



City of Boulder Planning and Development Services

1739 Broadway, third floor • PO Box 791 • Boulder, CO 80306

Phone: 303-441-1880 • Fax: 303-441-3241 • Web: boulderplandevop.net

*Revised
July 2013
402.pdf*

BOULDER DESIGN ADVISORY BOARD APPLICATION

Date of Application 10/30/2013 Address of Property for Review 1301 Walnut

Applicant's Name Jeff Dawson Phone 720-771-0516

Address 741A Pearl Street

Relationship to Project (e.g.: architect, contractor, etc.) Architect

Owner's Name and Address Jeff Wingert - WW Reynolds Phone 303-442-8687

Project Description

The proposed office building will be three stories and 38' tall with an occupied basement below. A courtyard at the center of the building has been included at the basement and first floor levels to provide day light and fresh air to the basement tenant spaces. The courtyard will also connect pedestrians along Walnut to the restaurant patio and historic carriage house on the north side of the property. The building will be primarily clad in brick with precast or stone accents. The third floor and "bridge" elements will be clad in more contemporary materials such as metal panel and storefront glass.

Lot Size 21,037 SF

Total Existing Bldg. Sq Ft. 9,933

Existing Bldg Height 2 Stories

Proposed Additional Bldg. Sq. Ft. 60,169

Proposed Bldg. Height 38' (taller parapet at corner of 13th & Walnut)

Submission Deadlines

The Boulder Design Advisory Board generally meets on the second Wednesday of every month. The deadline for submitting your application is 4 p.m. on the last Wednesday of the month, two weeks prior to the meeting date that you wish to attend. Come in person to the Planning and Development Services Center, 1739 Broadway, third floor, to submit your application and materials to a Project Specialist.

Please see the attached "Submission Requirements" sheet for guidance on what we need.

What to Bring to Your Review

At the time of the meeting, please bring at least one set of rendered drawings and material samples.

Committee Comments about the Proposal:

For submittal questions or project-content questions, please contact Sam Assefa, (303) 441-4277, assefas@bouldercolorado.gov. For administrative questions about BDAB, please contact Susan Meissner, (303) 441-4464, meissners@bouldercolorado.gov You can visit our Web site at: www.boulderplandevop.net and click on Boulder Design Advisory Board (BDAB).



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BDAB Application Submission Requirements

Application requirements for design review will vary depending upon the complexity and scale of the project to be reviewed, and the specific requirements of the reviewing body. In general, the applicant should provide the appropriate architectural drawings, sketches, and photographs of existing buildings and their sites to allow the reviewing body to fully understand the nature and scope of the exterior changes and any significant design issues.

For BDAB, four (4) paper copies and all electronic files on a CD or thumb drive. Copies of all relevant information listed below must be submitted *to a project specialist* in the Planning and Development Services Center no later than 4 p.m. on the last Wednesday of the month, two weeks prior to the BDAB meeting. *[Please DO NOT send a courier; a representative from your organization needs to bring the plans to the project specialist in person so the specialist can check that submission requirements have been met, which prevents problems with the application.]* Applications should be well organized and contain sufficient information to allow reviewers to fully understand the proposed building design or alteration, including relevant urban design information such as how the project fits within its surrounding context, and how it relates to adjacent buildings and properties.

At a minimum, BDAB applications should include the following information:

- A map illustrating the location of the project as well as photographs of the project site and the surrounding area.
- A site plan in a clear graphic style should be presented in the context of the city blocks surrounding the project. Site boundaries and dimensions should be clearly marked and special issues such as floodplain, shadows, land restrictions and the existing site conditions need to be highlighted.
- All relevant floor plans, building sections, and exterior elevations should be illustrated at a scale sufficient to fully understand the proposed design.
- Provide exterior wall elevations in color showing material and color selections.

