

PROJECT TEAM

Owner / Applicant
The Nichols Partnership
Contact: Dan Schuetz
1644 Platte Street, Suite 130
Denver CO, 80202
303.291.2215

Civil Engineer
JVA
Contact: Cody Gratny
1319 Spruce Street
Boulder CO, 80302
303.565.4966

Preconstruction
Alliance Construction
Contact: Casey Paulson
12789 Emerson Street
Thornton CO, 80241
970.420.0531

Interior Designer
AviroKO
Contact: Greg Bradshaw
531 Bryant Street
San Francisco CA, 94107
212.343.7024x138

Owner/Applicant
BMC Investments
Contact: Matt Joblon
205 Detroit St., Suite 400
Denver CO, 80206
303.996.2324

Landscape Architect
Went Associates
Contact: Greg Dorolek
1130 31st Street, Suite 101
Denver CO, 80205
720.669.3105

Mechanical/Plumbing Engineer
Galloway
Contact: Alicia Thorpe
5265 Ronald Reagan Blvd, Suite 210
Johnston CO, 80534
970.800.3300

Structural Engineer
JVA
Contact: Tom Soell
1319 Spruce Street
Boulder CO, 80302
303.565.4924

Architect/Interior Designer
Shears Adkins Rockmore
Contact: Kevin Eronimus
1550 Wynkoop St., Suite 100
Denver CO, 80202
720.350.4964

Entitlement
Tresle Strategy
Contact: Danica Powell
595 Canyon Blvd Suite D
Boulder CO, 80302
303.579.6221

Electrical Engineer
MV Consulting
Contact: Marcus Vahling
4640 N. Pecos St., Unit F
Denver CO, 80211
303.325.3271

Lighting Designer
LS Lighting
Contact: Kristen Kordecki
931 Santa Fe Dr., Ste. 200
Denver CO, 80204
720.961.5062

PROJECT LOCATION



PARKING ANALYSIS

VEHICLE PARKING PROVIDED			
SPACES REQUIRED			0
SPACES PROVIDED			50
*24 STACKED PARKING SPACES AND 2 ACCESSIBLE SPACES AT LEVEL B1			
BICYCLE PARKING REQUIREMENTS			
	AMOUNT	SPACES REQUIRED	
HOTEL (GUESTROOMS)	187	1/3 GR =	63 (32 LT / 31 ST)
RETAIL (SF)	9,574 SF	1/750 SF =	13 (3 LT / 10 ST)
LONG-TERM BICYCLE PARKING - HOTEL (50%) & RETAIL (25%)		35	
SHORT-TERM BICYCLE PARKING - HOTEL (50%) & RETAIL (75%)		41	
BICYCLE PARKING PROVIDED			
		SPACES PROVIDED	
LONG-TERM BICYCLE PARKING		35	
SHORT-TERM BICYCLE PARKING		41	

