



City of Boulder Planning

MEMORANDUM TO THE LANDMARKS BOARD

September 9th, 2020

Staff

Charles Ferro, Interim Comprehensive Planning Manager
Lucas Markley, Assistant City Attorney
James Hewat, Senior Historic Preservation Planner
Marcy Cameron, Historic Preservation Planner II
Clare Brandt, Administrative Specialist II

Landmark Alteration Certificate Request

Public hearing and consideration under the procedures prescribed by chapter 1-3, "Quasi-Judicial Hearing," B.R.C. 1981, of a proposal to rehabilitate and add a 2,160 sq. ft., one-story addition to the non-contributing building at 1346 Pearl Street in the Downtown Historic District, pursuant to Section 9-11-18 B.R.C. 1981.

Address: 1346 Pearl Street.
Owner: Reynolds Yew Tree LLC
Applicant: Wesley Stockton, STUDIO Architecture
Case Number: HIS2020-00210
Case Type: Landmark Alteration Certificate
Code Section: 9-11-18, B.R.C., 1981

Site Information

Historic District: Downtown Historic District (non-contributing)
Zoning: DT-4
Lot size: 10,465 sq. ft.
Existing Building: 6,728 sq. ft.
Date of construction: 1949
Proposed Addition: 2,160 sq. ft.

Staff Recommendation

Staff recommends the Landmarks Board approve the application with conditions.

Recommended Motion

I move the Landmarks Board adopts the staff memorandum dated September 9th, 2020, as the findings of the board and conditionally approve the landmark alteration certificate application to remodel and construct a one-story addition to the non-contributing building in the Downtown Historic District as shown on plans dated August 13th, 2020, finding that the proposal meets the Standards for Issuance of a Landmark Alteration Certificate in Chapter

9-11-18, B.R.C. 1981 and is substantially consistent with the General Design Guidelines and the Downtown Historic District Design Guidelines.

Conditions of Approval

1. The applicant shall be responsible for completing the work in compliance with the approved plans dated August 13th, 2020 except as modified by these conditions of approval.
2. Prior to submitting a building permit application and final issuance of the Landmark Alteration Certificate, the applicant shall submit final architectural plans and specifications to the Landmarks design review committee (Ldrc), for its final review and approval to ensure that the final design of the building is consistent with the *Downtown Historic District Design Guidelines* and the intent of this approval:
 - a. Revise design to explore more traditional wall materials (including brick) at the north elevation, northeast corner, and north end of the east elevation and south face of building facing onto Lowry Lane;
 - b. Revise design to center bays, include storefront entrance(s), and remove paint from exterior brick wall central portion of east elevation facing onto 14th Street;
 - c. Enhance architectural articulation at west portions of south wall (possibly by constructing of brick) and explore providing additional storefront entrance(s) onto the alley;
 - d. Provide details of storefront systems, doors, trim, wall materials, roofing and hardscaping.

Summary

- On July 15th, 2020, the Landmark design review committee referred the application to remodel and construct an addition at 1346 Pearl Street to the Landmarks Board for review in a public hearing.
- Constructed in 1949 after fire destroyed the Masonic temple on the lot, the one-story commercial building was built outside the identified 1858-1946 period of significance for the Downtown Historic District. The building has been remodeled a number of times since its construction and staff considers the property to not contribute to the historic character of the district.
- Staff finds that provided the listed conditions are met, the proposal will meet the standards for issuance of a Landmark Alteration Certificate per 9-11-18(a) & (b)(1)-(3) B.R.C. 1981, and is substantially consistent with the *Downtown Urban Design Guidelines* as outlined in the memorandum and design guideline analysis (Attachment A).

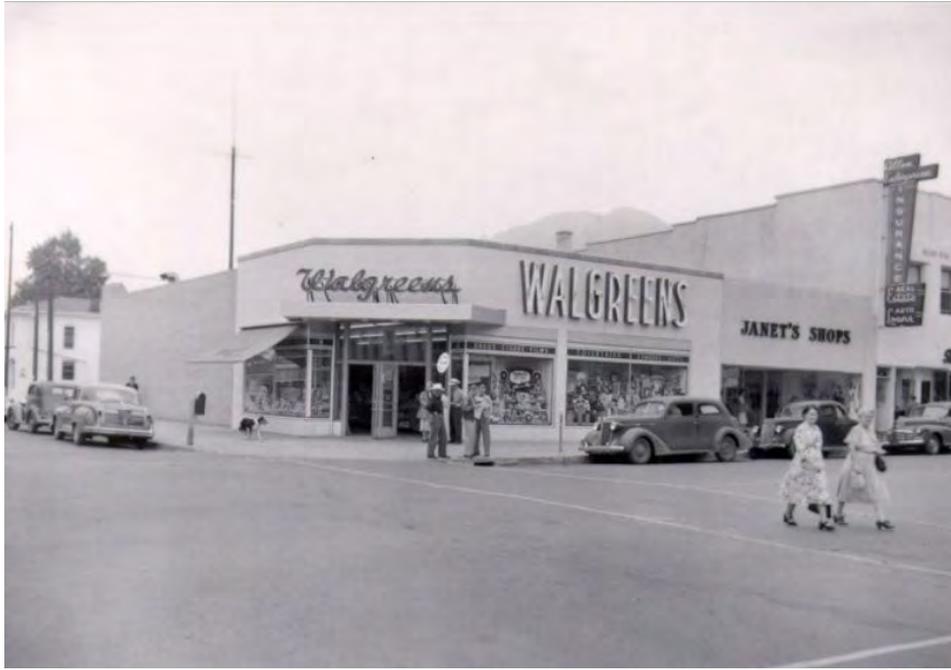


Figure 1. 1346 Pearl Street, 1949
Carnegie Library for Local History

PROPERTY DESCRIPTION

The property is located at the southwest corner of 14th and Pearl streets on the Pearl Street Mall in the Downtown Historic District. The lot slopes gently down to Lowry Lane which forms the property line and south boundary of the district.

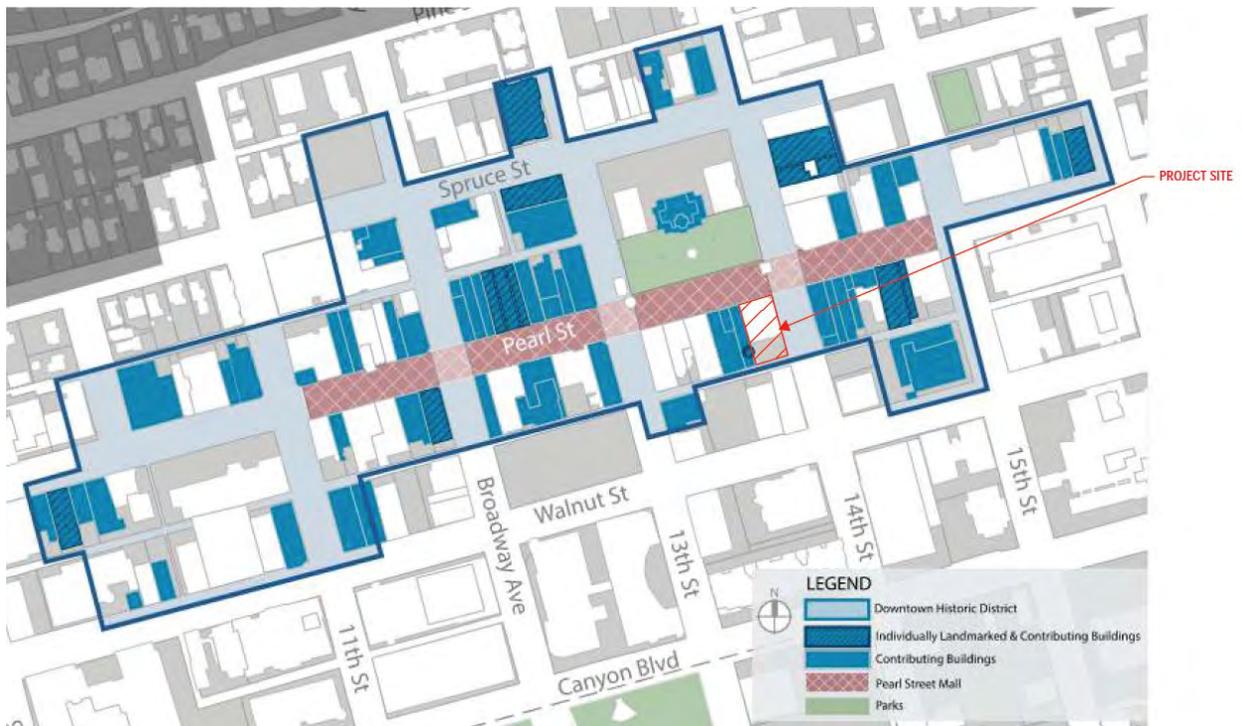


Figure 2. 1346 Pearl Street (Red arrow)



Figure 3. 1346 Pearl Street, Bird's Eye View

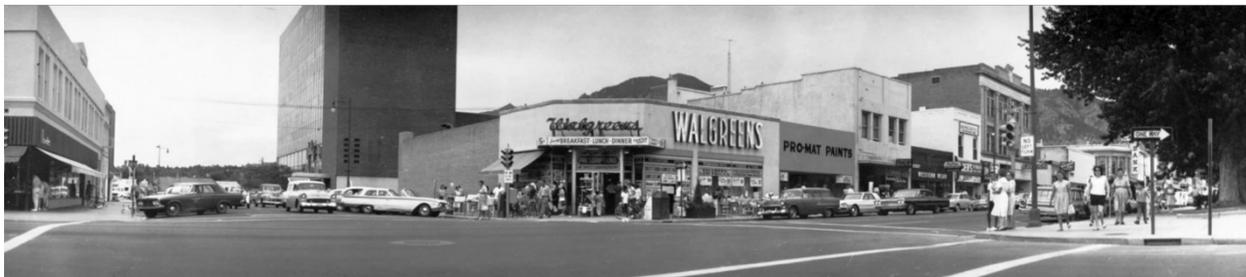


Figure 4. 1346 Pearl Street, c.1964, Carnegie Library for Local History.

