

# **Boulder Design Advisory Board Agenda**

Wednesday, October 12, 2016  
1777 West Conference Room  
4 – 8 p.m.

## **The following items will be discussed:**

1. Call to Order
2. Approval of [September 14, 2016 Minutes](#)
3. [3200 Bluff Project Review](#)
4. Board Matters
5. Adjournment

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**For further information on these projects, please contact:**

Kalani Pahoia at 303.441.4248      [pahoak@bouldercolorado.gov](mailto:pahoak@bouldercolorado.gov) or

**For administrative assistance, please contact:**

Cindy Spence at 303.441.4464      [spencec@bouldercolorado.gov](mailto:spencec@bouldercolorado.gov)

**CITY OF BOULDER**  
**DESIGN ADVISORY BOARD MINUTES**  
**September 14, 2016**  
**1777 Broadway, 1777 West Conference Room**

A permanent set of these minutes and a tape recording (maintained for a period of seven years) are retained in Central Records (telephone: 303-441-3043). Minutes and streaming audio are also available on the web at: <http://www.bouldercolorado.gov/>

**DAB MEMBERS PRESENT:**

Michelle Lee  
David McInerney  
Jeff Dawson, Acting Vice Chair  
Jim Baily  
Bryan Bowen, Planning Board Ex-Officio Member

**DAB MEMBERS ABSENT:**

Jamison Brown, Chair

**STAFF PRESENT:**

Jim Robertson, Senior Urban Designer  
Kalani Pahoia, Urban Designer  
Susan, Richstone, Deputy Director for Planning

**COUNCIL MEMBER PRESENT:**

Jan Burton

**BOARD DISCUSSION:**

**1. Call to Order**

Acting Vice Chair, **J. Dawson**, declared a quorum at 4:03 p.m. and the following business was conducted.

**2. Approval of Minutes**

The board approved the May 11, 2016 Design Advisory Board minutes.

**3. Introduction of COB New Chief Urban Designer, Jim Robertson**

- **S. Richstone** introduced **J. Robertson**, Chief Urban Designer for the City of Boulder.
- **J. Robertson** informed the board of his background.

**4. Board Discussion with Council Member Burton**

- **J. Burton** addressed the board regarding communication between DAB, Council, the community and other City of Boulder boards.
- **J. Dawson** stated that having a member from Planning Board has been very valuable. He advocated to continue the format as it has made DAB more effective.

- **B. Bowen** added that since he joined DAB, the dynamics and trust between Planning Board and DAB have elevated. He explained the review process and added that it is helpful to have a concept plan be reviewed initially by Planning Board but then have it referred to DAB for review of the architecture to refine the project before site review. The informality of DAB works well to talk about the design of a project rather than on the dais at site review during a Planning Board meeting.
- **J. Dawson** explained the history of the conflict between Planning Board and DAB when it strictly looked at Boulder's downtown area. The process has been corrected and the current working relationship between the boards works well.
- **B. Bowen** mentioned a recent concept plan that came in front of Planning Board (*1102 Pearl, Old Chicago Building*). He stated that Planning Board wanted to send the design to DAB however Landmarks Board has purview on the project and DAB cannot review it. **J. Burton** asked why the project would not go to DAB given the narrow design expertise of the Landmarks Board and the positive reputation of the DAB at this time. **B. Bowen** commented the overarching design was addressed through the guidelines and the next stage of fine grain design review would make DAB an ideal place to do this.
- The board questioned if the project at 1102 Pearl were referred by Planning Board to DAB, could it be reviewed, despite the guidelines or code. Staff stated they would check into it.
- **J. Dawson** stated, regarding inter-board communication, DAB has given consideration as to what type of information staff can give them on a project. In turn, DAB is working on sufficient documentation regarding their deliberations and recommendations to send to Planning Board.
- **B. Bowen** added that getting recommendations from DAB, while not conditions for approval for a project, the Planning Board can take them, review them and make them a condition. Planning Board trusts DAB's opinions and recommendations.
- **K. Paho** suggested sending DAB's summary, after a project is discussed, to the case managers so the recommendations are clear.
- **J. Dawson** explained that the summary has been a struggle. Points of discussion had been compiled by staff in the past. How to deliver those to the applicant and Planning Board has been unclear.
- **D. McInerney** proposed that at the end of DAB reviews to identify the major aspects of the design that were discussed, then vote, so that there is a record of the outcome.
- **B. Bowen** said that he would like to see sketches become a part of that process.
- The board members asked **J. Burton** if she had heard any feedback from other boards or the community regarding DAB or other boards. She has heard no negative feedback. The board discussed community benefit and that creativity and beauty can be a community benefit. An issue was raised if incentivizing materials, quality and beauty would qualify as a community benefit definition.
- **K. Paho** asked the board if DAB, Planning Board and City Council would be interested in a building tour, perhaps recent projects to review again or top three and bottom three buildings.
- Finally, **J. Burton** informed DAB that Council does read the annual letters from the boards. If anything should appear on a Council's agenda that is important to DAB,

she urged the board members to reach out to Council to let them know you would like to speak.

- **J. Dawson** added that DAB would like to be more active at Planning Board meetings.

#### 5. Board Member Debrief of Alpine-Balsam Community Workshop and Eco District Summit Charrette

- **K. Pahoa** introduced the items. She asked board members that may have attended the Alpine-Balsam community event to inform other members. In addition, she asked **J. Robertson** to inform the board regarding the Eco District Summit Charrette.
- **J. Dawson** attended the community workshop Alpine-Balsam event and informed the board members that overall it will be a large, challenging, long-term and community engagement project.
- **J. Baily** shared that at the Alpine-Balsam event, the city did not make an attempt to present what the city needs. Most people were thinking about what would be good for that area, therefore some people may have been thinking about non-city uses. In addition, the site has flooding, therefore there is a need to provide drainage in that area. Finally, he stated that most people had a desire to have mixed use on the site.
- **K. Pahoa** informed the board that a draft of the Visioning Document will come to DAB for review in early 2017.

#### 6. Board Matters

- **J. Dawson** made a request that all projects that come before the board have a 3-D model as a requirement. Currently, the site review criteria require a model for applications requesting height modification and a few other exceptions.
- The board also wanted to know the city's progress on the 3-D model of the city and if there are any further developments in the use of CityEngine.
- **K. Pahoa** updated the board regarding future DAB agenda scheduling.
  - November 9, 2016 – BVCP Updates
  - December 14, 2016 – Canyon Complete Streets (tentative)
  - January/February 2017 – Alpine-Balsam
  - To be scheduled – 311 Mapleton, Eastpointe Apartments, 1102 Pearl (Old Chicago Building)

#### 7. Adjournment

The Design Advisory Board adjourned the meeting at 5:26 p.m.

APPROVED BY:

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Board Chair

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DATE



**City of Boulder Planning and Development Services**

1739 Broadway, third floor • PO Box 791 • Boulder, CO 80306

Phone: 303-441-1880 • Fax: 303-441-3241 • Web: boulderplandevop.net

Revised  
January 2016  
402.pdf

**DESIGN ADVISORY BOARD APPLICATION**

**Date of Application** 09.28.16    **Address of Property for Review** 3200 Bluff st. Boulder, CO 80301

**Applicant's Name** Will Faber, Coburn Architecture    **Phone** 303.442.3351

**Address** 2560 28th st. #200 Boulder, CO 80301

**Relationship to Project (e.g.: architect, contractor, etc.)** Architect

**Owner's Name and Address** Andy Bush for MCV Capital    **Phone** 303.444.9200

**Project Description**

Proposed Project includes two buildings; one with 36 rental units. Approximately 98,000 sq. ft. gross building area above grade. 55' max. building height. Also included is a 40,798 gross sq. ft. underground parking garage and improved pedestrian sidewalk and parallel parking on 33rd street and Bluff St.

Lot Size 49,144 sqft, 1.04 acres

Proposed Additional Bldg. Sq. Ft. 90,700

Total Existing Bldg. Sq Ft. 7,250

Proposed Bldg. Height 55ft

Existing Bldg Height 20'

**Submission Deadlines**

The Design Advisory Board generally meets on the second Wednesday of every month. The deadline for submitting your application is 4 p.m. on the last Wednesday of the month; two weeks prior to the meeting date that you wish to attend. Come in person to the Planning and Development Services Center, 1739 Broadway, third floor, to submit your application and materials to a Project Specialist.

Please see the attached "Submission Requirements" sheet for guidance on what we need.

**What to Bring to Your Review**

At the time of the meeting, please bring at least one set of rendered drawings and material samples.

**Committee Comments about the Proposal:**



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## DAB Application Submission Requirements

**Application requirements for design review will vary depending upon the complexity and scale of the project to be reviewed, and the specific requirements of the reviewing body. In general, the applicant should provide the appropriate architectural drawings, sketches, and photographs of existing buildings and their sites to allow the reviewing body to fully understand the nature and scope of the exterior changes and any significant design issues.**

For DAB, four (4) paper copies and all electronic files on a CD or thumb drive. Copies of all relevant information listed below must be submitted *to a project specialist* in the Planning and Development Services Center no later than 4 p.m. on the last Wednesday of the month, two weeks prior to the DAB meeting. *[Please DO NOT send a courier; a representative from your organization needs to bring the plans to the project specialist in person so the specialist can check that submission requirements have been met, which prevents problems with the application.]* Applications should be well organized and contain sufficient information to allow reviewers to fully understand the proposed building design or alteration, including relevant urban design information such as how the project fits within its surrounding context, and how it relates to adjacent buildings and properties.

### **At a minimum, DAB applications should include the following information:**

- A map illustrating the location of the project as well as photographs of the project site and the surrounding area.
- A site plan in a clear graphic style should be presented in the context of the city blocks surrounding the project. Site boundaries and dimensions should be clearly marked and special issues such as floodplain, shadows, land restrictions and the existing site conditions need to be highlighted.
- All relevant floor plans, building sections, and exterior elevations should be illustrated at a scale sufficient to fully understand the proposed design.
- Provide exterior wall elevations in color showing material and color selections.

### **Additional information that may be required for DAB:**

The following additional information may be required if the proposal modifies the permitted “by-right” building height or if the project is of significant complexity that the two dimensional drawings described above do not fully illustrate the design issues:

- A simple mass model if the project is of significant size and complexity, showing the surrounding context.
- Color perspective sketches illustrating the proposed project and its surroundings, from street level, to present the project from the pedestrian’s viewpoint.
- An analysis of the shadow impact of the proposed project is important, especially for projects on the south side of downtown streets.