SITE COVERAGE

*REFER TO LANDSCAPE SHEETS FOR SITE COVERAGE AND OPEN SPACE CALCULATIONS

PROJECT DATA

LEGAL DESCRIPTION	
Parcels of land, located in the northwest quarter of section 31, township 1 north, range 70 west of the 6th P.M., City of Boulder, County of Boulder, State of Colorado.	
PROJECT DESCRIPTION	
The proposed project, located on the northern edge of the University Hill commercial district, is a mixed-use project which includes a 187 room hotel, associated common areas, retail uses, and below grade parking. The property is within the University Hill General Improvement District.	
SITE DATA	
LOT SIZE / SITE AREA	62,765 SF
PROPOSED FLOOR AREA (OUTSIDE FACE OF FRAMING)	
LEVEL B1	9,262 SF
LEVEL 1	29,574 SF
LEVEL 2	31,685 SF
LEVEL 3	29,843 SF
TOTAL FLOOR AREA	100,364 SF
FLOOR AREA RATIO (FAR)	
ALLOWABLE FAR	1.85
FAR FLOOR AREA / SITE AREA	100,364 SF / 62,765 SF
PROVIDED FAR	1.60
FLOOR AREA BREAKDOWN	
HOTEL AREA	90,790 SF
RETAIL AREA	9,574 SF
TOTAL GUESTROOMS	187
OVERALL BUILDING GROSS SQUARE FEET (GSF)	
LEVEL B1	21,706 SF
LEVEL 1	32,561 SF
LEVEL 2	31,963 SF
LEVEL 3	30,120 SF
TOTAL BUILDING AREA	116,350 SF
*INCLUDES ALL ENCLOSED BUILDING SF MEASURED TO OUTSIDE FACE OF EXTERIOR WALLS, FOUNDATION WALLS, ETC.	
ZONING INFORMATION	
PROJECT SITE DISTRICT	BMS
ADJACENT SITES' DISTRICTS	BT-2, RH-2, RH-5, BMS, P
USE MODULE	B2
FORM MODULE	O
INTENSITY MODULE	17
SETBACKS	
FRONT YARD (UNIVERSITY)	0' REQUIRED 1'-5" PROVIDED
SIDE ADJ. TO STREET (BROADWAY)	12' AT LEVEL 3 REQUIRED 12'-3" AT ALL LEVELS PROVIDED
REAR (TREAT AS FRONT) (PLEASANT)	0' REQUIRED VARIES, RE: PLANS PROVIDED
INTERIOR SIDE YARDS (ADJ. PROPERTIES)	5' REQUIRED 9' AND 14'-0" PROVIDED
REAR YARDS (EAST/WEST PL AT ALLEY)	3' REQUIRED 5'-2" PROVIDED
REQUESTED CODE MODIFICATIONS	
MAXIMUM BUILDING HEIGHT ALLOWANCE (55'-0")	
HEIGHT PROVIDED	53' - 10" AT MAIN (WEST) BUILDING 51'-1" AT BROADWAY (EAST) BUILDING

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SITE REVIEW

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COVER SHEET

A00



VICINITY MAP

1" = 160'