Existing Conditions

- The one-story brick commercial building (originally constructed in 1949 as Walgreens Drug Store) occupies a key location on the Mall across from the County Courthouse with very high public visibility.
- The corner bays facing Pearl and 14th Streets have been stuccoed over, storefront windows reduced in size and broken pediment decorative element and parapet added to help conceal roof-top deck.
- Original brick walls are extant at south portion of east face and along the alley (south wall).



Figure 5. 1346 Pearl Street, northeast, 2020.



Figure 6. north elevation, 2020



Figure 7. east elevation, 2020

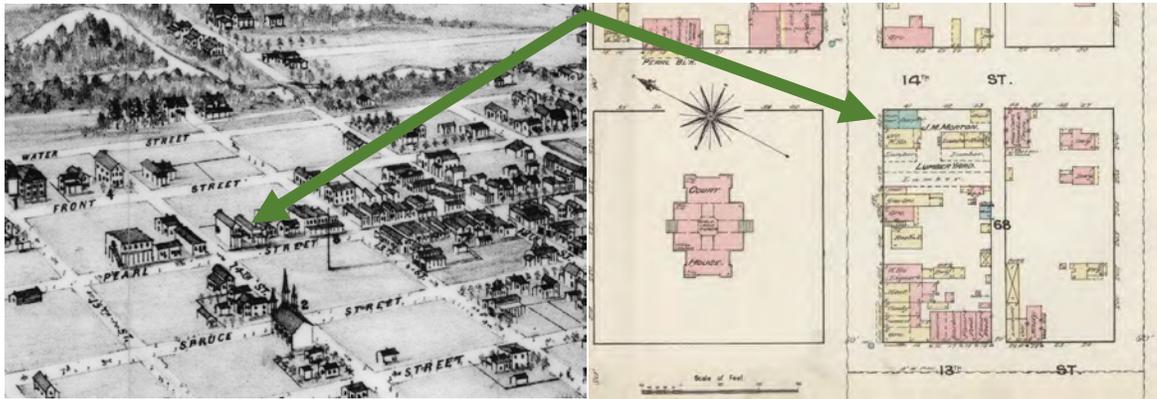


Figure 8. 1874 "Bird's Eye View of Boulder" & Figure 9. 1883 Sanborn Fire Insurance Map (arrows indicate location of 1346 Pearl Street, then addressed as 424 Pearl Street)

PROPERTY HISTORY

- The 1874 "Bird's Eye" view of Boulder shows 1346 Pearl Street as being occupied by two gabled buildings while the 1881 Map of Boulder lists the property as being owned A.W. Nichols. The 1883 Sanborn Fire Insurance shows the J.M. Morton Lumber Yard as being located on the property (see figures 8 & 9).
- In 1895 a three-story Romanesque-Revival building, the Masonic Lodge, was constructed on the property by local contractor Andrew Fraser after designs by architects Fraser and Grant, who also design the First Methodist Church (1891) and St. Gertrude's Academy.
- Fire destroyed the Masonic Temple on April 5th, 1945 (see figure 10). The masons constructed a new building, designed by James Hunter, at the northwest corner of Broadway and Pine Street in 1949 (now the Museum of Boulder).
- In September of 1948, the Walgreens Drug Store Company of New York City began construction on the current building (Walgreens had been a major tenant in the Masonic Temple prior to the fire of 1945).
- The Walgreens Drug Store opened for business in 1949 (see figure 1).
- The building has experienced a number of remodels since it was constructed beginning in the mid-1960s and most recently in 2004 with its conversion to the Lazy Dog Bar & Grill which closed in late 2019.



Figure 10. Masonic Temple morning of April 6th, 1945 after fire had gutted the building.

Historic Status of Building

The definition for *non-contributing buildings* in the Downtown Urban Design Guidelines reads:

There are two types of non-contributing buildings in the Downtown Boulder Historic District. First, buildings built during the district's period of significance that have been altered to such an extent that historic information is not interpretable and restoration is not possible. Such buildings should be evaluated on a case by case basis to determine if saving and restoring them is feasible or desirable. Second, buildings erected after 1946 which are not individually significant. For alterations to these buildings, the guidelines for new construction and/or remodel of non-contributing buildings in this section apply.

Because the building was constructed outside of the 1858-1946 period of significance for the Downtown Historic District it should be considered non-contributing.

Description of Proposed Work

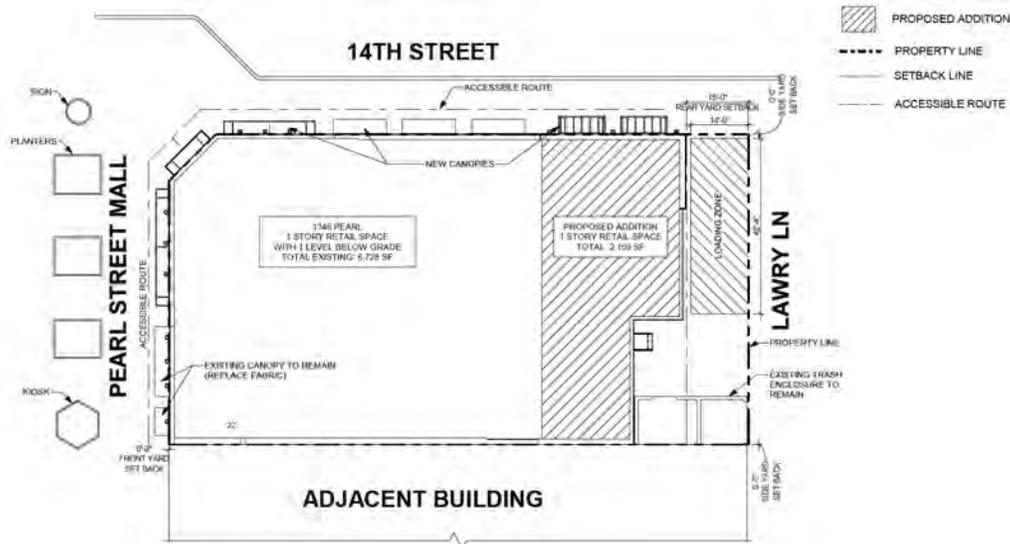


Figure 11. Site Plan (hatched area indicates proposed new construction).

Site Plan

- Proposed construction of one-story, 2,159 sq. ft. addition to the south (Lowry Lane) and east (14th Street) setbacks;
- Trash and service entry shown at southwest corner with loading zone at east portion of south wall;
- Rooftop deck shown to be retained.;

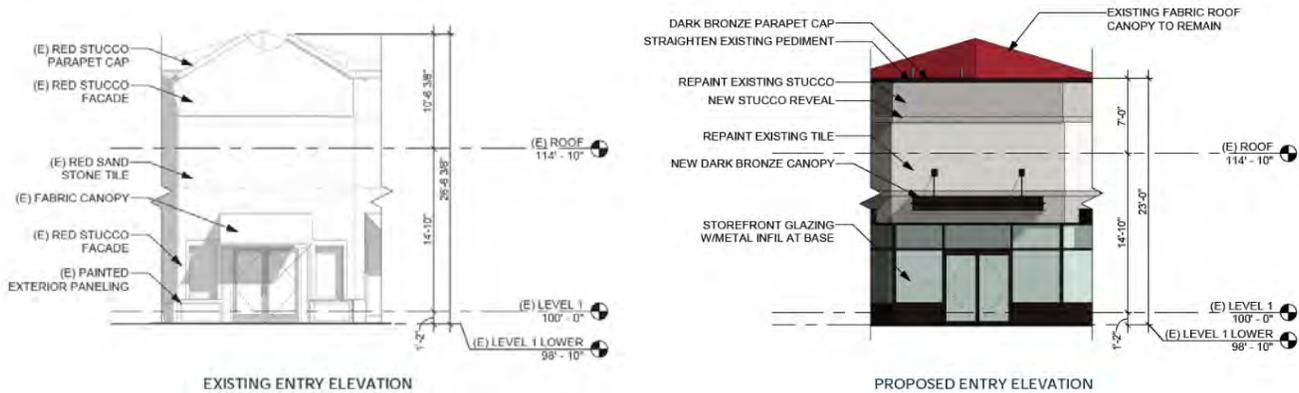


Figure 12. Existing & Proposed northeast corner (façade).

Northeast Corner (entrance)

- Existing chamfered corner retained with new storefront system including double-doors, transom windows, black metal bulkhead and suspended canopy over doorway;
- Broken pediment feature shown to be removed and lowering of parapet 3', 6" to 23' in height from street level;
- Repainted stucco shown to remain at parapet level with existing wall tile also retained and repainted in lighter gray tone.

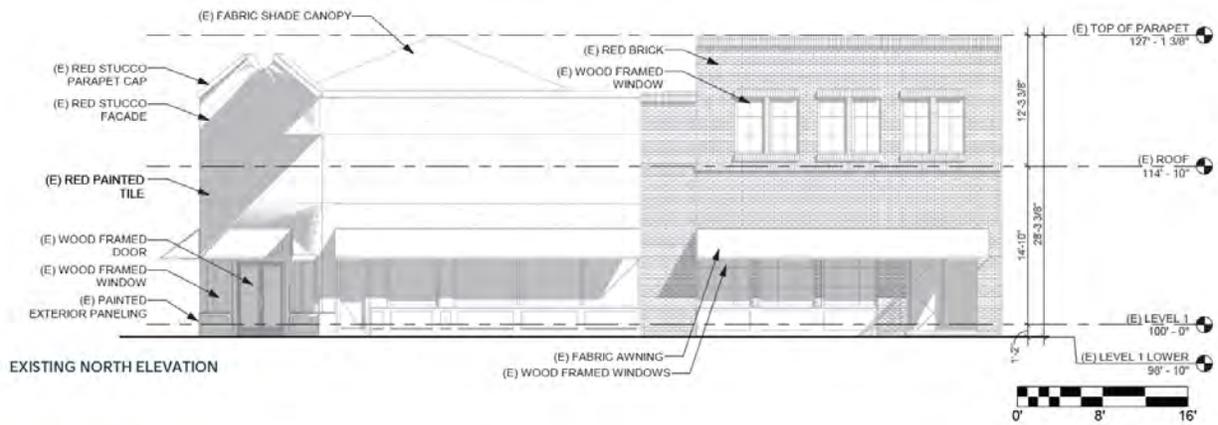


Figure 13. Existing North Elevation.



