

MEMORANDUM

November 5, 2014

TO: Landmarks Board

FROM: Lesli Ellis, Comprehensive Planning Manager
James Hewat, Senior Historic Preservation Planner
Marcy Cameron, Historic Preservation Planner
Angela Smelker, Historic Preservation Intern

SUBJECT: Continuation of a public hearing and consideration of an application for a Landmark Alteration Certificate to construct a 1,282 sq. ft. addition to the main house, to relocate an existing garage on the property, and to construct a 330 sq. ft. one-car garage at 711 Pine St. in the Mapleton Hill Historic District, per section 9-11-18 of the Boulder Revised Code 1981 (HIS2014-00172).

STATISTICS:

1. Site: 711 Pine St.
2. Zoning: RL-1 (Residential-Low 1)
3. Lot size: 10,323 sq. ft.
4. Existing House: 990 sq. ft.
5. Proposed Addition: 1,282 sq. ft.
6. Existing Garage: 245 sq. ft.
7. Proposed Garage: 330 sq. ft.
8. Applicant/Owner: David Waugh, Kevin Deighan
9. Date of Construction: 1939

STAFF RECOMMENDATION:

If the applicant complies with the conditions listed below, staff considers the proposed construction of an addition, relocating the existing garage and constructing a new one-car garage on the property will be generally consistent with the conditions specified in Section 9-11-18, B.R.C. 1981, the *General Design Guidelines*, and the *Mapleton Hill Design Guidelines*. Staff recommends that the Landmarks Board adopt the following motion:

I move that the Landmarks Board adopt the staff memorandum dated Nov. 5, 2014, as the findings of the board and approve a Landmark Alteration Certificate for the proposed

construction and relocation shown on plans dated Sept. 22, 2014, finding that they generally meet the standards for issuance of a Landmark Alteration Certificate in Chapter 9-11-18, B.R.C. 1981, subject to the following conditions:

CONDITIONS OF APPROVAL

1. The applicant shall be responsible for constructing the house, relocating the garage and constructing a new one-car garage in compliance with the approved plans dated Sept. 22, 2014, except as modified by these conditions of approval.
2. Prior to submitting a building permit application and final issuance of the Landmark Alteration Certificate, the applicant shall provide details on the rehabilitation of the existing house including, but not limited to, removal of vinyl siding and shutters, as well as details on the move and rehabilitation of the existing garage.
3. Prior to submitting a building permit application and final issuance of the Landmark Alteration Certificate, the applicant shall submit the following, which shall be subject to the final review and approval of the Landmarks design review committee: window and door details, wall material details, siding material details, paint colors, roofing material details and details regarding any hardscaping on the property to ensure that the approval is consistent with the *General Design Guidelines* and the *Mapleton Hill Historic District Guidelines* and the intent of this approval.

SUMMARY:

- On May 29th, 2014, the applicant submitted a completed Landmark Alteration Certificate to add to the house, relocate the garage and construct a new 330 sq. ft. garage on the property at 711 Pine Street.
- On July 2nd, 2014, the Landmarks Board reviewed the application in a public hearing. In response to comments from the board that the proposed addition should significantly be reduced in mass and scale and the design simplified, the applicant withdrew the application for redesign.
- On Sept. 3, 2014, the Landmarks Board reviewed a revised design in a public hearing. In response to comments from the board that the proposed addition should be reduced in mass and scale, the applicant withdrew the application for redesign.
- Because the proposal calls for the relocation of a building in a historic district, review by the full Board is required.

- Since the Sept 3rd meeting, the applicant has reduced the square footage of the proposed addition by 177 sq. ft. from 1,459 sq. ft. to 1,282 sq. ft. and has reduced and simplified the overall mass and scale of the proposed addition, proposing a one-story addition rather than a two-story addition. This memorandum reflects the revised design.
- Staff considers that the 1939 house and garage, constructed within the 1865-1946 period-of-significance for the Mapleton Hill Historic District and retaining a high degree of integrity, are contributing buildings.
- Staff finds the proposed new construction to be generally consistent with the criteria for a Landmark Alteration Certificate as per 9-11-18(a) & (b)(1)-(4) B.R.C. 1981, the *General Design Guidelines* and the *Mapleton Hill Design Guidelines*.
- This recommendation is based upon the understanding that, pursuant to the conditions of approval, the stated conditions will be reviewed and approved by the Landmarks Design Review Committee (LDRC) prior to the issuance of a Landmark Alteration Certificate.

PROPERTY HISTORY:

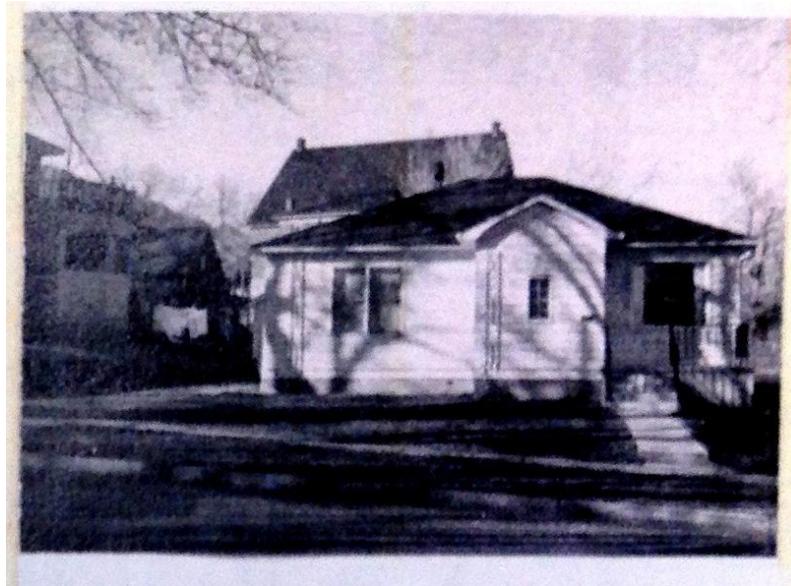


Figure 1. 711 Pine St. Tax Assessor Card photograph 1952.
Photograph Courtesy the Carnegie Branch Library for Local History.

The one-story Minimalist Traditional house at 711 Pine St. was constructed in 1939 and is indicative of houses of that type built between 1935 and 1950 with its intermediate roof pitch, façade gable and minimal ornamentation.

Early residents of 711 Pine included the Cooley family who occupied the home from 1951 to 1959. Leonard Cooley and his wife Mildred were originally from Kansas. Leonard was a farmer in Pawnee County, Kansas. The Cooleys moved to Boulder in 1948 and continued to maintain their wheat farm in Kansas. Mildred died in 1976, and Leonard died in 1989. They were survived by a daughter, Nadine Nan Earnshaw of Boulder.

After the Cooleys, Russell and Elsie Kelley resided in 711 Pine from 1960 to 1971. Russell was born in Nebraska in 1896 and married Elsie Mae Demmon, a native of Boulder, in 1922. Both Russell and Elsie were graduates of the University of Colorado in the early 1920s. Russell and Elsie moved to Washington D.C. when Russell took a position in the U.S. Office of Education. Russell also held similar jobs in Kansas, Oklahoma, Oregon, and Minnesota before retiring to Boulder with Elsie and taking up residence at 711 Pine.



Figure 2. Photograph of Russell and Elsie Kelley from the *University of Colorado Annual*, 1923.

After the Kelleys, Elsyee and Hanford Langstroth lived at 711 Pine. Little is known of them other than their appearance in the City of Boulder directory as owning the residence until the early 2000s.

The 1994 Historic Building Survey for the property did not find the house to be a contributing element to the Mapleton Hill Historic District since, at that time, it was built after the period-of-significance for the district. However, the 2002 amendment extending the Mapleton Hill Historic District period of significance to 1946 makes it its 1939 construction date potentially contributing.

While the Minimalist-Traditional manner of design is relatively infrequent in Mapleton Hill, this form does represent architectural design during a period of significant growth in Boulder. The Minimal-Traditional house type is recognized in the 2010 *Historic Context and Survey of Post-World War II Residential Architecture* as featuring a medium-pitched roof and little or no ornamentation. Porches, if present, are often integrated into the façade, and attached garages or carports are common to this housing type. The Minimal Tradition was the most common housing type in Boulder from 1935s to 1950.

Figure 1 shows the Tax Assessor photograph of the house in 1952. Few changes appear to have occurred since that time with the exception of the application of vinyl siding and shutters. The owner represents that the original wood siding is below the vinyl.

A one-car garage located immediately west of the main house appears to have been constructed around the same time, and is mentioned on the 1952 Tax Assessment for the property.

In their letter, the applicant and owner consider the house and garage to be of little architectural merit and request that the buildings be considered non-contributing. Staff acknowledges that the buildings are much less grand than many earlier examples on Pine St, however, staff considers these buildings contributing because construction occurred within the 1865 to 1946 period-of-significance for the Mapleton Hill Historic District. The house and garage exist in comparatively original condition and are relatively intact. They clearly contribute to the historic significance of the district.

DESCRIPTION:

The property is located on the north side of Pine St. between 6th and 8th Street, in the West Boulder addition to the city, which was platted in 1874. The approximately 990 sq. ft. house is located on a 10,323 sq. ft. lot.