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VIEW FROM WEST



VIEW FROM SOUTH



VIEW FROM EAST

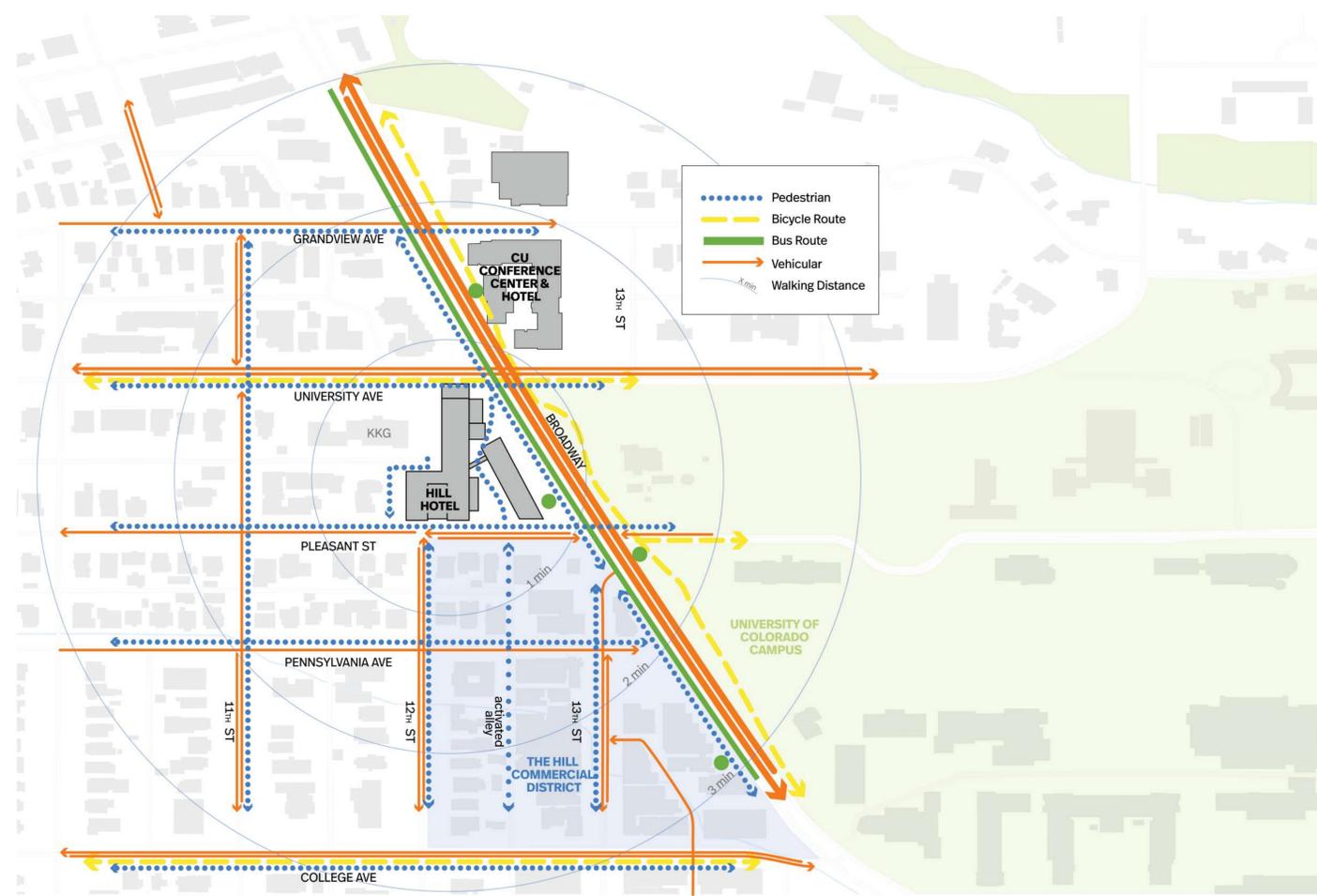


VIEW FROM NORTH

CONTEXT MAP

A01

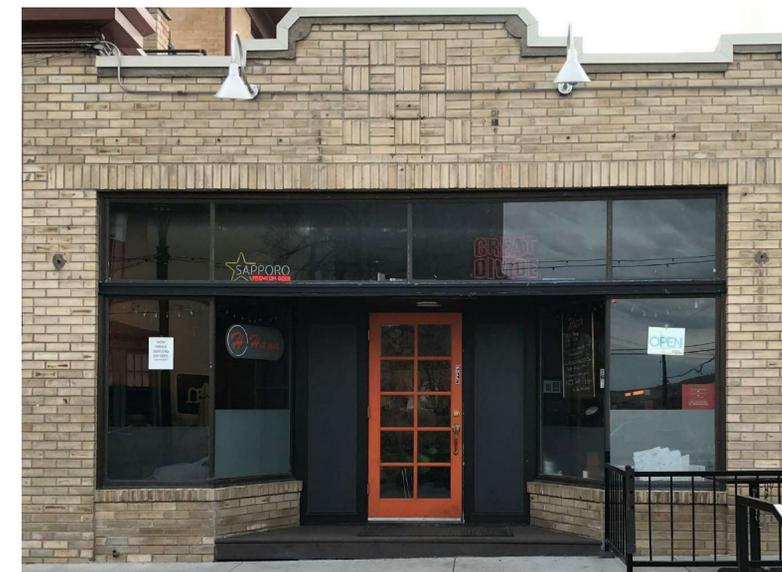
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CIRCULATION PLAN



STOREFRONT 13TH STREET - THE HILL



STOREFRONT ON PENNSYLVANIA - THE HILL



KAPPA KAPPA GAMMA SORORITY HOUSE ON UNIVERSITY - THE HILL



OLD MAIN - CU CAMPUS



THE SINK ON PENNSYLVANIA - THE HILL



HELLEMS - CU CAMPUS

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CONTEXT IMAGES

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ARCHITECTURAL
 SITE PLAN

A03



- Retail
- Guestroom - Bunk
- Guestroom - Double Double
- Guestroom - Queen
- Guestroom - Suite
- Lobby
- Meeting
- Fitness
- Circulation
- BOH
- Parking