<https://bouldercolorado.gov/boards-commissions/bdab>

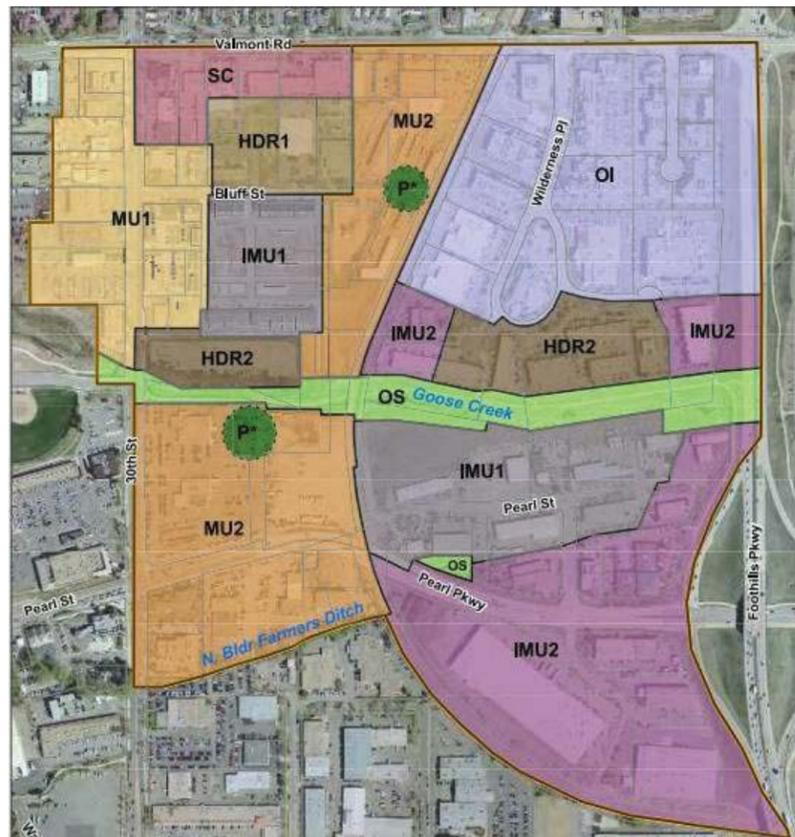
# 3200 BLUFF STREET - MIXED USE DEVELOPMENT: CONCEPT REVIEW AND COMMENT



1. EXISTING ZONING MAP



3. VICINITY MAP



2. TVAP ZONING MAP

**PROJECT INFORMATION:**

**DESCRIPTION -**  
A 1.12 ACRE PARCEL OF LAND LOCATED ON THE CORNER OF 33RD AND BLUFF ST. IN THE JUNCTION PLACE DEVELOPMENT OF THE CITY OF BOULDER

**LEGAL DESCRIPTION -**  
LOT 21 LESS E 131.65 FT & LOT 20 LESS W 55 FT & 1/2 VAC HILL ST & 10 FT VAC BLUFF ST ADJ WALKERS SUB SPLIT TO ID 117285/DEED 12/93

**SCOPE OF WORK -**  
NEW CONSTRUCTION OF 98,200 SQ. FT. OF MIXED USE (RESIDENTIAL, COMMERCIAL, RETAIL ETC.) SPACE OVER 2 SEPARATE BUILDINGS OF APPROXIMATELY EQUAL AREA.

**ZONING PARAMETERS -**  
ZONING: IMS - REZONE REQUESTED TO MU4  
SETBACK MINIMUMS: FRONT: 0FT  
SIDE: 0FT  
REAR: 15FT

**SITE INFORMATION -**  
LOT AREA: 49,144 SF

**BUILDING INFORMATION -**  
BUILDING TYPE: MIXED USE  
PROPOSED F.A.R.: 2.0  
PROPOSED BUILDING AREA: 98,000 SQ. FT.  
BUILDING HEIGHT: 38'  
55' W/ HEIGHT MODIFICATION

**DRAWING INDEX:**

- CP-1 Project Information, Zoning and Vicinity Map
- CP-2 Context Diagram
- CP-3 Massing and Form
- CP-4 Sustainability
- CP-5 Block Analysis
- CP-6 Exterior Elevations
- CP-7 Renderings
- CP-8 Precedents - Form & Facade
- CP-9 Precedents - Landscape
- CP-10 Conceptual Site Plan
- CP-11 Conceptual Floor Plans
- CP-12 Conceptual Floor Plans