Figure 14. Proposed North Elevation.

North Elevation

- West (brick faced) portion of north face shown to be unchanged with exception of new fabric awning;
- East portion (30' exposure) of storefront shows new glazing system matching that at the northeast corner with same repainting of stucco and tile areas above suspended canopy;
- New bronze finish gooseneck lighting proposed.

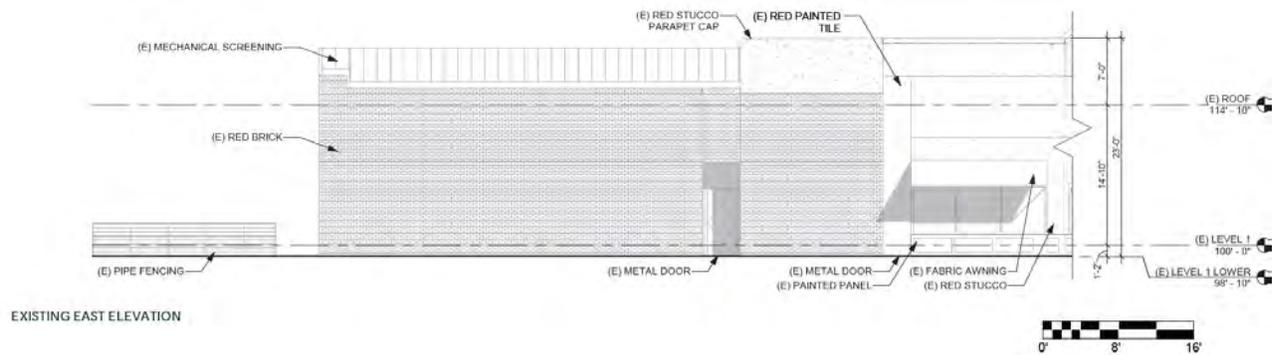


Figure 15. Existing East Elevation.



Figure 16. Proposed East Elevation.

East Elevation

- Northern portion of storefront proposed to increase from existing 20' width to a 30' exposure maintaining a 30' height for that expanse with storefront window system, canopy, and painted stucco and tile finish the same as proposed at chamfered corner;
- Middle portion of east face shown to be approximately 45' in width and maintaining the existing 18' high painted brick wall with three punched, 12' wide storefront three-light window systems with awnings;
- The 35' wide south portion of the east wall is shown to be new construction faced with brick stepping up to about 23' in height and featuring three pilasters and neo-traditional decorative masonry elements;
- The south portion of the east face is divided into two bays each with a three-light storefront system, suspended canopies and three gooseneck lighting.

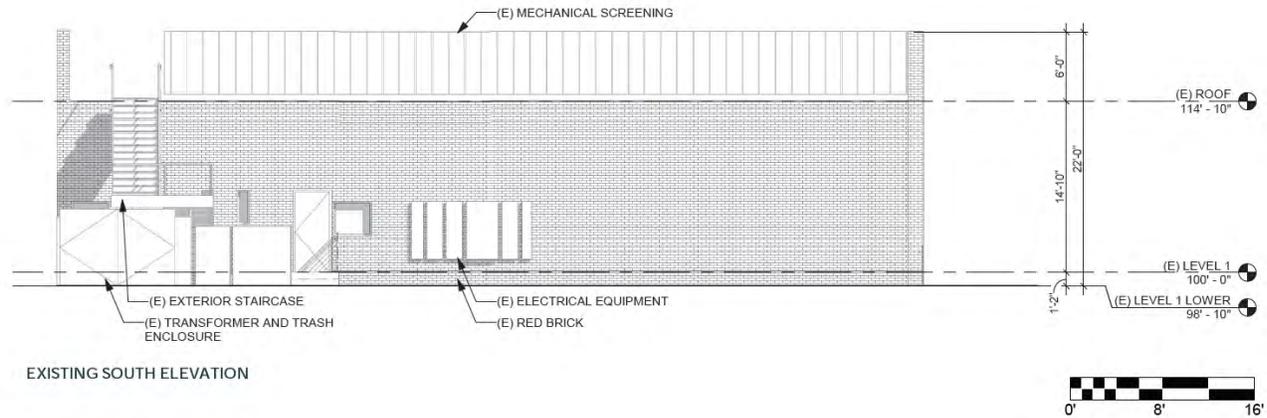


Figure 17. Existing South (Alley) Elevation.

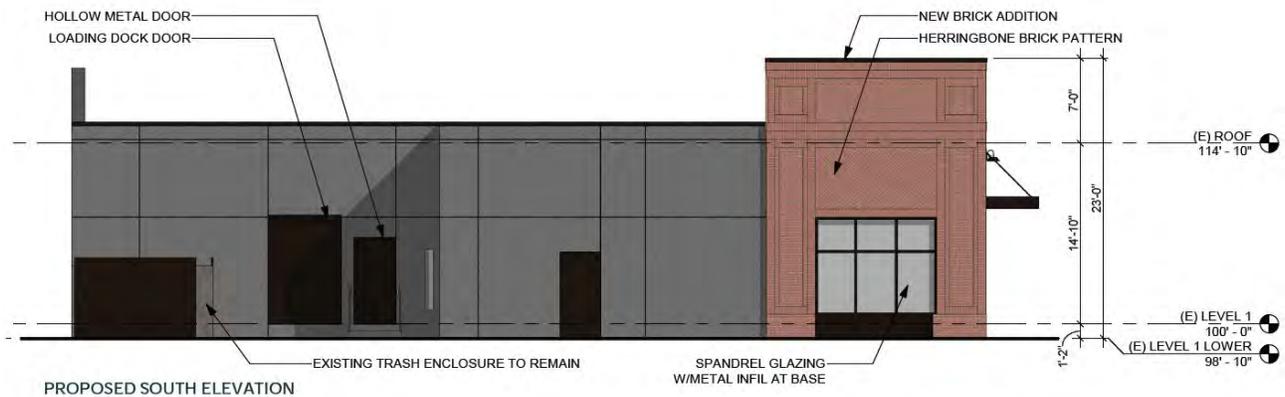


Figure 18. Proposed South (Alley) Elevation.

South Elevation

- The existing south wall is shown to be deconstructed and a new south face constructed along the rear setback at Lowry Lane approximately 35' south;
- Elevations show the eastern portion of the new wall to be approximately 23' in height, constructed of brick with decorative elements continuing the motif of the east wall with a single, three-light storefront to match others proposed;
- The 58' of the proposed south wall (the west portion of which is shown to be inset 10') is shown to be approximately 18' high, finished in stucco and to include two service doors, a loading dock and trash enclosure.



Figure 19. Northeast Perspective

Criteria for the Board's Decision - Standards for Landmark Alteration Certificates, 9-11-18, B.R.C. 1981

- (a) The Landmarks Board and the City Council shall not approve an application for a Landmark Alteration Certificate unless each such agency finds that the proposed work is consistent with the purposes of this chapter.
- (b) Neither the Landmarks Board nor the City Council shall approve a Landmark Alteration Certificate unless it meets the following conditions:
 - (1) *Does the proposed application preserve, enhance, or restore, and not damage or destroy the exterior architectural features of the landmark or the subject property within a historic district?*

Staff generally finds that, provided the stated conditions of approval are met, the proposed addition and alterations to the 1949 non-contributing building will enhance the character of that property which is situated at a key location in the Downtown Historic District.

- (2) *Does the proposed application adversely affect the special character or special historic, architectural, or aesthetic interest or value of the historic district?*

Staff considers the proposed addition and alterations to the 1949 non-contributing building will not adversely affect the historic character of the district as they are generally consistent with the *Downtown Historic District Design Guidelines*.

(3) Is the architectural style, arrangement, texture, color, arrangement of color, and materials used on existing and proposed structures compatible with the character of the historic district?

Staff considers that, provided the stated conditions of approval are met, the proposed architectural style, arrangement, texture, color, arrangement of color, and materials will be compatible with the character of the Downtown Historic District.

(4) With respect to a proposal to demolish a building in a historic district, the proposed new construction to replace the building meets the requirements of paragraphs (b)(2) and (b)(3) of this section.

Does not apply to the proposed application.

(c) In determining whether to approve a Landmark Alteration Certificate, the Landmarks Board shall consider the economic feasibility of alternatives, incorporation of energy-efficient design and enhanced access for the disabled.

Information specific to economic feasibility of alternatives, incorporation or energy-efficiency design and enhance access for the disabled was not submitted with the application. The reuse of an existing building is inherently sustainable, and the rehabilitation of the building will need to meet the City's energy code regulations and Section 106.5 helps ensure that any alterations needed to meet the energy will not detract from the historic character of the site.

Design Guideline Analysis

The Historic Preservation Ordinance sets forth the standards the Landmarks Board must apply when reviewing a request for a Landmark Alteration Certificate. The Board has adopted sections 1.3 & 1.4 of the *Downtown Urban Design Guidelines* to assist interpret the ordinance as it relates to the remodeling of and construction of additions to non-contributing buildings. Design guidelines are intended to be used as an aid to appropriate design and not as a checklist of items for compliance (*see attachment A for detailed Design Guideline Analysis*).

Summary

1.3 Guidelines for Contemporary Alterations and Additions

- A. Traditional Building Elements** - Traditional elements are integrated into proposed 14th Street face of proposed south addition including symmetrical brick construction, wide frieze at cornice, low relief pilasters, and patterned brick.
- B. Continuity** - Proposed remodel addition at 14th Street (and as it turns at Lowry Lane) generally reinforces continuity of form found on Pearl Street. Some details of massing, materiality, and color should be refined at the Landmark design review committee (Ldrc).