Additional information that may be required for BDAB:

The following additional information may be required if the proposal modifies the permitted “by-right” building height, or if the project is of significant complexity that the two dimensional drawings described above do not fully illustrate the design issues:

- A simple mass model if the project is of significant size and complexity, showing the surrounding context.
- Color perspective sketches illustrating the proposed project and its surroundings, from street level, to present the project from the pedestrian’s viewpoint.
- An analysis of the shadow impact of the proposed project is important, especially for projects on the south side of downtown streets.

Visit our Web site at: www.boulderplandevlop.net; click on Boulder Design Advisory Board (BDAB)



PEARL STREET MALL

DT-4

DT-5

13TH STREET

WALNUT STREET

PROJECT SITE

COLORADO BUILDING

JAMES HOTEL BUILDING

HISTORIC CARRIAGE HOUSE

14TH STREET

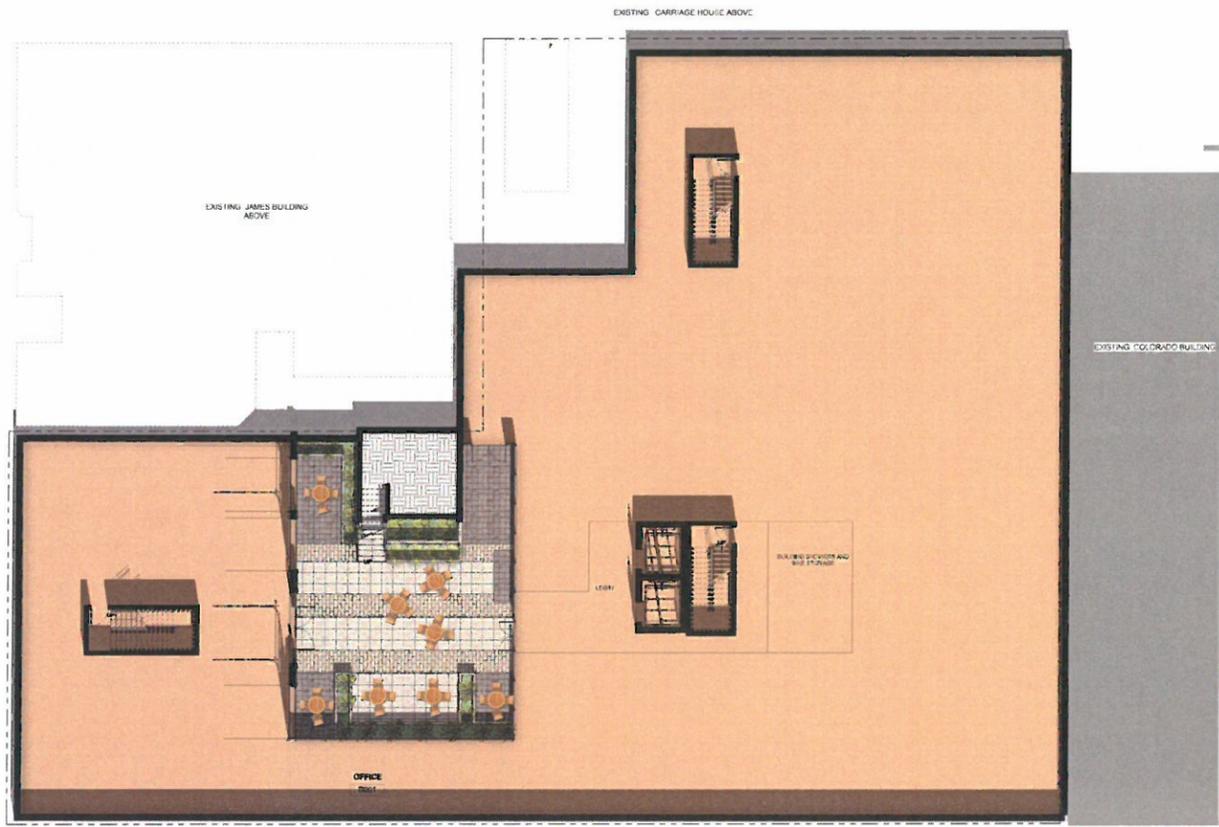
15TH STREET

CANYON BLVD.