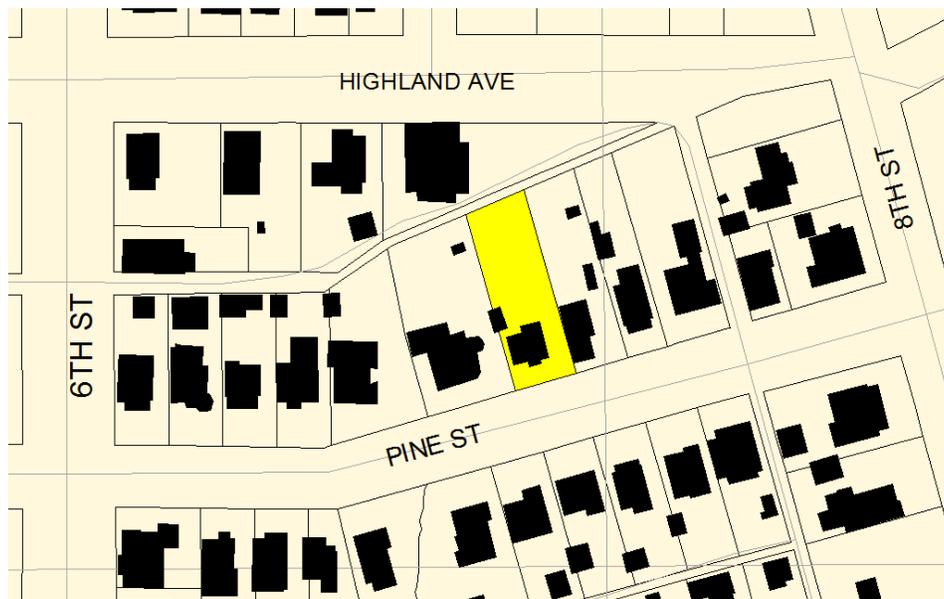


Figure 3. Location Map, 711 Pine St.

The one story house was constructed around 1939, features a hipped roof with a projecting front gable, and is clad in horizontal lap siding with corner boards. An asymmetrical uncovered porch on the façade has a concrete base and a wrought iron balustrade and railing. The entrance features an off-center slab door, double-hung and plate glass windows.



Figure 4. South (front) elevation of 711 Pine St., 2014.



Figure 5. West elevation of 711 Pine St., 2014.

PROPOSED ADDITION

Drawings show a one-story, 1,282 sq. ft. addition to be constructed at the rear of the existing 990 sq. ft. house. The garage currently takes access from the street as the property does not border an alley. This condition is proposed to be maintained with the relocation of the existing garage and construction of a new garage at the west side of the property.

The proposed floor area of the house is calculated to be approximately 2,246 sq. ft. on the 10,323 sq. ft. lot. The application states with the existing and proposed garage, the total floor area (FAR) for the proposal to be 2,816 sq. ft. where the maximum floor area for this property is 4,180 sq. ft.

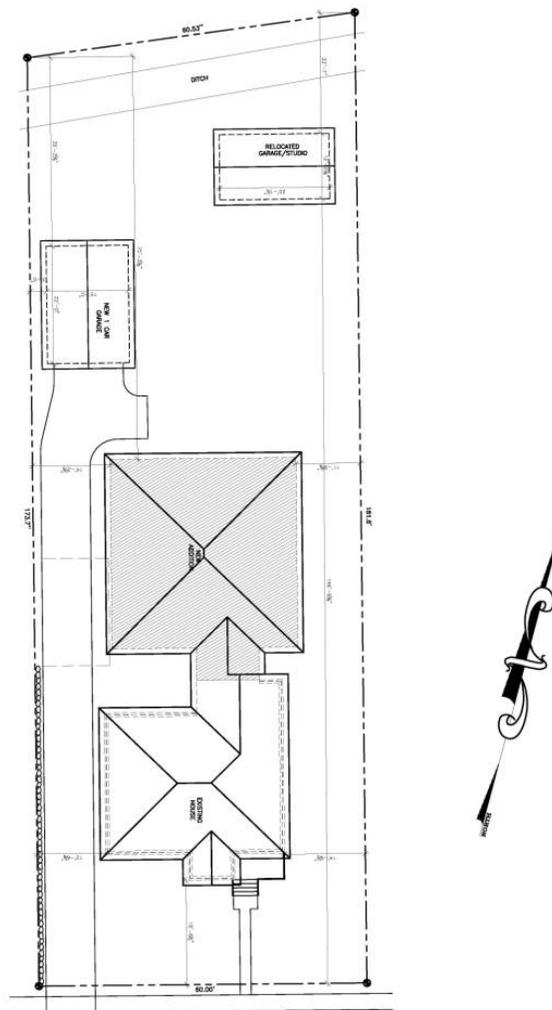


Figure 7. Proposed Site Plan. Not to scale.



Figure 8. Existing South Elevation (façade)

Plans show the revised one-story addition to feature low hipped roof that references the existing house and reduces visibility of the mass from the street. A portion of the addition will be visible to the east side of the existing house; however, it is set back approximately 50 feet from the street.

The addition is shown to be sided in narrow wood clapboard siding. Details on windows, doors, roofing and treatment of exterior materials on the existing house were not specified in the application.



Figure 10. Existing East Elevation



Figure 11. Proposed East Elevation

The east elevation of the house shows the addition to have been lowered to a single story that takes design cues from the simple character of the existing house. This face of the house is shown to be fenestrated with double-hung windows that match the asymmetry of the existing house. The portion of the addition that connects the main mass of the addition to the existing house is inset to clearly delineate between old and new.



Figure 14. Existing(left) and Proposed (right) North Elevations (Rear).

The north (rear) elevation is proposed to feature two sets of French doors with steps leading to the rear yard. The doors on the west side of the elevation are shown to be flanked by two side light windows.



Figure 16. Existing West Elevation



Figure 17. Proposed West Elevation

The west elevation of the addition is shown to be set approximately 20 ft. from the north-west corner of the existing house, retaining the existing rear ell of the house. Like the east elevation, this face of the house, the mass and form of this face of the house has been significantly reduced in mass and scale and the forms simplified. This face of the addition is shown to be fenestrated by double hung windows that reflect the asymmetry of the existing house.

**PROPOSED RELOCATION OF EXISTING GARAGE
AND CONSTRUCTION OF NEW ONE-CAR GARAGE**

Plans call for the existing 245 sq. ft. garage to be relocated from the west side of the lot to the east side and to be used as a studio. The current proposal shows the garage turned at a 90 degree angle so the existing garage would face west. Other than relocation, no changes are shown to be made to the existing garage. A new one car garage of 330 sq. ft. is shown to be located behind the house by the west property line. Due to the slope of the lot, the simple gable end building is shown to be bermed into the ground at the north. Fenestration consists of a simple wood garage door at the south with a man door and single light casement window on the east face of the building. Plans call for the new building to be sheathed in wood clapboard siding to match the proposed addition.

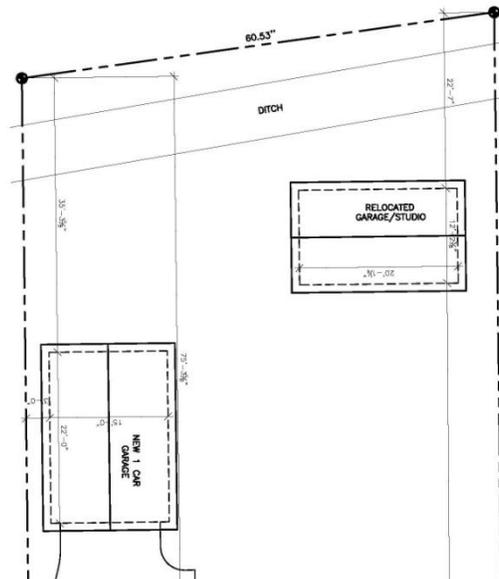


Figure 22. Proposed new garage and relocated garage/studio.

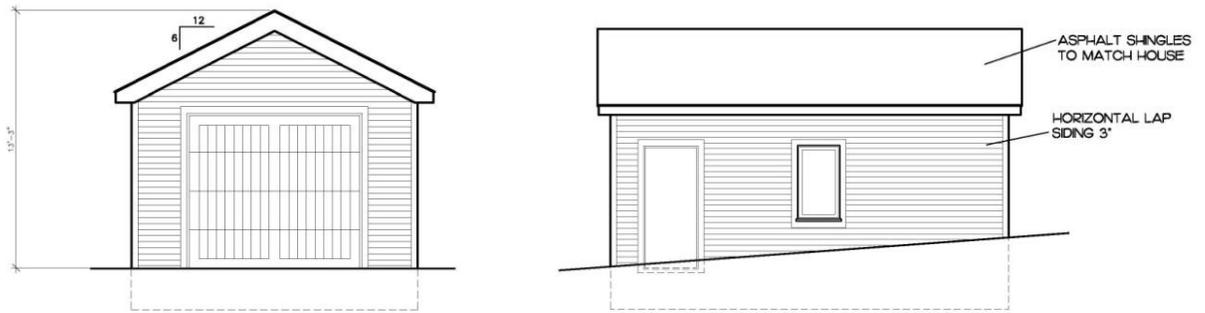


Figure 23. South and East Elevations of proposed garage.

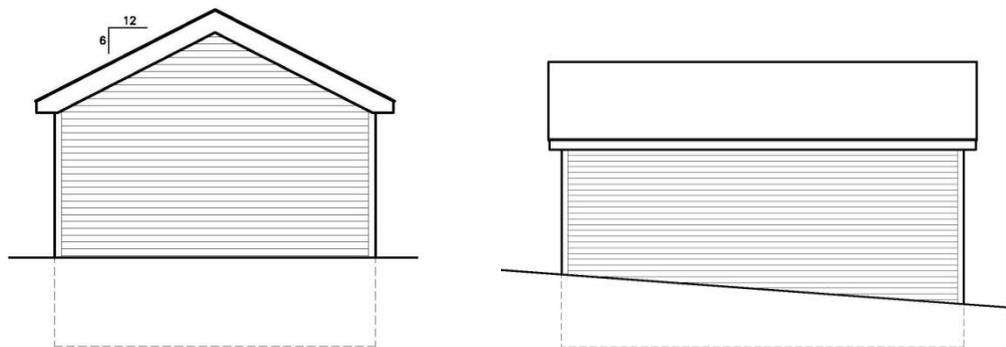


Figure 24: North and West Elevations of proposed garage.