**PROJECT TEAM:**

**OWNER:**  
Morgan Creek Ventures  
3020 Carbon Pl. #203  
Boulder, Colorado  
p: 303.442.3351

**ARCHITECT:**  
Coburn Development  
2560 28th St. #200  
Boulder, Colorado  
p: 303.442.3351

**SUSTAINABILITY CONSULTANT:**  
Integral Group  
1084 Foxworthy Ave. Ste. 150  
San Jose, CA 95118  
p: 408.448.6300

**CIVIL ENGINEER:**  
JVA Inc.  
1319 Spruce St.  
Boulder, CO 80302  
p: 303.444.1951





MEREDITH HOUSE  
RESIDENTIAL



CICLO & MARKT  
MIXED



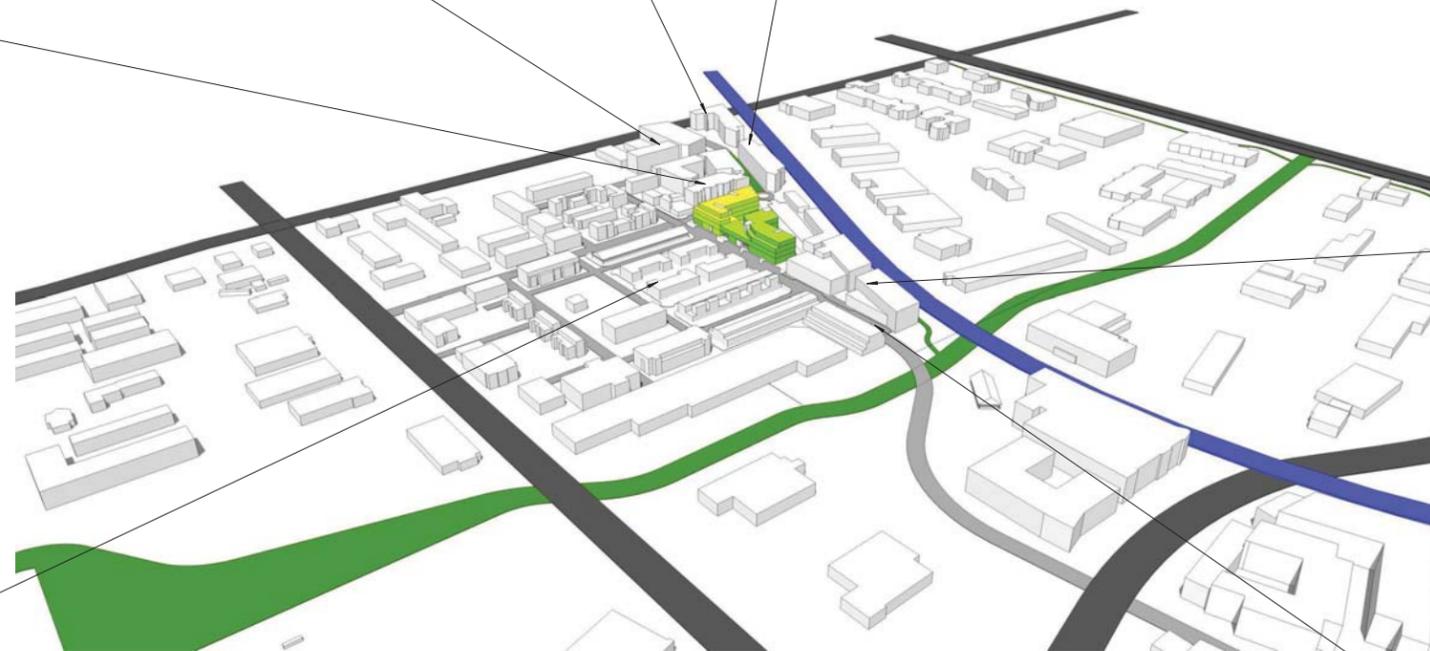
RAILYARDS  
COMMERCIAL



TIMBER LOFTS  
RESIDENTIAL



STEEL YARDS  
RESIDENTIAL



CONTEXT MAP

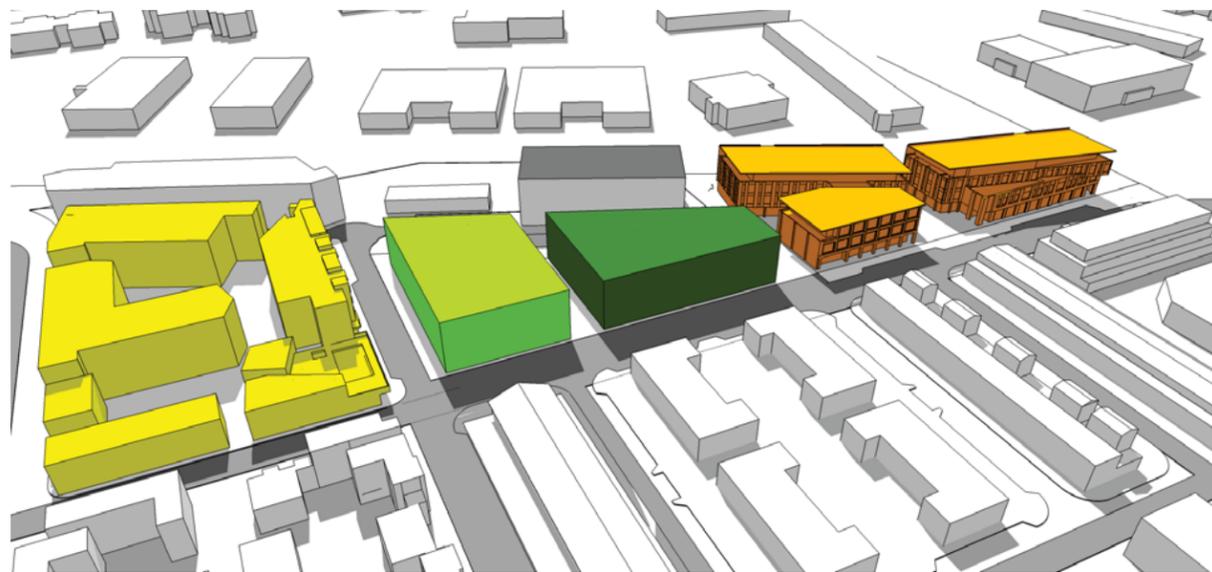


COMMONS  
MIXED



NICKEL FLATS  
RESIDENTIAL

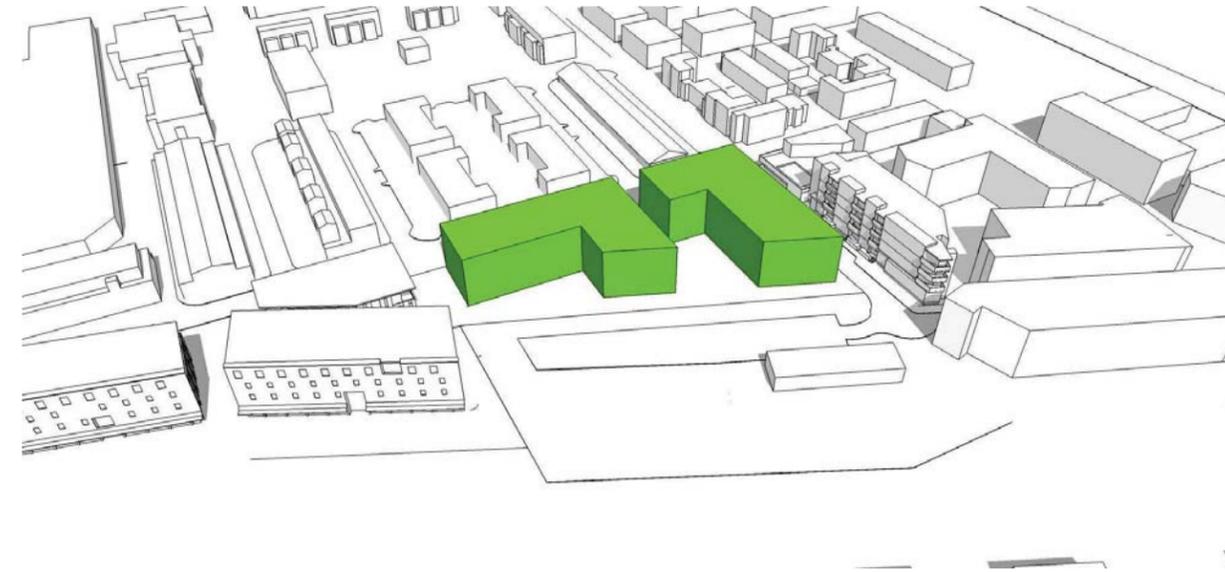




### 1. CONNECTING CONTEXT

The proposed site sits at the junction of the approved development to the north and south. With a residential building to the North which continues the residential pattern established there, and a commercial building to the south which does the same for the commercial fabric on that end, our connecting site poses an opportunity for an elegant transition interfaced with pedestrian permeability.

- = EXIST. RESIDENTIAL
- = EXIST. COMMERCIAL
- = PROPOSED RESIDENTIAL
- = PROPOSED COMMERCIAL



### 2. DAYLIGHTING

Critical to Net-Zero goals, comfort and lively spaces, the maximum building width is designed to be approximately 65-70 feet. This optimum width allows light penetration throughout both buildings. Harvesting the light for natural illumination reduces the energy load of the building while increasing apparent and actual user comfort.



### 3. PEDESTRIAN CONNECTIONS AND SPACES

The site provides excellent opportunities for pedestrian connections, walkability and pedestrian scale spaces. While there are the more public all-mode connections of the bike path to the east and the multi-use Junction Place to the west, the interior of the project, in conjunction with The Commons to the south as well as the future development on the S\*park land to the east, is developed as an interior walking pathway. This runs from the Commons plaza on the south to the Woonerf of S\*park on the north, and has numerous plazas to enjoy along the way as well as great permeability to the outside throughout its length.

- = PEDESTRIAN SPACE
- = BIKE PATH



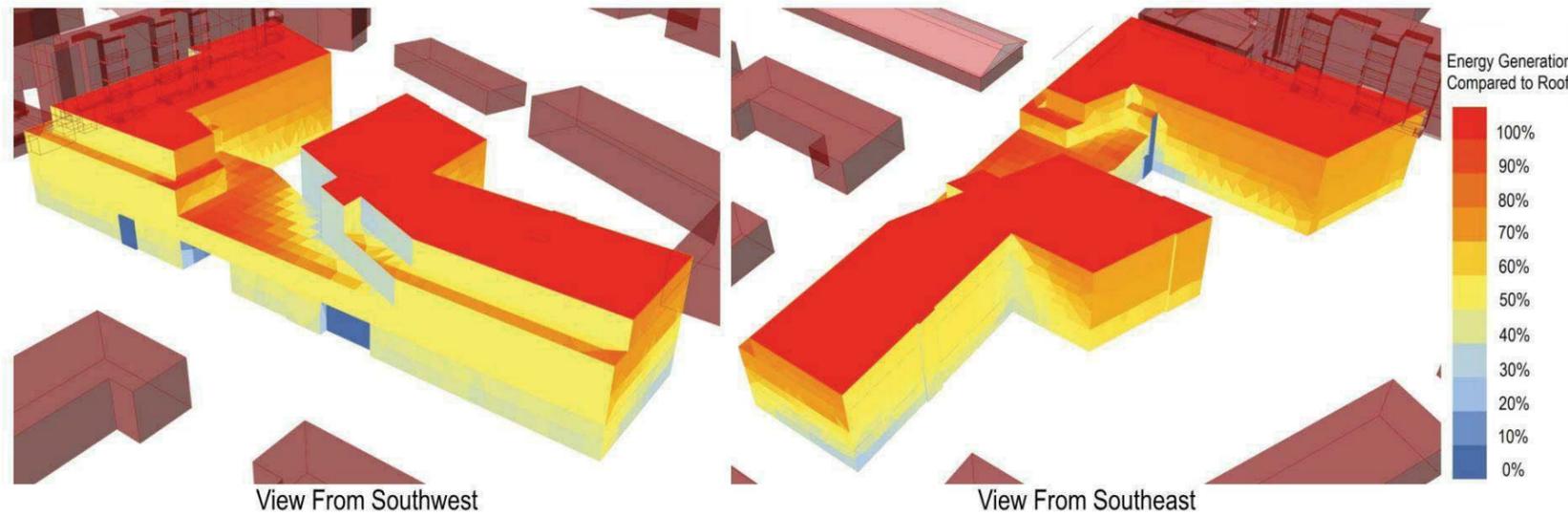
### 4. BRIDGING THE SCALE

Continuing the massing setback strategy of Boulder Commons, the building responds to surrounding scale by stepping back at the third and fourth stories where appropriate. The northwest corner and west facade respond to the smaller scale residential development to the West and North West by utilizing a 2-3 story front with a setback to the fourth story behind, relating them to the scale of the Steel Yards. The north and eastern sides, on the other hand, exhibit the taller 4 story scale which allows them to be in step with the buildings to which they are adjacent.

- = EXIST. 2-3 - STORY
- = EXIST. 4 - STORY
- = PROPOSED 2-3 - STORY
- = PROPOSED 4 - STORY



### Solar Insolation Study – Map of Solar Availability



- To supplement roof mounted PV, this analysis shows how different facades generate energy per calendar year compared to the roof

### SOLAR ROOF:



Yellow roof and wall areas indicate potential solar panel locations based on the Solar Insolation Study and shadow study. Eastern Facade may also be utilized.

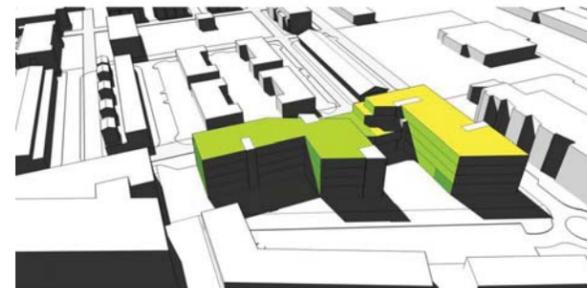
### SUMMER SHADOWS:



9 AM

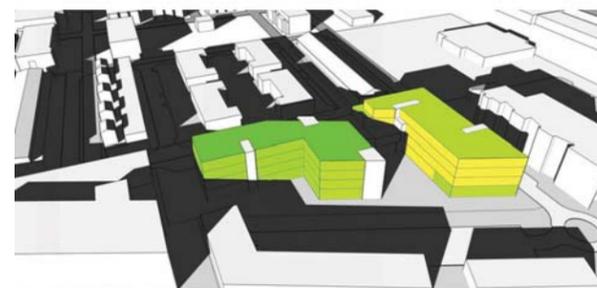


12 PM

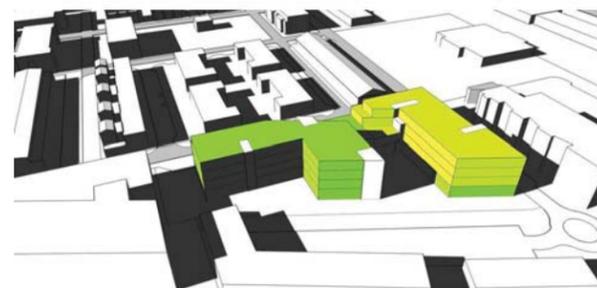


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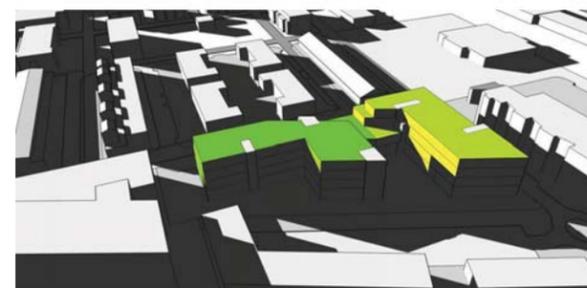
### WINTER SHADOWS:



9 AM



12 PM

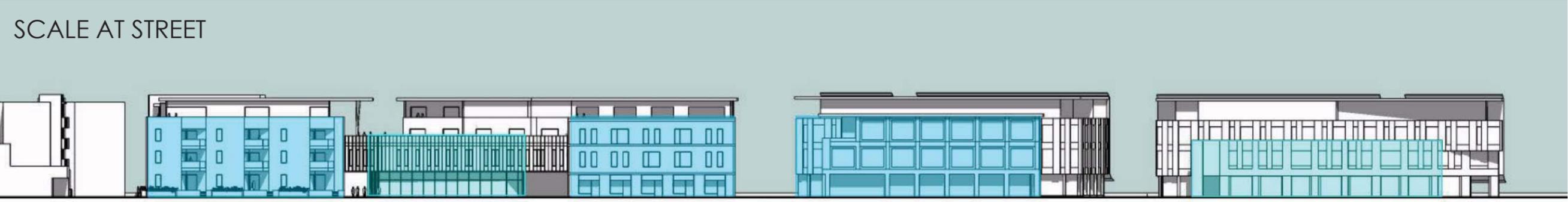


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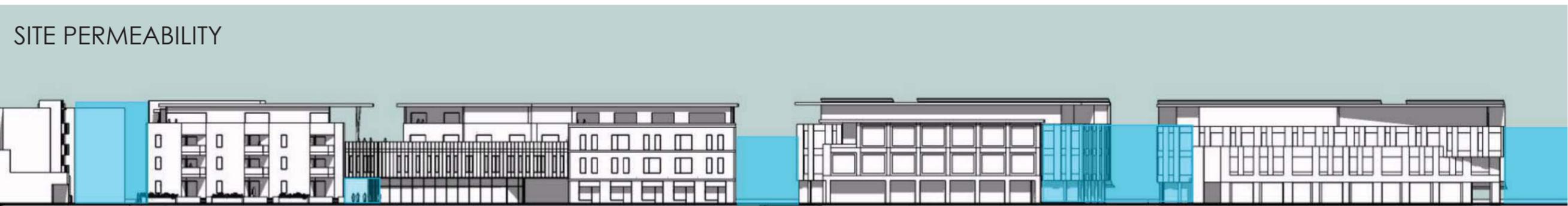
### SUSTAINABILITY

- Overview:** The goal is to create a Net-Zero Project
- Site & Building Location:** The development has been designed to decrease the footprint of the buildings and create several public plazas. This allows for the incorporation of ample open space, pervious areas, and landscaping to help decrease the heat island effect and stormwater runoff. In addition, the building form and orientation were designed for daylighting and solar energy generation.
- Proximity to Transit:** In addition to being connected to the future transit hub along Junction Place, 3020 Bluff Street will encourage alternate modes of transportation by providing a bike station and car share program in conjunction with The Commons the South. The project is also located on future bus and rail lines and provides a connection to the multi-use path along Goose Creek.
- Solar:** The building form lends itself to ample opportunities for solar energy to be harvested on the roofs and along the South and East elevation. The amount of solar energy potential available will help create a Net-Zero building.
- Daylighting:** The building has been designed with optimum widths for daylighting, which will reduce the lighting load, resulting in decreased energy usage.
- Envelope and Mechanical Systems:** A tight, well-insulated building envelope coupled with an advanced, highly efficient HVAC system will ensure the building can be operated with a lower energy load.
- Efficient Lighting and Plumbing Fixtures:** Selecting energy efficient lighting fixtures along with occupancy sensors and low-flow plumbing fixtures will allow the building to operate with lower energy and water consumption.





HEIGHT OF BUILDING AT SIDEWALK



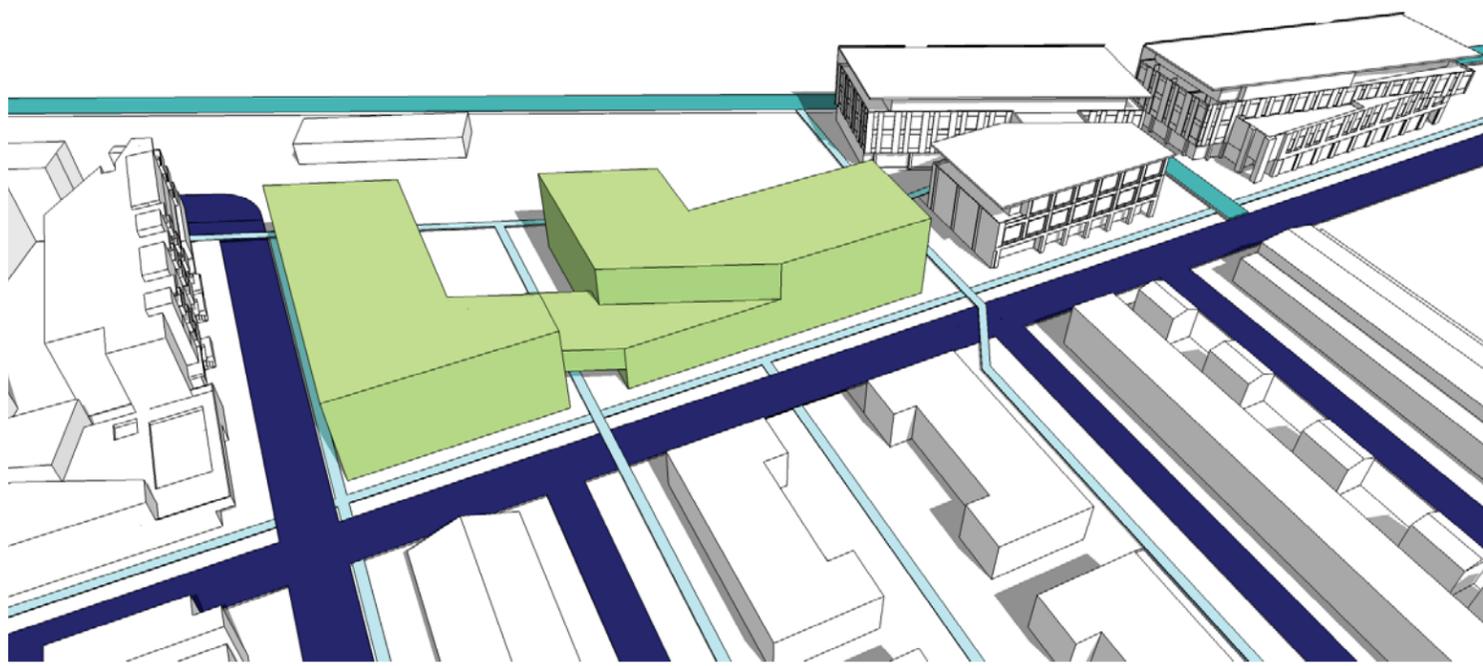
BLUFF STREET

RESIDENTIAL  
COURTYARD ENTRY

PEDESTRIAN PATH  
PER T.M.P.

COURTYARD PLAZA +  
BIKE PATH CONNECTION

GOOSE CREEK  
GREENWAY



MULTI-MODAL TRANSPORTATION FABRIC

-  ROAD
-  BIKE PATH
-  WALKWAY



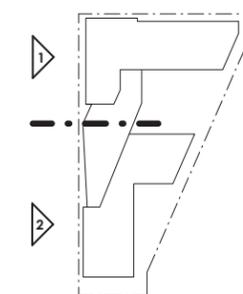


**COBURN**  
ARCHITECTURE

2560 28th St #200  
Boulder, Colorado  
p: 303-442-3351  
f: 303-447-3933

KEY

- 1. Dark Metal Panel
- 2. Wood Composite
- 3. Brick Veneer - Blonde
- 4. Aluminum Entry Door
- 5. Cement Plaster - Smooth Coat
- 6. Brick Veneer - Dark
- 7. Fixed Metal Sunshade
- 8. Standing Seam Wall Panel
- 9. Soffit
- 10. Fiberglass Window
- 11. Reveal Metal Panels - Light Gray
- 12. Reveal Metal Panels - Dark Gray
- 13. Structural Glass/Cable Guardrail
- 14. PV Rainscreen
- 15. Aluminum CW/Storefront System