Google earth

Imagery Date: 10/7/2012 40°01'03.15" N 105°16'39.11" W elev 5357 ft eye alt 6781 ft

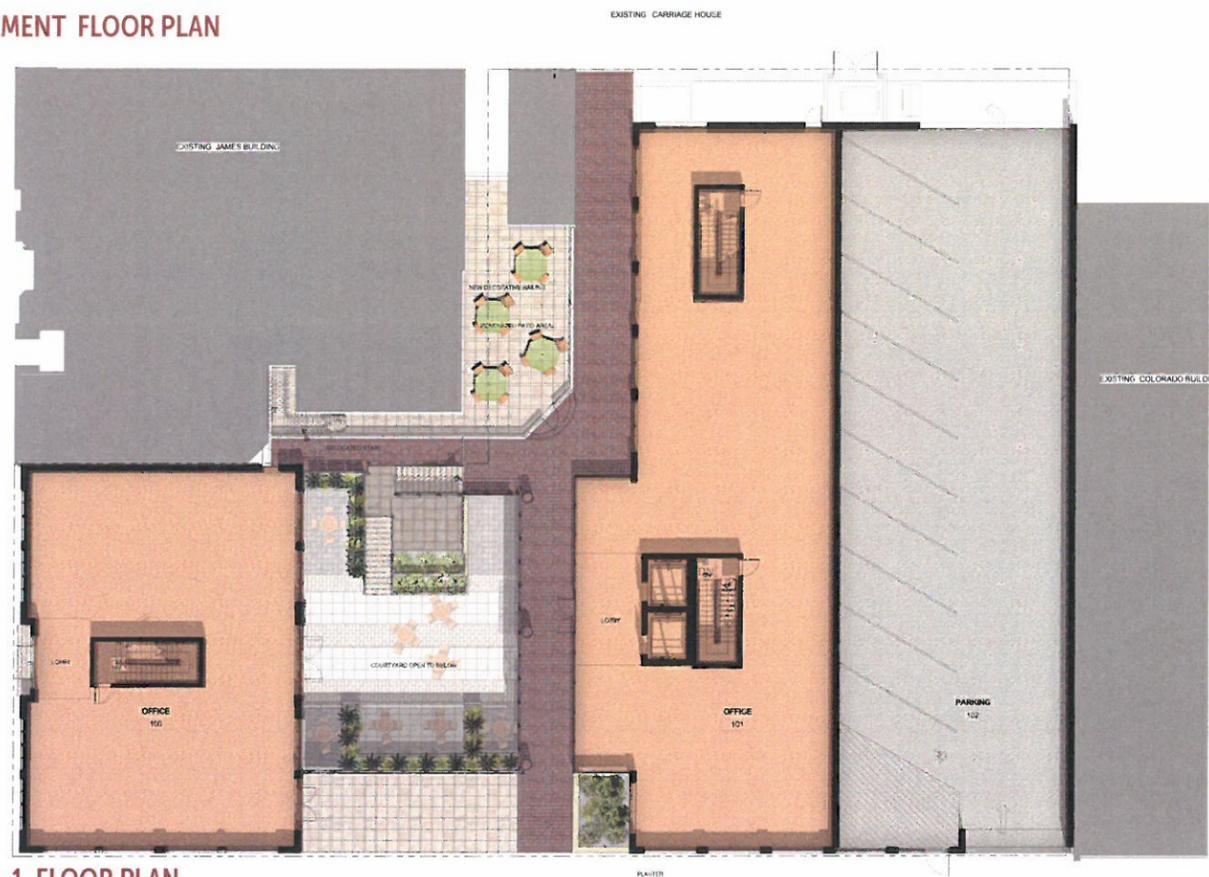




BASEMENT FLOOR PLAN



LEVEL 2 FLOOR PLAN



