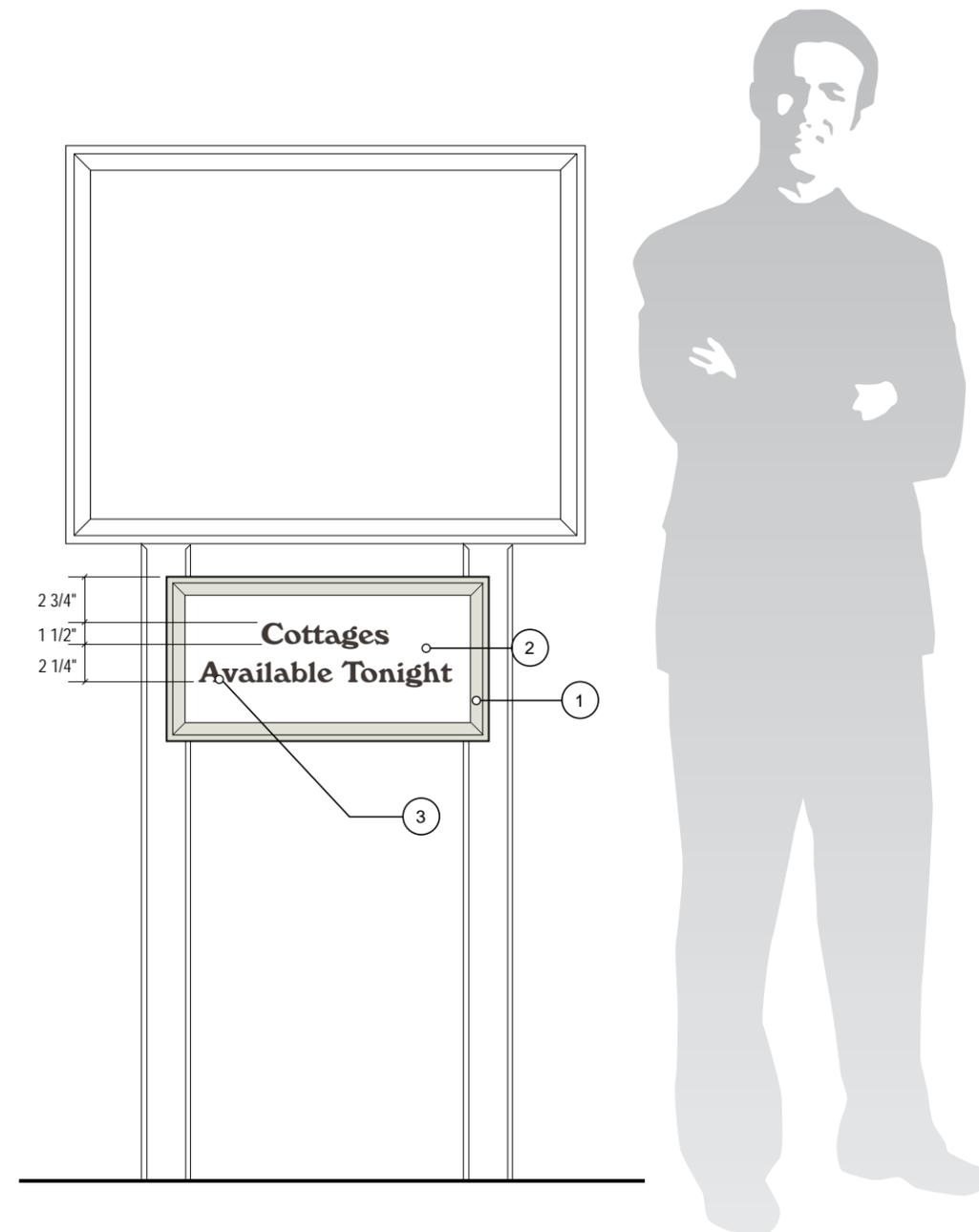
**Wayfinding:** Type C - Graphic Layout

The changeable sign will accommodate two line items.

1. Finished with exterior grade penetrating opaque stain to match CL 2933M Salsify.
2. Finished with exterior grade enamel to match CW057W White Solitude.
3. Matte Black A9090-O High Performance opaque vinyl (Avery), or black silk screen/print.

**NOTE:**

*The decision to choose one fabrication method over the other for graphic information should be made considering sign size, durability needed/ desired, and risk of vandalism.*



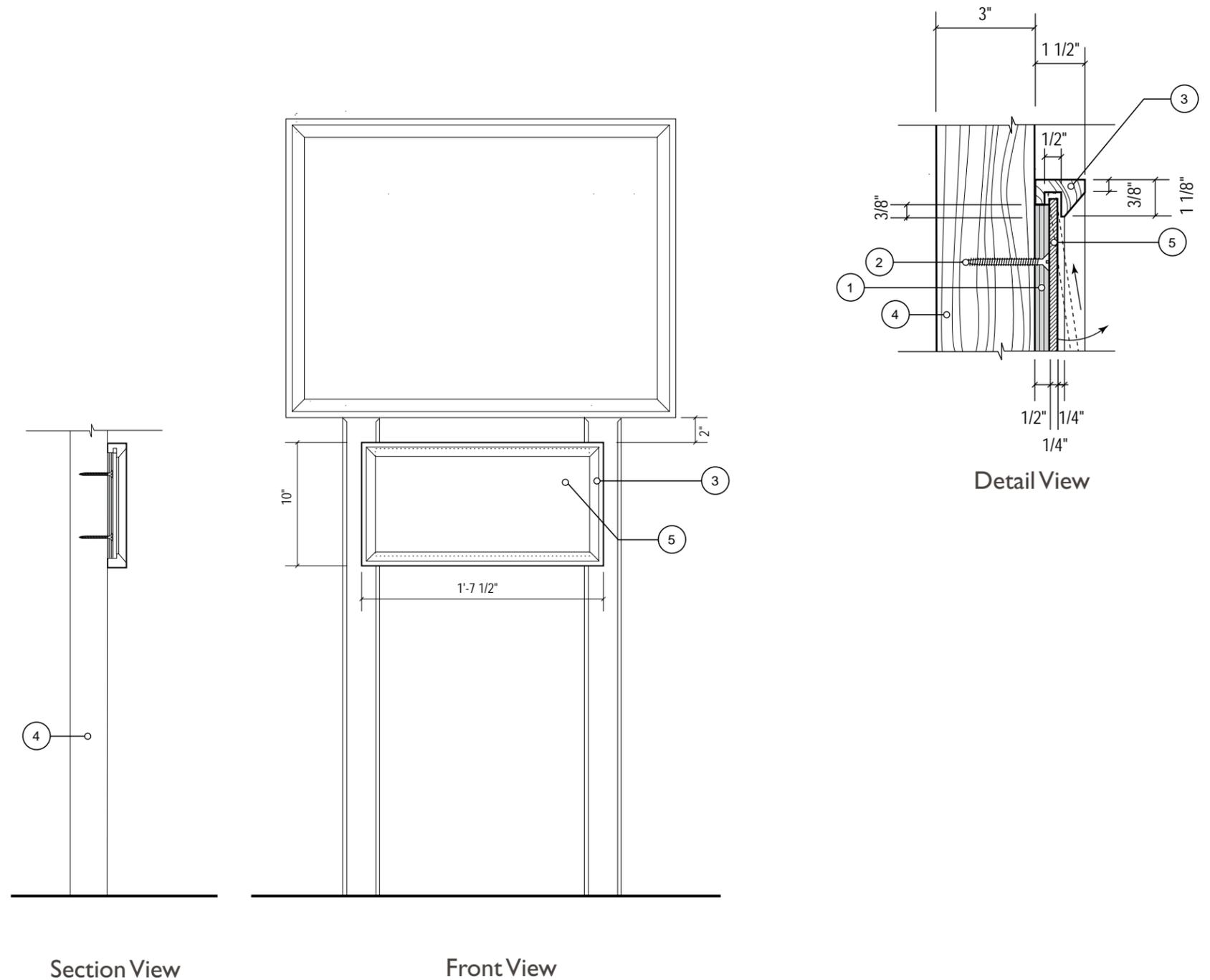
### Wayfinding: Type C - Structure

Changeable signs will be mounted beneath directional sign panels and directly onto the support posts. The panel inserts are held in place by slotted grooves within the top and bottom frame edges. Panels receive a thumb slot visible only when panel has been slid upward.

1. 3/4" thick SignPly (or approved equal) Single-sided, painted aluminum over furniture grade exterior plywood core.
2. Galvanized wood screw.
3. Frame made from clear grain hardwood or cedar and finished smooth.
4. Clear grain cedar post. Post cap routed and sawed from solid post material – not added as a separate component.
5. 1/4" thick aluminum, primed and painted with exterior enamel to match CW057W White Solitude. Fits loose, but secure in grooved frame. Slide up and pull out to remove. Message on both sides of removable panel.

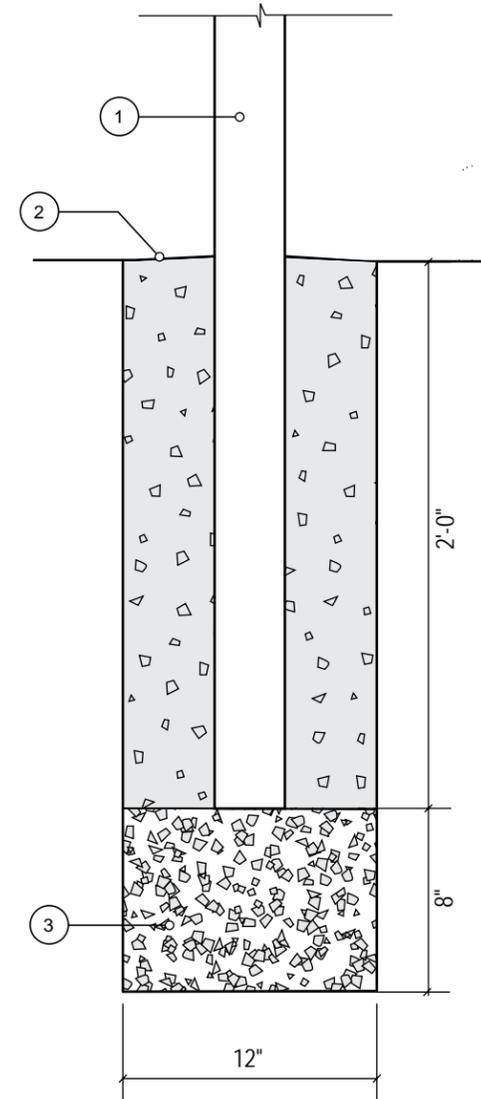
**NOTE:**

*All surfaces of sign frame/panel and post must be primed and painted prior to assembly to ensure complete weather seal.*



### Wayfinding: Installation

1. Post
2. Concrete to grade with positive top drainage angle
3. Gravel



## Interpretive: Overview



### Introduction

The Colorado Chautauqua is a local treasure of national importance. It holds a unique place in history as one of the last chautauquas in continuous operation in the United States, and the only such site west of the Mississippi with its original structures intact. The site continues to draw hundreds of thousands of visitors each year, many of whom are unaware of Chautauqua's historic significance. Rather, they seek the amenities and programs offered today.

The interpretive program at Chautauqua serves to connect all visitors to the site's rich history and to an important chapter in American history, thereby building appreciation and support for the resource. While education is the primary purpose of interpretation, encouraging attitudes and behaviors that promote conservation and preservation is a strong secondary purpose.

Designs for the interpretive program draw from the typical styles of the historic period of significance (1898-1930), including illustration, type, and graphic treatment. However, best practices in today's interpretive methods are used for text writing, panel organization, universal access and fabrication. Samples are shown herein. Ornamentation is deliberate and judicious, and used to convey the character of Chautauqua's formative days and to create hierarchy of information, as well as visual richness. Colors draw from the primary public structures, and include additional accent hues as appropriate to the times. The goal is to convey central messages in an engaging way for today's visitors, while creating layouts that elicit the look and feel of the early Chautauqua days.

### Design Challenges

There is no end to interesting stories to tell about Chautauqua, yet the manner and means of telling them must be done carefully, and in small numbers. Individuals and firms responsible for implementing the interpretive program must exercise restraint regarding both numbers of exhibits created, and density of information.

Exterior sloper panels allow for viewing of the structures and/or resources being interpreted. Porcelain enamel graphic panels are specified for this "permanent" application. While they are more expensive to produce, they provide a sophisticated high resolution full-color look, and are extremely durable in outdoor conditions. Temporary and event signage may be produced in faster turn-around and cost effective materials.

Interpretive signs and exhibits are to be located in strategic locations that add to, rather than detract from, Chautauqua's historic nature.

*Note: Requirements of the Americans with Disabilities Act have been considered in specifications for the signs and graphics herein.*

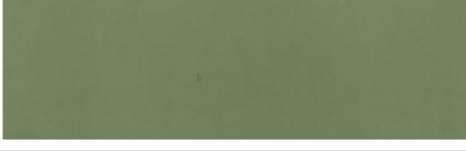
**Interpretive:** Color Palette

Colors selected for wayfinding signage were derived from those found in existing architecture and are specified using Kwal paint formulas.

Gradations of these colors are permissible.

All process and blends are to match physical paint samples as closely as possible, not specifications.

NOTE: Colors show on this page are for representation only. Actual colors will differ due to output limitations.

Sample	Kwal Paint Match	Pantone Closest Match
	CL 2933M - Salsify	413
	CL 2725D - Dissent	465
	8673M - Tavern Taupe	7535
	CW055W - Honeywind	413
	7735D - Topaz	7405
	8644M - Seal Beach	7538
	Black	100% Process
	CW057W - White Solitude	N/A

Interpretive: Fonts - Style

1. **Gable Antique Condensed**  
Main Panel Titles
2. **Adobe Garamond Pro Bold**  
Headers: Primary Text, Secondary Text, and Caption
3. **Adobe Garamond Pro Bold Italic**  
Quotations, Poetry, Lyrics
4. **Adobe Garamond Pro Semibold**  
Body and Caption Copy
5. **Adobe Garamond Pro Semibold Italic**  
Image Credits



1909 use of type nearly identical to Gable Antique Condensed

1

ABCDEFGHIJKLMNOPQRSTUVWXYZ  
 abcdefghijklmnopqrstuvwxyz

2

ABCDEFGHIJKLMNOPQRSTUVWXYZ  
 abcdefghijklmnopqrstuvwxyz

3

*ABCDEFGHIJKLMNOPQRSTUVWXYZ*  
*abcdefghijklmnopqrstuvwxyz*

4

ABCDEFGHIJKLMNOPQRSTUVWXYZ  
 abcdefghijklmnopqrstuvwxyz

5

*ABCDEFGHIJKLMNOPQRSTUVWXYZ*  
*abcdefghijklmnopqrstuvwxyz*

**Interpretive:** Fonts - Size

1. **Main Panel Title**  
Gable Antique Condensed 160 pt.  
Customized with a stepped drop shadow.
2. **Primary Header**  
Adobe Garamond Pro Bold 65 pt.
3. **Secondary Header**  
Adobe Garamond Pro Bold 41 pt.
4. **Caption Header**  
Adobe Garamond Pro Bold 33 pt.
5. **Primary Text**  
Adobe Garamond Pro Semibold 30 pt.
6. **Secondary Text**  
Adobe Garamond Pro Semibold 24 pt.
7. **Caption Text**  
Adobe Garamond Pro Semibold 20 pt.
8. **Quotation**  
Adobe Garamond Pro Bold Italic 42 pt.
9. **Quotation Source**  
Adobe Garamond Pro Semibold Italic 20 pt.
10. **Photo Credit/Source**  
Adobe Garamond Pro Semibold 8 pt.