1 WEST ELEVATION - NORTH BUILDING  
1/8" = 1'-0"



2 WEST ELEVATION - SOUTH BUILDING  
1/8" = 1'-0"

**3200 BLUFF**

3200 Bluff Street, Boulder, CO

**SITE REVIEW**  
09/16/2016

SHEET No.  
**A2.4**  
WEST ELEVATIONS



**COBURN**  
ARCHITECTURE

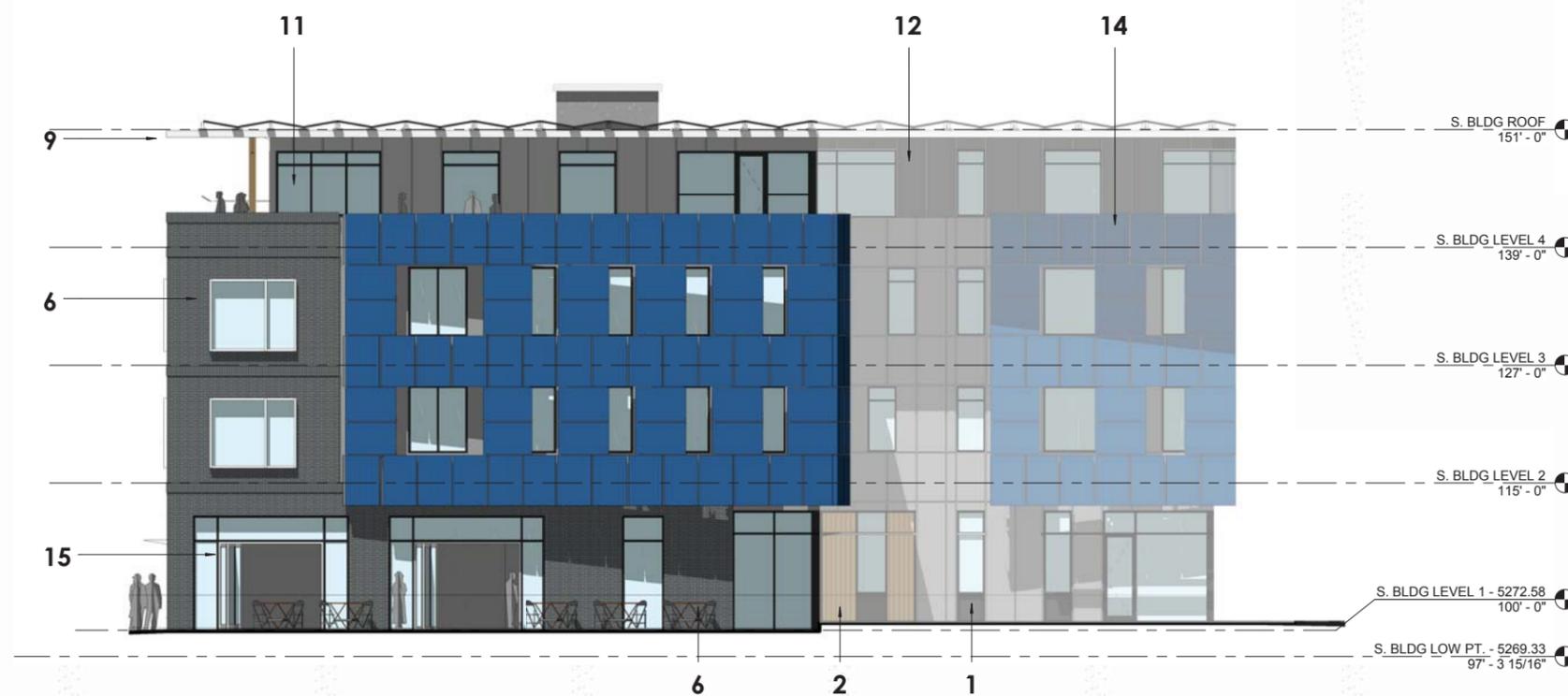
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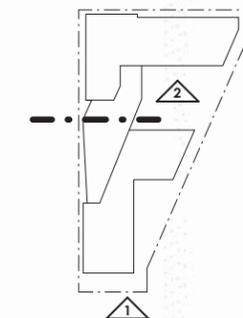
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① SOUTH ELEVATION - NORTH BUILDING  
1/8" = 1'-0"



② SOUTH ELEVATION - SOUTH BUILDING  
1/8" = 1'-0"



**SITE REVIEW**  
09/16/2016

SHEET No.  
**A2.5**  
SOUTH ELEVATIONS

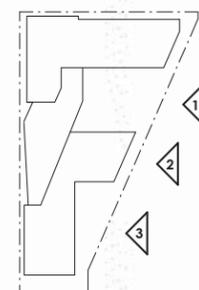


**COBURN**  
ARCHITECTURE

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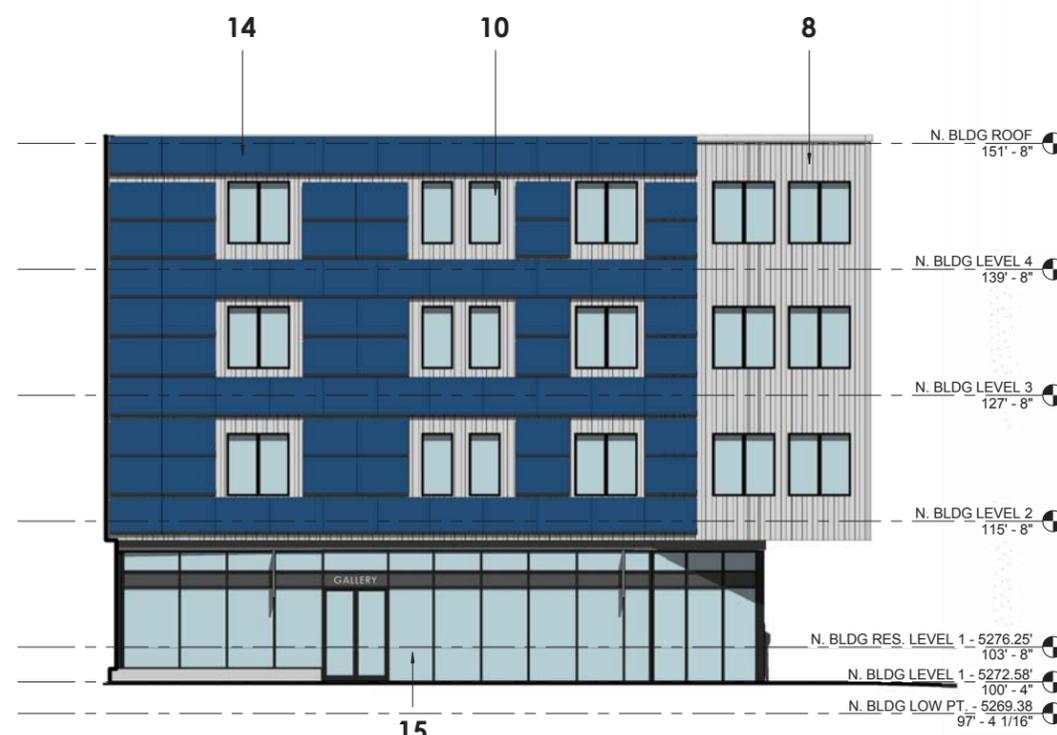
3 EAST ELEVATION (ON PASEO) - SOUTH BUILDING  
1/8" = 1'-0"



2 EAST ELEVATION (ON PASEO) - SOUTH BLDG  
1/8" = 1'-0"



1 EAST ELEVATION (ON COURTYARD) - NORTH BUILDING  
1/8" = 1'-0"



5 EAST ELEVATION (ON MULTI-USE PATH) - NORTH BUILDING  
1/8" = 1'-0"

**3200 BLUFF**

3200 Bluff Street, Boulder, CO

**SITE REVIEW**  
09/16/2016

SHEET No.  
**A2.6**  
EAST ELEVATIONS

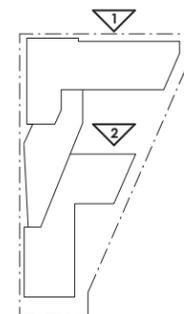


**COBURN**  
ARCHITECTURE

2560 28th St #200  
Boulder, Colorado  
p: 303-442-3351  
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1 NORTH ELEVATION - NORTH BUILDING  
1/8" = 1'-0"



2 NORTH ELEVATION - SOUTH BUILDING  
1/8" = 1'-0"

**3200 BLUFF**

3200 Bluff Street, Boulder, CO

**SITE REVIEW**  
09/16/2016

SHEET No.  
**A2.7**  
NORTH ELEVATIONS



**COBURN**  
ARCHITECTURE

2560 28th St #200  
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① NW PERSPECTIVE

**3200 BLUFF**

3200 Bluff Street, Boulder, CO

**SITE REVIEW**  
09/16/2016

SHEET No.

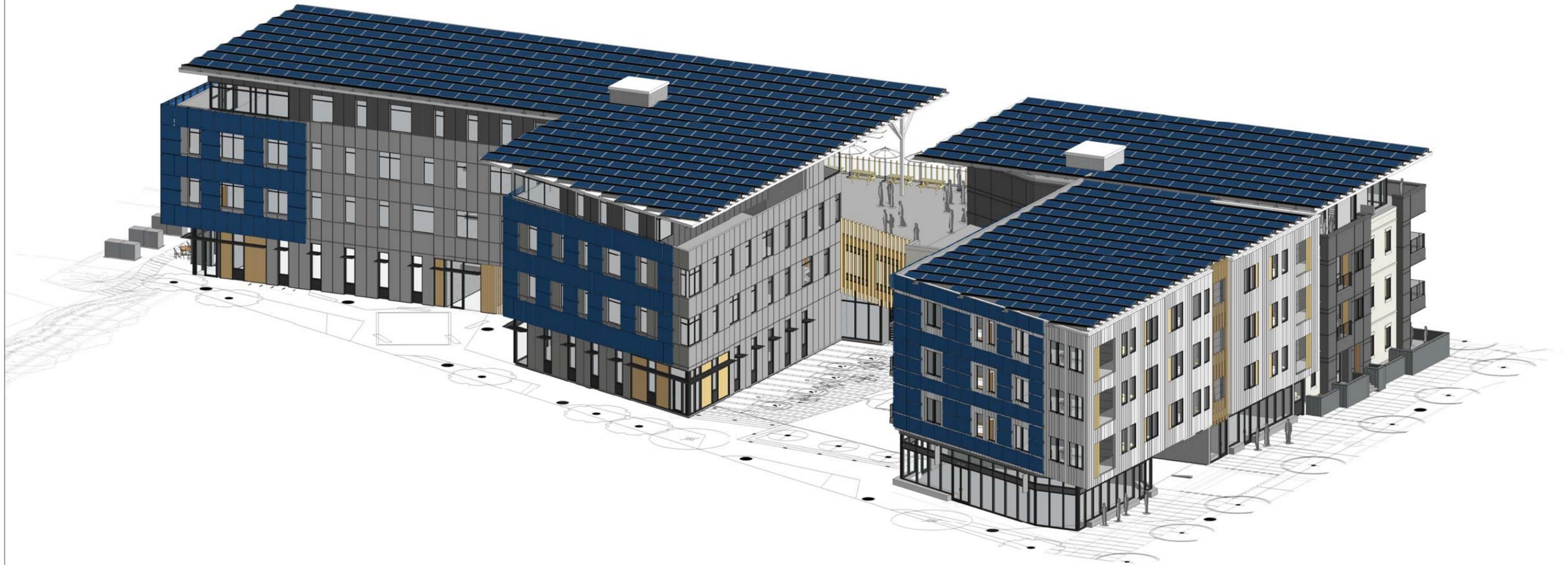
**A2.0**

NW AERIAL PERSPECTIVE



**COBURN**  
ARCHITECTURE

2560 28th St #200  
Boulder, Colorado  
p: 303-442-3351  
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① NE PERSPECTIVE