LEVEL 1 FLOOR PLAN



LEVEL 3 FLOOR PLAN

WENCEL BUILDING 1301 WALNUT BOULDER COLORADO

w.w. Reynolds Company

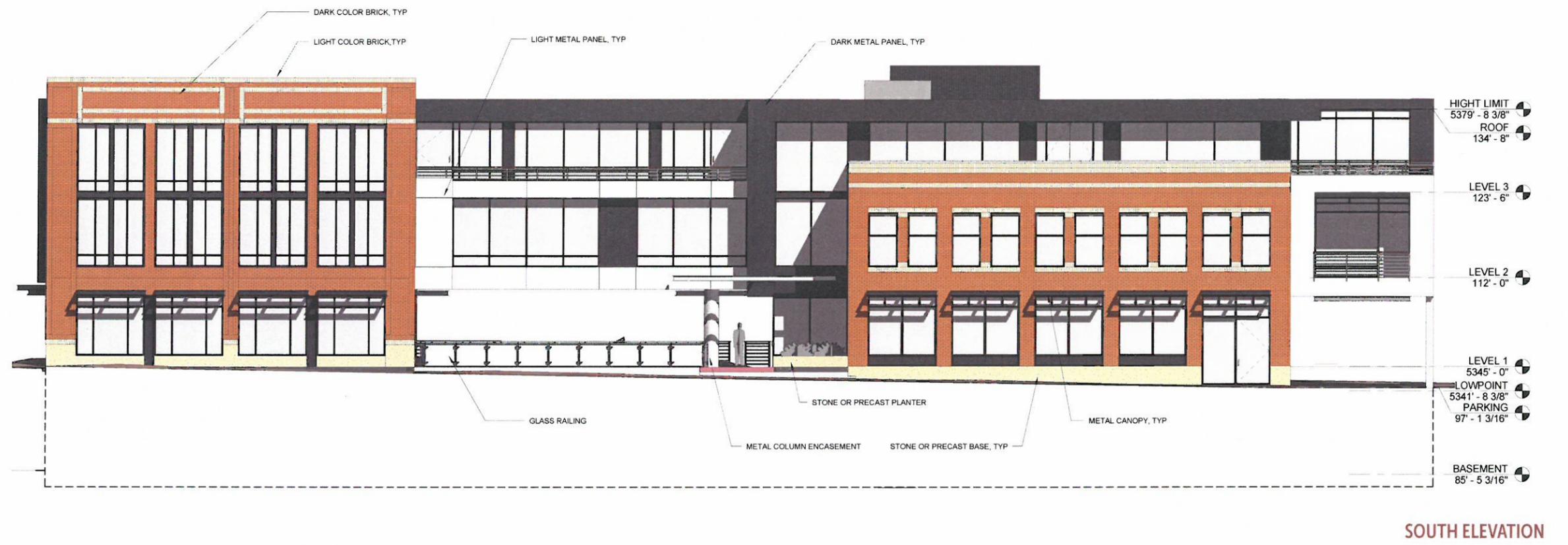
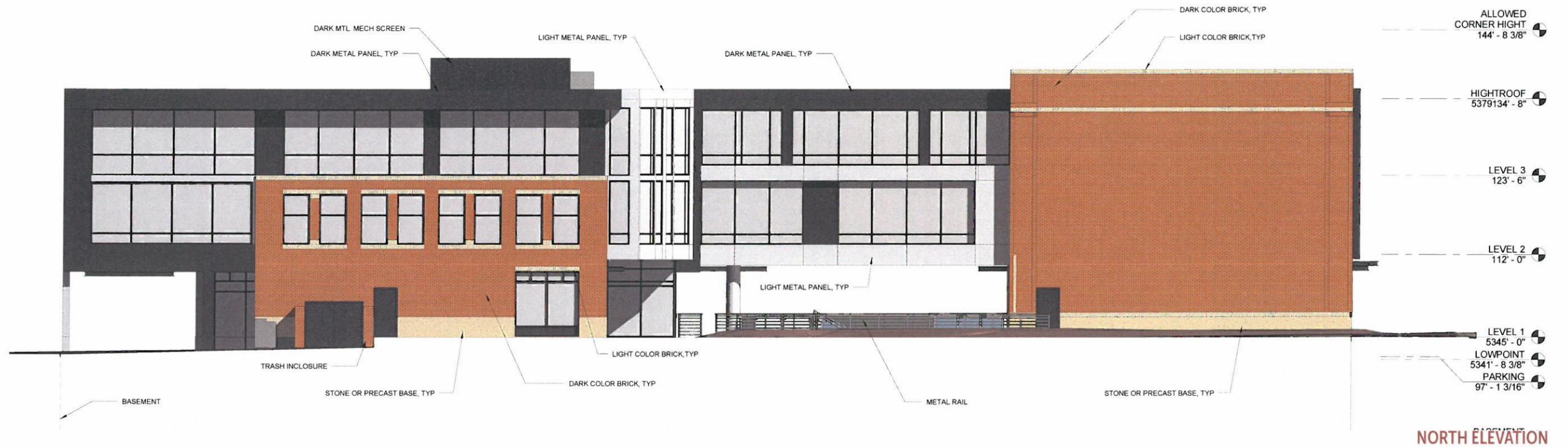
STUDIO