CRITERIA FOR THE BOARD'S DECISION

Subsection 9-11-18(b) and (c), B.R.C. 1981, sets forth the standards the Landmarks Board must apply when reviewing a request for a Landmark Alteration Certificate.

(b) Neither the Landmarks Board nor the City Council shall approve a Landmark Alteration Certificate unless it meets the following conditions:

- (1) The proposed work preserves, enhances, or restores and does not damage or destroy the exterior architectural features of the landmark or the subject property within an historic district;
- (2) The proposed work does not adversely affect the special character or special historic, architectural, or aesthetic interest or value of the landmark and its site or the district;

- (3) The architectural style, arrangement, texture, color, arrangement of color, and materials used on existing and proposed constructions are compatible with the character of the existing landmark and its site or the historic district;
 - (4) With respect to a proposal to demolish a building in an historic district, the proposed new construction to replace the building meets the requirements of paragraphs (b)(2) and (3) above.
- (c) In determining whether to approve a Landmark Alteration Certificate, the Landmarks Board shall consider the economic feasibility of alternatives, incorporation of energy-efficient design, and enhanced access for the disabled.

ANALYSIS

1. Does the proposed application preserve, enhance, or restore, and not damage or destroy the exterior architectural features of the landmark or the subject property within an historic district?

Constructed in 1939, staff considers the modest Minimal-Traditional building contributing to the historic character of the Mapleton Hill Historic District. Staff finds that, provided the listed conditions are met, the proposed alterations to the property including an addition to the house, relocation of the existing garage, and construction of a new one-car garage will preserve the historic character of the property and the immediate streetscape and be consistent with the *General Design Guidelines* and the *Mapleton Hill Historic District Guidelines* (see Design Guidelines Analysis section).

2. Does the proposed application adversely affect the special character or special historic, architectural, or aesthetic interest or value of the district?

Staff finds that, provided the listed conditions are met, the proposed application will not adversely affect the special character or special historic, architectural, or aesthetic interest or value of the landmark property as it will be generally compatible with the *General Design Guidelines* and the *Mapleton Hill Design Guidelines* in terms of mass, scale, height, design and color (see Design Guidelines Analysis section).

3. Is the architectural style, arrangement, texture, color, arrangement of color, and materials used on existing and proposed structures compatible with the character of the historic district?

Staff finds that, provided the listed conditions are met, the proposed addition, relocation of the existing garage, and construction of a new one-car garage will be generally compatible with the architectural form, arrangement, texture, color, arrangement of color, and materials used on the proposed building and will be generally compatible with the character of the historic district in terms of mass, scale, height, setback, and design (see Design Guidelines Analysis section).

4. Does the proposal to demolish the building within the Mapleton Hill Historic District and the proposed new construction to replace the proposed demolished building meet the requirements of paragraphs 9-11-18(b)(2), 9-11-18(b)(3) and 9-11-18(b)(4) of this section?

Not applicable.

DESIGN GUIDELINES ANALYSIS:

The Historic Preservation Ordinance sets forth the standards the Landmarks Board must apply when reviewing a request for a Landmark Alteration Certificate. The Board has adopted the *General Design Guidelines* to help interpret the historic preservation ordinance. The following is an analysis of the proposed new construction with respect to relevant guidelines. Design guidelines are intended to be used as an aid to appropriate design and not as a checklist of items for compliance.

The following is an analysis of the proposal’s compliance with the appropriate sections of the *General Design Guidelines*.

GENERAL DESIGN GUIDELINES -ADDITIONS TO HISTORIC BUILDINGS, 4.0.

4.1	Protection of Historic Structures and Sites		
	The primary concern of the Landmarks Board in reviewing additions to historic structures is the protection of the existing structure and the character of the site and district.		
	Guideline	Analysis	Meets Guideline?
.1	<i>Construct new additions so that there is a least possible loss of historic fabric and so that the character-defining features of the</i>	Addition is proposed at rear of contributing house and incorporates the existing ell at the back of the house as a clear connection between	Yes

	<i>historic building are not destroyed, damaged or destroyed</i>	old and new.	
.2	<i>New additions should be constructed so that they may be removed in the future without damaging the historic structure.</i>	The design utilizes the existing ell at the rear of the house; addition could be removed with minimal damage to the existing structure.	Yes
.3	<i>It is not appropriate to construct an addition that will detract from the overall historic character of the principal building and/or the site, or if it will require the removal of significant building elements or site features.</i>	The proposed design reflects the modest character of the existing house, and will not detract from its historic character. Publicly visibility from alley on north side of the Farmer's Ditch due to distance and mature vegetation.	Yes
4.2	Distinction from Historic Structures		
	<i>All additions should be discernible from the historic structure. When the original design is duplicated the historic evolution of the building becomes unclear. Instead, additional should be compatible with the historic architecture but clearly recognizable as new construction.</i>		
	Guideline	Analysis	Meets Guideline?
.1	<i>Distinguish an addition from the historic structure, but maintain visual continuity between the two. One common method is to step the addition back and/or set it in slightly from the historic structure.</i>	Proposed addition takes design cues from the existing house, creating a visual continuity between the two through simple forms and detailing. Inset connection between the addition and existing house will help differentiate between old and new, and subtle change in materiality will help distinguish between the two sections of the house. Review details at Ldrc.	Yes
.2	<i>Do not directly copy historic elements. Instead, interpret historic elements in simpler ways in the addition.</i>	In form, the addition respects the historic house, and does not seek to replicate historic elements. Steps have been taken to further develop a visual continuity between the existing house by simplifying form, fenestration, and refining materiality. Review details at Ldrc.	Yes

.3	<i>Additions should be simpler in detail than the original structure. An addition that exhibits a more ornate style or implies an earlier period of architecture than that of the original is inappropriate.</i>	Existing house is very simple in form and detailing; Steps have been taken to simplify forms and reduce overall mass and scale, fenestration, and refining materiality. Review details at Ldrc.	Yes
.4	<i>The architectural styles of additions should not imitate the historic style but must be compatible with it. Contemporary style additions are possible, but require the utmost attention to these guidelines to be successful. The use of two distinct historic styles, such as adding Tudor-style half-timbering to a Classic Cottage, is inappropriate.</i>	Proposed addition is generally complementary to the style of the historic building but does not seek to replicate it.	Yes
4.3 Compatibility with Historic Buildings			
<i>Introducing new construction that contrasts sharply with an existing historic structure or site detracts from the visual continuity that marks our historic districts. While additions should be distinguishable from the historic structure, they must not contrast so sharply as to detract from the original building and/or the site. Additions should never overwhelm historic structures or the site, in mass, scale or detailing.</i>			
	Guideline	Analysis	Meets Guideline?
.1	<i>An addition should be subordinate to the historic building, limited in size and scale so that it does not diminish or visually overpower the building.</i>	Though it will be visible from the public right of way, the proposed one-story addition does not diminish or overpower the existing building.	Yes
.2	<i>Design an addition to be compatible with the historic building in mass, scale, materials and color. For elevations visible from public streets, the relationship of solids to voids in the exterior walls should also be compatible.</i>	Relationship of solids to voids on the east and west elevations of the proposed addition are compatible with those found on the existing house.	Yes

.4	<i>Reflect the original symmetry or asymmetry of the historic building.</i>	Symmetry of original house is reflected in fenestration south face. Fenestration on east and west elevations has been simplified to follow same relationship.	Yes
.5	<i>Preserve the vertical and horizontal proportion of a building's mass.</i>	The horizontal form of house will remain. Steps have been taken to reduce the mass and scale of the addition since the July 2 nd and Sept. 3 rd reviews.	Yes

4.4	Compatibility with Historic Site and Setting		
	<i>Additions should be designed and located so that significant site features, including mature trees, are not lost or obscured. The size of the addition should not overpower the site or dramatically alter its historic character.</i>		
	Guideline	Analysis	Meets Guideline?
.1	<i>Design new additions so that the overall character of the site, site topography, character-defining site features and trees are retained.</i>	Character of the long, narrow site will be maintained, and significant site features are not proposed for removal.	Yes
.2	<i>Locate new additions on an inconspicuous elevation of the historic building, generally the rear one. Locating an addition to the front of a structure is inappropriate because it obscures the historic facade of a building.</i>	Addition is at the rear of the historic house but will be visible to the public along Pine Street, but will not visually overpower the existing house. The addition is proposed at the rear, the only face of the building practical to construct an addition.	Yes
.3	<i>Respect the established orientation of the original building and typical alignments in the area.</i>	Addition does not affect historic orientation and alignments of the building along the streetscape.	Yes
.4	<i>Preserve a backyard area between the house and the garage, maintaining the general proportion of built mass to open space found within the area. See Guideline 2.1.1.</i>	Proposed construction of a one car garage will take the place of the existing garage which is to be relocated to the opposite side of the property; addition and new garage will not significantly affect the general proportion of built mass to open space.	Yes