**3200 BLUFF**

3200 Bluff Street, Boulder, CO

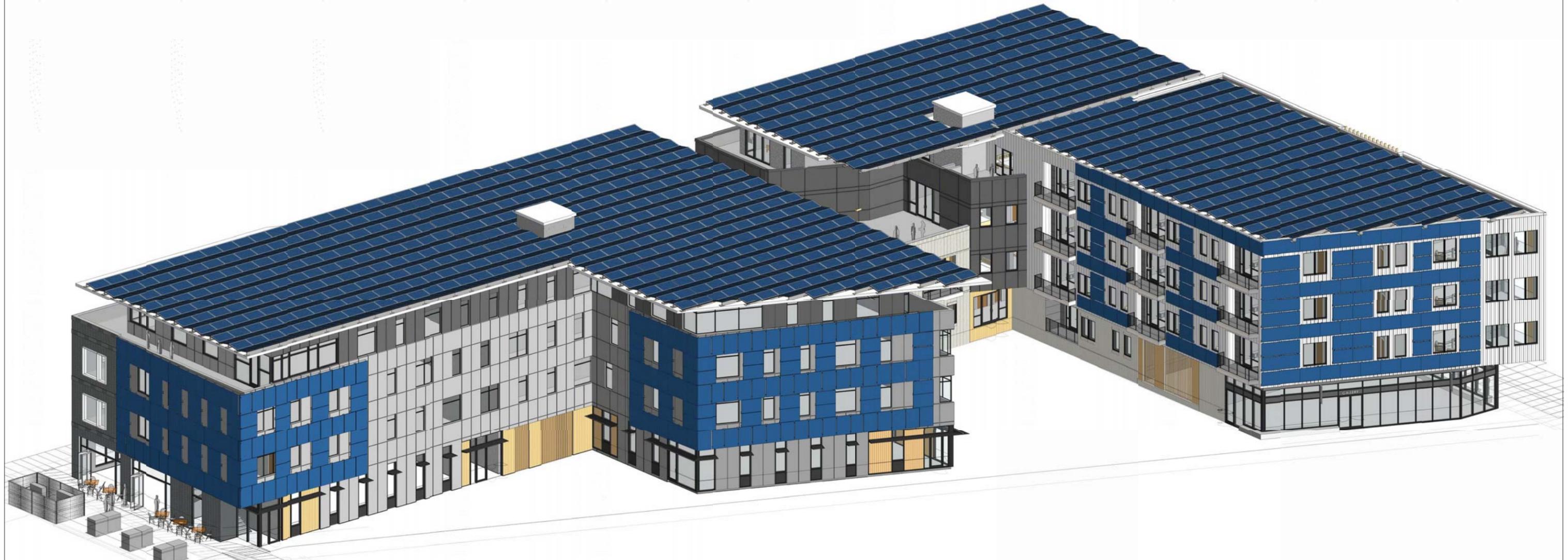
**SITE REVIEW**  
09/16/2016

SHEET No.  
**A2.1**  
NE AERIAL PERSPECTIVE



**COBURN**  
ARCHITECTURE

2560 28th St #200  
Boulder, Colorado  
p: 303-442-3351  
f: 303-447-3933



① SE PERSPECTIVE

**3200 BLUFF**

3200 Bluff Street, Boulder, CO

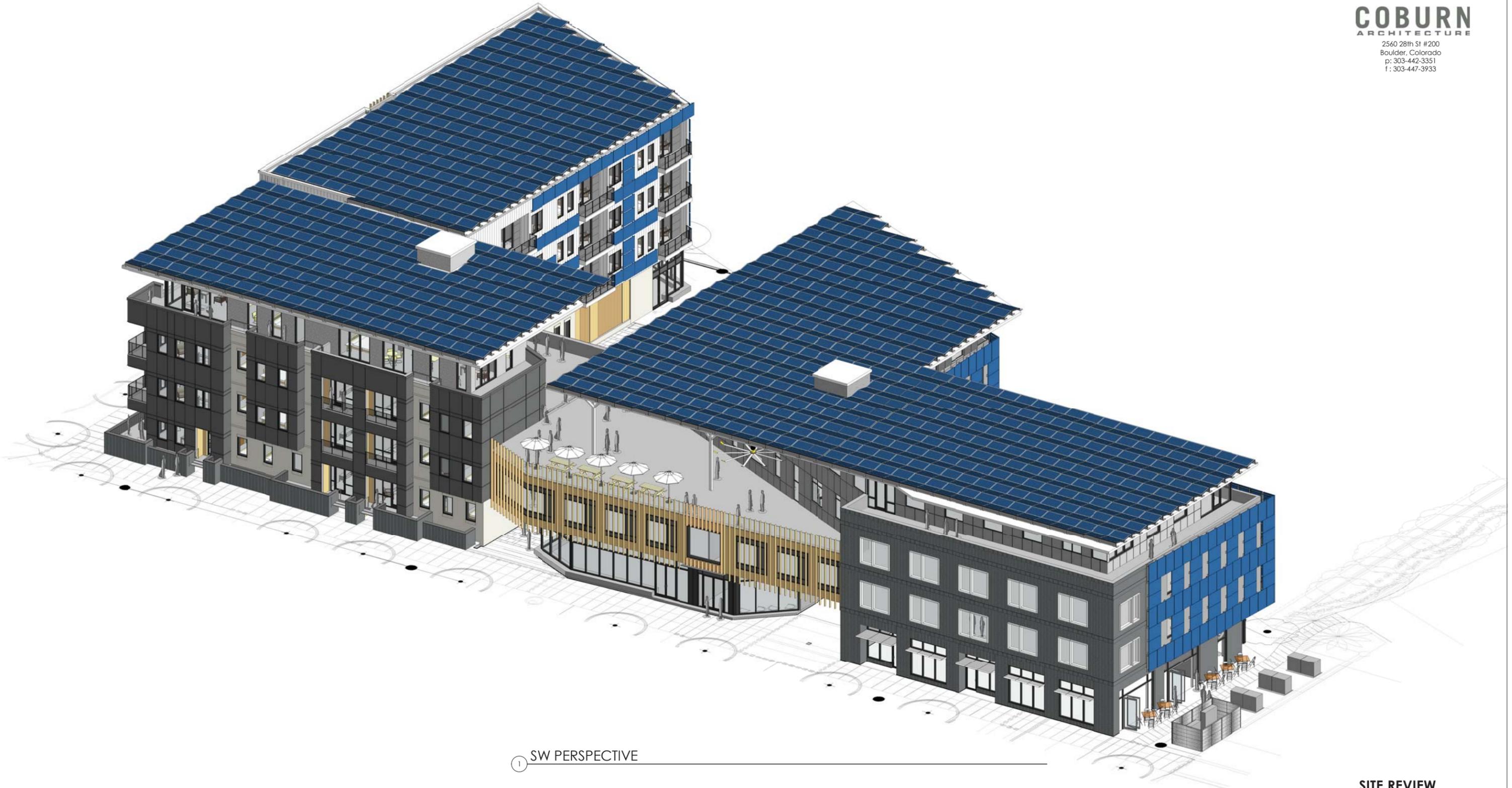
**SITE REVIEW**  
09/16/2016

SHEET No.  
**A2.2**  
SE AERIAL PERSPECTIVE



**COBURN**  
ARCHITECTURE

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Boulder, Colorado  
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① SW PERSPECTIVE

**3200 BLUFF**

3200 Bluff Street, Boulder, CO

**SITE REVIEW**  
09/16/2016

SHEET No.  
**A2.3**  
SW AERIAL PERSPECTIVE

# NORTHEAST PERSPECTIVE



# NORTHWEST PERSPECTIVE





PRECEDENTS - FORM AND FACADE

# 3200 BLUFF STREET: CONCEPT PLAN REVIEW

3200 BLUFF STREET, BOULDER, COLORADO

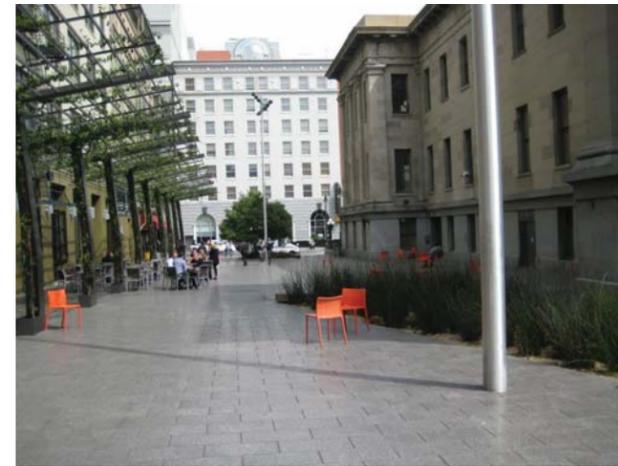
CP-8

04.01.2016

10.12.2016 DAB Packet Page 22 of 30



**COBURN**  
ARCHITECTURE



PRECEDENTS - LANDSCAPE

# 3200 BLUFF STREET: CONCEPT PLAN REVIEW

3200 BLUFF STREET, BOULDER, COLORADO

CP-9

04.01.2016

10.12.2016 DAB Packet Page 23 of 30



**COBURN**  
ARCHITECTURE



**COBURN**  
ARCHITECTURE

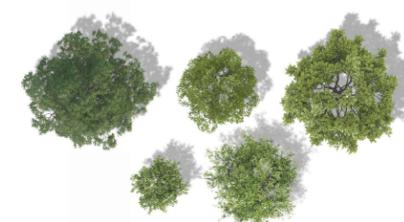
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Boulder, Colorado  
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f: 303-447-3933

**CIVITAS**

1200 Bannock St.  
Denver, CO 80204  
Tel. 303 571.0053  
Fax 303 425.0438



- CONCRETE SIDEWALK PAVING
- SPLIT FACE STONE COBBLES
- 12X24 & 24X24 PEDESTAL PAVERS
- NARROW MODULAR PAVERS
- IPE WOOD SLAT DECKING
- CIP CONCRETE BENCH
- (5) BIKE PARKING
- FLEXIBLE CAFE SEATING
- PED LIGHT
- BOLLARD LIGHT
- STEP LIGHT
- CAST IRON DETECTABLE WARNING STRIP

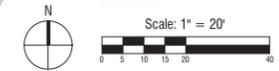


- TURF GRASS
- MIX 'A' PERENNIALS
- MIX 'B' ORNAMENTAL GRASSES
- MIX 'C' ORNAMENTAL GRASSES
- MIX '1' SHRUBS
- GROUND COVER PLANTING