WEST ELEVATION IN STREET CONTEXT

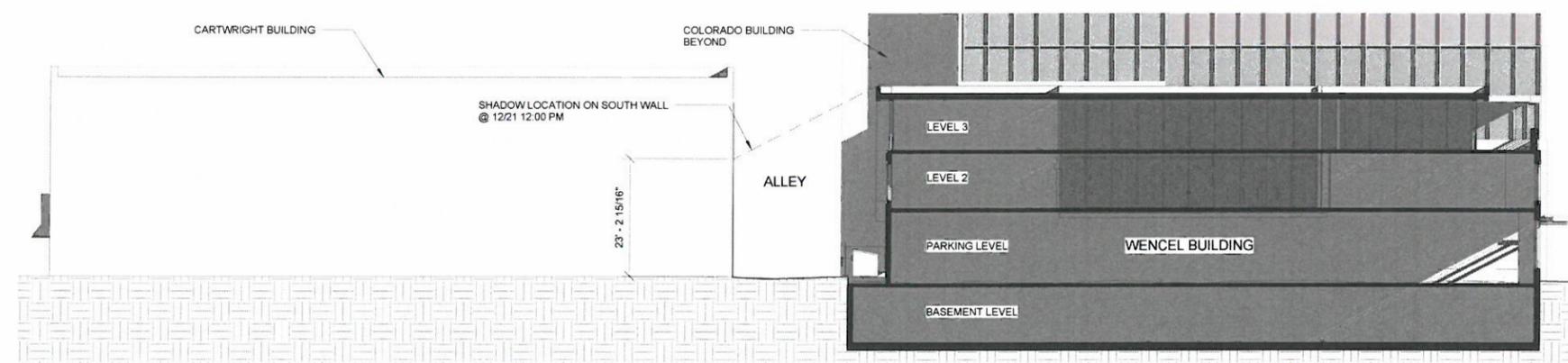


SOUTH ELEVATION IN STREET CONTEXT

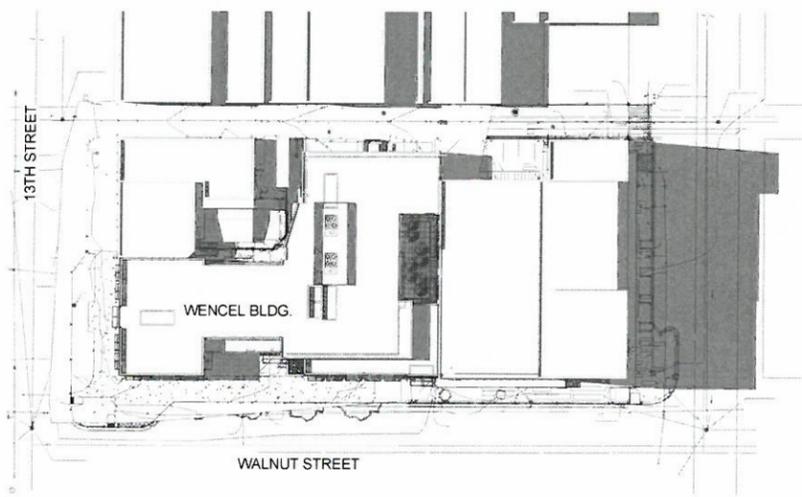