4.5	Key Building Elements		
	<i>Roofs, porches, dormers, windows and doors are some of the most important character-defining elements of any building. As such, they require extra attention to assure that they compliment the historic architecture. In addition to the guidelines below, refer also to Section 3.0 Alterations for related suggestions.</i>		
	Guideline	Analysis	Meets Guideline?
.1	<i>Maintain the dominant roofline and orientation of the roof form to the street.</i>	Roofline of addition will be relatively low massed and separated by a connector with a roof lower than the existing house and addition. Hip roof on addition will be set back approximately 70 ft. from south (front) property line and will have minimal visibility when viewed from Pine St.	Yes
.2	<i>Rooflines on additions should be lower than and secondary to the roofline of the original building.</i>	Roofline of addition is shown to be slightly lower than roof of existing house, and will be secondary to the roofline of the original house.	Yes
.3	<i>The existing roof form, pitch, eave depth, and materials should be used for all additions.</i>	The proposed roof proportions and materials are generally compatible with the historic house.	Yes
.5	<i>Maintain the proportion, general style, and symmetry or asymmetry of the existing window patterns.</i>	Fenestration on east and west elevations has been simplified and maintains the patterns of the existing house.	Yes
.6	<i>Use window shapes that are found on the historic building. Do not introduce odd-shaped windows such as octagonal, triangular, or diamond-shaped</i>	Fenestration on east and west elevations has been simplified to follow same relationship in terms of placement and proportion.	Yes

**MAPLETON HILL DESIGN GUIDELINES –MAJOR EXTERIOR
 RENOVATION, ADDITIONS AND SECOND STORIES, T.**

F. Massing			
<i>While the specific details of the historic architectural styles of Mapleton Hill vary considerably, the most significant and identifiable feature of a building is its massing. Buildings of Italianate styling are square and vertical. Bungalows are low and rectangular, while Queen Anne styling is asymmetrical with many projections and details. Replication of stylistic detailing is not encouraged or necessary, however, the form which defines the building, should be respected.</i>			
	Guideline	Analysis	Meets Guideline?
1.	<i>Any addition to a building should preserve the existing symmetry or asymmetry.</i>	The proposed addition will generally not impact the asymmetry of the main house when viewed from Pine Street.	Yes
2.	<i>The vertical or horizontal proportion of a building's mass should be preserved.</i>	The addition will not impact the horizontal proportion of the Minimal Traditional when viewed from Pine St.	Yes
T. Major Exterior Renovation, Additions and Second Stories.			
<i>Large additions and additional stories to a building frequently change the character of the structure. The diversity that characterizes the historic district is a result of the variety in the sizes of buildings and the differing architectural styles. A design response that respects this diversity is most appropriate.</i>			
	Guideline	Analysis	Meets Guideline?
.4	<i>New additions should be designed and constructed so that the character-defining features of the historic building are not radically changed, obscured, damaged or destroyed in the process of rehabilitation.</i>	Addition proposed at rear of historic building; no character defining features of existing house will be affected.	Yes
.5	<i>New design and construction should always be differentiated from older portions of a building; however, the addition should respect the existing roof forms, and building scale and massing.</i>	Proposed addition is distinct from house in form, detailing and materiality. Reduction of mass, scale and height from July 2 nd and Sept. 3 rd schemes much more compatible with existing house.	Yes

General Design Guidelines

7.	GARAGES & OTHER ACCESSORY STRUCTURES		
7.1	Existing Historic Accessory Structures		
	<i>A primary concern of the Landmarks Board in reviewing proposed changes in historic districts is the protection of existing historic accessory structures and the character of the site and district.</i>		
	GUIDELINES:	ANALYSIS:	CONFORMS
.1	<i>Retain and preserve garages and accessory buildings that contribute to the overall character of the site or district.</i>	The existing garage is proposed to be retained and relocated to the northeast corner of the lot.	Yes
.2	<i>Retain and preserve the character-defining materials, features, and details of historic garages and accessory buildings, including roofs, materials, windows, and doors.</i>	No exterior changes to the existing garage are shown.	Yes

Mapleton Hill Historic District Guidelines

D.	ALLEYS, EASEMENTS and ACCESSWAYS		
	<i>Alleys are a strong visual element of the district, and have much variety of scale and detail. They play an important role in the development patterns that give the more visible areas their character. Alleys provide access to rear parking and garages. They have a varied edge quality, with buildings both on the property lines and set back. The size and quality of these accessory buildings varies considerably. Careful consideration should be given to changes in traditional uses.</i>		
	Guidelines:	Analysis:	CONFORMS?
1.	<i>The use of alleys to provide access to the rear of properties should be preserved.</i>	Access to garage appears to have been historically taken from Pine St. Garage will no longer take access from alley. Steps might be taken to provide grass wheel path from garage door to sidewalk. Resolve at Ldrc.	N/A
3.	<i>Buildings such as garages, sheds, etc.</i>	Generally maintains character of building in terms of orientation	Yes

	<i>which contribute to this variety should be retained in their original form whenever possible.</i>	and location.	
P	GARAGES, CARPORTS AND ACCESSORY STRUCTURES		
	<i>A variety of accessory buildings has been adapted for use as garages in the Mapleton Hill Historic District. Whether carriage houses or sheds, these structures have certain similarities. They are plain and utilitarian and are located at the rear of the property on the alley. Materials and building elements are varied.</i>		
	Guideline:	Consistency:	
.1	<i>If an existing structure is to be used as a garage the historic character of the building should be respected. As few changes as possible should be made.</i>	No exterior changes to the existing garage are shown.	Yes

7.2	New Accessory Buildings		
	<i>New accessory buildings should follow the character and pattern of historic accessory buildings. While they should take design cues from the primary buildings, they must be subordinate in size, massing, and detailing. Alley buildings should maintain a scale that is pleasant to walk along and comfortable for pedestrians.</i>		
	Location and Orientation		
.1	<i>It is inappropriate to introduce a new garage or accessory building if doing so will detract from the overall historic character of the principal building, and the site, or if it will require removal of a significant historic building element or site feature, such as a mature tree.</i>	The proposed construction of a new garage is in keeping with the design of the main house and existing garage and will not impact the character of the principal building.	Yes
.2	<i>New garages and accessory buildings should generally be located at the rear of the lot, respecting the traditional relationship of such buildings to the primary structure and the site.</i>	The property takes access from Pine St. Location of new garage behind house is appropriate.	Yes
.4	<i>Preserve a backyard area between the house and the accessory buildings, maintaining the general proportion of built mass to open space found within the area.</i>	Construction of proposed one-car garage will not affect general proportion of built mass to open space of the property or streetscape.	Yes

Mass and Scale			
.5	<i>New accessory buildings should take design cues from the primary building on the property, but be subordinate to it in terms of size and massing.</i>	Proposed design relates to existing house and garage; size and massing are appropriate.	Yes
.6	<i>New garages for single-family residences should generally be one story tall and shelter no more than two cars. In some cases, a two-car garage may be inappropriate.</i>	Proposed one-car garage is one-story tall. Massing proportionate to built mass and open space on property.	Yes
.7	<i>Roof form and pitch should be complementary to the primary structure.</i>	Roof form is complementary to the main house.	Yes
Materials and Detailing			
.8	<i>Accessory structures should be simpler in design and detail than the primary building.</i>	As shown, garage is simpler than main house in design, material, and detailing.	Yes
.9	<i>Materials for new garages and accessory structures should be compatible with those found on the primary structure and in the district. Vinyl siding and prefabricated structures are inappropriate.</i>	Proposed materials (wood siding, windows, and doors) will be compatible with character of historic district. Review details at Ldrc.	Maybe
.10	<i>Windows, like all elements of accessory structures, should be simpler in detailing and smaller in scale than similar elements on primary structures.</i>	Proposed design of windows on east and elevation appears to be compatible in terms of window type, size and detailing with similar elements on the primary building.	Yes
.12	<i>Garage doors should be consistent with the historic scale and materials of traditional accessory structures. Wood is the most appropriate material and two smaller doors may be more appropriate than one large door.</i>	Garage doors appear to be consistent in terms of scale and materials. Review final details at Ldrc.	Maybe
.13	<i>It is inappropriate to introduce features or details to a garage or an accessory building in an attempt to create a false historical appearance.</i>	Proposed design does not attempt to recreate a false historic appearance.	Yes

Constructed in 1939, the Minimalist Traditional house at 711 Pine Street was built within the period-of-significance for the Mapleton Hill Historic District and retains a high degree of historic integrity and, as such, staff considers it to be contributing. Staff also acknowledges the modest, mid-century character of the house. Its diminutive scale makes it challenging to construct an addition that provides meaningful and useful space.

The roughly 10,000 sq. ft. property is located mid-block and does not back on to an alley. These circumstances provide for the ability to construct an addition of mass and scale than might otherwise be possible. Staff considers that significant steps have been taken to ensure that the mass and scale be reduced to the extent possible to mitigate the visual impact on the main house when viewed from Pine St. Scale, height, massing, fenestration and detailing of the addition as proposed will be compatible with the character of the main house and the streetscape as a whole.

Pending the review of some design details by the Landmark Design Review Committee, staff considers the proposed construction of an addition to be generally consistent with the Historic Preservation Ordinance, Section 4 of the *General Design Guidelines* and Sections F and T of the *Mapleton Hill Design Guidelines*.

Staff considers issuance of a Landmark Alteration Certificate for the proposed addition to the contributing house, relocation of the contributing garage and construction of a new one-car garage to be consistent with the Historic Preservation Ordinance, the *General Design Guidelines*, and the *Mapleton Hill Historic District Guidelines*. As such, staff finds the application consistent with Section 9-11-18(a)&(b)(1)-(4) B.R.C., the *General Design Guidelines*, and the *Mapleton Hill Historic District Design Guidelines*, provided the listed conditions are met.