- C. Human Scale** - Proposed addition and remodel of non-contributing building generally maintain and reinforces human scale with traditionally scaled storefronts and building components.
- D. Proportion, Mass and Height** - Proposed reemodelling of existing building generally creates relief to original horizontal form by varying the height of storefronts (18' & 23'). Storefronts themselves range in width from about 20' to over 45'.
- E. Design on all Exposed Elevations** - Southeast corner of brick addition turns west with storefront exposure onto Lowry Lane. Remaining expanse of south wall along alley lacks architectural articulation. Consider providing more architectural interest on south to enliven alley. Resolve at the Ldrc.
- F. Storefront Rhythm** - Original mid-century building is low and horizontal and this is refelected in the central portion of the east face which is broken into three bays. Consider providing entrance(s) on this expanse and aligning storefronts which appear offset to north. Resolve at the Ldrc.

1.4 General Guidelines for the Downtown Historic District

- A. Use of Traditional & Durable Materials** - Consideration should be given to possibility of removing stucco and tile (especially at focal corner entry), removing paint from original brick, and construction entire south wall of brick, to provide for more traditional and substantial materials. Resolve at the Ldrc.
- B. Size, Shape, and Proportion of Storefronts** - Current proposal activates 14th Street with storefronts. Refine to explore providing entrances on 14th Street and further articulating alley face. Resolve at the Ldrc.
- C. Awnings** - Suspended canopies and awnings are proposed. Review details at the Ldrc.
- D. Colors/Materials** - Consider removing paint from existing brick (using non-destructive method) to expose original texture & color. Likewise, explore materiality and color at N.E. corner, Pearl Street and at west end of Lowry Lane. Resolve at the Ldrc.
- E. Improve Rear & Side Elevations** – Consider providing more architectural interest on south to enliven alley. Resolve at the Ldrc.

Findings

The Landmarks Board finds that the project meets the standards for issuance of a Landmark Alteration Certificate set forth in Section 9-11-18, "Standards for Landmark Alteration Certificate Applications," B.R.C. 1981. In reaching this conclusion, the Board considered the information in the staff memorandum dated September 9th, 2020, and the

evidence provided to the Board at its September 9th, 2020 meeting. Specifically, the Board finds that:

1. Constructed in 1949, the building was constructed outside the 1958-1946 period-of-significance for the Downtown Historic District.
2. The proposed remodel of, and addition to, the non-contributing building to the is generally consistent with the *Downtown Historic District Guidelines*.
3. The proposed work will enhance the historic character of the Downtown Historic District. § 9-11-18(b)(1,2).
4. The architectural style, arrangement, texture, color, arrangement of proposed colors, and materials used on the proposed construction will be compatible with the character of the Downtown Historic District. § 9-11-18(b)(3).

ATTACHMENTS

- A: Design Guideline Analysis
- B: Applicant Materials
- D: [Historic Building Inventory Form](#)

GENERAL DESIGN GUIDELINES

1.3	Guidelines for new construction and remodeling non-contributing buildings in the Downtown Historic District		
<p>The purpose of this section is to provide guidance for the design of new construction and the renovation of non-contributing buildings in order to retain the historic character of the overall district. While new building design is expected to reflect the character of its own time acknowledging the Downtown as a living district, it is important that it also respect the traditional qualities that makes the Downtown unique, such as massing, scale, use of storefront detailing, and choice of materials.</p>			
	Guideline	Analysis	Conforms
A.	<p><i>Incorporate traditional building elements in new design and construction. Careful integration of traditional façade features reinforces patterns and visual alignments that contribute to the overall character of the district. These features may be interpreted in new and contemporary ways. Please see Figure 3 in Section 1.1 for a list of historic building elements.</i></p>	<p>Traditional elements are integrated into proposed 14th Street face of proposed south addition including symmetrical brick construction, wide frieze at cornice, low relief pilasters, and patterned brick. Proposed reemodelling of existing building creates relief to original horizontal form by varying the height of storefronts (18' & 23') and traditional glazing systems including transom lights and bulkheads (kick plates).</p>	<p>Yes</p>
B.	<p><i>Construct new buildings to maintain the continuity of the historic building relationship to the street, adjacent properties, and/or the block.</i></p>	<p>Proposed addition at 14th Street (and as it turns at Lowry Lane) generally reinforces continuity of form found on Pearl Street.</p>	<p>Yes</p>
C.	<p><i>Maintain a human scale rather than a monolithic or monumental scale. Smaller scale buildings and the use of traditionally-sized building components help to establish a human scale and maintain the</i></p>	<p>Proposed addition and remodel of non-contributing building generally maintain and reinforces human scale with traditionally scaled storefronts and building components.</p>	<p>Yes</p>

	<i>character of Downtown. Standard size brick, uniform building components, and standard window sizes are most appropriate.</i>		
D.	<p><i>Consider the proportioning of the height and mass to the building footprint. In general, buildings should appear similar in height, mass, and scale to other buildings in the historic area to maintain the historic district's visual integrity and unique character. At the same time, it is important to maintain a variety of heights. While the actual heights of buildings are of concern, the perceived heights of buildings are equally important. One, two and three story buildings make up the primary architectural fabric of the Downtown, with taller buildings located at key intersections.</i></p> <p><i>1. Relate the height of buildings to neighboring structures at the sidewalk edge. For new structures that are significantly taller than adjacent buildings, upper floors should be set-back a minimum of 15' from the front facade to reduce the perceived height.</i></p> <p><i>2. Consider the effect of building height on shading and views. Building height can shade sidewalks during winter months leading to icy sidewalks and unappealing pedestrian areas.</i></p>	Proposed remodeling of existing building creates relief to original horizontal form by varying the height of storefronts (18' & 23') with higher element at northeast corner. Storefronts themselves range in width from about 20' to over 45'.	Yes
E.	<i>Provide a variation of roof heights in a large building. A variety of roof heights and types within the district is desirable.</i>	Proposed remodeling of existing building creates relief to original horizontal form by varying the height of storefronts (18' & 23').	Yes
F.	<i>Buildings are expected to be designed on all exposed elevations. Primary facade materials are to extend to secondary elevations, or wrap building corners, at a proportionally relevant distance as to portray a sense of depth.</i>	Southeast corner of brick addition turns west with storefront exposure onto Lowry Lane. Remaining expanse of south wall along alley lacks architectural articulation. Consider providing more architectural interest on south to enliven alley. Resolve at the Ldrc.	Maybe
H.	<i>Maintain the rhythm established by the repetition of the traditional 25' (approximate) facade widths for</i>	Proposed façade widths vary from about 20' to over 45' with storefront systems ranging from between 8' and 20' in width.	Yes

	<i>projects that extend over several lots by changing the materials, patterns, reveals, and building setbacks in uniform intervals or by using design elements such as columns or pilasters. See Figure 6.</i>	Original mid-century building is low and horizontal and this is reflected in the central portion of the east face which is broken into three bays. Consider providing entrance(s) on this expanse and aligning storefronts which appear offset to north. Resolve at the Ldrc.	
1.4	General Guidelines for the Downtown Historic District		
	The following guidelines apply to all areas of the Downtown Boulder Historic District.		
	GUIDELINES:	ANALYSIS:	CONFORMS
A.	<p><i>A. The use of traditional, durable materials as the primary building material is encouraged to reflect the historic building construction and development pattern within the district. Choose accent materials similar in texture and scale to others in the district.</i></p> <p><i>1. These following materials are generally appropriate:</i></p> <ul style="list-style-type: none"> • <i>Full dimension brick and stone masonry</i> • <i>Finish carpentry details, e.g. cornice molding, door and window casing</i> • <i>Finished lumber to achieve traditional patterns, e.g. horizontal siding rather than diagonal</i> • <i>Finished, embossed or painted metal and sheet metal</i> • <i>Clear or lightly tinted glass</i> • <i>Ceramic tiles</i> • <i>Brick, clay and ceramic pavers</i> • <i>Slate, finished metal, glazed ceramic and tile roofs</i> • <i>Brick, concrete or stone lintels</i> • <i>Brick, wood or stone columns</i> 	<p>Existing painted brick wall is maintained on central portion of east face while new traditional brick storefront proposed at southeast corner of addition. West (faux brick) at west portion of north face is to be maintained while stucco and tile surfaces are shown to be refinished. Consideration should be given to possibility of removing stucco and tile (especially at focal corner entry) to provide for more traditional and substantial materials. Resolve at the Ldrc.</p>	Maybe
B.	<p><i>Maintain the original size, shape and proportion of storefront facades and openings to retain the historic scale and character.</i></p>	<p>Non-contributing 1949 mid-century commercial building horizontal in form with storefront facing Pearl Street. Proposed remodels over the years have altered the form. Current proposal activates 14th Street with storefronts. Refine to explore providing entrances on 14th Street and further articulating alley face. Resolve at the Ldrc.</p>	Yes

<p>C.</p>	<p><i>Awnings may be used to provide visual depth and shade.</i></p> <p><i>1.Awnings should be designed to fit the storefront opening to emphasize the building's proportions and have at least an eight foot clearance from the sidewalk. Awnings should not obscure or damage important architectural details.</i></p> <p><i>2. Operable fabric awnings are encouraged. Metal awnings or canopies that are similar in form to fabric awnings may be appropriate when designed as an integral part of the building facade, and do not appear as tacked-on additions. Awning color should be coordinated with the color scheme of the entire building front. Awnings on the upper stories are discouraged.</i></p>	<p>Suspended canopies and awnings are proposed. Review details at the Ldrc.</p>	<p>Yes</p>
<p>D.</p>	<p><i>Select building colors appropriate to the area's historic character.</i></p> <p><i>1. Select a color scheme that will visually link the building to its past as well as to others in the area. Consider colors that are compatible with the building's predominant materials, or do an analysis of colors pre-existing on the building and use one of the colors found.</i></p> <p><i>2.Develop a comprehensive color scheme. Consider the building as a whole as well as the details that need emphasis. Softer muted colors establish a uniform background. Establish a hierarchy for the color palette with one color on similar elements such as window frames. Reserve brighter colors for small special accents to emphasize entry ways and to highlight special structural ornamentation.</i></p> <p><i>3.It is not appropriate to paint unpainted brick. If the brick is already painted, paint removal is preferred. Avoid paint removal procedures that damage the original brick finish such as sand blasting or caustic chemicals. Before removing paint conduct a test to determine detrimental effects. If the existing paint on the brick is in poor</i></p>	<p>Consider removing paint from existing brick (using non-destructive method) to expose original texture & color. Likewise, explore materiality and color at N.E. corner, Pearl Street and at west end of Lowry Lane. Resolve at the Ldrc.</p>	<p>Maybe</p>