## NOTES:

Point size shown here is accurate only when this document is printed or viewed at tabloid size (11" x 17") at 100%.

Gable Antique Condensed as shown here and on the previous page has a few modifications. Serifs descending below the baseline have been modified in these forms: Uppercase F, H, K, M, N, R and lowercase p and q.

1 **The Most**

2 **Uplifts**

3 **Tabernacle of Learning**

4 **Entertainment as Enlightenment**

5 **When the "Texas-Colorado Chautauqua"**

6 **Commitment to self-improvement**

7 **Easy access to nature and the mountains**

8 ***Midst the glory***

9 **from "Chautauqua Rally Song"**

10 **Photo Courtesy of**

**Interpretive: Photography**

Black and white historic photos will serve as the primary graphic elements for interpretive panels. The archives stored and managed by the Colorado Chautauqua Association are a treasury of high quality images that can serve nearly all the essential messages for the site. Other local resources for historic photos include Boulder's Carnegie Branch Library for Local History and the Archives at the University of Colorado Libraries.

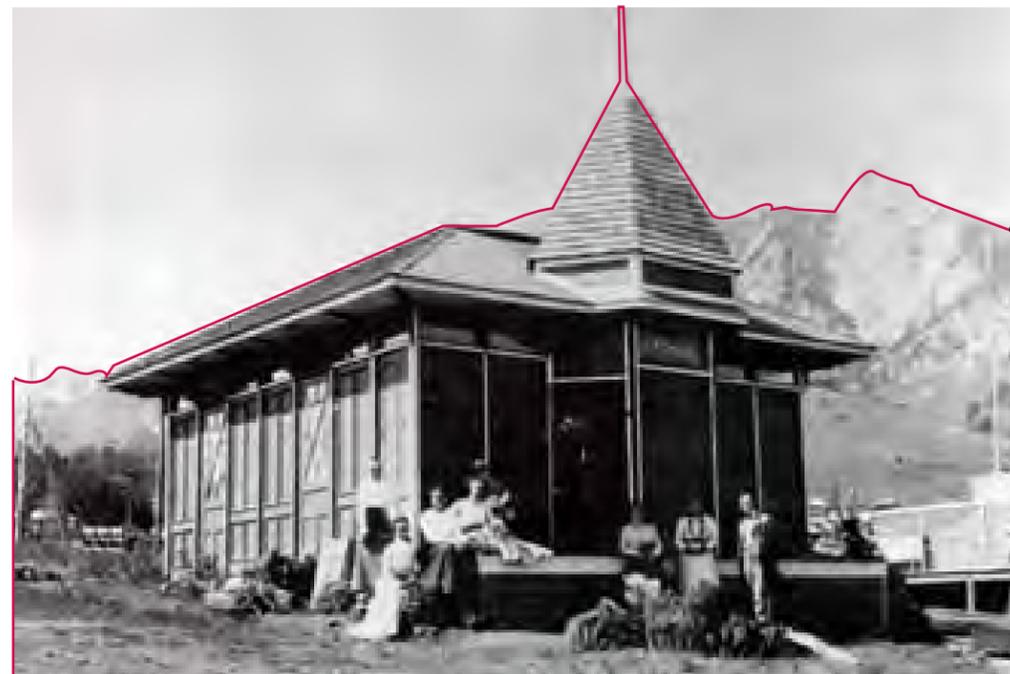
1. **Titles**  
Where existing, handwritten information on original photographs will be displayed.
2. **Tone of Photographs**  
B & W and color original photographs shall be scanned as color CMYK files to show warmth of original prints.
3. **Rules**  
Photographs shall generally include a 2-point rule around their perimeter at .125" from photo edge. Rule color may vary within the acceptable palette.
4. **Clipping Paths**  
For variety and interest of large photographic images, photos may be clipped at logical and appropriate breaks. Clipping must be VERY carefully completed with 1-2 pixel feathering to soften edges. (Note red line indicated in lower figurer shows location of break, not decorative element).



①



③



④

**Interpretive:** Illustration

Illustration style shall use continuous solid tone in early 20th century "poster" style. Duo-tone and multi-tone are acceptable, depending on existing source materials. Gradations within the illustration are to be avoided. Color originals should be placed as such.

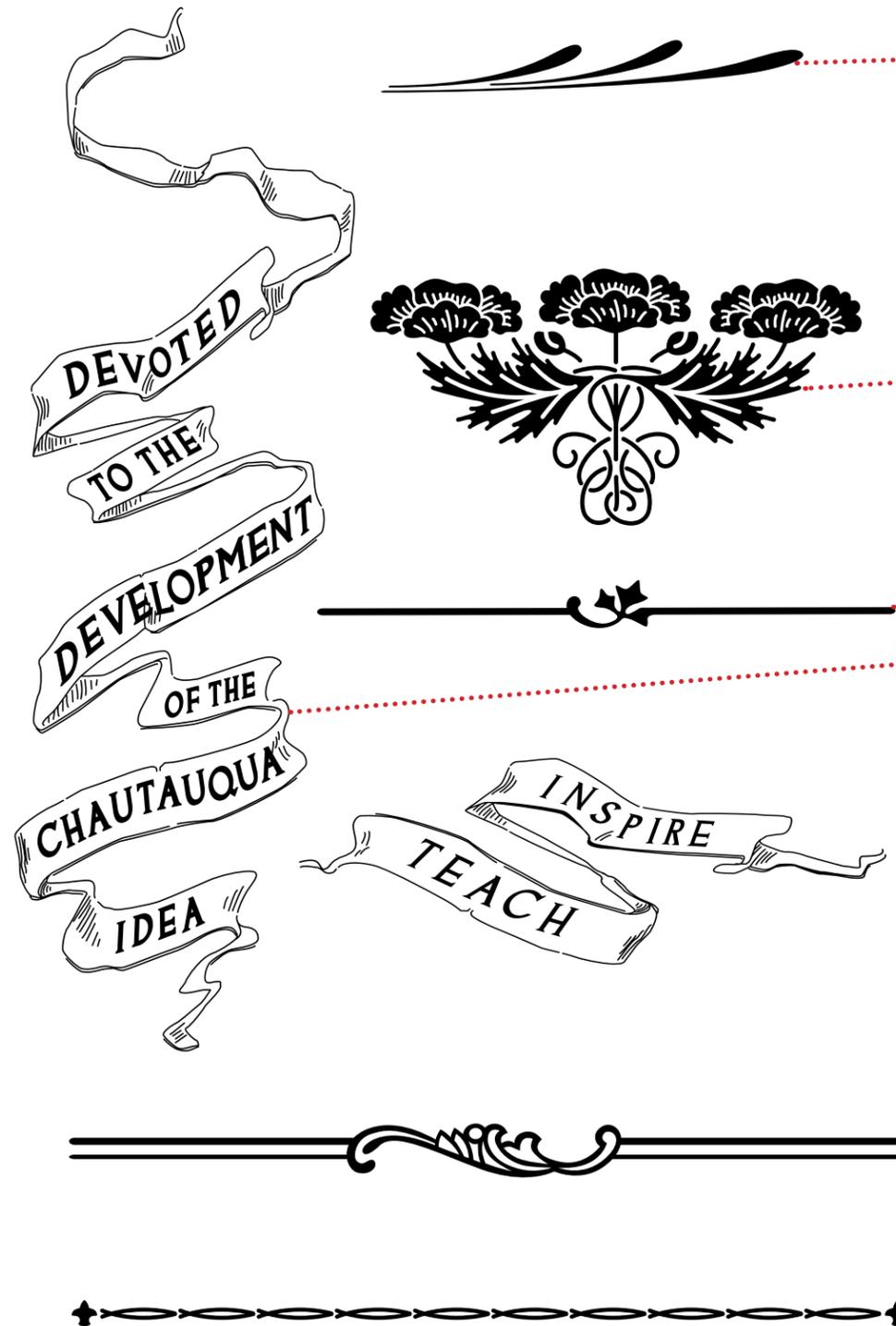


### Interpretive: Flourishes, Rules, and Dingbats

Design elements are to be derived from historic references. Simpler forms are preferred over highly ornamental designs.

Use is to be limited primarily to key elements, such as primary headers.

If artifact images are used on a particular panel, elements may tie directly to these references.



## Interpretive: Interpretive Writing

### Overview

Interpretive writing is an art that involves using language precisely to engage visitors and convey key messages quickly. This is prose as story telling. Reading interpretive writing should be enjoyable for visitors. Such writing should include information that helps visitors connect to the resource as well as to their own lives.

### Writing Guidelines

- In general, use short words, sentences, and paragraphs.
- Vary sentence length and structure.
- Use active verb forms wherever possible.
- Use “colorful” descriptors.
- Avoid highly technical terms, as well as slang or overly casual constructions (except where these are integral to the content).

Once text has been written, then edit, edit, edit. Brevity and simplicity are always key to successful interpretive writing. Readership always trumps elegance.

### Text Layout Guidelines

How interpretive text is presented on the page carries equal importance to its content. Layout can determine whether text gets read and understood. These guidelines are intended to help visitors engage easily with the printed word.

- Use different type styles and sizes to cue the reader about where to begin, and to communicate the most essential elements.
- Avoid hyphenation.
- Take care with line length and wraps; avoid widows.
- Do not exceed 55 characters in a line of text, regardless of font size or panel width.
- View blocks of copy as graphic elements, to be grouped on the panel in harmonious balance with other elements.

### Design and Installation Considerations

Exhibits are generally viewed while visitors are standing, except in the case of visitors using wheelchairs. For most of us, looking down is easier down than up, as the head and eyes naturally incline downward. Therefore, care should be taken regarding where content sits above the floor on panels. In general, panel content (excluding large headers and graphics) should not exceed 66” above the floor at the viewing location.

*Note: These guidelines do not discuss storyline and message development. These essential steps must occur before the process of text development.*

**Interpretive: Sign Types**

Interpretive signs at the site may be free-standing or mounted to existing or future structures.

**Type E1**  
Sloper panel: large, free-standing

**Type E2**  
Sloper panel: small, free-standing

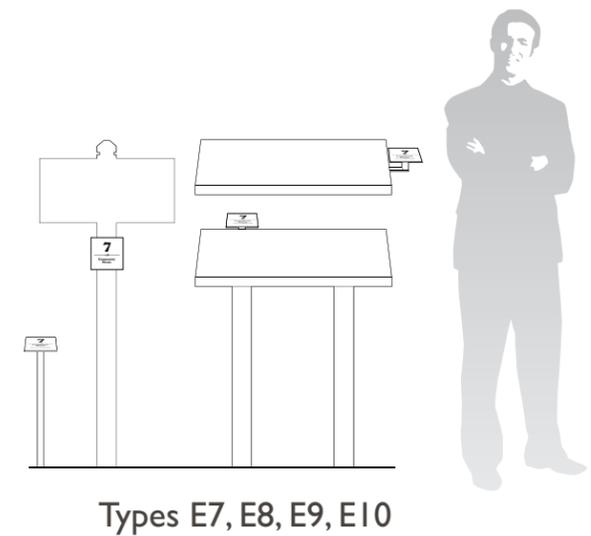
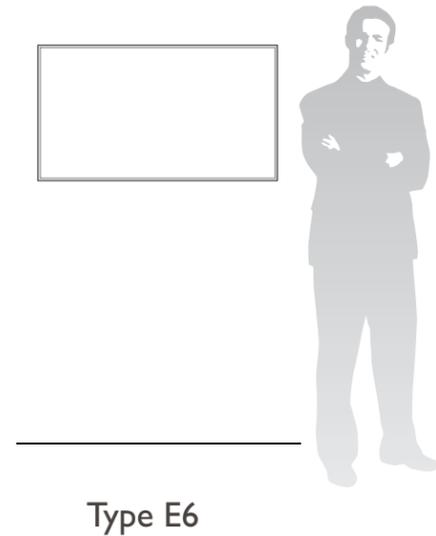
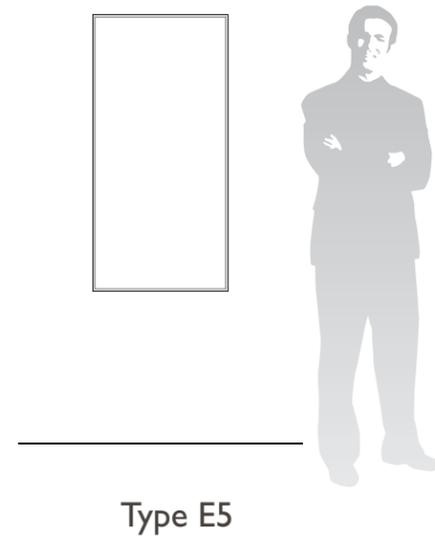
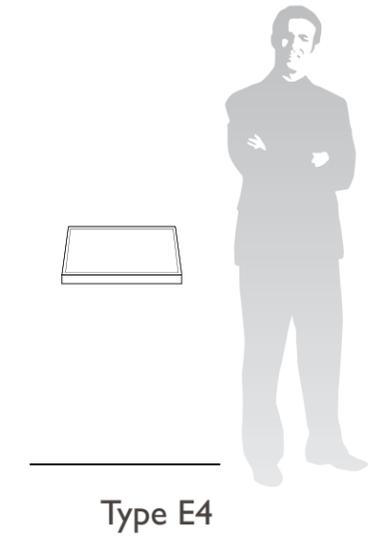
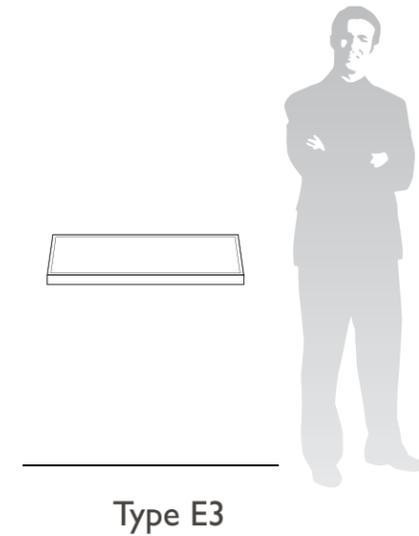
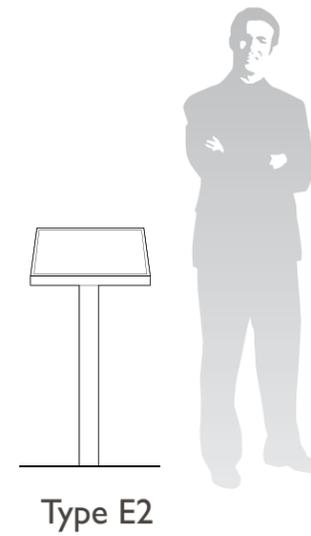
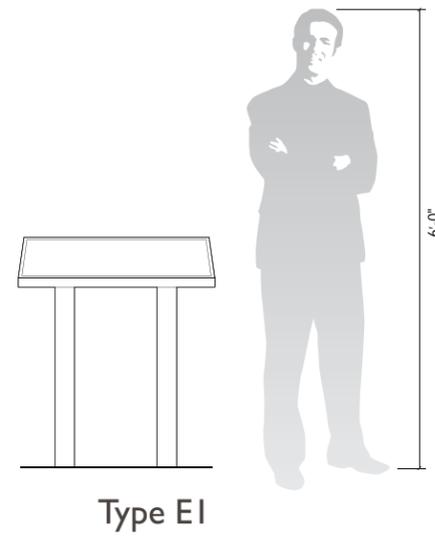
**Type E3**  
Sloper panel: large, wall mount

**Type E4**  
Sloper panel: small, wall mount

**Type E5**  
Flush wall mount: Vertical Panel

**Type E6**  
Flush wall mount: Horizontal Panel

**Type E7, E8, E9, E10**  
Tour Locator, free-standing and adaptations to sign structures.



**Interpretive:** Sloper - Typographic Sizing

**Fonts and Sizes:**

1. **Main Panel Title**  
Gable Antique Condensed 160 pt.  
Customized with a stepped drop shadow.
2. **Primary Header**  
Adobe Garamond Pro Bold 65 pt.
3. **Secondary Header**  
Adobe Garamond Pro Bold 41 pt.
4. **Caption Header**  
Adobe Garamond Pro Bold 33 pt.
5. **Primary Text**  
Adobe Garamond Pro Semibold 30/40 pt.
6. **Secondary Text**  
Adobe Garamond Pro Semibold 24/28 pt.
7. **Caption Text**  
Adobe Garamond Pro Semibold 20/25 pt.
8. **Photo Credit/Source**  
Adobe Garamond Pro Semibold 8 pt.