**SITE CALCULATIONS**

<b>STREET TREE CALCULATION</b>		
JUNCTION STREET FRONTAGE	360 LF	17 STREET TREES PROPOSED
BLUFF STREET FRONTAGE	238 LF	
	598 LF	
<b>SITE LANDSCAPE CALCULATION</b>		
BUILDINGS	23,665 SF	35 TREES PROPOSED ON SITE
GARAGE ENTRY DRIVES	1,760 SF	
TOTAL LANDSCAPE	23,719 SF	
TOTAL SITE AREA	49,144 SF	
<b>OPEN SPACE CALCULATION</b>		
TOTAL SITE AREA	56,295 SF	
OPEN SPACE REQUIRED (20%)	11,259 SF	
OPEN SPACE PROPOSED (28.2%)	15,890 SF	
(DOES NOT INCLUDE RIGHT-OF-WAY, SIDEWALKS ALONG JUNCTION PLACE OR BLUFF STREET, OR PAVING ON WEST AND NORTH FACADES)		
TOTAL LANDSCAPE AREA ON GRADE	4,366 SF	
TOTAL LANDSCAPE AREA ON STRUCTURE	11,897 SF	
RIGHT-OF-WAY LANDSCAPE	5,619 SF	
TOTAL PAVED AREA ON GRADE	2,808 SF	
TOTAL PAVED AREA ON STRUCTURE	7,695 SF	

NOTE: DRY UTILITIES TO BE RELOCATED, RE: CIVIL



**3200 BLUFF**

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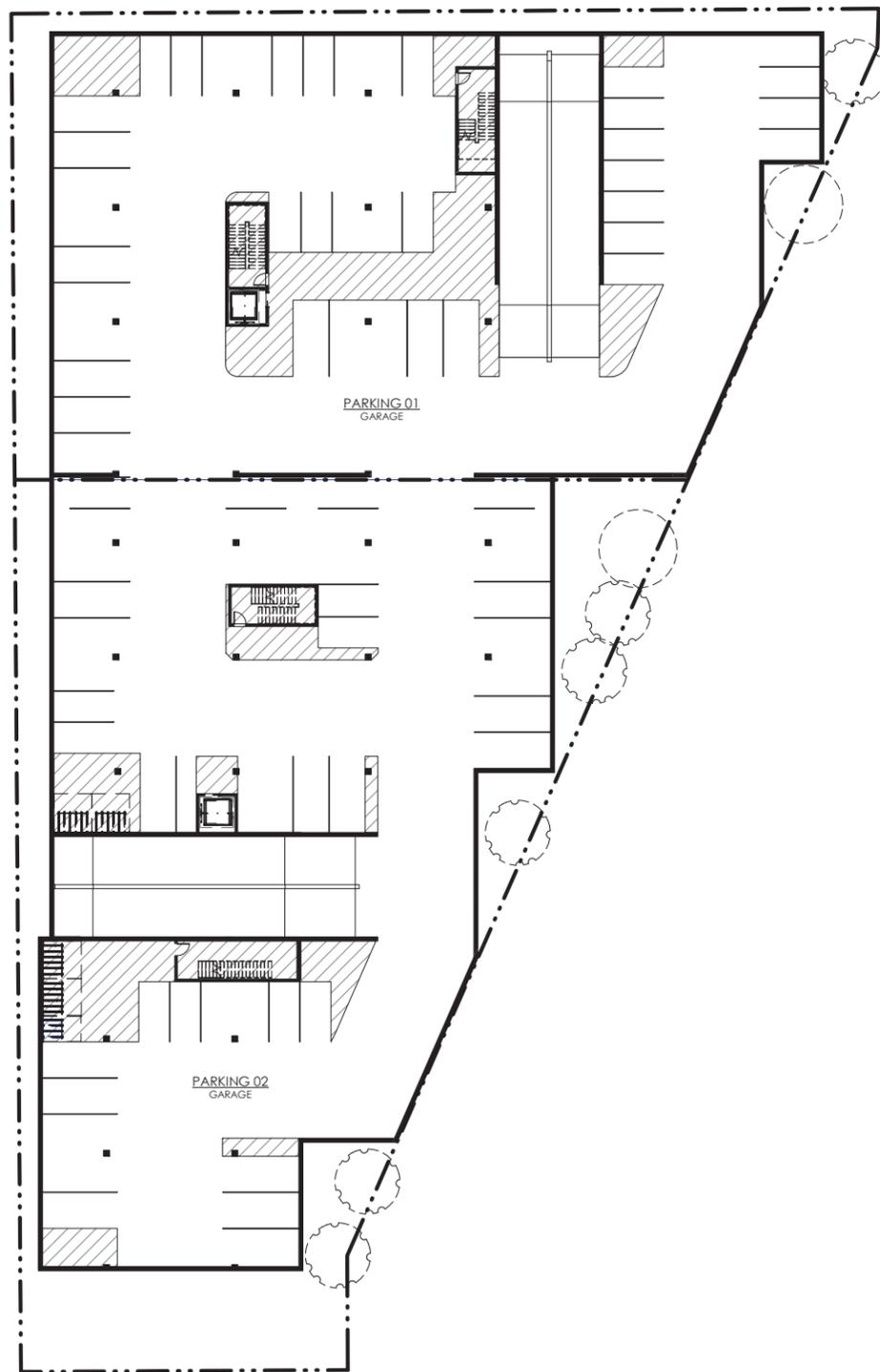
**SITE REVIEW**  
09/16/2016

SHEET No.  
**L2.0**  
LAYOUT & GRADING



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ARCHITECTURE

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2 PRESENTATION - GARAGE  
1" = 20'-0"



**USE LEGEND**

- Residential
- Residential - Support
- Office/Retail
- Office/Retail Support
- Restaurant
- Circulation

1 PRESENTATION - LEVEL 01  
1" = 20'-0"

**3200 BLUFF**

3200 Bluff Street, Boulder, CO

**SITE REVIEW**  
09/16/2016

SHEET No.

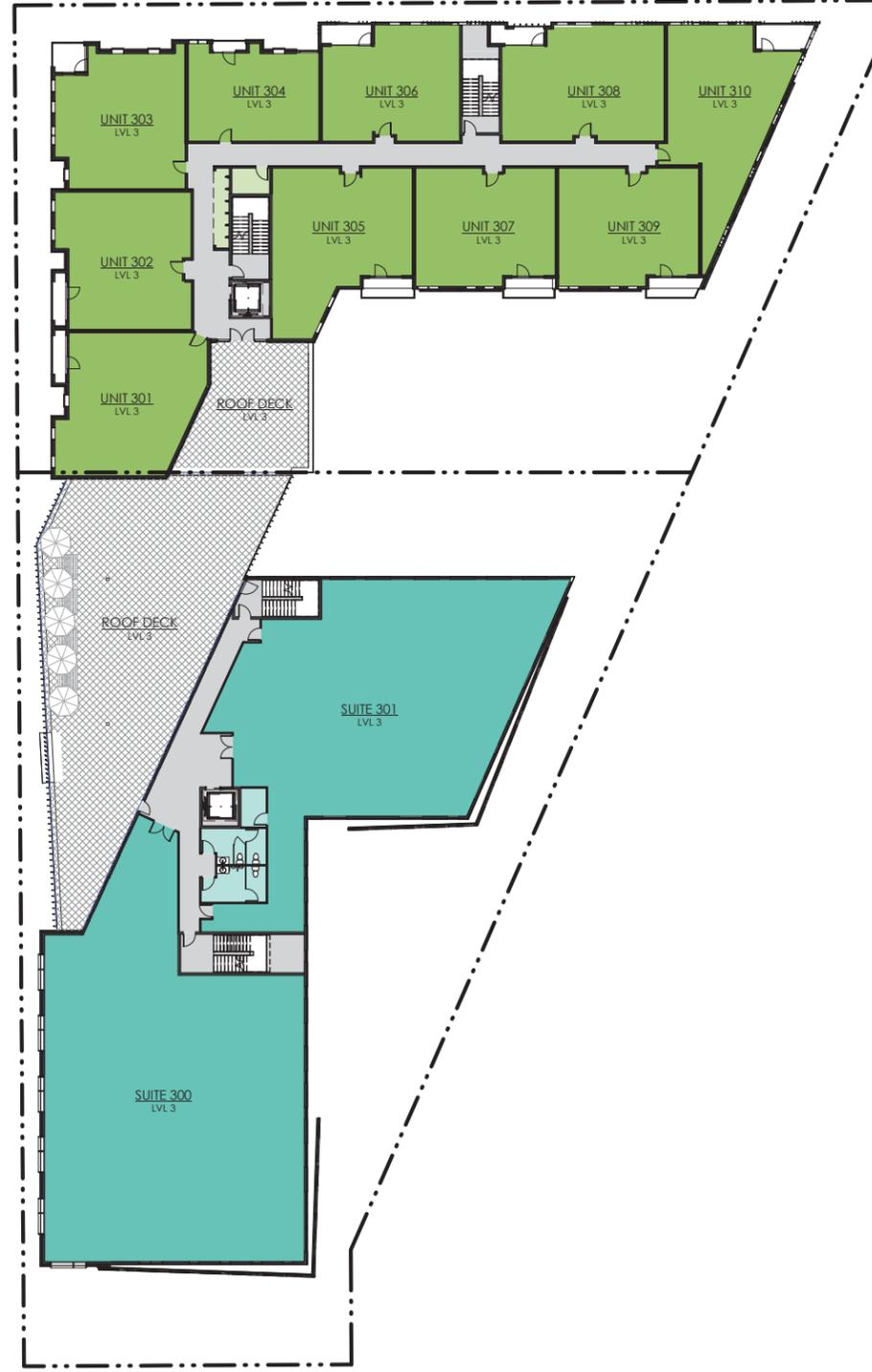
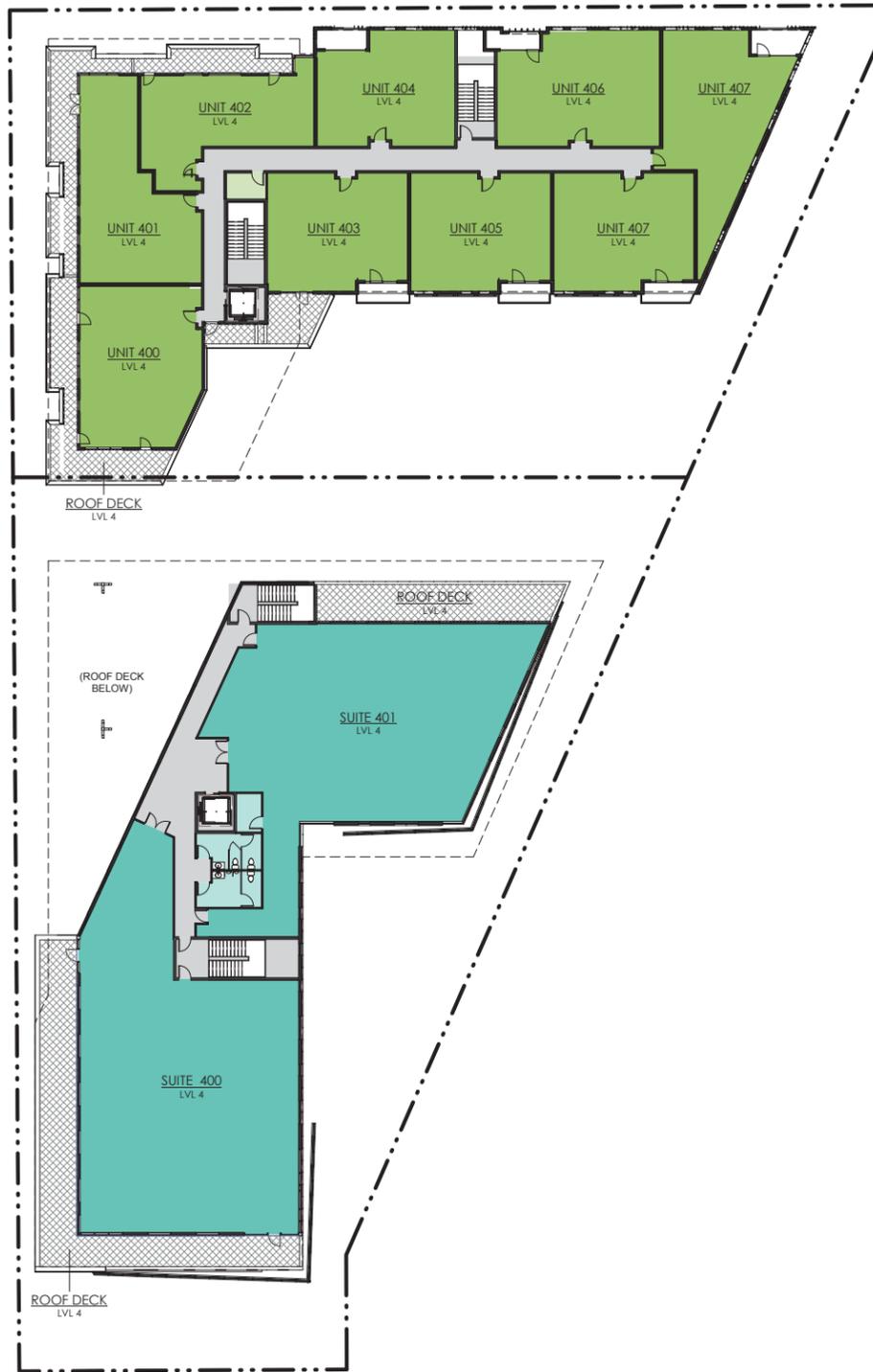
**P-1**