FINDINGS:

Provided the conditions outlined in the staff recommendation are met, staff recommends that the Landmarks Board approve the application and adopt the following findings:

1. The proposed new construction will meet the standards in Section 9-11-18 of the Boulder Revised Code 1981.
2. The proposed construction will not have an adverse effect on the value

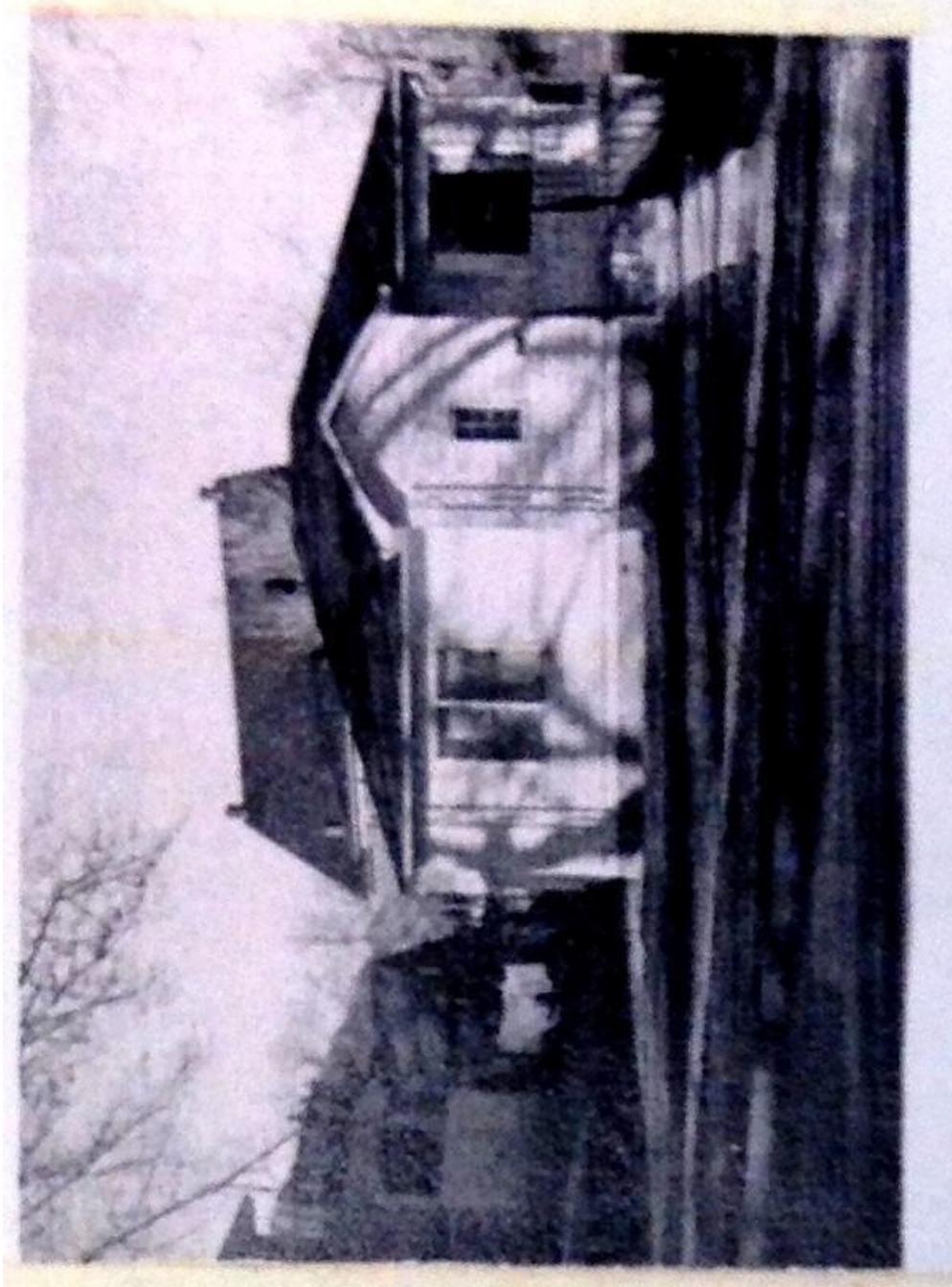
of the landmark property, as it will be generally compatible in terms of mass, scale, or orientation with other buildings in the district.

3. In terms of mass, scale, and orientation, the proposal will be generally consistent with Section 9-11-18(a)&(b)(1)-(4) B.R.C.1981, the *General Design Guidelines*, and the *Mapleton Hill Historic District Design Guidelines*.

ATTACHMENTS:

- A: Tax Assessors Card
- B: Photographs
- C: Applicant's Materials
- D: Plans, Elevations and Massing Model
- E: Proposed July 2nd and Sept. 3rd Schemes

Memo to the Landmarks Board
Re: Landmark Alteration Certificate for 711 Pine St.



Attachment B: Current Photographs

Agenda Item # 5A Page 26



711 Pine St., view of south (front) elevation, 2014.



711 Pine St., view of west elevation, 2014.

Memo to the Landmarks Board
Re: Landmark Alteration Certificate for 711 Pine St.



711 Pine St., view of east elevation, 2014.



711 Pine St., view of south east corner, 2014.

Memo to the Landmarks Board
Re: Landmark Alteration Certificate for 711 Pine St.



711 Pine St., view of South elevation with 703 Pine St. on the left, 2014.



711 Pine St., view of South elevation with 727 Pine St. on the right, 2014.

Memo to the Landmarks Board
Re: Landmark Alteration Certificate for 711 Pine St.



View of 700 block of Pine St. looking east, 2014.



View of 700 block of Pine St. looking west, 2014.

Attachment B: Applicant's Materials

For Nov. 5th Review

This letter is to request a new review for a Landmarks Board Alteration Certificate for a new addition to be added onto an existing bungalow, and located at 711 Pine St. The home is located in the Mapleton Hill Historic District. The 961 square foot bungalow was constructed in 1939, and still retains all of its existing construction character, although it has been altered by the application of vinyl siding and plastic shutters. The residence is a very modest one story structure located on a street that has several large, elegant, historic mansions. Due to the historical significance of the time period in which it was built, we are proposing to keep the existing structure in it's entirety.

The proposed addition is now a one story structure that we have significantly downsized and simplified. We believe it meets the design guidelines for an appropriate addition in the Mapleton Historic District. We have tried to complement the existing bungalow by simplifying and downsizing the addition and providing a definite demarcation between new and old. This is accomplished by a four foot recess on one side, and a recessed courtyard on the other side, thus creating a stand alone effect for the bungalow, and highlighting its modest shape and preserving all existing roof lines. We have designed the new addition to have a flatter roof pitch to further lower the new roof and to accentuate the simplicity of the existing one story roof. The massing of the proposed low pitched roof is very simple, yet complimentary to the steeper pitched roof on the bungalow. The materials proposed on the addition are neighborhood appropriate in style and character, using a 3 ½" tightly lapped horizontal siding, in contrast to the widely gapped horizontal siding on the front house and existing garage.

The lot that we are working with is very large at 10,659 square feet, with a gentle slope up to the rear of the property and a drainage ditch running across the back lot line. The lot has no access to the existing alley, due to the drainage canal. The property has a single car one story garage that is deemed historic based on its age, but too narrow for an actual car. We are proposing to keep the garage but relocate it to the other side of the property and refurbish it into a studio, keeping it entirely intact. We are proposing a larger, new, one car garage to be built at the end of an extended driveway, similar to what previously existed. It would be sided with materials similar to the new addition, with tightly lapped horizontal siding.

In conclusion, we respectfully ask for the boards approval to construct the proposed addition and new garage in accordance with the Mapleton Hill Historic Guidelines, that is size appropriate for the oversized lot, and complementary to the existing bungalow residence.

711 PINE STREET
LANDMARKS BOARD

November 5, 2014

PREPARED BY:

WAUGH AND ASSOCIATES
ARCHITECTS/PLANNERS

71 BOWEN
LONGMONT, COLORADO

720-494-7602

GENERAL DESIGN GUIDELINES - ADDITIONS TO HISTORIC BUILDINGS

4.1 Protection of Historic Structures and Sites

The primary concern of the Landmarks Board in reviewing additions to historic structures is the protection of the existing structure and the character of the site and district.

- The proposed new addition totally preserves the existing historic fabric by not removing any of the existing front and side facades. The attachment at the rear wall is recessed 4 feet on one side, and on the other side, exposes the entire alcove with the use of a courtyard, thus preserving additional existing structure, that is visible from the rear elevation. The only connecting link to the existing residence is 12 feet wide.

- The mass and scale have been reduced significantly by going to a single story design that blends very well with the modest residence. Considerable effort has been made to articulate both walls and roof forms to mitigate their size and scale.

4.2 Distinction from Historic Structures

All additions should be discernible from the historic structure. When the original design is duplicated the historic evolution becomes unclear. Instead, additions should be compatible with the historic architecture but clearly recognizable as new construction.

- The proposed addition is clearly distinguished from the existing residence by the recessing of the attaching walls and the use of different siding materials. Siding would be a tight horizontal lap siding as opposed to the widely gapped existing horizontal siding. The change in materials, as well as the main level courtyard, and the one story design helps to reduce the mass of the addition and distinguish the new from the old.

- The use of a shallower roof pitch than the existing roof further helps to distinguish the new from the old.

- Exterior detailing has been kept to a minimum to simplify the new addition.

The exterior style of the existing residence is totally nonexistent, so the ability to go simpler is not possible. The best that we can do is to be as simplistic as possible yet remain distinctly different.

4.3 Compatibility with Historic Buildings

Introducing new construction that contrasts sharply with an existing historic structure or site detracts from the visual continuity that marks our historic districts. While additions should be distinguishable from the historic structure, they must not contrast so sharply as to distract from the original building and/or site. Additions should never overwhelm historic structures or the site, in mass, scale or detailing.

We have tried to minimize the size of the addition through the use of a more compact, simplified one story design. We have substantially reduced the square footage in size and complexity to keep the massing simple.