**Interpretive:** Sloper - Design Elements

1. Primary title header and copy to be on panel, harkening to early 20th century print style.
2. Logo and Flatirons lithograph image from 1909 letterhead works as background to panel title.
3. Panel title text is a screened version of 7735D (Topaz) with a black drop-shadow rule.
4. Vary size and configuration of photography across panels to include both large (feature) images and smaller (detail) images.
5. Rules and dingbats are permitted when used in traditional style; however, elements should be used only modestly and to create hierarchy of content.
6. Where appropriate, background illustrations may strengthen panel content. Illustrations to be from historic print collateral artwork or newly commissioned work in this style.
7. Historic photography shown in a rectilinear fashion will always be square to panel and include a 2-point rule .125" from photo edge.
8. When possible, photo representations of historically relevant printwork should be used as "artifacts." Showing such artifacts at an angle can enhance variety. Text accompanying artifacts can justify to angle, where appropriate.
9. Second background color on panel can be used to accentuate or isolate content.

*Note: This sample layout serves to illustrate the guidelines; it is not intended as a template.*



**Interpretive:** Sloper - Message Length

Messaging is designed to provide varying levels of information that match the user's interest. A clearly defined hierarchy encourages visitor engagement and helps direct readers through the intended flow of content.

1. 3 Second Message

Panel title uses short and well-crafted copy to convey "big-picture" take away.

Copy Length - Up to 6 words

2. 30 Second Message

Primary header and text are constructed to convey the overall message of the panel.

Copy Length

Text - Up to 45 words

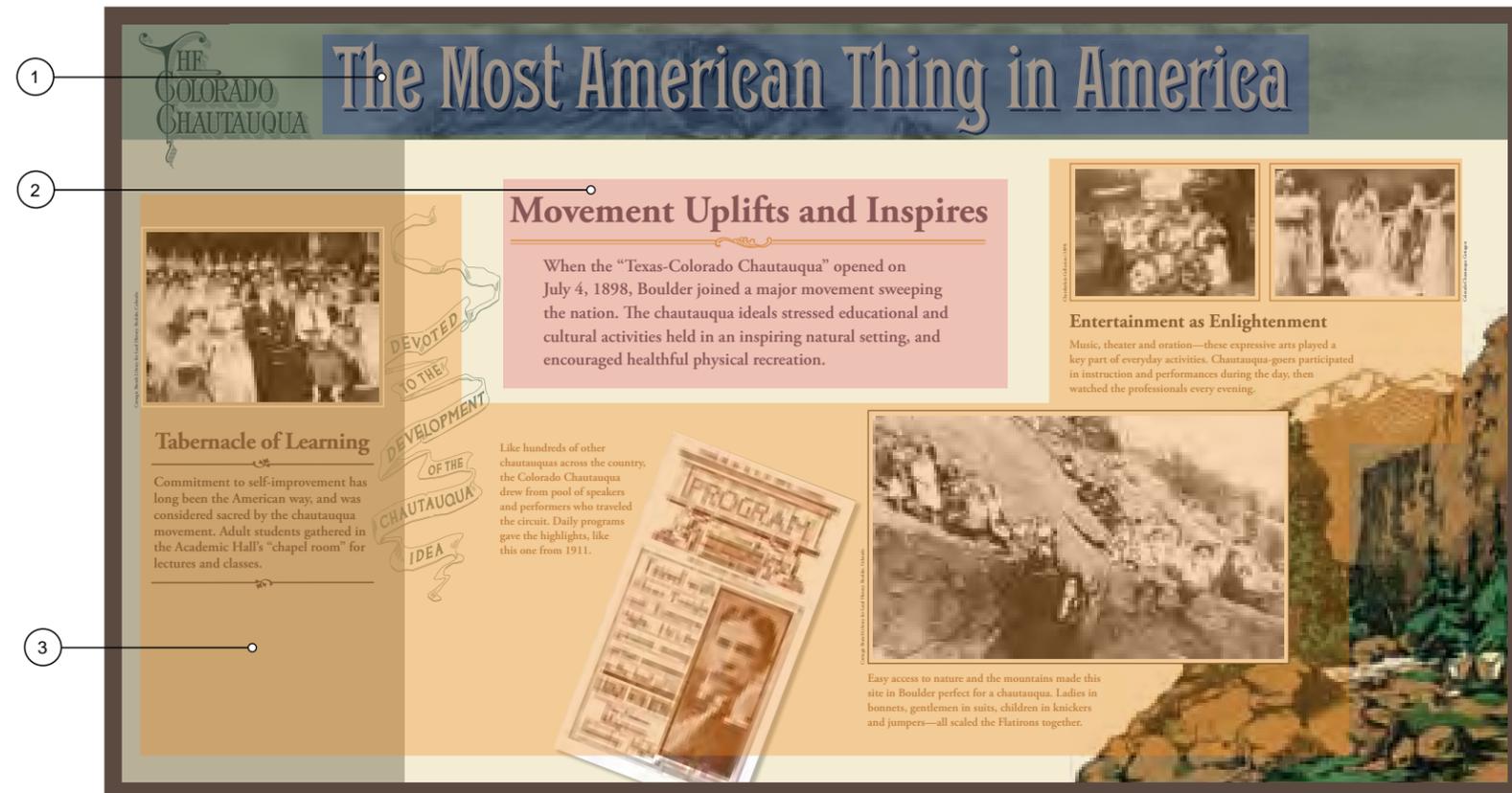
3. 3 Minute Message

In-depth information for a more specialized read. Secondary storylines further enhance overall messaging.

Copy Length

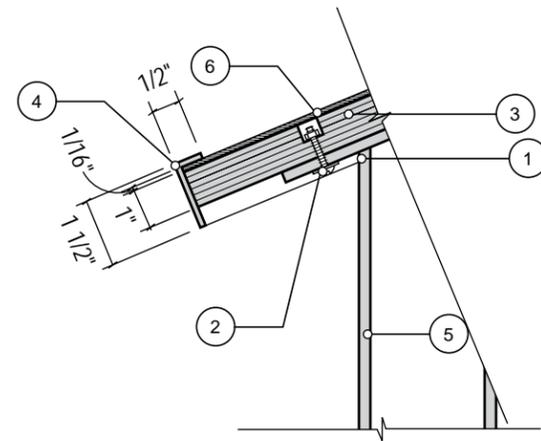
Secondary Text - Up to 45 words

Caption Text - Up to 25 words

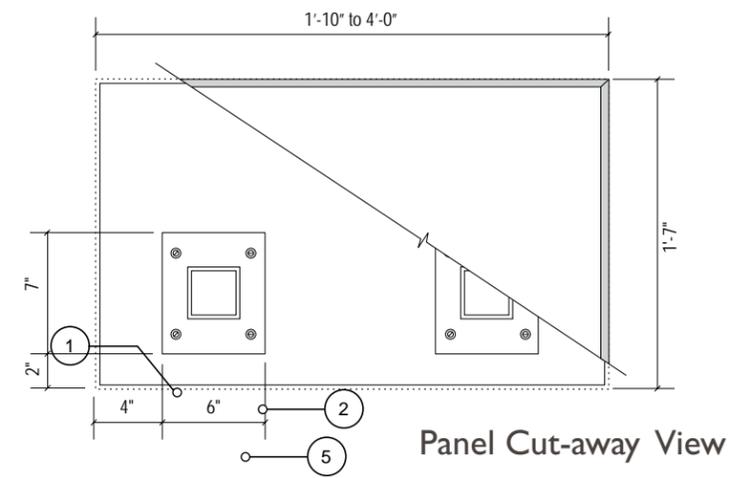


**Interpretive:** Type EI - Structure

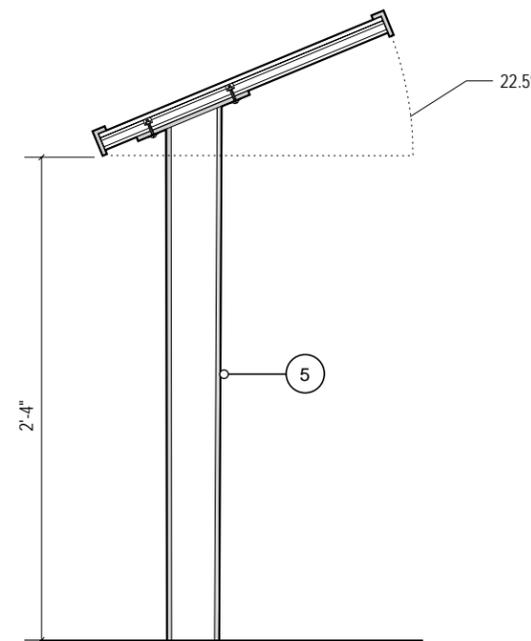
1. Painted 1/4" thick aluminum plate welded to post
2. Security hardware
3. 1" thick all-weather backer panel
4. Painted 1/2" face x 1 1/2" side aluminum frame with security hardware, painted to match CL2725D Dissent
5. Painted aluminum 3" x 3" post, direct burial or as over-sleeve depending on mounting condition, painted to match CL2725D Dissent
6. Porcelain enamel graphic



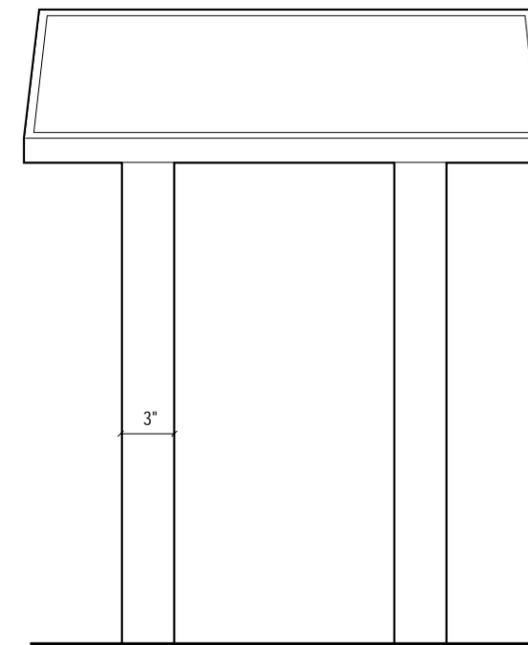
Detail View



Panel Cut-away View



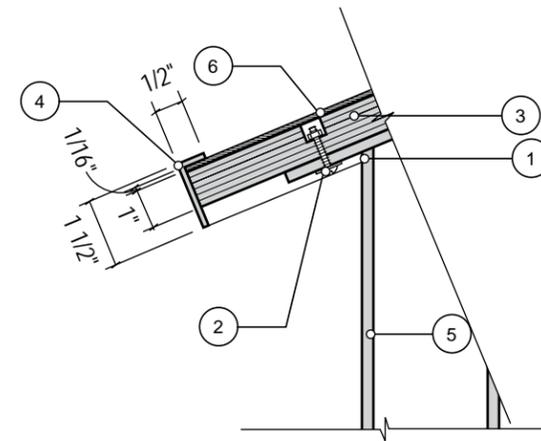
Section View



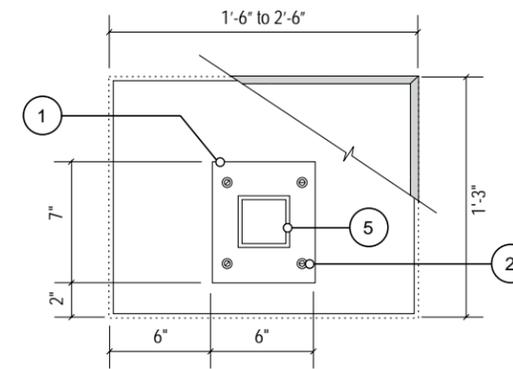
Front View

**Interpretive:** Type E2 - Structure

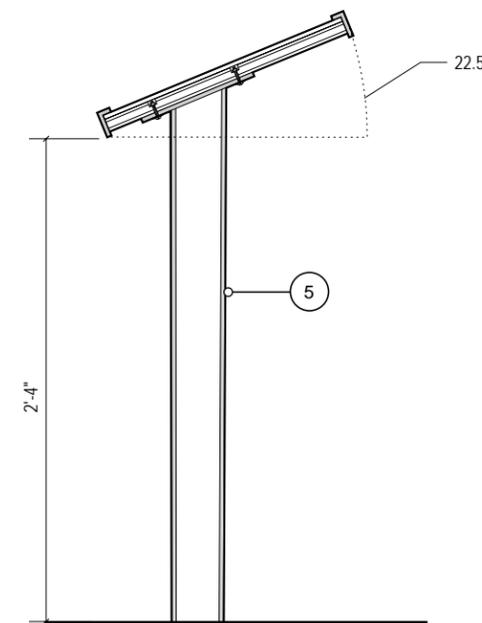
1. Painted 1/4" thick aluminum plate welded to post
2. Security hardware
3. 1" thick all-weather backer panel
4. Painted 1/2" face x 1 1/2" side aluminum frame with security hardware, painted to match CL2725D Dissent
5. Painted aluminum 3" x 3" post, direct burial or as over-sleeve depending on mounting condition, painted to match CL2725D Dissent
6. Porcelain enamel graphic