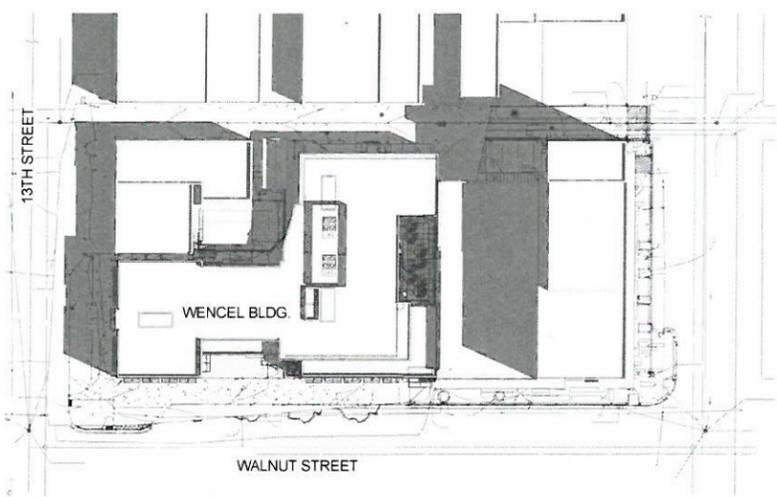
WEST ELEVATION



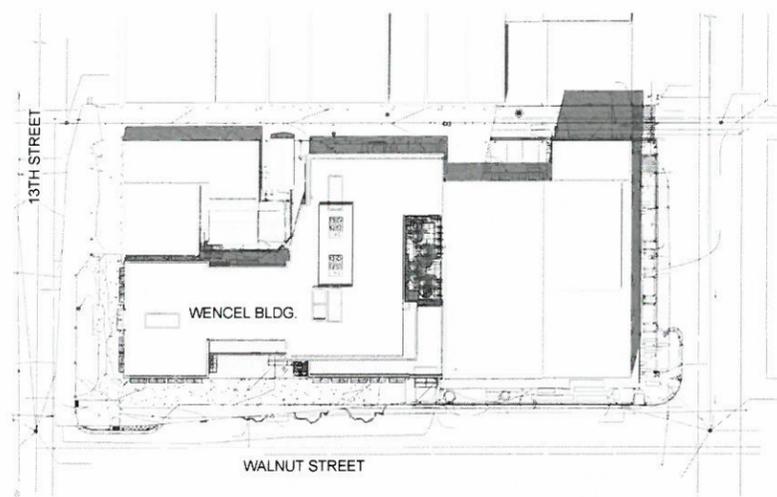
SHADOW SECTION @ DEC 21 12:00 PM LOOKING EAST