1
A03 SITE PLAN
 1" = 20'-0"

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VIEW FROM UPPER LEVEL OF CONFERENCE CENTER



AERIAL VIEW LOOKING WEST



AERIAL VIEW LOOKING NORTH



AERIAL VIEW LOOKING SOUTH

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CONCEPTUAL
RENDERINGS

A04



PLEASANT FACADE AND UPPER PLAZA LOOKING NORTH



PLEASANT FACADE AND UPPER PLAZA LOOKING NORTH



CORNER OF BROADWAY AND PLEASANT LOOKING NORTHWEST



BROADWAY BUILDING EAST FACADE LOOKING FROM BROADWAY

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CONCEPTUAL
 RENDERINGS

A05



LOWER PLAZA LOOKING WEST FROM BROADWAY



LOWER PLAZA LOOKING SOUTHWEST FROM BROADWAY



CORNER OF UNIVERSITY AND BROADWAY LOOKING SOUTHWEST



COVERED PATIO AND UPPER PLAZA LOOKING NORTHWEST

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SITE REVIEW

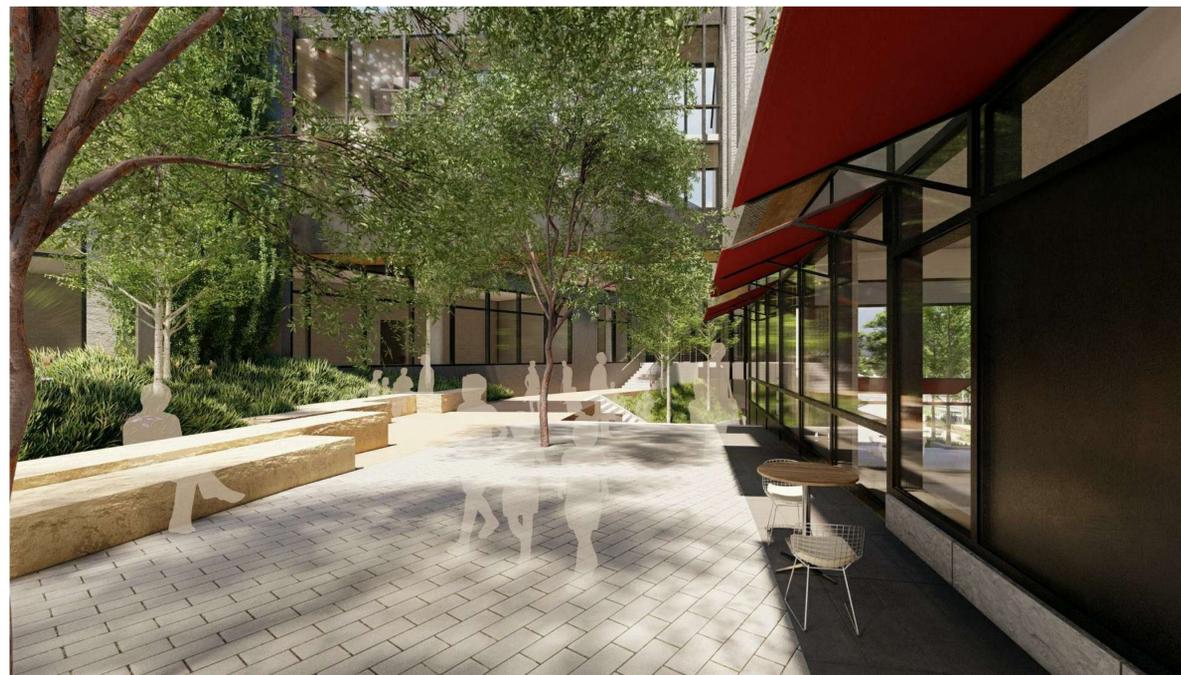
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CONCEPTUAL
RENDERINGS