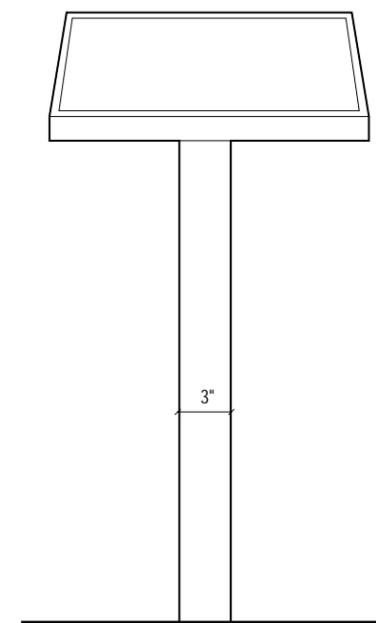
Detail View



Panel Cut-away View



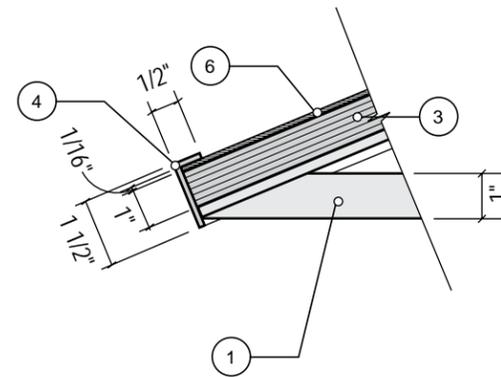
Section View



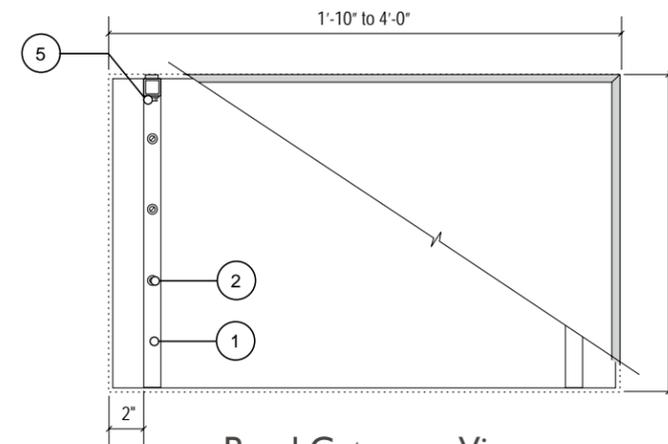
Front View

**Interpretive:** Type E3 - Structure

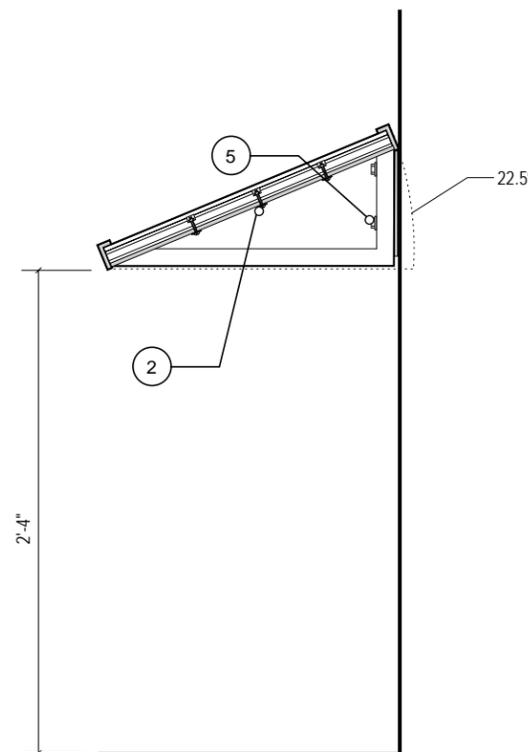
1. Painted aluminum 1" x 1" welded frame system, painted to match CL2725D Dissent
2. Security hardware
3. 1" thick all-weather backer panel
4. Painted 1/2" face x 1 1/2" side aluminum frame with security hardware, painted to match CL2725D Dissent
5. Galvanized lag or bolt connection, painted cap to match frame
6. Porcelain enamel graphic



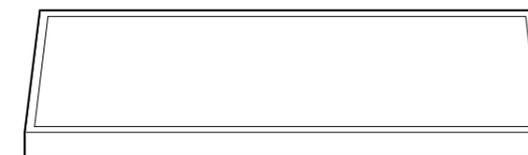
Detail View



Panel Cut-away View



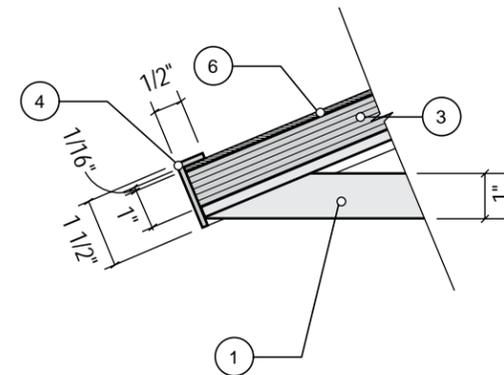
Section View



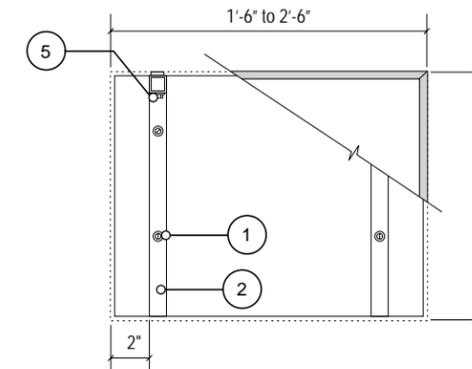
Front View

**Interpretive:** Type E4 - Structure

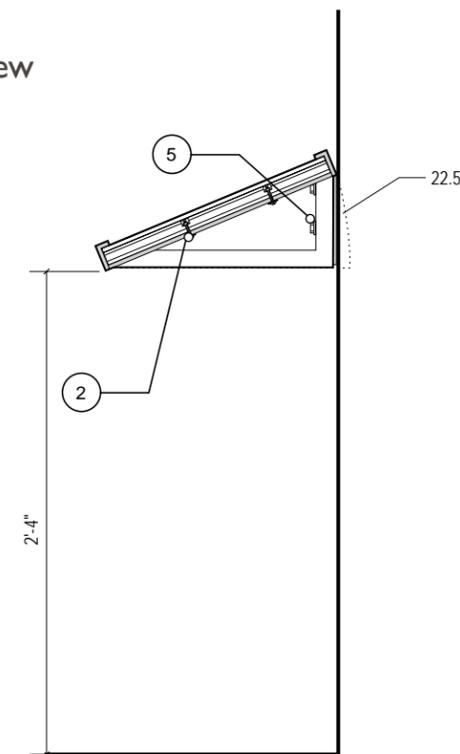
1. Painted aluminum 1" x 1" welded frame system, painted to match CL2725D Dissent
2. Security hardware
3. 1" thick all-weather backer panel
4. Painted 1/2" face x 1 1/2" side aluminum frame with security hardware, painted to match CL2725D Dissent
5. Galvanized lag or bolt connection, painted cap to match frame
6. Porcelain enamel graphic



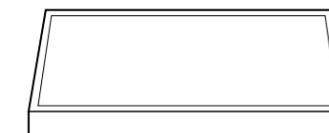
Detail View



Panel Cut-away View



Section View



Front View

**Interpretive:** Types E5 and E6 - Type Sizing

**Fonts and Sizes:**

1. **Main Panel Title**  
Gable Antique Condensed 160 pt.  
Customized with a stepped drop shadow.
2. **Primary Header**  
Adobe Garamond Pro Bold 65 pt.
3. **Caption Header**  
Adobe Garamond Pro Bold 33 pt.
4. **Primary Text**  
Adobe Garamond Pro Semibold 30/40 pt.
5. **Secondary Text**  
Adobe Garamond Pro Semibold 24/28 pt.
6. **Caption Text**  
Adobe Garamond Pro Semibold 20/25 pt.
7. **Quotation**  
Adobe Garamond Pro Bold Italic 42 pt.
8. **Quotation Source**  
Adobe Garamond Pro Semibold Italic 20 pt.
9. **Photo Credit/Source**  
Adobe Garamond Pro Semibold 8 pt.

**THE COLORADO CHAUTAUQUA**

# Camp Time for Grownups

## Learning and Playing in Nature

Chautauqua's next-to-nature setting encouraged separation from the workaday world. Yet even recreation took on a moral mandate within the Chautauqua Movement's dedication to "useful leisure." By 1915, the frenzied recreational pace prompted cottagers to institute Quiet Hours—to rest before the next activity.

**The Photo Makes the Memory**  
A special experience calls for a picture! During Chautauqua's early years, "Rocky Mountain Joe" (Joseph B. Sturtevant) "tuck" many a face.

Scrambling and tramping in Boulder's foothills proved an exhilarating experience for many Chautauqua-goers. Founded in 1906, the Colorado Chautauqua Climbers Club counted 2,000 people on its summer outings in 1929.

After camping overnight, Chautauquans watch the sunrise. Campers were advised to wear hob-nailed shoes (with spikes), two pairs of hose (stockings) and a heavy sweater. Ladies wore skirts, of course!

*INSPIRE  
TEACH*

*Midst the glory of the mountains  
'neath a blue and wondrous sky  
Lies Chautauqua, winsome beauty,  
sure delight to heart and eye.*  
from "Chautauqua Rally Song"

The Climbers Club rated Chautauqua outings according to difficulty—one to five "degrees." Nearby Royal Arch received third degree status, but was later downgraded.

**Interpretive:** Types E5 and E6 - Design

1. Use of drop shadows is limited to images used as "artifact" objects, thereby creating a distinction and hierarchy of elements.
2. 1/2" face-profile metal frame on edges adds visual containment to panels.
3. Quotations and excerpts can be drawn from historic sources to provide quick read delivery of major ideas and/or to engage the visitor.
4. Clipped or cutout historical photographs can be used as major anchoring elements.
5. Ornamental graphics taken from period print material may be used to support the panel's historical aesthetic and/or to place emphasis on certain content.

**NOTE:**

*This sample layout serves to illustrate the guidelines; it is not intended as a template.*

**THE COLORADO CHAUTAUQUA** **Camp Time for Grownups**

**Learning and Playing in Nature**

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Scrambling and camping in Boulder's foothills proved an exhilarating experience for many Chautauqua-goers. Founded in 1906, the Colorado Chautauqua Climbers Club counted 2,000 people on its summer outings in 1923.

After camping overnight, Chautauquans watch the sunrise. Campers were advised to wear hob-nailed shoes (with spikes), two pairs of hose (stockings) and a heavy sweater. Ladies wore skirts, of course!

**INSPIRE**  
**TEACH**

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'neath a blue and wondrous sky  
Lies Chautauqua, winsome beauty,  
sure delight to heart and eye.*  
from "Chautauqua Rally Song"

The Climbers Club rated Chautauqua outings according to difficulty—one to five "degrees." Nearby Royal Arch received third degree status, but was later downgraded.

**1** (points to Bulletin cover)  
**2** (points to sunrise photo)  
**3** (points to quote)  
**4** (points to bottom of panel)  
**5** (points to 'INSPIRE TEACH' graphic)

**The Colorado Climbers Club Bulletin**  
Second Edition  
1912—BOULDER, COLO.—1912

**TEXAS-COLORADO Chautauquan**  
PLUME

**Interpretive:** Types E5 and E6 - Messaging

Messaging is designed to provide varying levels of information that match the user's interest. A clearly defined hierarchy encourages visitor engagement and helps direct readers through the intended flow of content.

1. 3 Second Message

Panel title uses short and well-crafted copy to convey "big-picture" take away.

Copy Length - Up to 6 words

2. 30 Second Message

Primary header and text are constructed to convey the overall message of the panel.

Copy Length

Text - Up to 45 words

3. 3 Minute Message

In-depth information for a more specialized read. Secondary storylines further enhance overall messaging.

Copy Length

Secondary Text - Up to 45 words

Caption Text - Up to 25 words

**THE COLORADO CHAUTAUQUA** **Camp Time for Grownups**

**Learning and Playing in Nature**

Chautauqua's next-to-nature setting encouraged separation from the workaday world. Yet even recreation took on a moral mandate within the Chautauqua Movement's dedication to "useful leisure." By 1915, the frenzied recreational pace prompted cottagers to institute Quiet Hours—to rest before the next activity.

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After camping overnight, Chautauquans watch the sunrise. Campers were advised to wear hob-nailed shoes (with spikes), two pairs of hose (stockings) and a heavy sweater. Ladies wore skirts, of course!

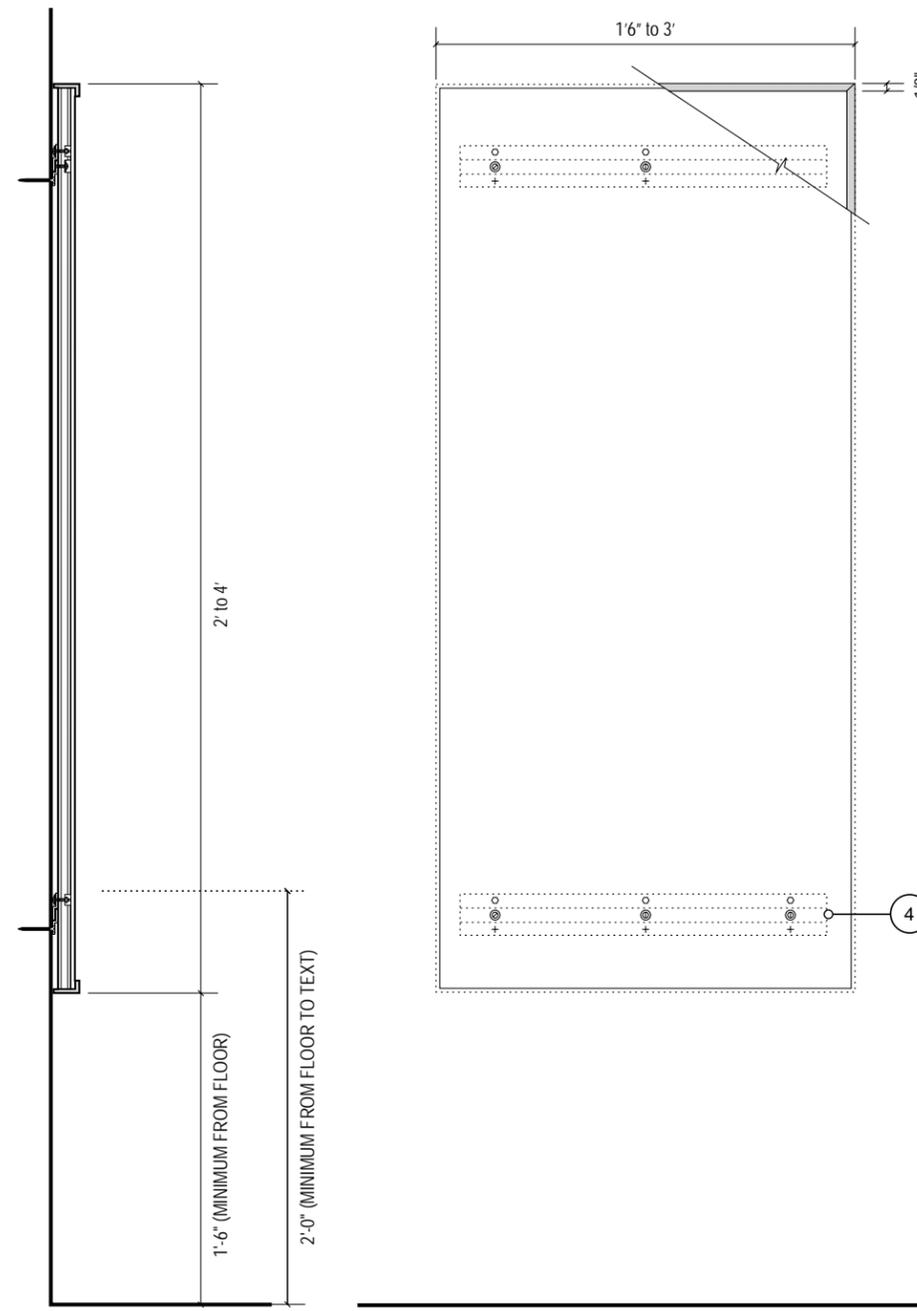
**INSPIRE TEACH**

*Midst the glory of the mountains,  
'neath a blue and wondrous sky  
Lies Chautauqua, winsome beauty,  
sure delight to heart and eye.*  
from "Chautauqua Rally Song"

The Climbers Club rated Chautauqua outings according to difficulty—one to five "degrees." Nearby Royal Arch received third degree status, but was later downgraded.