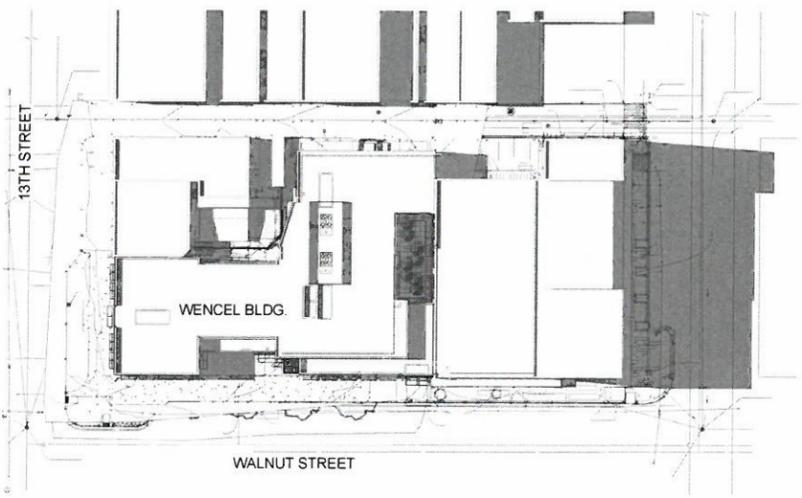
1 JUNE 21 3 PM



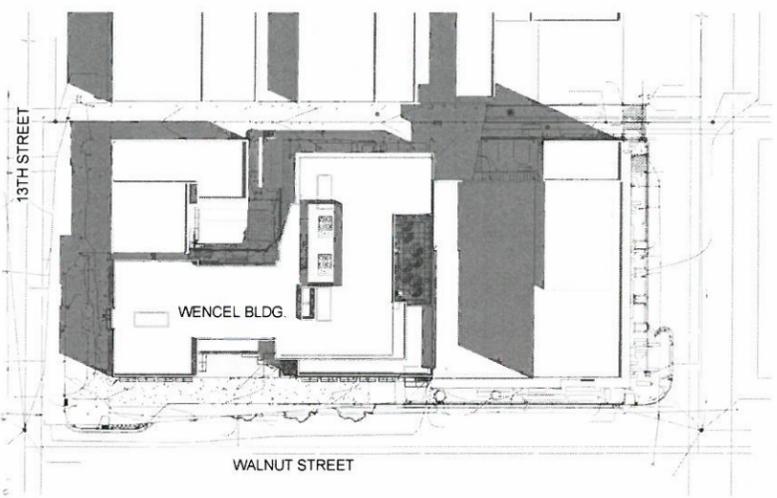
2 JUNE 21 9AM



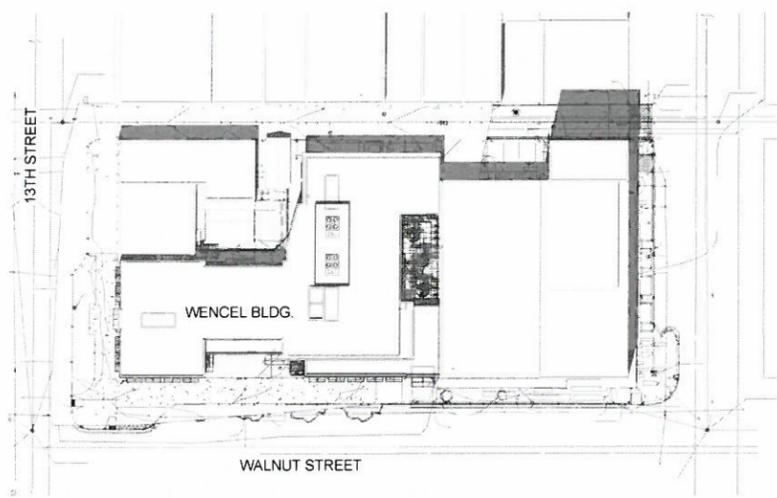
3 JUNE 21 12 PM



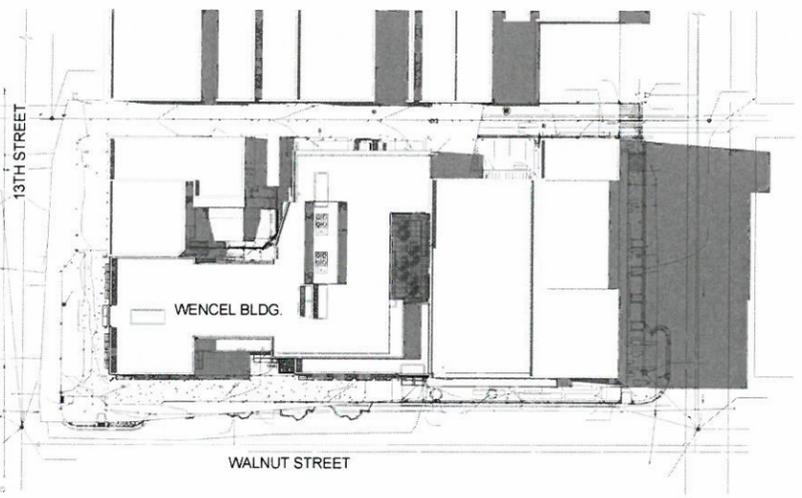
1 JUNE 21 3 PM



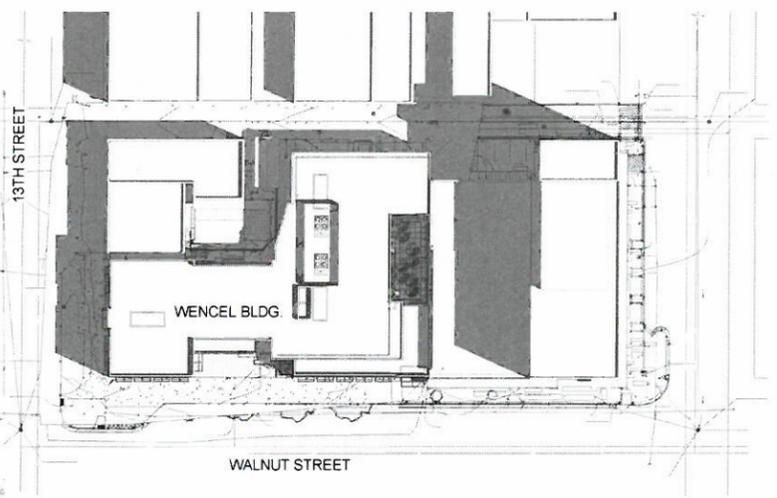
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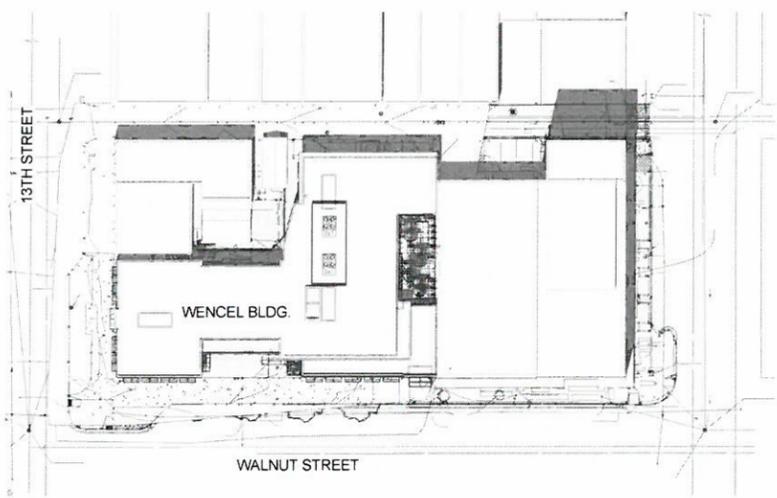
3 JUNE 21 12 PM



1 JUNE 21 3 PM



2 JUNE 21 9AM



3 JUNE 21 12 PM



PERSPECTIVE LOOKING WEST ON WALNUT



PERSPECTIVE FROM LOWER COURTYARD LOOKING NORTH



PERSPECTIVE FROM WALNUT LOOKING NORTH



PERSPECTIVE LOOKING WEST ON WALNUT



BIRDS EYE VIEW LOOKING SOUTH



PERSPECTIVE LOOKING SOUTH TO WALNUT STREET