**PRESENTATION PLANS**



**COBURN**  
ARCHITECTURE

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p: 303-442-3351  
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**USE LEGEND**

- Residential
- Residential - Support
- Office/Retail
- Office/Retail Support
- Circulation

**SITE REVIEW**  
09/16/2016

SHEET No.  
**P-2**  
PRESENTATION PLANS

3 PRESENTATION - LEVEL 04  
1" = 20'-0"

2 PRESENTATION - LEVEL 03  
1" = 20'-0"

1 PRESENTATION - LEVEL 02  
1" = 20'-0"

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## DAB COMMENTS – 3200 Bluff Mixed Use Development

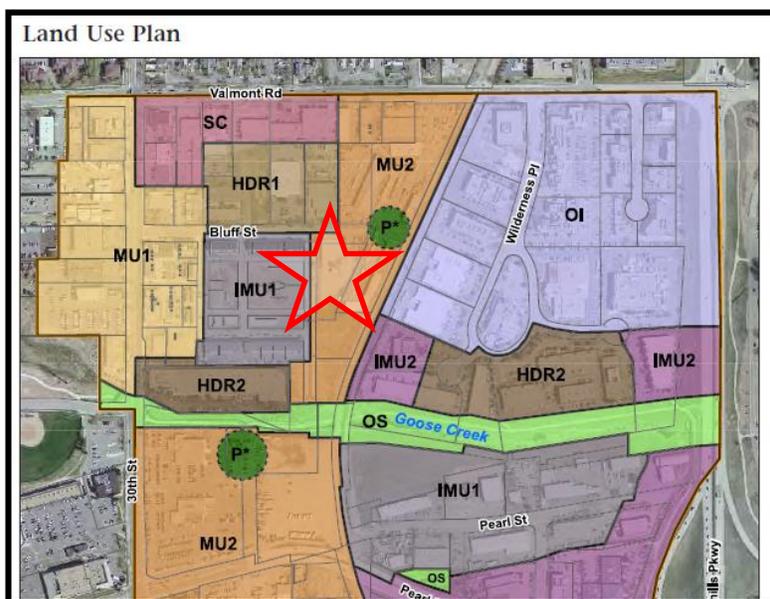
**MEETING DATE:** Oct. 12, 2016  
**ADDRESS:** 3200 Bluff Street  
**DESCRIPTION:** FORM-BASED CODE (FBC) REVIEW: Form-based code review to permit two new four-story, 55-foot tall mixed-use buildings including office, retail and 36 residential dwelling units. The total floor area of the development is proposed to be 98,000 square feet and would include a subterranean parking garage.  
**APPLICANT:** Coburn Development  
**CASE MANAGER:** Karl Guiler, Senior Planner

### RELEVANT GUIDELINES/CODES:

- Transit Village Area Plan (TVAP)
- Form-Based Code (FBC)

### BACKGROUND

#### Transit Village Area Plan (TVAP)



#### Transit Village Area Plan (TVAP)

The project site is within the [Transit Village Area Plan \(TVAP\)](#) area. Per TVAP, the site is planned for Mixed Use 2 where the predominant uses in mixed-use areas could be business or residential, with homes mixed vertically (above businesses) or horizontally (residential buildings next to commercial buildings.) Page 17 of TVAP notes that Mixed Use 2 areas allow “three- to four-story mixed use buildings around a floor area ratio (FAR) of 1.5 to 2.0. Predominant use may be business or residential.....parking would be “mostly structure or first floor

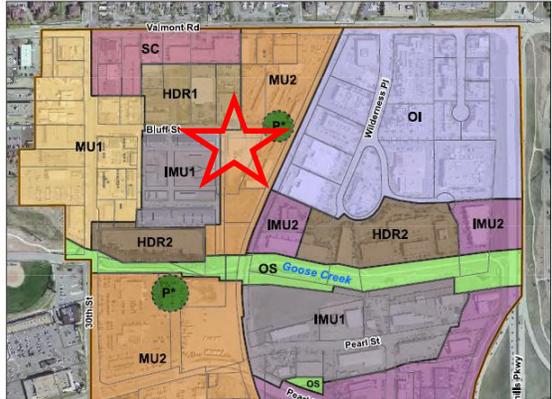
*parking; may have some surface parking.” More specifically, the site is within a sub district of TVAP entitled the “Rail Plaza.” The Rail Plaza district is described as an area that will “evolve into a high-density, commercial and residential mixed-use area, with three- to five-story buildings.”*

#### Staff assessment:

*Overall, the project is consistent with the vision of [Transit Village Area Plan \(TVAP\)](#) as a mixed-use project within an emerging high density, more urban environment. TVAP specifies the land use of the site as Mixed Use 2, which encourages “three- to four story mixed use buildings. Predominant use may be business or residential. Mostly structured or first-floor parking; may have some surface parking.” The proposed project would be four-story with subterranean parking and includes a mix of residential and commercial uses. TVAP encourages a diversity of housing types, but generally envisions stacked housing at the subject site.*

*TVAP specifies the land use of the site as Mixed Use 2, which encourages “three- to four story mixed use*

buildings. Predominant use may be business or residential. Mostly structured or first-floor parking; may have some surface parking.” The proposed project would be four-story with subterranean parking and includes a mix of residential and commercial uses. TVAP encourages a diversity of housing types, but generally envisions stacked housing at the subject site.

TVAP General Urban Design Guidelines	
<p>Land Use Plan</p> 	<p>Mixed Use -2- 1.5 - 2.0 Floor Area*</p>  <p>Three- to four-story mixed-use buildings. Predominant use may be business or residential. Mostly structured or first-floor parking; may have some surface parking.</p>
Guideline	Comments
<p>Orient the main facade to the street and provide an entrance on the street side of the building.</p>	
<p>Design buildings with pedestrian-scale materials and architectural articulation, particularly on the first floor. Avoid large blank walls. Along streets and sidewalks provide pedestrian interest including transparent windows and well-defined building entrances.</p>	
<p>Consider opportunities to frame or preserve views of the Flatirons to the southwest.</p>	
<p>Incorporate well-designed, functional open spaces with tree, quality landscaping and art, access to sunlight and places to sit comfortably. Where public parks or open spaces are not within close proximity, provide shared open spaces for a variety of activities. Where close to parks, open spaces provided by development may be smaller.</p>	
<p>While the improved street network will provide more frequent pedestrian connections, also provide multiple opportunities to walk from the street into projects, thus presenting a street face that is permeable. Also provide opportunities to walk within the interior between abutting properties. This is especially important where street blocks are large, for example in the Wilderness Place District.</p>	



### **Form-Based Code (FBC)**

The project is currently undergoing FBC Review. Overall the project appears to be largely consistent with the FBC, although some exceptions have been identified and are listed below:

- M-1-10- Streetscape and Paseo Design Requirements- Paseo standards
- M-1-17- General Building Type standards:
  - Minimum rear setback of 25 feet [Line 5]
  - Maximum Building Length along a Public Way [Line 6]- Request to exceed 150 feet for both buildings
  - Maximum Site Impervious Coverage [Line 7]
  - Refuse and Utility Locations in Parking Yard [Line 8]
  - Access from Type A Street [Line 9]- Request for driveway access from Junction Place, a Type A street
  - Entrance Configuration [Line 20]- Some entrances are not 6 feet wide or 3 feet deep as required.
  - Expression Lines [Line 22 and 23]