**Interpretive:** Type E5 - Structure

1. Attachment hardware, style depends on substrate
2. 1" thick all-weather backer panel
3. Painted 1/2" face x 1 1/2" side aluminum frame with security hardware
4. Low-profile "Z" cleat
5. 4-color fiberglass embed digital exterior graphic



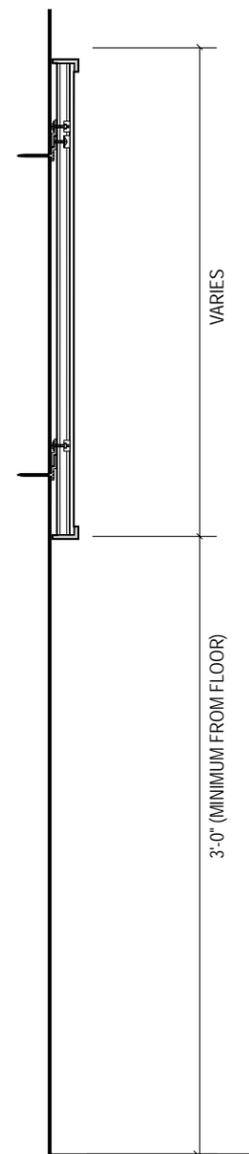
Section View

Front View

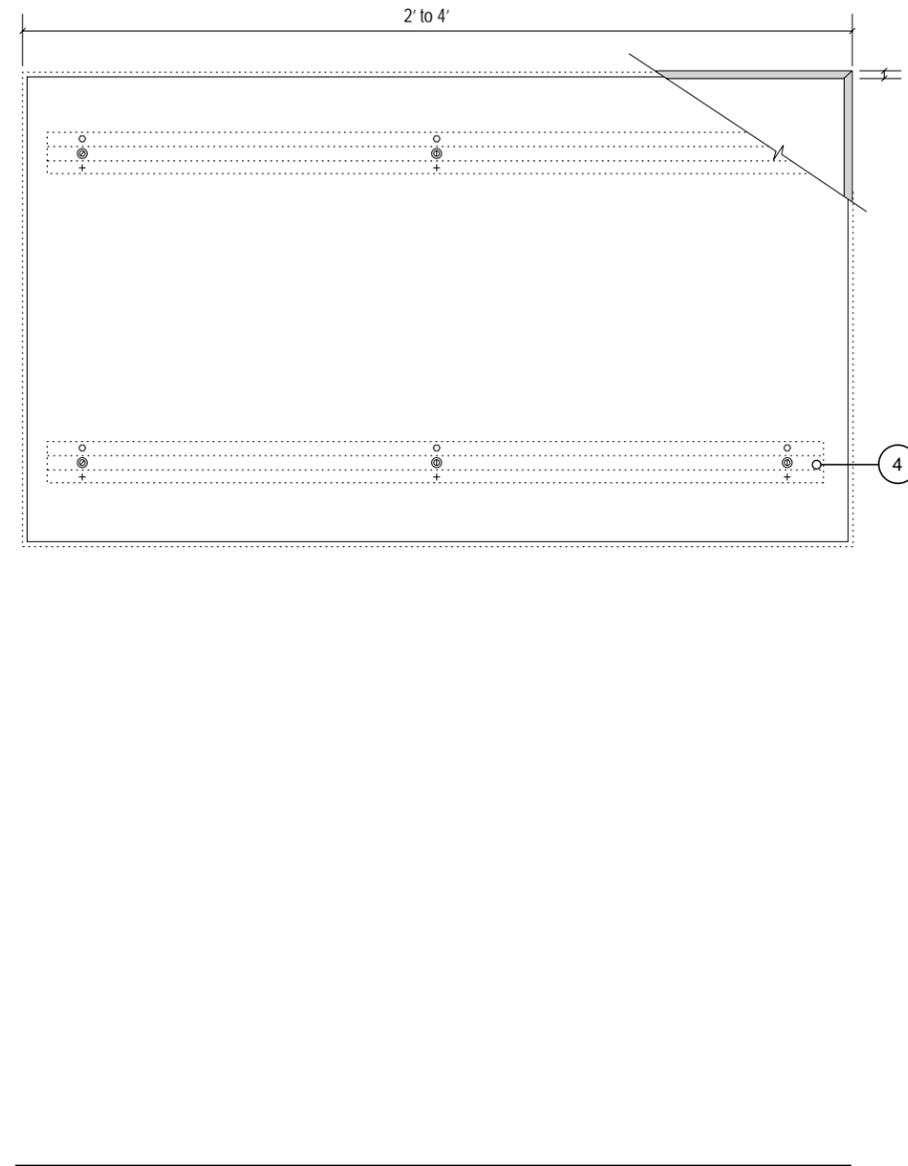
Detail View

**Interpretive:** Type E6 - Structure

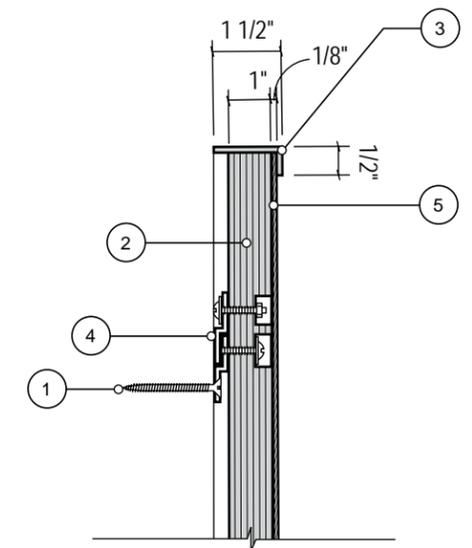
1. Attachment hardware, style depends on substrate
2. 1" thick all-weather backer panel
3. Painted 1/2" face x 1 1/2" side aluminum frame with security hardware
4. Low-profile "Z" cleat
5. 4-color fiberglass embed digital exterior graphic



Section View



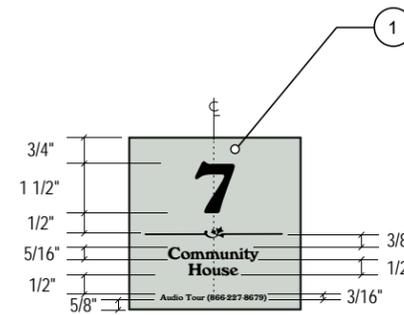
Front View



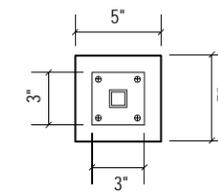
Detail View

**Interpretive:** Type E7 - Structure & Graphic

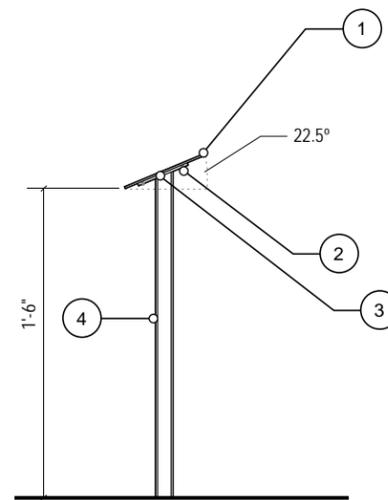
1. Porcelain enamel plate (or equivalent). Numeral and text to match black, background to match 8644M Seal Beach.
2. Integral protruding bolt secures aluminum backer plate to aluminum tubing with security nut.
3. 1/8" thick aluminum backer plate, coated with heavy enamel as buffer between aluminum and porcelain steel plate.
4. Painted aluminum 1" x 1" post, direct burial or as over-sleeve depending on mounting condition, painted to match CL2725D Dissent.



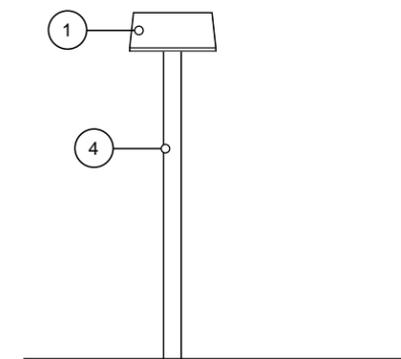
Detail View  
(Graphic)



Plan View



Section View

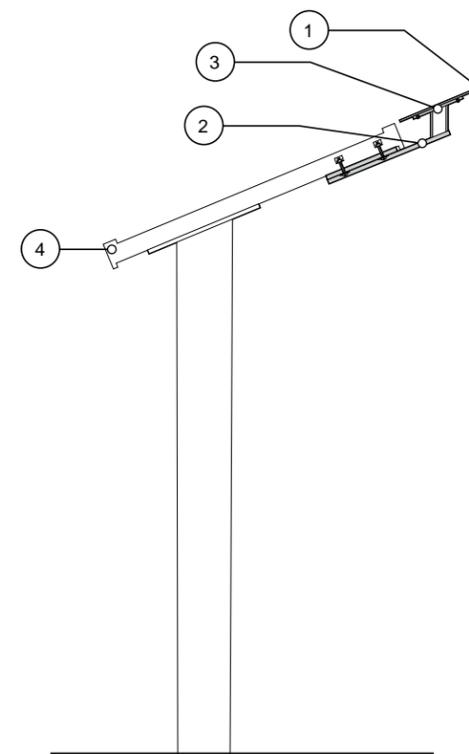


Front View

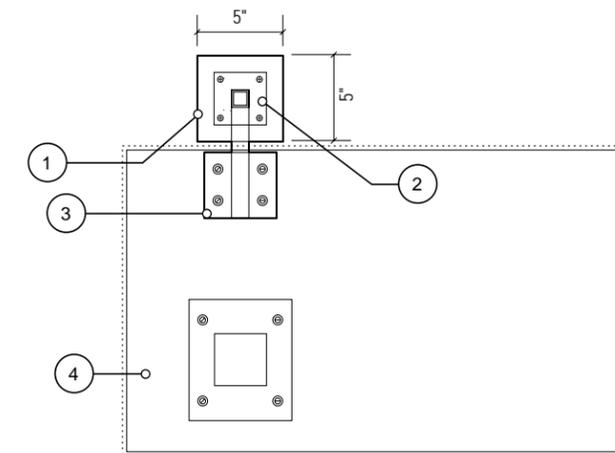


**Interpretive:** Type E8 - Structure & Graphic

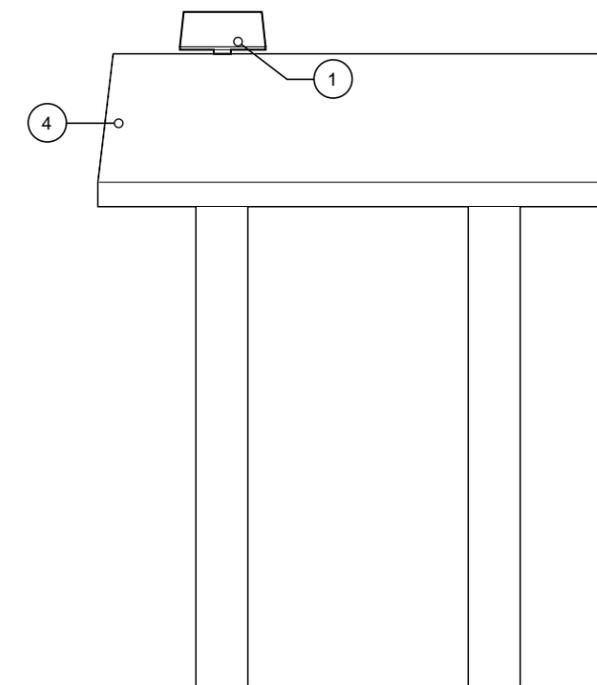
1. Porcelain enamel plate (or equivalent). Numeral and text to match black, background to match 8644M Seal Beach.
2. Mounting assembly. Consists of 1/8" thick aluminum plate and 1" x 1" square aluminum tube.
3. 1/8" thick aluminum backer plate, coated with heavy enamel as buffer between aluminum and porcelain steel plate, mechanically fastened.
4. Existing free-standing sloper.