The relationship of solids and voids is handled with wall articulation and fenestration of a more modest style which will be both simple in design and consistent with the simple style of the existing residence.

With the one story design, and the stepping back of each of the progressive structural elements from the Pine Street elevation, as well as the open courtyard, the addition is much less visible from an eye level street view.

4.4 Compatibility with Historic Site and Setting

Additions should be designed and located so that significant site features, including mature trees, are not lost or obscured. The size of the addition should not overpower the site or dramatically alter its historic character.

This lot is 10,659 sq. ft. and totally dwarfs the existing residence. There will be no significant changes to the site except to move the existing garage to the other side and rear of the property, to be used as a studio. With the new addition and detached garage at the rear ,

the new residence will have a much greater access to the rear of the oversized lot, as well as landscape improvements to the irrigation canal that runs the width of the rear of the lot.

With a total building coverage of 2,813 square feet, the resulting open space will be 7,846, larger than most lots in the city of Boulder. The open space is 73.61 % of the overall lot.

4.5 Key Building Elements

Roofs, porches, dormers, windows and doors are some of the most important character-defining elements of any building. As such, they require extra attention to assure that they compliment the historic architecture. In addition to the guidelines below, refer also to Section 3.0 Alterations for related suggestions.

The existing hipped roof will be the predominant roof seen from Pine St. as the new addition starts with a low pitched roof and then steps back 40 feet from the existing ridge, and does not exceed the existing roof height.

Windows are simple rectangular shapes to further the simplicity of the existing home.

MAPLETON HILL DESIGN GUIDELINES - MAJOR EXTERIOR RENOVATION - ADDITIONS AND SECOND STORIES

Massing

While the specific details of the historic architectural styles of Mapleton Hill vary considerably, the most significant and identifiable feature is its massing. Buildings of Italianate styling are square and vertical. Bungalows are low and rectangular, while Queen Anne styling is asymmetrical with many projections and details. Replication of stylistic detailing

is not encouraged or necessary, however, the form which defines the building, should be respected.

The new addition will not change the asymmetry of the existing residence. With the new one story addition and recessed courtyard, it is stepped back in length far enough to be virtually unseen from Pine Street.

Major Exterior Renovation, Additions and Second Stories

Large additions and additional stories to a building frequently change the character of the structure. The diversity that characterizes the historic district is a result of the variety in the sizes of buildings and the differing architectural styles. A design response that respects this diversity is most appropriate.

The proposed addition is at the rear of the house, so no existing character defining features will be changed. The new addition is distinctly different from the existing, yet respects the existing hipped roof forms. The addition will add some variety to the existing plainness, as well as add footage to the very small bungalow. Even with the new addition, the house will be undersized in relation to most of the other homes on the block. The existing character is totally defined and preserved.

Garages, Carports and Accessory Structures

A variety of accessory buildings have been adapted for use as garages in the Mapleton Hill Historic District. Whether carriage houses or sheds, these structures have certain similarities. They are plain and utilitarian and are located at the rear of the property or alley. Materials and building elements are varied.

The existing garage will be saved and moved to be used as a studio, as it is too small to be used as a garage. When moved all existing elements will be preserved. The building has been rotated 90

degrees since the existing side wall has been buried and will need a shorter exposed wall, which works with the new existing contours by the rotation.

GENERAL DESIGN GUIDELINES

Garages and other Accessory Structures

A primary concern of the Landmarks Board in reviewing proposed changes

In the historic districts is the protection of existing historic accessory structures and the character of the site and district.

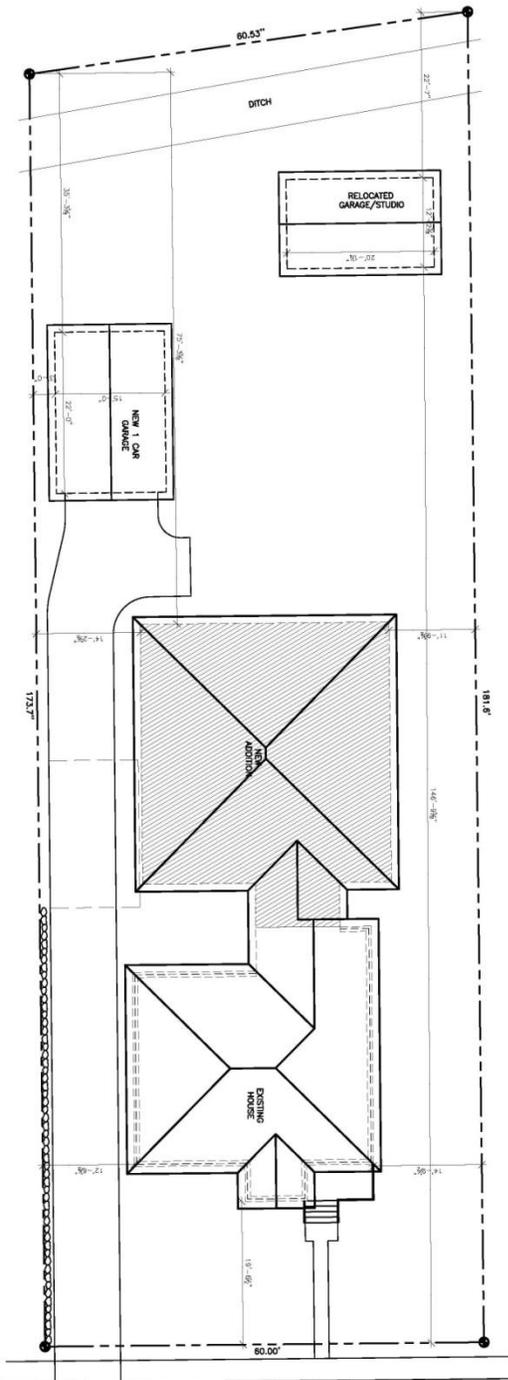
Existing garage will be retained and moved within the site to allow room for a new one car garage.

New Accessory Buildings

New accessory buildings should follow the character and pattern of historic accessory buildings, they must be subordinate in size, massing, and detailing.

The proposed new 1 car garage will be similar in design to the new addition and will not impact the character of the original building. As the historic drive access has always been from Pine Street, this access will be preserved. The mass and scale will be appropriate with the new addition and existing residence. Materials will match the new addition and will not attempt to create a historic look.