	<i>condition and paint removal will damage the underlying brick, the brick should be repainted.</i>		
E.	<p><i>Minimize the visibility of mechanical, structural, or electrical appurtenances.</i></p> <p><i>1. Use low-profile mechanical units and elevator shafts that are not visible from the street. If this is not possible, set back or screen rooftop equipment from view. Be sensitive to views from the upper floors of neighboring buildings. Skylights or solar panels should have low profiles and not be visible from the public right-of-way. These features should be installed in a manner which minimizes damage to historic materials.</i></p>	<p>Little detail on mechanicals provided, however, rooftop deck is shown to be maintained. Review details at the Ldrc.</p>	Maybe
F.	<p><i>Improve rear or side alley elevations to enhance public access from parking lots and alleys.</i></p> <p><i>1. Where buildings are built to the alley edge, consider opportunities for alley display windows and secondary customer or employee entries.</i></p> <p><i>2. Screening for service equipment, trash, or any other rear-of-building elements should be designed as an integral part of the overall design. Where intact, historic alley facades should be preserved along with original features and materials. Alterations should be compatible with the historic scale and character of the building and block.</i></p>	<p>Proposed trash enclosure and loading dock shown tucked into inset area of south face. Southeast corner of brick addition turns west with storefront exposure onto Lowry Lane. Remaining expanse of south wall along alley lacks architectural articulation. Consider providing more architectural interest on south to enliven alley. Resolve at the Ldrc.</p>	Maybe
G.	<p><i>Exterior building lighting should be designed to enhance the overall architecture of the building. Security lighting should be designed for safety, as well as night-time appearance.</i></p>	<p>Gooseneck lighting proposed at north and east faces. No exterior lighting shown at alley.</p>	Yes
H.	<p><i>Reduce the visual impact of structured and surface parking.</i></p> <p><i>1. Surface parking lots are discouraged.</i></p> <p><i>3. Surface Parking should be located to the rear of the property and screened from view.</i></p>	<p>Proposed addition results in elimination of surface parking and improvement to the streetscape and pedestrian experience.</p>	Yes

	<p><i>4. Pedestrian routes in structures and parking lots should be easily identifiable and accessed, with clear visual connections to the sidewalks and buildings.</i></p>		
I.	<p><i>The law requires that universal access be located with the principal public entrance.</i></p> <p><i>1. In existing buildings, where the only route is not accessible from the principal public entrance, a rear or side service entrance route may be considered.</i></p> <p><i>2. Ramps and related accessibility modifications to a historic property should be compatible with the character of the building.</i></p>	<p>Universal access is provided through principal entrance.</p>	<p>Yes</p>



For Office Use Only		
Date Received	Time Received	Case Number
		HIS

Landmark Alteration Certificate (LAC) Application

For Exterior Changes to Properties Located in a Historic District and/or Individually Landmarked

Project Address: _____ Date of Application: _____

Historic District / Landmark Name: _____

- Chamberlain
 Chautauqua
 Downtown
 Floral Park
 Highland Lawn
 Hillside
 Mapleton Hill
 University Place
 West Pearl
 16th Street

CONTACT INFO

Applicant's Name: _____

Email: _____ Phone: _____

Owner's Name: _____

Email: _____ Phone: _____

Mailing address (if different from project address): _____

PROJECT DESCRIPTION

Staff Level

- Landscaping
 Paint
 Roofing
 Commercial awning, patio and/or sign (demonstrate signs meet provisions in Section 9-9-21 Signs, B.R.C., 1981)
 Antenna or mechanical unit
 Restoration of existing features

Landmark Design Review Committee (LDRC)

- Deck and/or porch
 Doors and/or windows
 Dormers and/or skylights
 Solar panels
 Front fence or fence taller than 5ft.
 Addition
 New free standing/accessory building smaller than 340sq. ft.

Landmarks Board

- New free-standing construction 340sq. ft. or larger
 Demolition and new construction
 Application Referred by LDRC

Description (attach additional narrative for additions and free-standing new construction):

**Please Note that all Landmark alteration certificate (LAC) applications must be submitted through a Project Specialist at the P&DS Services Center. Application for review by the Landmark design review committee (Ldrc) should be submitted by noon on the Friday prior to the requested meeting date.*

I agree to perform the work described herein, in accordance with the plans and/or specifications submitted and with all provisions of the Historic Preservation Code, Building Code, Zoning Ordinance and Health Regulations of the City of Boulder as enumerated in the Boulder Revised Code, 1981.

Signature of owner or authorized agent for owner

Date

INITIAL CODE REVIEW

*This review is intended to identify potential zoning and building code issues. Please fill out to the best of your ability.
The verification of this form is a customer service review and does not constitute a formal review of all applicable codes and regulations. All sections of the Boulder Revised Code must still be adhered to prior to performing any work.
Property information can be found on <https://bouldercolorado.gov/planning/property-report>*

Property Information – Please complete for:				Staff Use	
<input type="checkbox"/> New free-standing construction <input checked="" type="checkbox"/> Addition <input type="checkbox"/> Dormers <input type="checkbox"/> Porches <input type="checkbox"/> Fences				Verified	Need Info
Zoning District	<input type="checkbox"/> RL-1 <input type="checkbox"/> RL-2 <input type="checkbox"/> RMX-1 <input type="checkbox"/> RH-2 <input type="checkbox"/> DT-1 <input type="checkbox"/> Other: _____				
Floodplain	<input checked="" type="checkbox"/> None <input type="checkbox"/> 500 Year <input type="checkbox"/> 100 Year <input type="checkbox"/> Conveyance <input type="checkbox"/> High Hazard				
Lot Size	_____sq. ft. <input type="checkbox"/> Interior <input type="checkbox"/> Through <input type="checkbox"/> Flag <input type="checkbox"/> Corner Source: <input type="checkbox"/> City of Boulder <input type="checkbox"/> Boulder County <input checked="" type="checkbox"/> Survey <input type="checkbox"/> Other: _____				
Existing Principal Building Setbacks <i>Section 9-7-2</i>				<input checked="" type="checkbox"/> No Change	
Front:	Side:	Side:	Rear:		
Proposed Principal Building Setbacks				<input checked="" type="checkbox"/> No Change	
Front:	Side:	Side:	Rear:		
Existing Accessory Building Setbacks				<input checked="" type="checkbox"/> No Change	
Front:	Side:	Side:	Rear:		
Proposed Accessory Building Setbacks				<input checked="" type="checkbox"/> No Change	
Front:	Side:	Side:	Rear:		
Primary or accessory building located within 3 ft. of a property line: <input checked="" type="radio"/> Y / <input type="radio"/> N					
Primary or accessory buildings located within 6 ft. of each other: Y / <input checked="" type="radio"/> N					
	Existing	Proposed	Allowed Maximum		
Building Coverage					
Floor Area (sq. ft.)					
Height					
Past Discretionary Review: <input type="checkbox"/> Site Review <input type="checkbox"/> PUD/PRD/PD <input type="checkbox"/> None					

Will your project require a variance or exemption?	Verified	Need Info
<input type="checkbox"/> Setback variance <i>Section 9-7-2, B.R.C., 1981</i>		
<input type="checkbox"/> Bulk plane requirements <i>Section 9-7-9, B.R.C., 1981</i>		
<input type="checkbox"/> Side yard wall articulation standards <i>Section 9-7-10, B.R.C., 1981</i>		
<input type="checkbox"/> Exemption from the maximum building coverage for accessory buildings in the rear setback <i>Section 9-7-11(d), B.R.C., 1981</i>		
<input type="checkbox"/> Solar exception <i>Section 9-9-17, B.R.C., 1981</i>		

Form Completed by: _____ **(Applicant) Date:** _____
Initial Verification by: _____ **(Staff) Date:** _____

LANDMARK ALTERATION CERTIFICATE REVIEW CHECKLISTS

Initial review is completed by **Staff (Administrative)** or the **Landmarks Design Review Committee (LDRC)** within 14 days after a complete application is received. Staff and the LDRC can either approve the application, request revisions, or refer the proposal to the **Landmarks Board** for review in a public hearing. Please call 303-441-1994 if you have questions.

ADMINISTRATIVE REVIEW

Typical Projects:

Landscaping

Paint

Roofing

Mechanical Unit

Fences and Hardscaping

(rear / side yard fence only if maximum 5ft. tall with minimum 1" spacing between pickets)

Restoration of Existing Features

DOWNTOWN ONLY: Commercial awnings, patios and signs

City staff review of minor alterations typically has a quick review turn-around provided that application is complete and the proposed alterations are consistent with the applicable **design guidelines**.

A complete application submittal includes:

- This application:** Completely filled out
- Photographs:** Color photos of existing conditions and details.
- Samples:** Color chips of paint and printed samples of roofing types are helpful.
- Fences and Hardscaping:** Elevations and site plans should be clearly detailed and scaled, preferably at an 1/8" or 1/4" scale on 11"x17" paper. Show existing conditions and proposed changes side-by-side. For fences, show dimensions and spacing between pickets and a site plan showing existing and proposed locations.

LANDMARKS DESIGN REVIEW COMMITTEE (LDRC)

Typical Projects:

Deck / porch

Doors / windows

Dormers / skylights

Additions

New accessory building

(smaller than 340 sq. ft.)

Fence (front yard or rear / side yard if taller than 5ft. or less than 1" spacing between pickets)

Solar Panels

A staff member and two members of the Landmarks Board meet weekly to review applications for exterior alterations to designated properties. Large projects often require more than one meeting and may be referred by the committee to the full Landmarks Board for review.

A complete application submittal includes:

- This application:** Completely filled out, including zoning review sheet.
- Photographs:** Photographs of existing building and surrounding context
- One set of scaled elevations and site plans:** All drawings should be clearly detailed and scaled, preferably at an 1/8" or 1/4" scale on 11"x17" paper. Show *existing* conditions and *proposed* changes side-by-side.
- Fences:** A scaled drawing showing dimensions and spacing between pickets and a site plan showing existing and proposed locations.
- Survey:** A land survey may be required if the proposed project is within 20% of the maximum permitted lot coverage, floor area or floor area ratio.