Section View



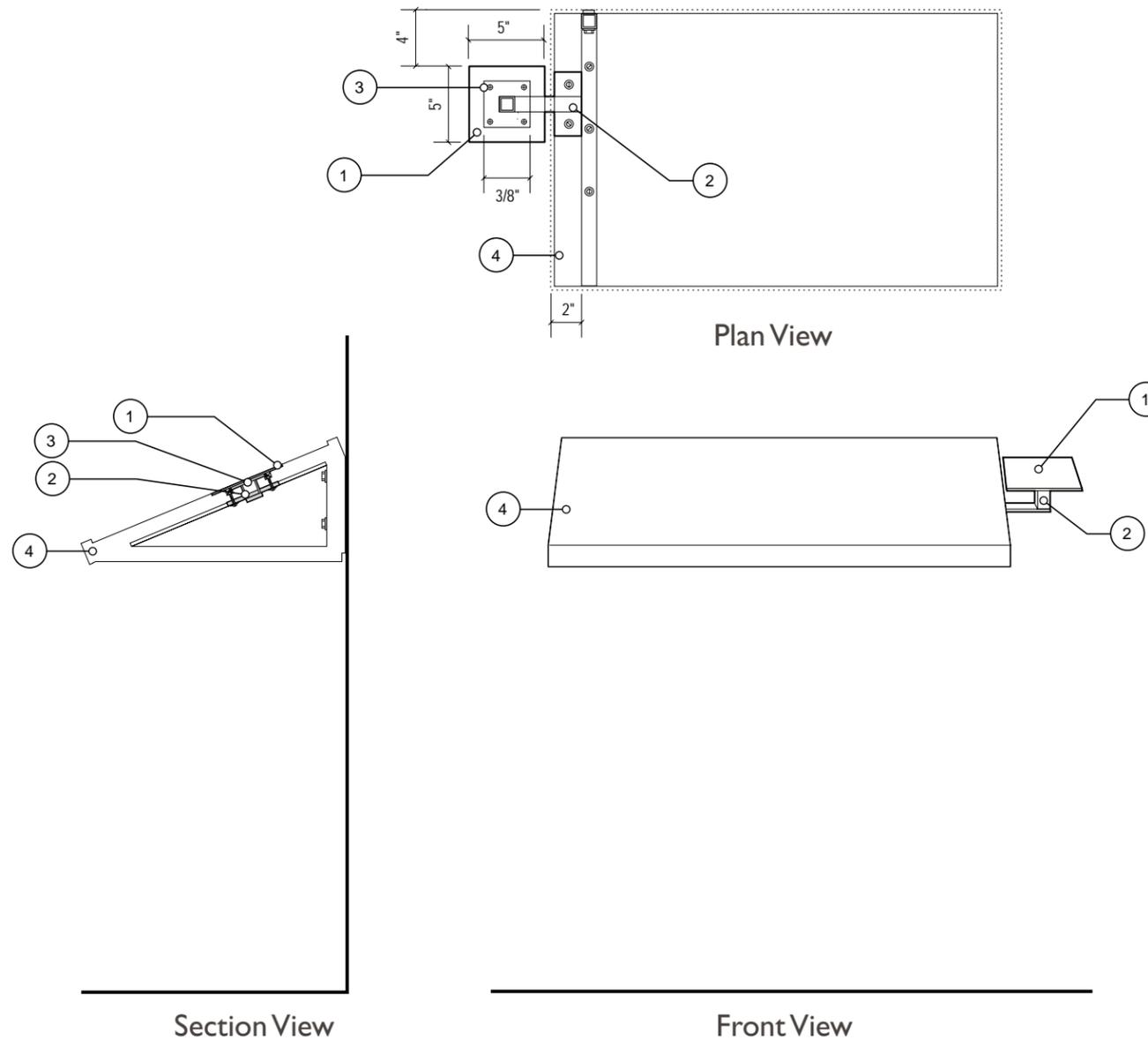
Plan View



Front View

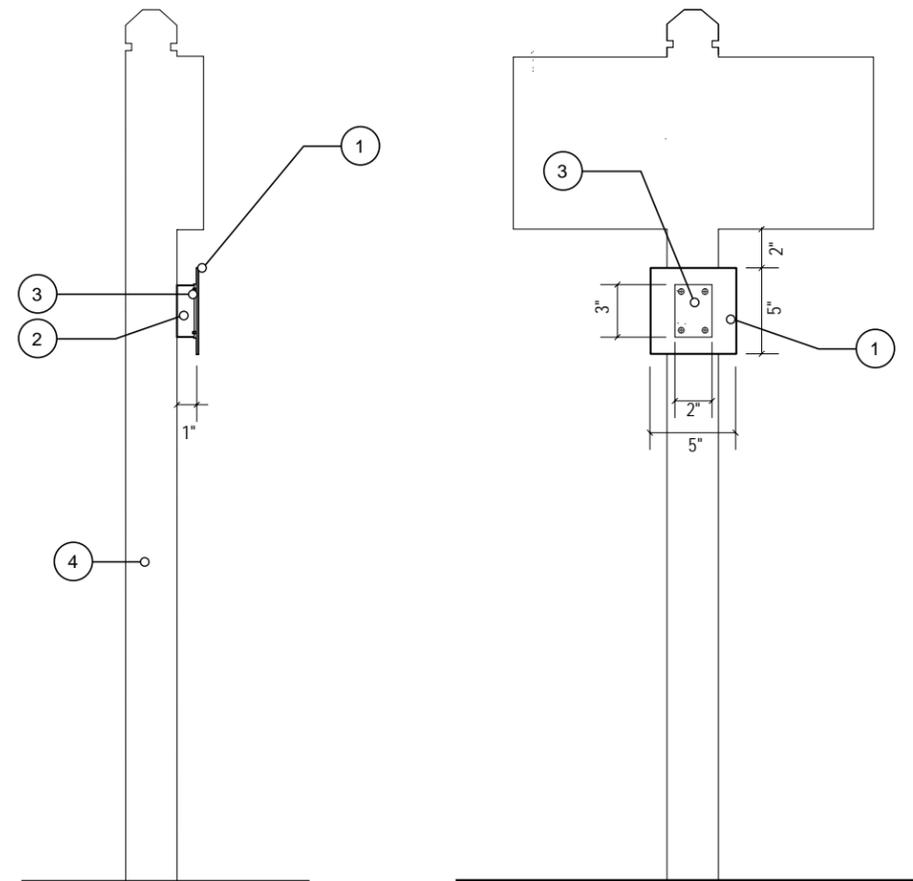
**Interpretive:** Type E9 - Structure & Graphic

1. Porcelain enamel plate (or equivalent). Numeral and text to match black, background to match 8644M Seal Beach.
2. Mounting assembly. Consists of 1/8" thick aluminum plate and 1" x 1" square aluminum tube.
3. 1/8" thick aluminum backer plate, coated with heavy enamel as buffer between aluminum and porcelain steel plate, mechanically fastened.
4. Existing wall mounted sloper.



**Interpretive:** Type E10 - Structure & Graphic

1. Porcelain enamel plate (or equivalent). Numeral and text to match black, background to match 8644M Seal Beach.
2. Wood support mount, secured to sign post with mechanical fasteners, finished smooth and painted to match substrate.
3. 1/8" thick aluminum backer plate, coated with heavy enamel as buffer between aluminum and porcelain steel plate, mechanically fastened to wood support mount.
4. Existing Building Identity Sign.

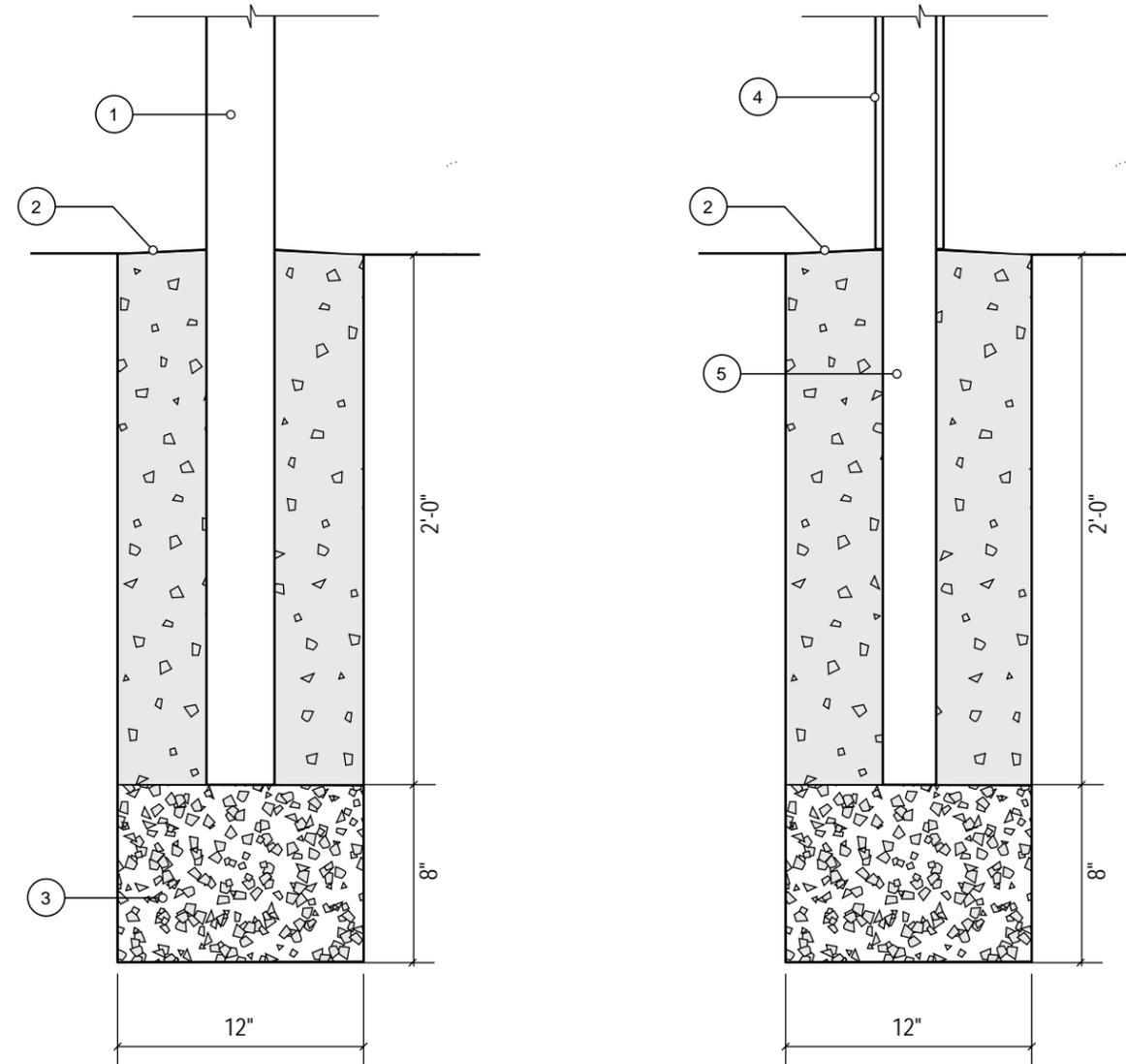


Section View

Front View

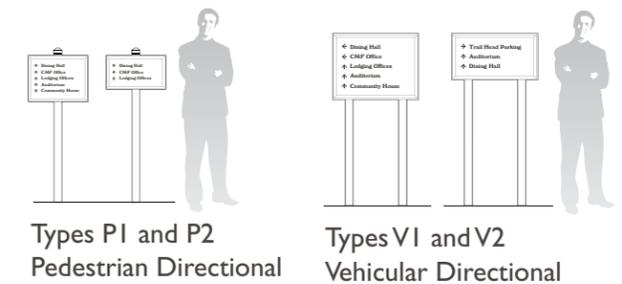
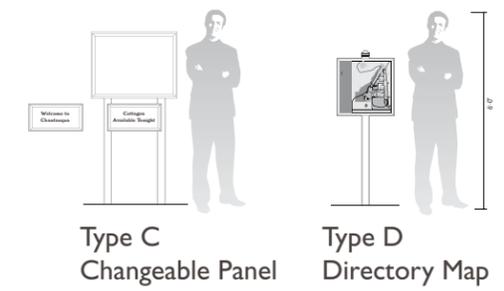
**Interpretive:** Installation

1. Post
2. Concrete, with positive top drainage angle
3. Gravel
4. Post (sleeve)
5. Post Anchor



Over-sleeve Mounting Option

Locator Maps: Phase I Wayfinding Locations



Locator Maps: Phase I Interpretive Locations



Type E1  
Large Sloper  
Free-standing



Type E5  
Wall Mount  
Vertical

Locator Maps: Phase II Wayfinding Locations

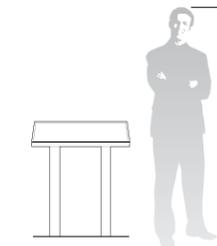


Types P1 and P2  
Pedestrian Directional

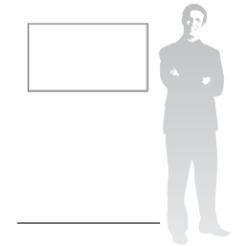


Type D  
Directory Map

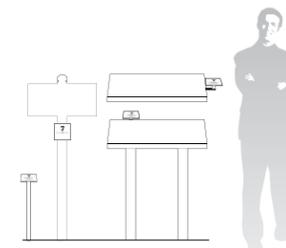
Locator Maps: Phase II Interpretive Locations



Type E1  
Large Sloper  
Free-standing



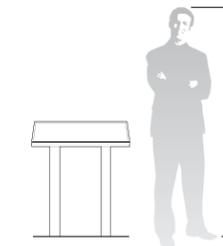
Type E6  
Flush Wall Mount  
Horizontal



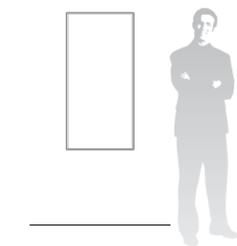
Type E7, E8, E9, E10  
Tour Locator



Locator Maps: Future Interpretive Locations



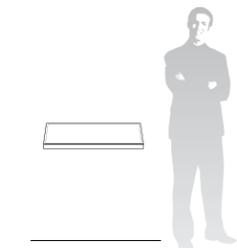
Type E1  
Large Sloper  
Free-standing



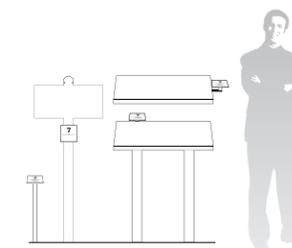
Type E5  
Wall Mount  
Vertical



Type E2  
Small Sloper  
Free-standing



Type E3  
Large Sloper  
Wall Mount



Type E7, E8, E9, E10  
Tour Locator

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**Community, Culture and Safety Investments - 0.28% total for three years \$25.2M - reduction of \$2.4M from .30%**

Item	Amount	Group Costs
Civic Area	8,700,000	8,700,000
Hill Residential Pedestrian Lighting	2,000,000	
Hill Commercial District Event Street	750,000	
Hill Commercial District Irrigation and Street Tree Improvements	520,000	3,270,000
Boulder Creek Path Lighting	1,040,000	
Boulder Creek Pathway Improvements	885,000	1,925,000
Arapahoe / 13th Street Underpass	-	-
Eben Fine Park Stream Bank Restoration	700,000	700,000
Dairy Center	3,850,000	3,850,000
Museum of Boulder	4,000,000	4,000,000
Public Arts Program	600,000	600,000
Chautauqua Pedestrian Safety Access / Lighting	1,500,000	1,500,000
Contingency added \$100,000	655,000	655,000
<b>Total</b>	<b>25,200,000</b>	<b>25,200,000</b>
Est. Revenue	25,200,000	25,200,000
Over/(Under)	-	-

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**Community, Culture and Safety Investments - 0.27% total for three years \$24.3M - reduction of \$3.3M from .30%**

<b>Item</b>	<b>Amount</b>	<b>Group Costs</b>
Civic Area	8,700,000	8,700,000
Hill Residential Pedestrian Lighting	2,000,000	
Hill Commercial District Event Street	750,000	
Hill Commercial District Irrigation and Street Tree Improvements	520,000	3,270,000
Boulder Creek Path Lighting	1,040,000	
Boulder Creek Pathway Improvements	885,000	1,925,000
Arapahoe / 13th Street Underpass	-	-
Eben Fine Park Stream Bank Restoration	-	-
Dairy Center	3,850,000	3,850,000
Museum of Boulder	4,000,000	4,000,000
Public Arts Program	600,000	600,000
Chautauqua Pedestrian Safety Access / Lighting - reduced \$250K	1,250,000	1,250,000
Contingency-Increased by \$150K	705,000	705,000
<b>Total</b>	<b>24,300,000</b>	<b>24,300,000</b>
Est. Revenue	24,300,000	24,300,000
Over/(Under)	-	-

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## Chautauqua Pedestrian Safety, Access and Lighting Improvements Project

South Side of Baseline, 10th Street to West of 6th Street

## Project Information Sheet

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### What is the Chautauqua Pedestrian Safety, Access and Lighting Improvements Project?