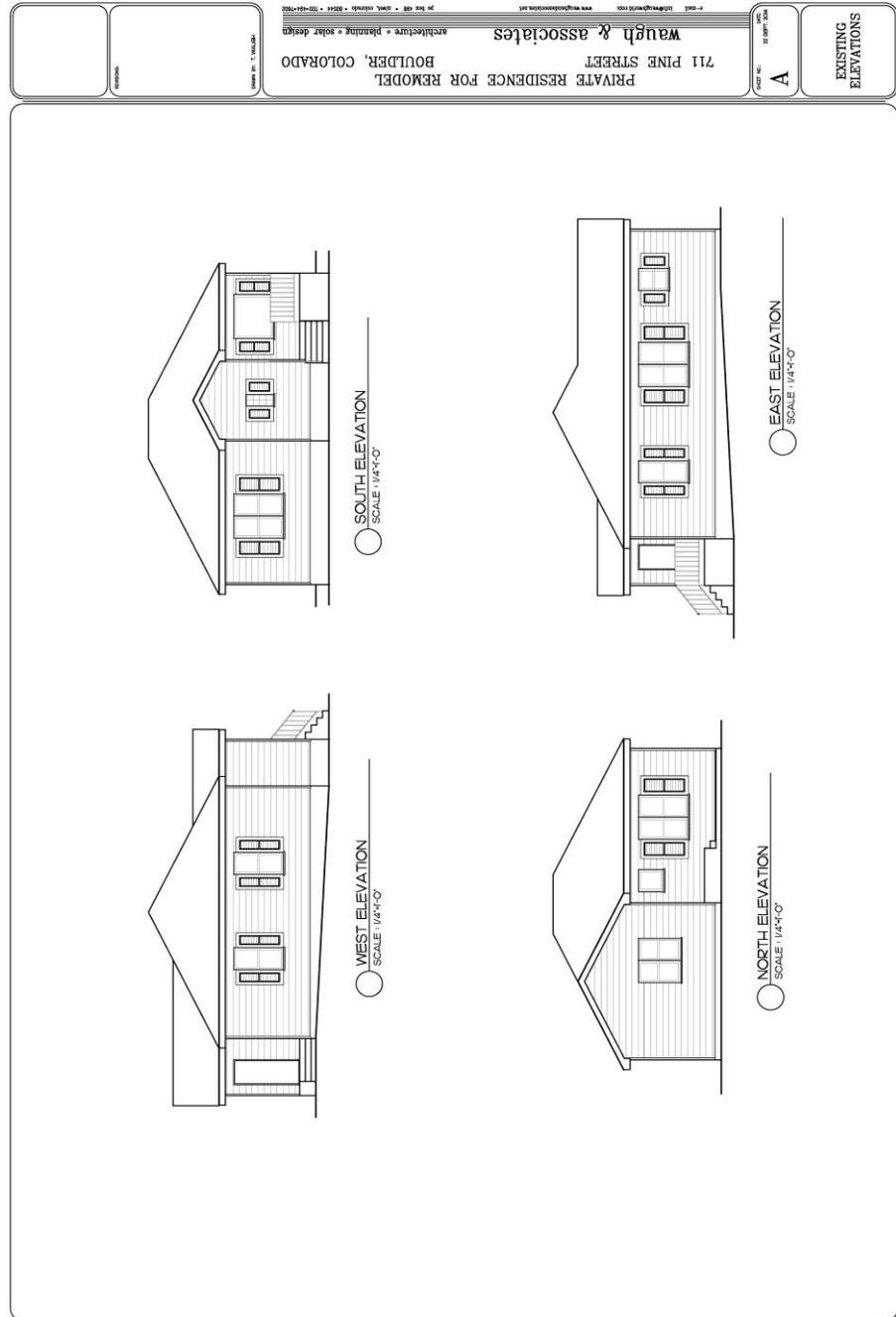
PLANS AND ELEVATIONS – NOV. 5, 2014



711 PINE ST.

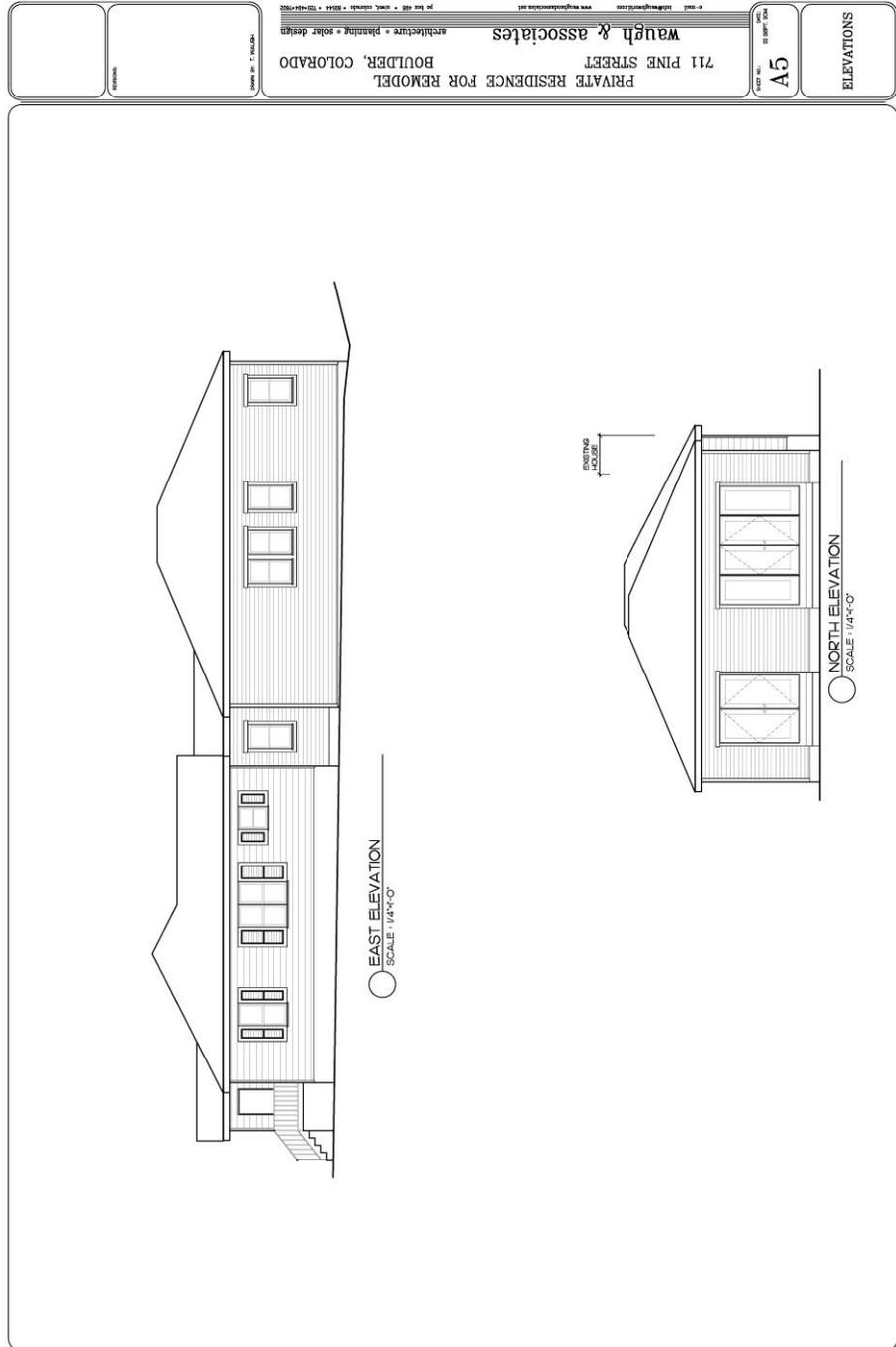
Proposed Site Plan for Nov. 5th Review

Memo to the Landmarks Board
Re: Landmark Alteration Certificate for 711 Pine St.



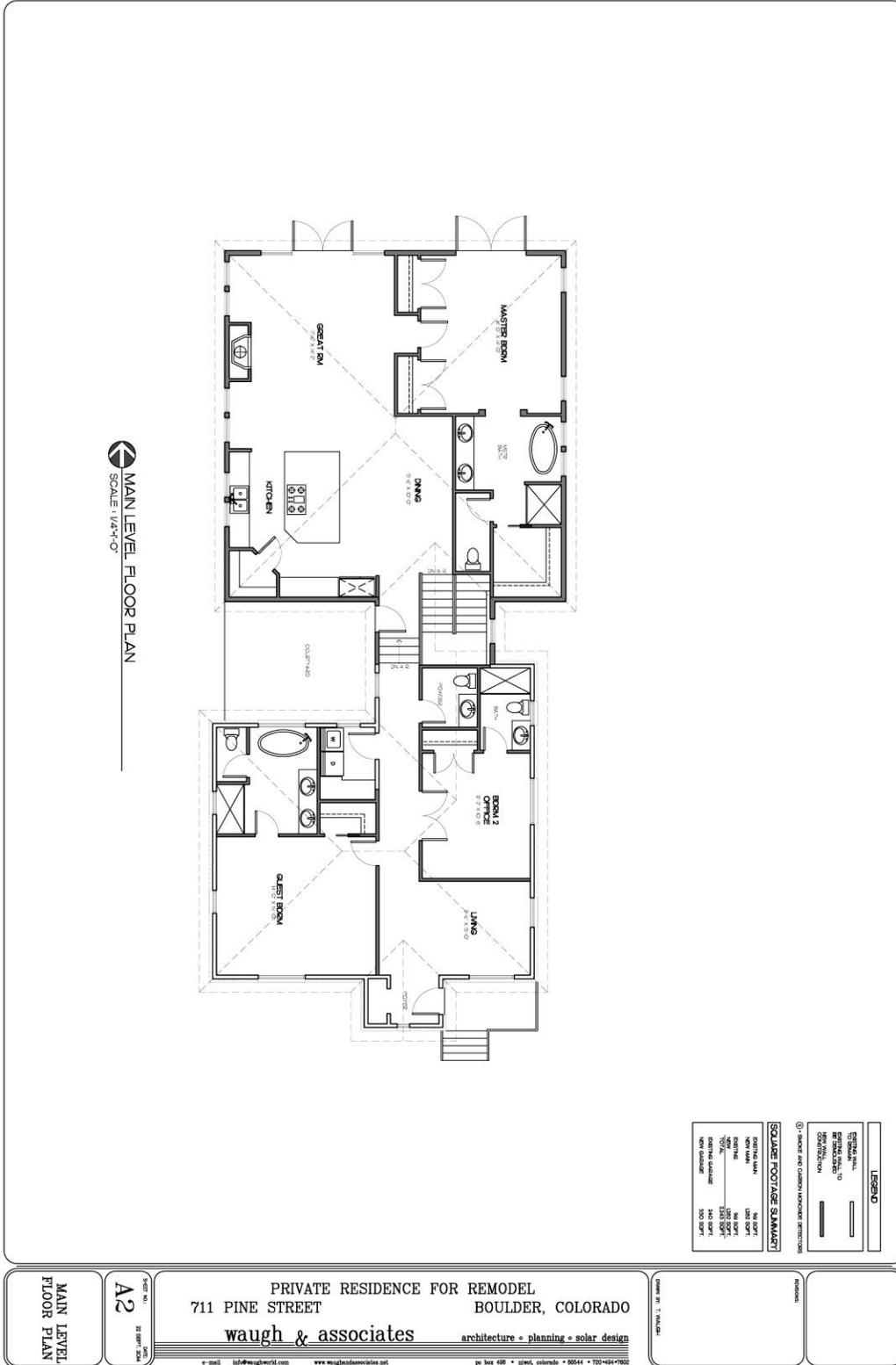
Existing Elevations for Nov. 5th Review

Memo to the Landmarks Board
Re: Landmark Alteration Certificate for 711 Pine St.