The following documentation is required for final review and approval:

- Final Details:** Specific materials should be noted on plans; include color chips and printed samples of roofing types, manufacturers/catalogue "cut" sheets for windows/skylights.

Completed applications for LDRC review must be turned in by noon on the Friday prior to the requested meeting date and must be submitted through a Project Specialist.

Please note that LDRC meeting requests are processed in the order in which they are received and that a first request may not be available due to scheduling. The LDRC meets each Wednesday morning (except holidays) at the P&DS Service Center offices on the third floor of the Park Central Building, 1739 Broadway.

LANDMARKS BOARD REVIEW (LB)

Typical Projects:

The Landmarks Board reviews new free-standing construction 340 square feet and larger, the demolition or moving of buildings, and applications referred from the LDRC.

New free-standing construction

340 sq. ft. and larger

Public hearings take place within 60 days of the receipt of a complete LAC application and are conducted as quasi-judicial proceedings. Following the public hearing for the LAC, a Notice of Disposition is sent to the City Council outlining the Board's recommendation. City Council has 14 days to call-up a decision of approval made by the Landmarks Board. If the Board votes to deny a Landmark Alteration Certificate application, the City Council has 30 days to call-up the decision.

Demolition

Includes primary and/or accessory buildings designated as individual landmarks or within an Historic District.

Tip: Projects that require full Landmarks Board review should be presented to staff early in the planning process, before detailed drawings are initiated. Please contact staff prior to submitting an application for full Board review; these reviews are often complex.

Application referred from LDRC

A complete application submittal includes:

- LDRC requirements (listed on the previous page)
- Written project description
- 7 copies of project drawings, including side-by-side existing and proposed conditions (preferably 11"x17" or 12"x18") plans, including:
 - Scaled site plan (existing and proposed)
 - Scaled elevations for all sides of the building at 1/8" or 1/4" scale
 - Sketches, as needed
- 1 copy of any color renderings or photographs, color samples, etc. (preferably no larger than 11"x17")
- 1 digital copy of all materials submitted in a PDF file format

At the request of staff or the Board, the following may also be required:

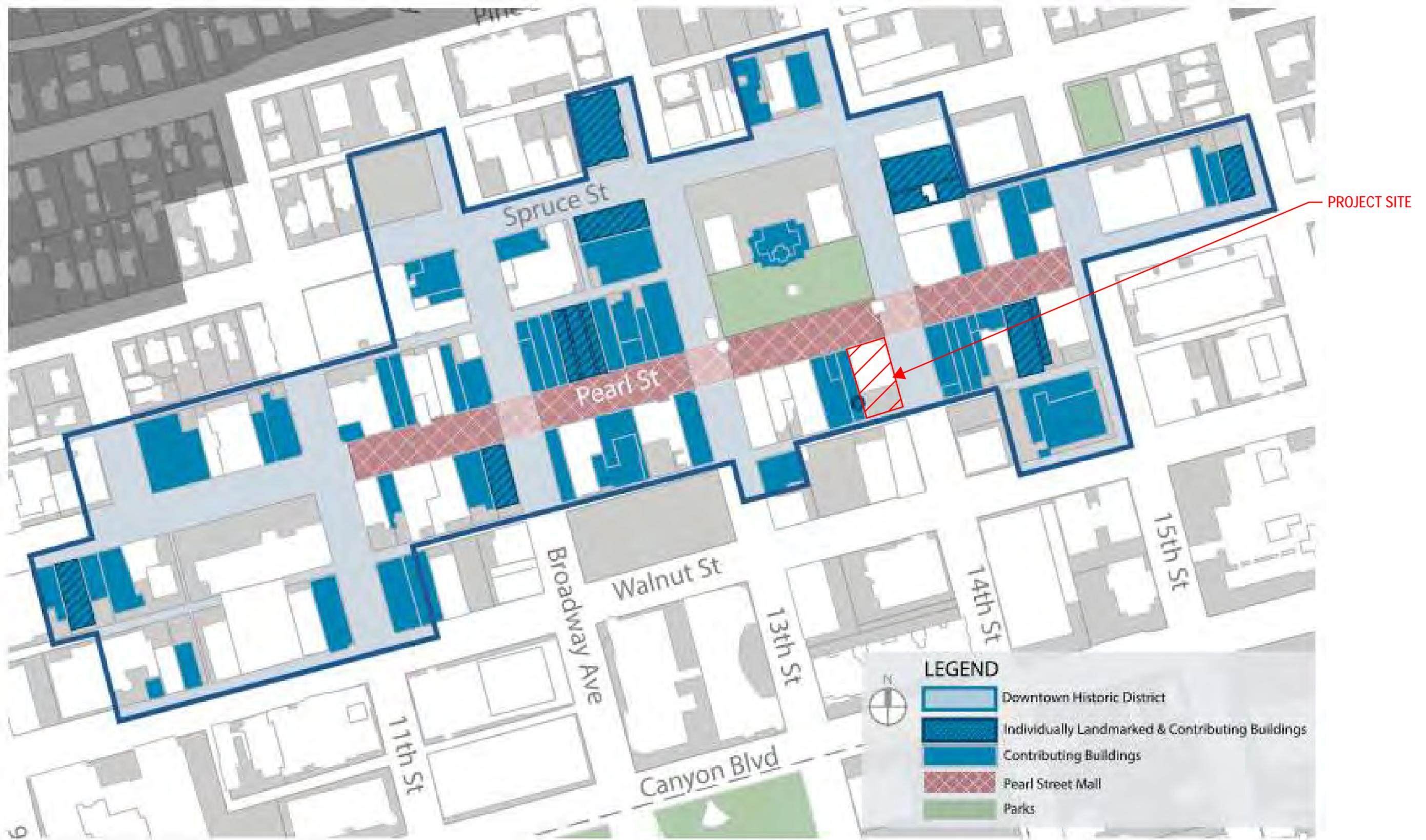
- Building sections
- Methods of restoration
- 3-D modeling

2019 Landmark Board Meeting Dates and Application Submittal Deadlines

Landmarks Board meetings are generally held the first Wednesday of each month at 6 p.m. in the Municipal Building, Council Chambers, located at 1777 Broadway. Applications scheduled for a public hearing before the full Landmarks Board must be submitted at least 28 days prior to the meeting date. All applications must be submitted through a Project Specialist.

More information, including deadlines and agendas can be found online:

www.boulderhistoricpreservation.net





EXISTING ENTRY ELEVATION



EXISTING NORTH ELEVATION



EXISTING EAST ELEVATION





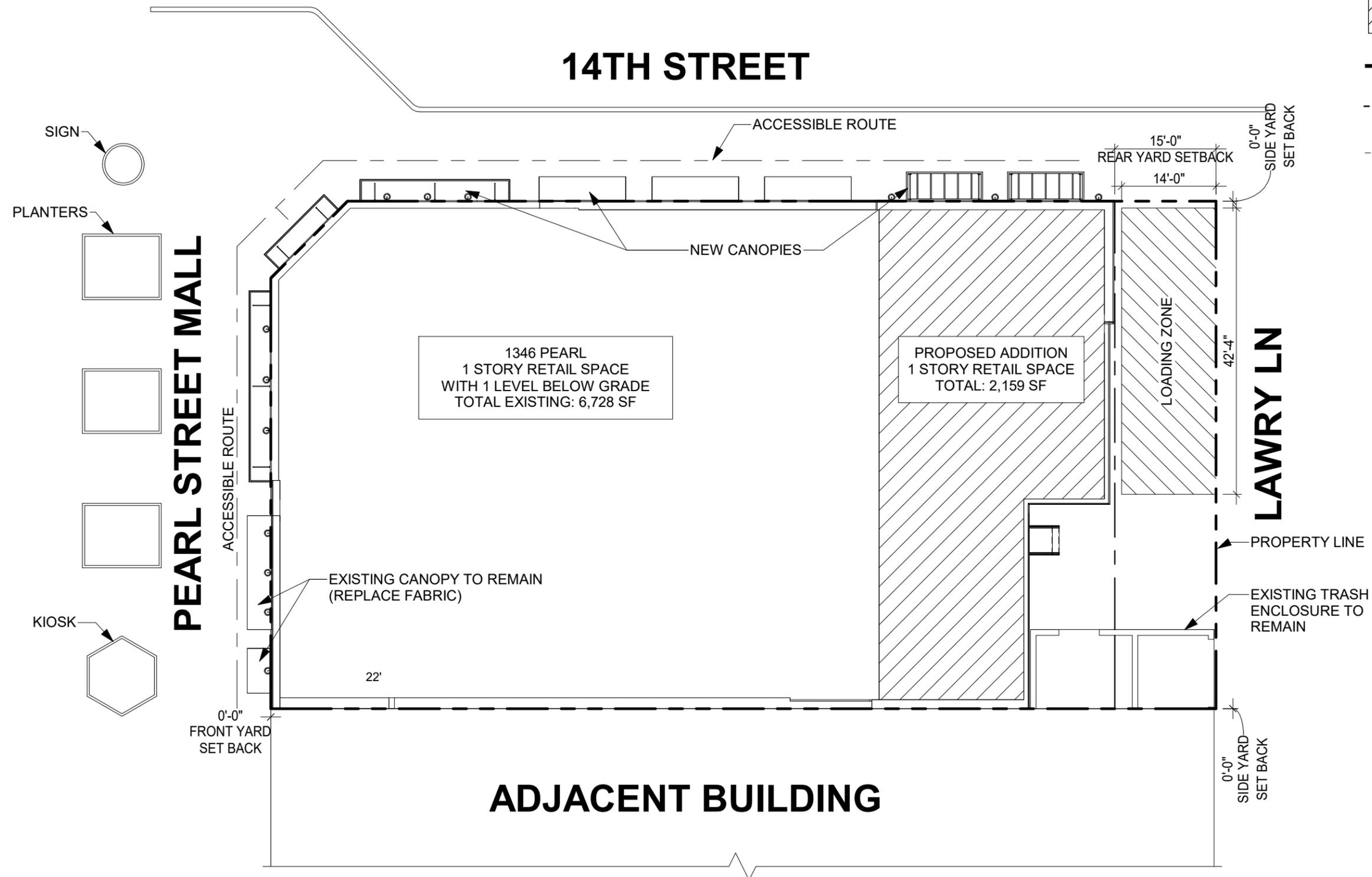
EXISTING SOUTH ELEVATION

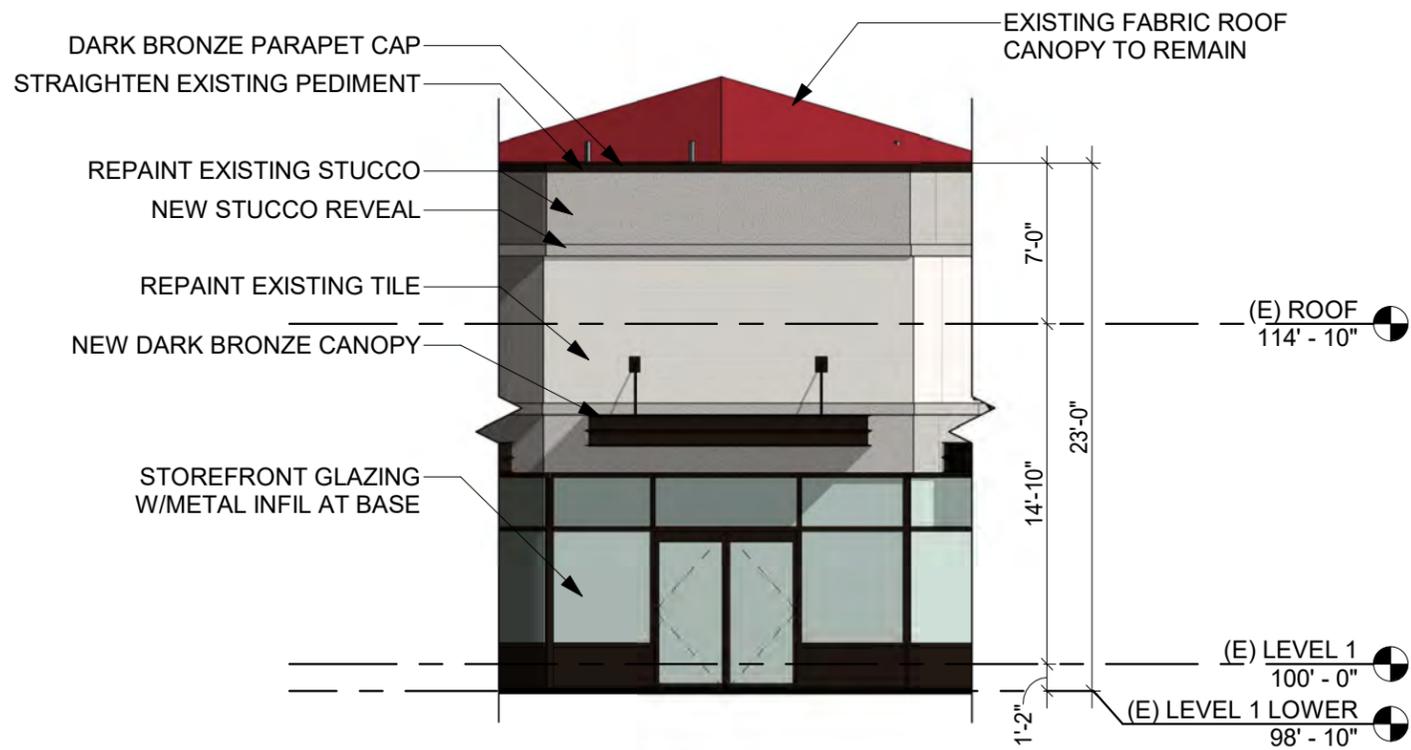


EXISTING SOUTH ELEVATION

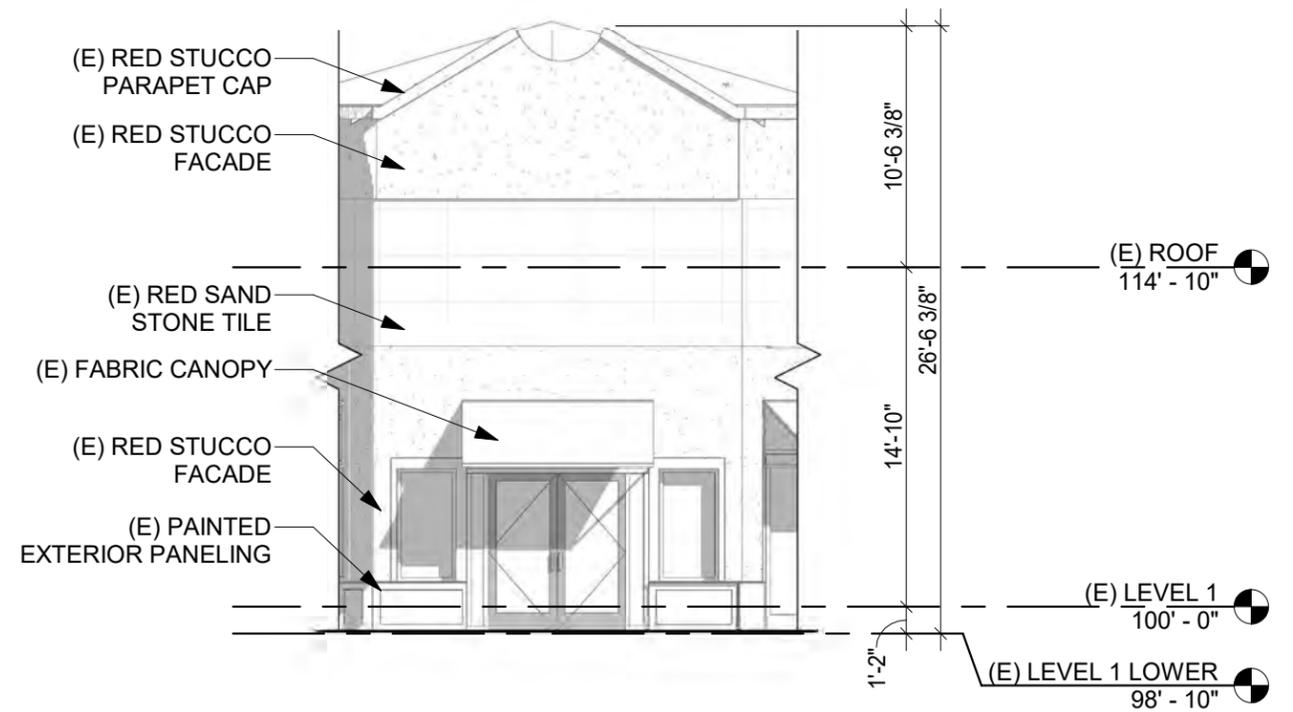
LEGEND:

-  PROPOSED ADDITION
-  PROPERTY LINE
-  SETBACK LINE
-  ACCESSIBLE ROUTE





PROPOSED ENTRY ELEVATION



EXISTING ENTRY ELEVATION



NEW BRICK ADDITION
HERRINGBONE BRICK PATTERN
DARK BRONZE CANOPY

DARK BRONZE PARAPET CAP
NEW FABRIC CANOPY
EXISTING PAINTED BRICK WALL TO REMAIN

REPAINT EXISTING STUCCO
NEW DARK BRONZE GOOSENECK LAMPS
REPAINT EXISTING TILE



PROPOSED EAST ELEVATION

(E) MECHANICAL SCREENING

(E) RED STUCCO PARAPET CAP
(E) RED PAINTED TILE

(E) RED BRICK

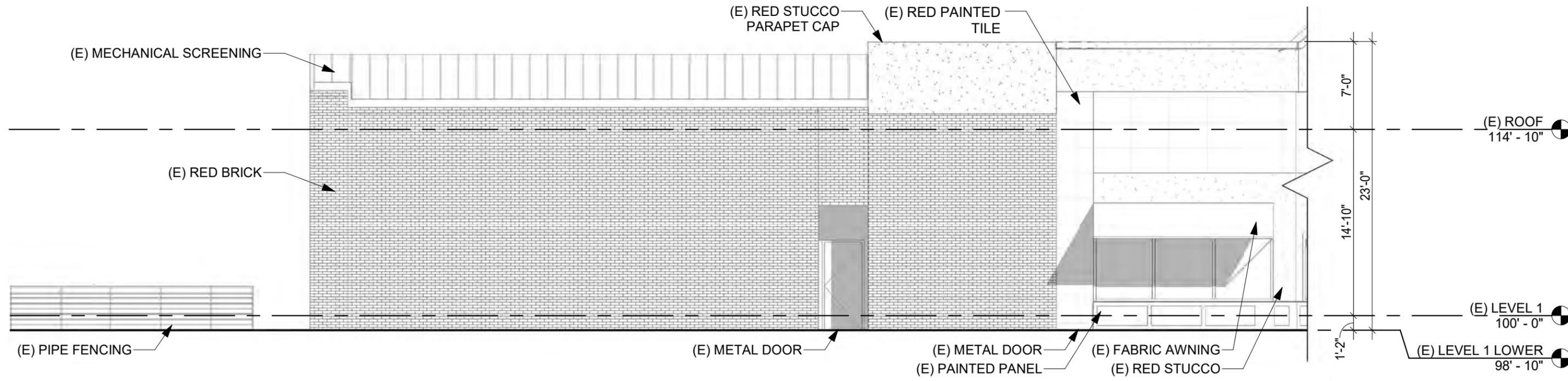


(E) PIPE FENCING

(E) METAL DOOR

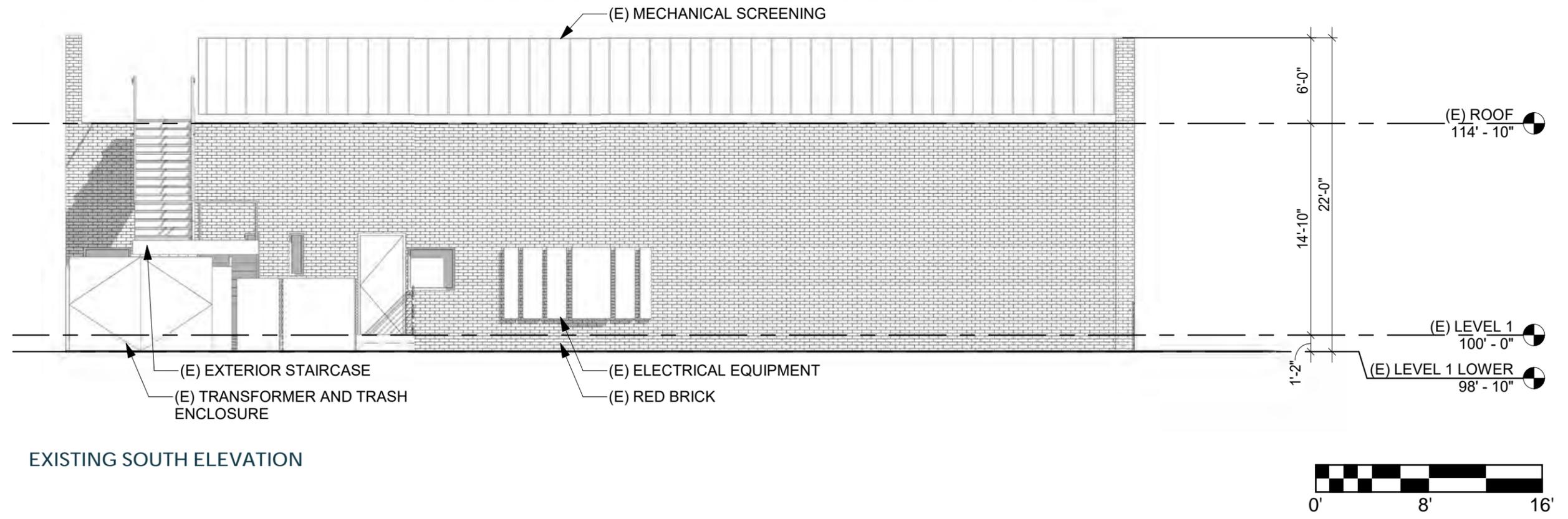
(E) METAL DOOR
(E) PAINTED PANEL

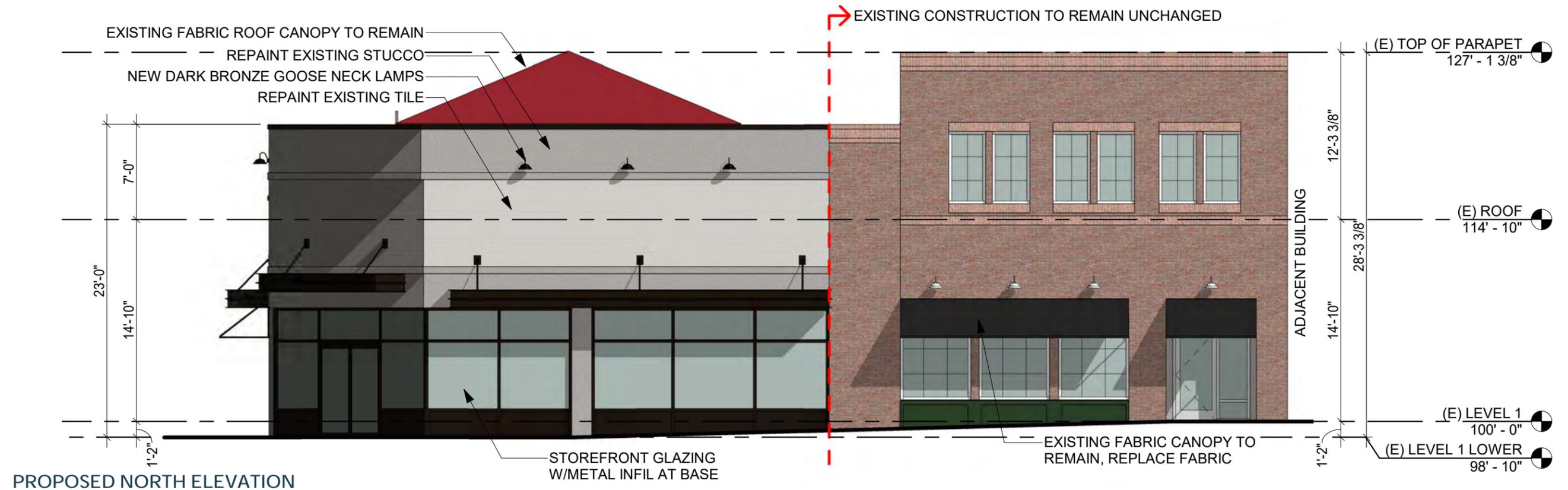
(E) FABRIC AWNING
(E) RED STUCCO



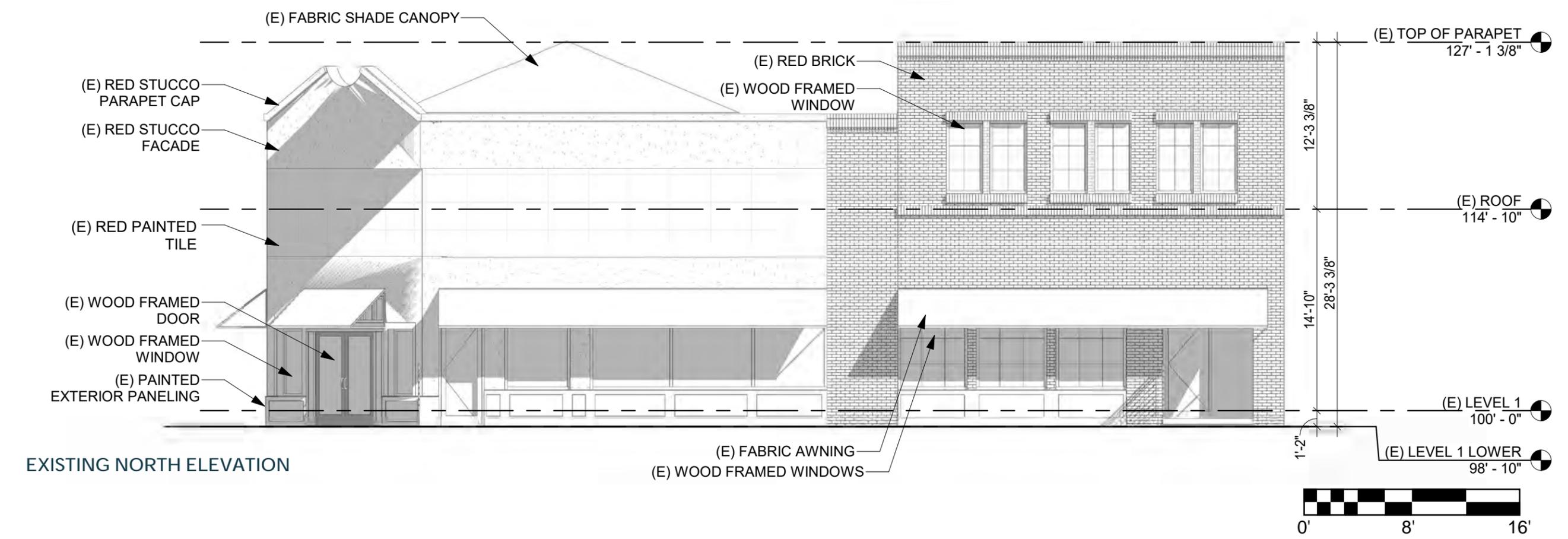
EXISTING EAST ELEVATION







PROPOSED NORTH ELEVATION



EXISTING NORTH ELEVATION



1.3 Guidelines for new construction and remodeling non-contributing buildings in the Downtown Historic District

A. Incorporate traditional building elements in new design and construction. Careful integration of traditional facade features reinforces patterns and visual alignments that contribute to the overall character of the district. These features may be interpreted in new and contemporary ways.



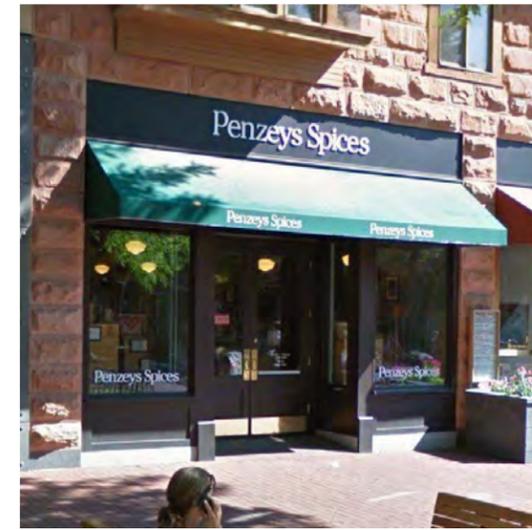
PROPOSED EAST ELEVATION



A. 1468 Pearl St, Boulder - Box Awning



B. 1242 Pearl St, Boulder - Brick Facade



C. 1219 Pearl St, Boulder - Cloth Awning



D. 1215 Pearl St, Boulder - Storefront



1.3 Guidelines for new construction and remodeling non-contributing buildings in the Downtown Historic District

- B. Construct new buildings to maintain the continuity of the historic building relationship to the street, adjacent properties, and/ or the block.
- C. Maintain a human scale rather than a monumental scale. Smaller scale buildings and the use of traditionally sized building components help to establish a human scale and maintain the character of Downtown. Standard size brick, uniform building components, and standard window sizes are most appropriate.
- E. Provide a variation of roof heights in a large building. A variety of roof heights and types within the district is desirable.
- F. Buildings are expected to be designed on all exposed elevations. Primary facade materials are to extend to secondary elevations, or wrap building corners, at a proportionally relevant distance as to portray a sense of depth.



- ① Existing Tile and Stucco to be Repainted
- ② Dark Bronze Metal - Storefront, Canopies, Wall Caps, Lamps
- ③ Black Canvas - Fabric Canopies
- ④ Existing Painted Brick to Remain
- ⑤ New Brick