The Chautauqua Pedestrian Safety, Access and Lighting Improvements Project addresses the south side of Baseline Road from the park boundary near 10<sup>th</sup> Street to west of Sixth Street. This Chautauqua Project fulfills the direction of the 2014 voter-approved Community, Culture and Safety Tax to improve pedestrian safety and incorporate Americans with Disabilities Act (ADA)-compliant curbs and ramps along Baseline Road in the Chautauqua area. The second component to the project will address the safety need for low-level lighting in the park along the walkway from the King's Gate entrance to the parking lot east of the tennis courts. The project is an inter-departmental City of Boulder project that honors the historic and natural character of the area while providing important safety improvements.

### Improvements

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The Chautauqua Project will provide the following improvements:

- Construction of 5-foot wide sidewalks on the south side of Baseline Road from the park boundary near 10<sup>th</sup> Street to the end of on-street parking west of Sixth Street
- Improved ADA-compliant pedestrian crossings along Baseline Road
- Improved pedestrian connections from Baseline Road to Open Space and Mountain Parks designated access trails (per the West Trail Study Area Plan) and to existing Parks and Recreation paths
- Native shrubs and plantings to replace non-native species and improve landscape conditions on the north edge of the Chautauqua meadow
- Transit stop improvements, including an ADA-compliant ramp at King's Gate
- Pedestrian lighting from the King's Gate entrance to the parking lot east of the tennis courts interior to Chautauqua Park (no additional lighting will be installed along Baseline Road or OSMP public land)
- Installation of way-finding elements within the Chautauqua project area-per the Colorado Chautauqua Association National Historic Landmark Master Signage Plan

### Funding

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The Chautauqua Project will cost around \$1.5 million and is funded by the 2014 voter-approved Community, Culture and Safety Tax.

### Why is the Chautauqua Project needed?

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This section of Baseline Road serves an important role for the use of Chautauqua Park, Open Space and Mountain Parks trails and Chautauqua Association lodging, programming and venues. These three facets of Chautauqua, combined, attract more than half a million visitors per year.

Currently, the lack of sidewalk on the south side of Baseline Road from west of Sixth Street east to King’s Gate creates a safety hazard. Pedestrians travel in the street increasing pedestrian-vehicle and pedestrian-bicycle conflict. The lack of sidewalks also impedes the mobility and access of area residents. Consequently, the project area has been identified in the City’s Missing Sidewalk Links program.

The Transportation Master Plan (TMP) prioritizes providing travel options by constructing multimodal facilities. The project supports this TMP goal through construction of sidewalks and transit stop amenities. Additionally, this project provides OSMP the opportunity to implement the Council-approved West Trail Study Area Plan, which includes recommendations to reduce the number of damaging social trails on the north side of the Chautauqua Meadow. This project also aligns with the Colorado Chautauqua Association 2004 Cultural Landscape Assessment and Plan’s recommendations to restore historic views “in and from Chautauqua Park.”

## When will the Chautauqua Project begin?

Vegetation pruning and removal is scheduled to take place in fall, 2016, followed by construction in fall and winter 2016-2017.

	2015		2016		2017
	Sept	Oct	Fall	Winter	Spring
Board and Committee Presentations					
Public Meeting					
Preliminary and Final Design Development					
Vegetation Pruning & Removal					
Construction Start					
Construction Completion					

## Construction Impacts

Project construction is anticipated to begin in the winter of 2016 and will take six months to complete.

The Chautauqua Project will remove small- and medium-sized trees along Baseline Road, including cherry trees that died in the November 2014 freeze and green ash trees that are in poor health and are susceptible to emerald ash borer, a destructive insect pest.

Tree protection will be used for trees to be preserved, including the large white and red oaks on the north side of the park. The project will plant eight new trees in the park outside of the natural area.

Additional construction impacts are to be determined: parking restrictions, pedestrian detours, vehicular lane narrowing, and bicycle detours may be in effect during construction.

## How can I get more information about this and other projects?

To find the latest information about this project, visit the [Chautauqua Project](#) webpage or contact Melanie Sloan at **303-441-4934** or by email at [sloanm@bouldercolorado.gov](mailto:sloanm@bouldercolorado.gov).

**CITY OF BOULDER  
MEMORANDUM**

**TO:** Landmarks Board

**FROM:** James Hewat, Senior Historic Preservation Planner, Planning, Housing + Sustainability  
Marcy Cameron, Historic Preservation Planner, PH+S  
Susan Richstone, Deputy Director, PH+S  
Lesli Ellis, Comprehensive Planning Manager, PH+S  
Courtland Hyser, Senior Planner, PH+S  
Jean Gatza, Sustainability Planner, PH+S  
Caitlin Zacharias, Associate Planner, PH+S



**DATE:** October 7, 2015

**SUBJECT:** Boulder Valley Comprehensive Plan 2015 Update – Briefing on Foundational Work, Community Kick Off, Focused Topics, and Next Steps

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**PURPOSE**

The purpose of this item is to provide an update on the Boulder Valley Comprehensive Plan (BVCP) 2015 Update and receive feedback on the foundational work to date (i.e., Trends Report, projections, fact sheets, and mapping); the community engagement plan and input so far; the initial focused topics for the BVCP update; and next steps for the 18-month project.

**Landmarks Board Role in the BVCP**

The BVCP is jointly adopted by the City of Boulder (“city”) (Planning Board and City Council) and Boulder County (“county”) (County Commissioners and Planning Commission). While the Landmarks Board is not responsible for approving the plan, staff is seeking feedback and ideas from the board about relevant policy areas of the plan, including any policy topics related to historic preservation and the Historic Preservation Plan, as well as community engagement. The planning team will advance the feedback to the four approval bodies at their meetings in December 2015.

**Feedback**

Does the Landmarks Board have any questions about the foundational information (i.e., Community Profile, draft Trends Report, Subcommunity Fact Sheets, 2040 projections), or feedback about:

1. Community engagement and next steps?
2. Focused topics for the 2015 update and/or specific policy areas relevant to historic preservation?

## BACKGROUND

### **Plan Purpose and Joint Adoption**

The BVCP is the community's plan for the future. The core components of the plan include policies and maps. The policies are intended to guide decisions about growth, development, preservation, environmental protection, economic development, affordable housing, culture and the arts, urban design, neighborhood character and transportation for the next 15 years. Two maps, namely the Land Use and Area I, II, III Maps, define the desired land-use pattern and location, type, and intensity of development.

Despite its 15 year horizon, the BVCP is updated every five years to respond to changed circumstances or evolving community needs and priorities.

Since the 1970s, the City of Boulder ("city") (Planning Board and City Council) and Boulder County ("county") (County Commissioners and Planning Commission) have adopted the plan jointly. The ongoing collaboration to address issues of shared concern is relatively unique among communities.

### **2015 Update**

The webpage for the 2015 update and portal for interested participants to sign up for project updates is: [www.bouldervalleycompplan.net](http://www.bouldervalleycompplan.net). The webpage also includes a link to the 2010 plan and maps. The 2015 BVCP update will carry forward long-standing core values, as noted (above). Additionally, an updated plan will be able to more clearly and graphically convey the community's vision; better align the city organization and its services; provide clear guidance and tools for implementation; and include metrics to monitor progress, among other goals for the update.

### **Plan Implementation**

The plan is the overarching policy guide for the community. As such, its policies tend to be less detailed than those that are found in the city's 20+ master plans. The BVCP is implemented through many means as shown in the graphic to the right. The BVCP's land use map sets parameters around future growth and guides development standards and zoning, and regulations in the Boulder Land Use Code are largely instrumental in guiding development to achieve plan goals consistent with the land use map. The city and county closely adhere to the BVCP as guided by an intergovernmental agreement.

### **BVCP Core Values**

(p. 9, 2010 Plan)

1. Sustainability as a unifying framework to meet environmental, economic, and social goals
2. A welcoming and inclusive community
3. Culture of creativity and innovation
4. Strong city and county cooperation
5. A unique community identity and sense of place
6. Compact, contiguous development and infill that supports evolution to a more sustainable urban form
7. Open space preservation
8. Great neighborhoods and public spaces
9. Environmental stewardship and climate action
10. A vibrant economy based on Boulder's quality of life and economic strengths
11. A diversity of housing types and price ranges
12. An all-mode transportation system to make getting around without a car easy and accessible to everyone
13. Physical health and well-being



## Feedback and Input to date

A summary of all the feedback to date, including input from boards and commissions, public events and online polls, and Board of County Commissioners (BOCC), Planning Board, Planning Commission, and City Council will be updated regularly and can be found on the [project webpage](#).

Staff also has met monthly with a BVCP Process Subcommittee (Elise Jones and Lieschen Gargano - Boulder County; Sam Weaver, Macon Cowles, John Gerstle, and Leonard May - City of Boulder) to brief them on Update progress and receive guidance on ways to effectively develop and implement public involvement opportunities.

## Work Plan and Schedule

The project began earlier this year with focus on the technical foundational work and development of a community engagement plan and kick off events. The plan process will continue through summer 2016. Input and guidance received to-date from elected officials, boards and commissions, and the public has resulted in continual refinements to the process and approach for the 2015 BVCP update schedule. The four phases will each entail extensive community dialogue and engagement. **The project timeline is on the project webpage, [here](#).**

**Phase 1—Foundations and Community Engagement Plan** (to August 2015)

**Phase 2—Issues Scoping with Community** (through fall 2015)

**Phase 3—Analyze and Update Plan Policies and Maps** (fall 2015 - early 2016)

**Phase 4—Prepare Draft Plan for Adoption, Extend IGA** (to mid 2016)

**Implementation steps**, such as changes to code and zoning map updates would be completed following plan adoption.

During **Phase 1—Foundations/Community Engagement Plan**—the planning team is completing the background data collection, projections, Trends Report, creation of subcommunity fact sheets, and preparation for interactive, 3D, and visualization maps.

The short **Phase 2—Issues Identification—currently underway** is aimed at working with the community to refine and solidify the priority issues to be addressed through the 2015 BVCP update through 2016.

**Phase 3—Plan Analysis and Updated Policies and Maps**—is a longer phase starting in the fall aimed at doing the substantive work to develop choices and analysis for the plan update as well as the “housekeeping” updates to align it better with plans and policies. Several events/milestones will provide opportunities for the community to help shape the plan.

During this phase, the team will advance the 3D modeling and visualization tools to help convey conditions, options, and tradeoffs. Policy refinements and additions (e.g., adding arts and culture, climate commitment policies, local foods, etc.) will also occur with community input. Gaps in metrics to measure plan outcomes will be identified and the full set of measurements further refined. Finally, the Land Use Plan and Area maps will be updated, reflecting input and analysis from the public request process as well as scenarios and analysis.

Finally, **Phase 4—Draft Plan and IGA**—will synthesize all the previous phase deliverables in a draft plan for consideration/adoption. Additionally, the “Comprehensive Development Plan Intergovernmental Agreement” (IGA) between the city and county (valid through Dec. 31, 2017) will need to be updated before its expiration.

## Community Engagement

The city and county are aiming for an open and engaging update process that is focused on critical issues. The process should result in a useful, relevant, and updated plan completed in 2016. The update will entail extensive, authentic community dialogue and engagement as described in the Community Engagement Plan. A Draft Community Engagement Plan can be found [on the project webpage](#). Staff has continued to refine the engagement plan based on feedback and has worked with a consultant, Heather Bergman to make improvements to it. Recent and ongoing engagement events include:

- **Kickoff Event** - A communitywide “Boulder 2030” kickoff event was held on Monday, August 31 at Chautauqua. The event included previews of videos and presentations about the plan and its role, information about current conditions and trends, interactive ways of capturing community input, and family activities. About 225 members of the public attended the event, excluding staff and support personnel.
- **Culturally-Appropriate Engagement** – Staff and decision-makers seek a meaningful engagement process with Boulder’s immigrant communities and culturally-appropriate venues and processes. The approach focuses on one-on-one conversations with community leaders and spokespeople, building on their knowledge and trust within the community; working with bilingual partners at events or “pop-up” meetings using comment forms in Spanish and English; partnering with Intercambio to get input from immigrant students in English classes.
- **Outreach with Civic, Businesses, and Community Groups** - Staff is in the process of reaching out to civic, nonprofit, and other organizations and offering to have a city staff member join them to talk about the update process and hear input.
- **Pop-Up Meetings** - “Pop-up” meetings in conjunction with events and at gathering places will occur around town in August and September. Their purpose is to provide information, increase awareness about the plan process, invite people to engage, and ask initial questions about what people love and consider to be issues facing the community.
- **Youth Engagement** – Some of the pop-up meetings and other events are geared for younger segments of the community – children, youth, and university students. YOAB and Growing Up Boulder are partnering with the planning team.
- **BVCP Statistically Valid Survey** – Staff with RRC Associates worked with the four approval bodies to develop a survey and get feedback in August. In mid-September, RRC will be distributing the survey to 6,000 households with follow-up focus groups. It is expected that results of the survey and focus groups will be available in November.
- **Boards and Commissions** – the planning team will be updating city boards and commissions on the plan and inviting early input between September and December. Dates for meetings with boards and commissions are identified under “Next Steps.”
- **Local Listening Sessions** – The city (and in some cases the county) will coordinate local listening sessions around the community in the fall to share the fact sheets and information about the local community and hear from community members about issues of relevance in different parts of the community. The process committee will advise on best timing and locations for local listening sessions.
- **Data and Trends Discussions** – The planning team also held several drop in sessions geared to allow discussion of the more technical aspects of the project -- data, trends, forecasts and maps.

## ANALYSIS AND FOUNDATIONAL WORK

This section highlights the work completed to date to aid in future conversations about the 2015 plan update.

### *Community Profile*

The 2015 Community Profile, partially updated in April and mostly complete as of Aug. 31, 2015, provides a snapshot of the Boulder community. It can be [found here](#).

### *2040 Projections*

During each five year update, the city updates the long term (i.e., 25 year) projections for housing units and jobs. Projections give a broad sense of what type, location, and pace of housing and jobs might occur communitywide *based on current adopted policies*—reflecting what could happen under current zoning and reasonable assumptions regarding demographic and household trends and economic growth. They help inform conversations about the kind of future Boulder wants and potential changes to current policies. They do not represent a “given.” For example, in the past, the city has made changes to land uses – from commercial and industrial to mixed use and residential – based on the projections and community-defined priorities and desired future outcomes. Once the plan and projections are updated, city departments such as transportation, parks, and utilities use them to plan for system needs in long range master plans.