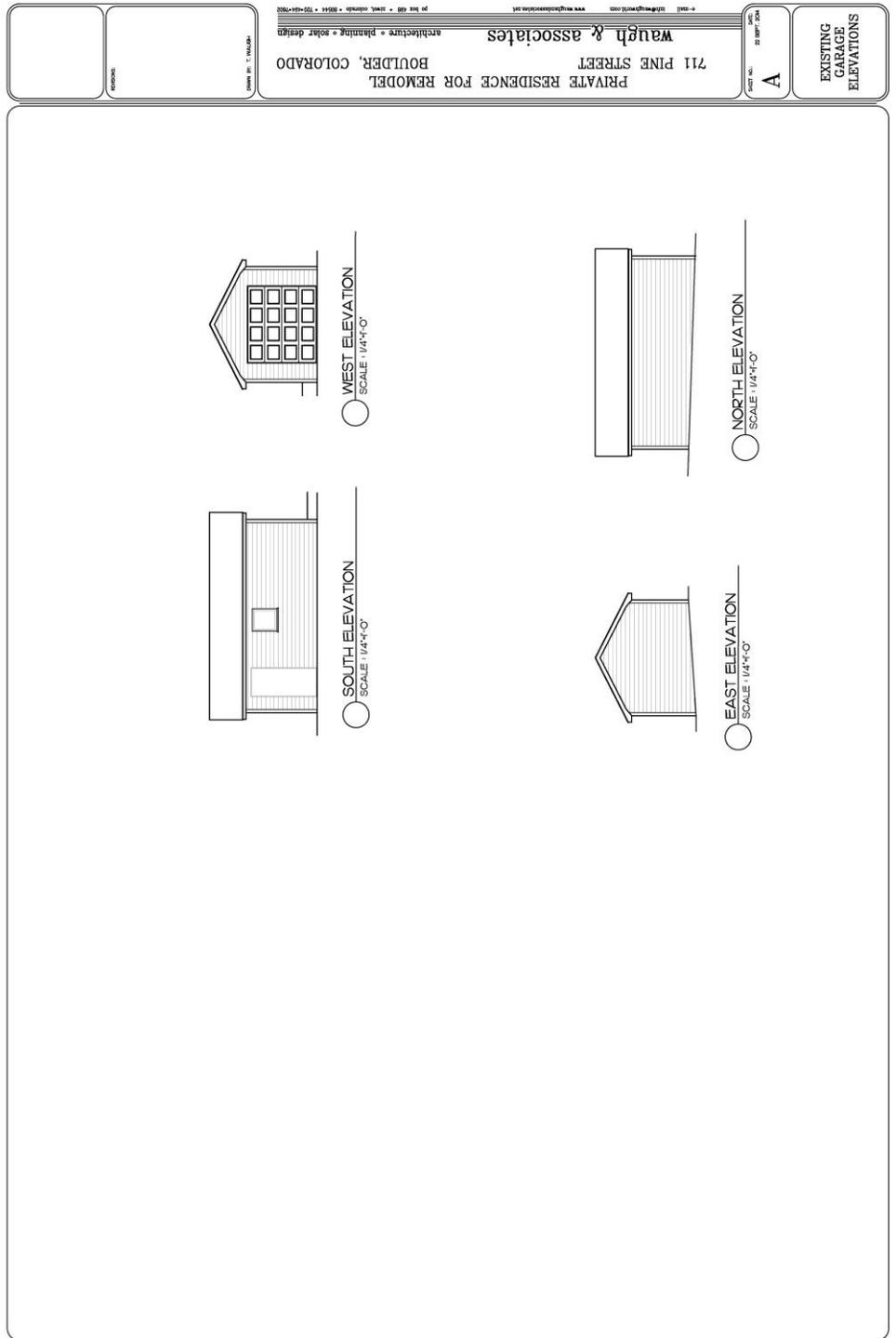
Proposed North and East Elevations for Nov. 5th Review

Memo to the Landmarks Board
 Re: Landmark Alteration Certificate for 711 Pine St.



Proposed Floor Plan for Nov. 5th Review

Memo to the Landmarks Board
Re: Landmark Alteration Certificate for 711 Pine St.



Existing Garage Elevations for Nov. 5th Review

Memo to the Landmarks Board
 Re: Landmark Alteration Certificate for 711 Pine St.

		PRIVATE RESIDENCE FOR REMODEL 711 PINE STREET BOULDER, COLORADO waugh & associates architecture • planning • painting • interior design www.waughandassociates.com 2025 W. 13th Ave. • Suite 100 • Boulder, CO 80502 • 303.440.1822	SHEET NO. A OF 0017 SHEETS	NEW GARAGE
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EAST ELEVATION
SCALE: 1/4"=1'-0"

SOUTH ELEVATION
SCALE: 1/4"=1'-0"

NORTH ELEVATION
SCALE: 1/4"=1'-0"

WEST ELEVATION
SCALE: 1/4"=1'-0"

Proposed Garage Elevations for Nov. 5th Review

PREVIOUS SCHEMES : JULY 2ND AND SEPT. 3RD
SITE PLAN

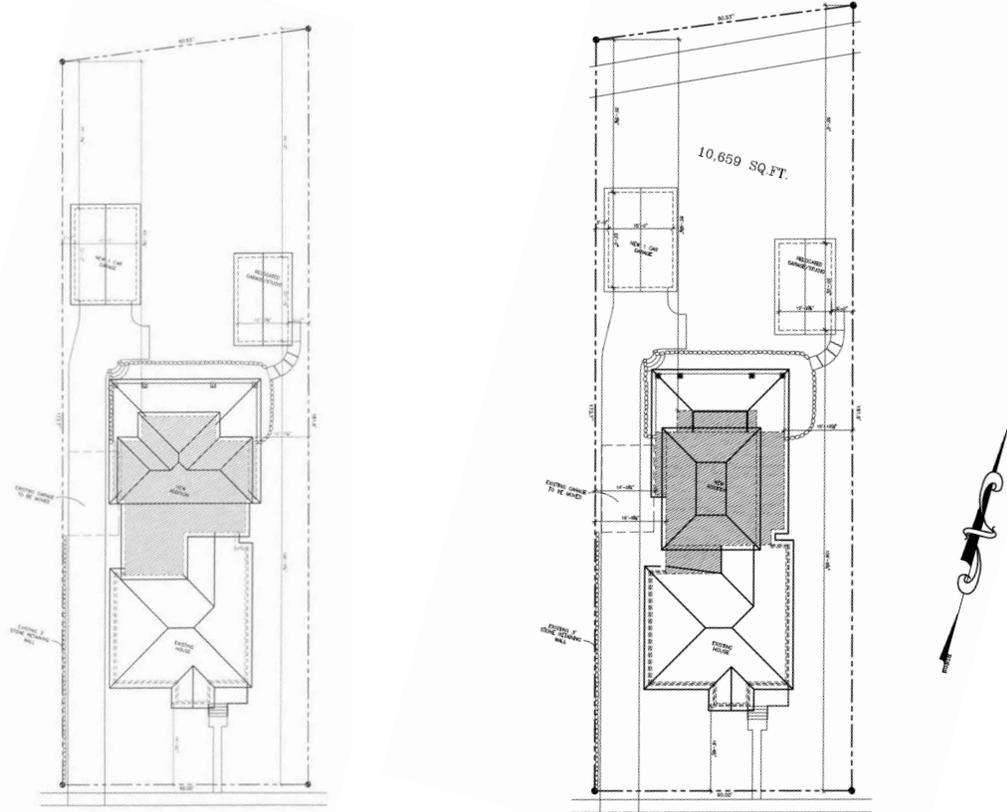


Figure 7. July 2nd, 2014 (left) and Sept. 3rd Site Plans (right). Not to scale.

SOUTH ELEVATION



SOUTH ELEVATION
SCALE: 1/4"=1'-0"

Figure 8. Existing South Elevation (façade)



SOUTH ELEVATION
SCALE: 1/4"=1'-0"

Figure 9. July 2nd, 2014 South Elevation (façade)



SOUTH ELEVATION
SCALE: 1/4"=1'-0"

Figure 10. Sept. 3rd, 2014 South Elevation (façade)

EAST ELEVATION



 EAST ELEVATION
SCALE: 1/4"=1'-0"

Figure 11. Existing East Elevation



 EAST ELEVATION
SCALE: 1/4"=1'-0"

Figure 12. July 2nd, 2014 proposal, East Elevation



 EAST ELEVATION
SCALE: 1/4"=1'-0"

Figure 13. Sept. 3rd proposal, East Elevation

NORTH ELEVATION



○ NORTH ELEVATION
SCALE : 1/4"=1'-0"

Figure 14. Existing North Elevation



○ NORTH ELEVATION
SCALE : 1/4"=1'-0"

Figure 15. July 2nd Proposal, North Elevation (rear)



○ NORTH ELEVATION
SCALE : 1/4"=1'-0"

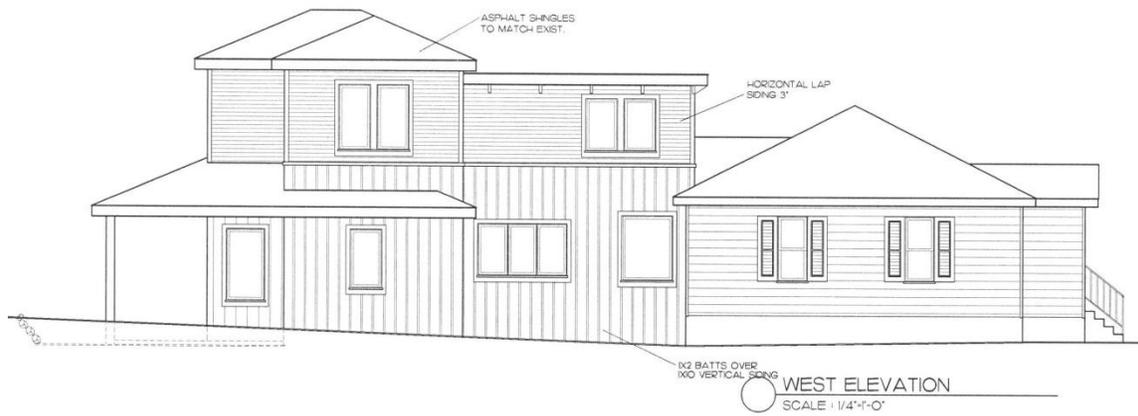
Figure 16. Sept. 3rd, 2014, North Elevation (rear)

WEST ELEVATION



WEST ELEVATION
SCALE: 1/4"=1'-0"

Figure 17. Existing West Elevation



WEST ELEVATION
SCALE: 1/4"=1'-0"

Figure 18. July 2nd Proposal, West Elevation



WEST ELEVATION
SCALE: 1/4"=1'-0"

Figure 19. Sept. 3rd, 2014, West Elevation