Projections have their limitations for planning. They are not particularly helpful when it comes to discussing quality or character of development or social issues (e.g., diversity, cost of housing, types of future jobs and incomes, etc.). Additionally, they are not useful at the site-specific level because the methods of calculation are based on broad assumptions.

In general, the BVCP projections are based on a Geographic Information Systems model estimating capacity. **Attachment C** contains the full report, maps, sources of data, and methodology that accompany the projections. For additional details, refer to the *2015-2040 BVCP Projections Methodology* on [www.BoulderValleyCompPlan.net](http://www.BoulderValleyCompPlan.net).

The 2040 projection results indicate existing housing units of 45,700 in the city limits; 104,800 people, and 98,500 jobs in the city and potential by 2040 for almost 6,300 new future housing units (including almost 1,000 new CU housing units) in the city, 18,200 new people (including group quarters), and 18,500 new jobs. Growth rates are based on an average residential rate of 0.6% and an average non residential rate of 0.7% annually. Current zoning allows greater capacity for jobs than housing, with housing reaching capacity by 2040 and an additional 34,200 jobs possible beyond 2040.

### *Subcommunity and Regional Fact Sheets*

The city and county have prepared a series of ten Fact Sheets: one for each of the nine Boulder subcommunities, and one for Area III (located outside of the city but within the BVCP planning area). The sheets document existing land use, facilities, and demographic conditions at the local level and include historic information. Draft versions are on the [project website](#) and can be the basis for local Listening Sessions and focused planning at the local level to better understand needs that are more specific to localized areas rather than the entire Boulder Valley or citywide. The sheets are also being digitized to create online “stories” with interactive maps and data.

### *Trends Report and Top Trends*

The Trends Report highlights Boulder’s trends and presents information at the city, county, and regional scales and organizes the information according to the sustainability framework. The

latest draft is online (available [here](#)) and incorporates input received from elected officials, boards, commissions, and city and county staff as well as some local agencies including the school district, CU, and others. For the community kickoff, the planning team distilled the cross-cutting trends into the posters and in the presentation, and as summarized below.

1. Boulder has Potential for Redevelopment—Mostly in the Northeastern Part of the Community
2. Boulder Continues to be a Center for Employment in the Region
3. Boulderites are Changing How they Travel – At least within the City
4. The Community is Taking Action and Getting more Prepared for Climate Change and Other Threats
5. Boulder’s Housing Types and Availability are Shifting Toward Multi-Family Units; Costs are Rising
6. Population is Growing and Aging
7. Social Disparities Exist; Some are Widening
8. People Seek more Walkable Neighborhoods
9. Healthy Living and Eating Continues as a Way of Life
10. Quality of Life is High

### *Interactive Mapping and 3D and Visualization*

The planning team is working with ESRI to develop online interactive story board maps for different parts of the community. Online maps will have the ability to display different conditions and data as well as 3D buildings and topography. These maps can be the basis for scenario testing and analysis and visualization later in the planning process.

### **Focused Topics for the 2015 Update**

At previous meetings of the Planning Board, Planning Commission, City Council, and the Board of County Commissioners have continually refined a list of focused topics for the 2015 Plan update. Some of the initial ideas evolved from findings of the Consultant Report from late 2014/early 2015 which incorporated feedback from several city boards, and the most recent community kickoff helped to further shape the topics, which generally are noted below.

### *“21<sup>st</sup> Century” Opportunities and Challenges*

The Boulder Valley Comprehensive Plan will integrate with other plans, initiatives, and emerging issues including:

- **Aging Population** – Age-friendly community (i.e., programs and policies to address anticipated needs of an aging population by 2040)
- **Arts and Culture** (e.g., policies from the Community Cultural Plan, work of the library, and other programs)
- **Biodiversity** (e.g., policies from urban wildlife, integrated pest management, and open space programs)
- **Climate Action and Alternative Energy** (e.g., policies and goals relating to the Climate Action plan and renewable energy goals)
- **Community character – diversity** (i.e., goals emerging from the Design Excellence project and Form Based Code pilot)
- **Local Food** (e.g., improving upon existing goals in the plan and incorporating new initiatives and programs relating to health, wellness, and local foods).
- **Resilience / Regional issues** (i.e., incorporating work from the 100 Resilient Cities grant program and coordination with the city’s Chief Resilience Officer)

### ***Growth Management and Livability/Housing***

The city and county may identify possible changes to the land use map in focused areas or policies to accomplish community goals such as housing or growth management, or to adjust the jobs and housing mix. Questions to address include but are not limited to: What should be the future mix and rate of growth of jobs and housing? Where are appropriate locations for future housing and what types are needed to address “missing middle” income ranges?

### ***Neighborhoods and Character***

The city has been hearing a lot of interest from neighborhoods in the past year to improve communications, address land use incompatibilities, and address other service and infrastructure needs. The BVCP update can potentially address topics such as: Are there additional policies to preserve existing neighborhoods and housing? What programs, services, and infrastructure might be necessary to improve neighborhoods lacking such services? How can neighborhoods be more resilient and communicate better in times of emergency?

### ***Improve Plan Document / Update IGA***

Additionally, the 2015 BVCP plan can become one that:

- retains its long standing values but that contains a clearer, more graphic vision and values;
- has stronger links between the policies and actions and implementation; and
- is measurable with metrics and tied to data.

Renewal of the City/County Intergovernmental Agreement should also occur and be initiated well in advance of its expiration on Dec. 31, 2017.

## **NEXT STEPS**

Mid-Sept.	Survey invitation mailed to 6,000 households; survey available online
Oct. 2	Change request period closes and staff begins review and analysis of requests
Mid-Oct.	Survey focus groups
Nov/Dec	Local listening tour around different parts of Boulder Valley
Dec. 15	Joint Study Session of the City Council and Planning Board to discuss Survey and focus group results; initial screening of requests; and focused topics for plan options and analysis
Dec./Jan.	(TBD) Discussion with Planning Commission and Board of County Commissioners

### ***Upcoming City Boards and Commissions:***

Sept. 28	Parks and Recreation Advisory Board (PRAB)
Oct. 5	Downtown Management Commission (DMC)
Oct. 7	Landmarks Board
Oct. 7	Environmental Advisory Board (EAB)
Oct. 7	Boulder Design Advisory Board
Oct. 12	Transportation Advisory Board (TAB)
Oct. 14	Open Space Board of Trustees (OSBT)
Oct. 19	Human Relations Board (HRC)
Oct. 21	Boulder Arts Commission (BAC)
Nov. 16	Open Space Board of Trustees (OSBT)
Dec. 2	Library Commission

**DATE:** October 7<sup>th</sup>, 2015  
**TO:** Landmarks Board  
**FROM:** James Hewat, Marcy Cameron  
**SUBJECT:** Update Memo

**Landmarks Board Appointments**

On September 15<sup>th</sup>, the City Council appointed George Clements (design professional) and Brianna Butler (member at large) to the Landmarks Board. Welcome George and Brianna!

**747 12<sup>th</sup> Street – Landmark Designation**

The landmark designation and lot subdivision of 747 12<sup>th</sup> St. was approved by the City Council at its September 1<sup>st</sup>, 2015 meeting. Update at meeting.

**University Hill Commercial District Open House**

Staff is working to submit a Determination of Eligibility for the district. Update at meeting.

**Certified Local Government Grant – Historic Resource Survey Plan**

We have a signed contract with History Colorado for funding to hire a consultant to assist in the preparation of a Historic resource Survey Plan. Update at meeting.

**Chautauqua Pedestrian Improvements**

See attached.

**Boulder Valley Comprehensive Plan Update**

See attached.

**Comprehensive Planning and Sustainability Calendar**

See attached.

# September 2015

Amended: September 24, 2015  
 Last Planning Board Meeting: September 17, 2015

Mon	Tue	Wed	Thu	Fri																																																																																																																
	<p><b>1</b></p> <p><b>CC Meeting, 6 p.m. in CC</b></p> <p>*Study Session Summary for 8/11 Form-Based Code Pilot (S. Assefa)</p> <p>*1st reading annexation ordinance for 3 properties (B. Johnson/C. Meschuk)</p> <p>*1st reading Building Performance Ordinance (K. Tupper)</p> <p>*Declaration of September 2015 as Boulder Pollinator Appreciation Month (R. Abernathy)</p> <p>*747 12th Street Landmarking (J. Hewat)</p> <p>*Call-up: 2775 Valmont Road Boulder Food Park) use Review (C. Van Schaack)</p>	<p><b>2</b></p> <p><b>PB Meeting, 5pm in CC</b></p> <p>*SPARK Site Review (E. McLaughlin)</p> <p><b>LB, 6 p.m. in Chautauqua Community House</b></p> <p><b>EAB 6-8pm, 1777 West Conference Room</b></p>	<p><b>3</b></p> <p><b>PB Meeting, 3pm in CC</b></p> <p>*SPARK Site Review Continuation (E. McLaughlin)</p>	<p><b>4</b></p>																																																																																																																
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<p><b>14</b></p> <p><b>DMC Mtg, 5:30 p.m., 1777 West Conference Room</b></p>	<p><b>15</b></p> <p><b>CC Meeting, 6 p.m. in CC</b></p> <p>*Study Session Summary for 7/30 Climate Commitment item (B. KenCairn)</p> <p>*IP: Call-up 2440 &amp; 2490 Junction Pl. - Site Review &amp; Use Review (C. Van Schaack)</p> <p>*747 12th Street Landmarking (J. Hewat)</p> <p>*IP: Call-up 5530 Spine Rd/Alexan Gunbarrel Apts. Use Review (C. Van Schaack)</p>	<p><b>16</b></p> <p><b>Design tour of recent downtown buildings for PB, LB, BDAB, DMC &amp; CC, 10:30 a.m. - 1:30 p.m., 1918 13th Street</b></p> <p><b>UHCAMC, 4-6pm, 1777 West Conference Room</b></p>	<p><b>17</b></p> <p><b>BJAD, 4-6 p.m., 1777 West Conf. Room</b></p> <p><b>BVCP Joint Mtg with PB &amp; Planning Commission, West Snr. Center, 5:30 p.m.</b></p> <p><b>PB Meeting, 5:30pm, West Senior Center</b></p> <p>*Civic Area C.E.A.P (S. Assefa)</p> <p>*BVCP Update (L. Ellis)</p> <p><b>CC SS, 6 p.m. in CC</b></p> <p>*Mobile Home Policy (J. Sugnet)</p> <p>*Resilience Strategy Study Session (G. Guibert)</p>	<p><b>18</b></p>																																																																																																																
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<p><b>28</b></p> <p><b>AMPS Open House, Shine Restaurant &amp; Gathering Place, 5-7 p.m.</b></p> <p><b>FBC Working Group, 2-4 p.m. in Park Central, Conf Room 401</b></p>	<p><b>29</b></p> <p><b>Special CC Meeting, 6p.m. in CC</b></p> <p>*2nd reading Building Performance Ordinance (K. Tupper)</p> <p>*Marijuana Ordinance</p>	<p><b>30</b></p>	<table border="1"> <tr> <th colspan="7">Aug 2015</th> <th colspan="7">Oct 2015</th> </tr> <tr> <th>M</th><th>T</th><th>W</th><th>T</th><th>F</th><th>S</th><th>S</th> <th>M</th><th>T</th><th>W</th><th>T</th><th>F</th><th>S</th><th>S</th> </tr> <tr> <td></td><td></td><td></td><td></td><td>1</td><td>2</td><td></td> <td></td><td></td><td></td><td>1</td><td>2</td><td>3</td><td>4</td> </tr> <tr> <td>3</td><td>4</td><td>5</td><td>6</td><td>7</td><td>8</td><td>9</td> <td>5</td><td>6</td><td>7</td><td>8</td><td>9</td><td>10</td><td>11</td> </tr> <tr> <td>10</td><td>11</td><td>12</td><td>13</td><td>14</td><td>15</td><td>16</td> <td>12</td><td>13</td><td>14</td><td>15</td><td>16</td><td>17</td><td>18</td> </tr> <tr> <td>17</td><td>18</td><td>19</td><td>20</td><td>21</td><td>22</td><td>23</td> <td>19</td><td>20</td><td>21</td><td>22</td><td>23</td><td>24</td><td>25</td> </tr> <tr> <td>24</td><td>25</td><td>26</td><td>27</td><td>28</td><td>29</td><td>30</td> <td>26</td><td>27</td><td>28</td><td>29</td><td>30</td><td>31</td><td></td> </tr> <tr> <td>31</td><td></td><td></td><td></td><td></td><td></td><td></td> <td></td><td></td><td></td><td></td><td></td><td></td><td></td> </tr> </table>		Aug 2015							Oct 2015							M	T	W	T	F	S	S	M	T	W	T	F	S	S					1	2					1	2	3	4	3	4	5	6	7	8	9	5	6	7	8	9	10	11	10	11	12	13	14	15	16	12	13	14	15	16	17	18	17	18	19	20	21	22	23	19	20	21	22	23	24	25	24	25	26	27	28	29	30	26	27	28	29	30	31		31													
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<p><b>9</b></p>	<p><b>10</b></p> <p><b>CC Meeting, 6 p.m. in CC</b>                      *Boulder Civic Area Phase I Park Development Community Environmental Assessment Process (CEAP) (J. Haley)                      *1st Reading Rezone 0.8 Acre of 385 S Broadway (E. McLaughlin)                      *SS Summary - Boulder Junction Update (E. Ameigh/D. Driskell)                      *Zero Waste Strategic Plan (J. Harkins)</p>	<p><b>11</b></p> <p><b>CITY HOLIDAY</b></p>	<p><b>12</b></p> <p><b>BOZA Meeting, 5 p.m. in CC</b>  <b>CC SS, 6 p.m. in CC</b>                      *AMPS (J. Sugnet)</p>	<p><b>13</b></p>																																																																																																		
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<p><b>28</b></p>	<p><b>29</b></p> <p><b>CC SS Cancelled</b></p>	<p><b>30</b></p>	<p><b>31</b></p> <p><b>CITY HOLIDAY</b></p> <p><b>1 - 5PM</b></p>	<div style="text-align: center;">Jan 2016</div> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>M</td><td>T</td><td>W</td><td>T</td><td>F</td><td>S</td><td>S</td> </tr> <tr> <td></td><td></td><td></td><td>1</td><td>2</td><td>3</td><td></td> </tr> <tr> <td>4</td><td>5</td><td>6</td><td>7</td><td>8</td><td>9</td><td>10</td> </tr> <tr> <td>11</td><td>12</td><td>13</td><td>14</td><td>15</td><td>16</td><td>17</td> </tr> <tr> <td>18</td><td>19</td><td>20</td><td>21</td><td>22</td><td>23</td><td>24</td> </tr> <tr> <td>25</td><td>26</td><td>27</td><td>28</td><td>29</td><td>30</td><td>31</td> </tr> </table>	M	T	W	T	F	S	S				1	2	3		4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31							
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