A06



HOTEL ENTRY AND PLEASANT SIDEWALK LOOKING NORTHWEST



UPPER PLAZA AND GALLERY LOOKING NORTH



AMPHITHEATER AND LOWER PLAZA LOOKING NORTHEAST



AMPHITHEATER AND LOWER PLAZA LOOKING SOUTHWEST

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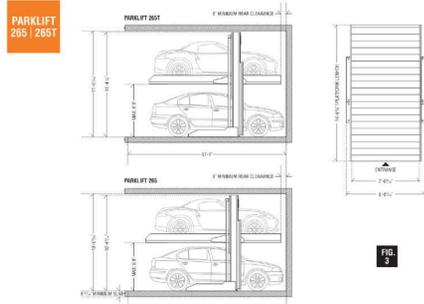
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CONCEPTUAL
 RENDERINGS

A07

PARKING STACKER INFORMATION - PARKLIFT BY HARDING STEEL

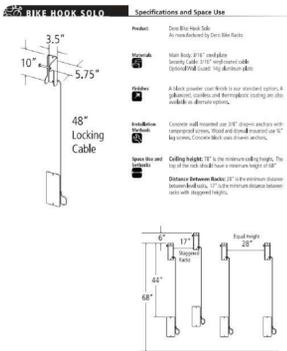


Model	Capacity	Dimensions	Speed	Power	Features
PARKLIFT 245 245T	Working Capacity: 6,000 lbs. Static Capacity: 12,000 lbs. Dynamic Capacity: 9,000 lbs.	Overall Width: 96"-1" Platform Width: 82"-1" Drive-thru Width: 82" Overall Platform Length: 177"-1" Maximum vehicle wheelbase: 146" Maximum clearance (lower car): 99" (80") Overall height: 245" (11' 5")	Lifting Speed (seconds): 17 seconds Lowering Speed (seconds): 15 seconds	Power Requirements: 220V 3 Phase 40 amp 220V Single Phase 40 amp	Application: Outdoor/Indoor Surface: Asphalt/Concrete Material: 100% Galvanized Steel Safety: Steel-on-Steel Locks
PARKLIFT 255 255T	Working Capacity: 6,000 lbs. Static Capacity: 12,000 lbs. Dynamic Capacity: 9,000 lbs.	Overall Width: 102"-1" Platform Width: 86"-1" Drive-thru Width: 82" Overall Platform Length: 177"-1" Maximum vehicle wheelbase: 146" Maximum clearance (lower car): 99" (80") Overall height: 255" (11' 5")	Lifting Speed (seconds): 17 seconds Lowering Speed (seconds): 15 seconds	Power Requirements: 220V 3 Phase 40 amp 220V Single Phase 40 amp	Application: Outdoor/Indoor Surface: Asphalt/Concrete Material: 100% Galvanized Steel Safety: Steel-on-Steel Locks
PARKLIFT 265 265T	Working Capacity: 6,000 lbs. Static Capacity: 12,000 lbs. Dynamic Capacity: 9,000 lbs.	Overall Width: 104"-1" Platform Width: 80"-1" Drive-thru Width: 90" Overall Platform Length: 177"-1" Maximum vehicle wheelbase: 149" Maximum clearance (lower car): 99" (80") Overall height: 265" (11' 5")	Lifting Speed (seconds): 17 seconds Lowering Speed (seconds): 15 seconds	Power Requirements: 220V 3 Phase 40 amp 220V Single Phase 40 amp	Application: Outdoor/Indoor Surface: Asphalt/Concrete Material: 100% Galvanized Steel Safety: Steel-on-Steel Locks

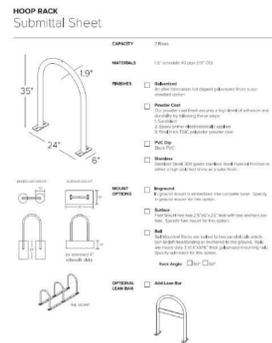
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HARDING STEEL, INC. | 731 175 5th St SW | Denver, CO 80202 | (303) 733-0800 | www.hardingsteel.com

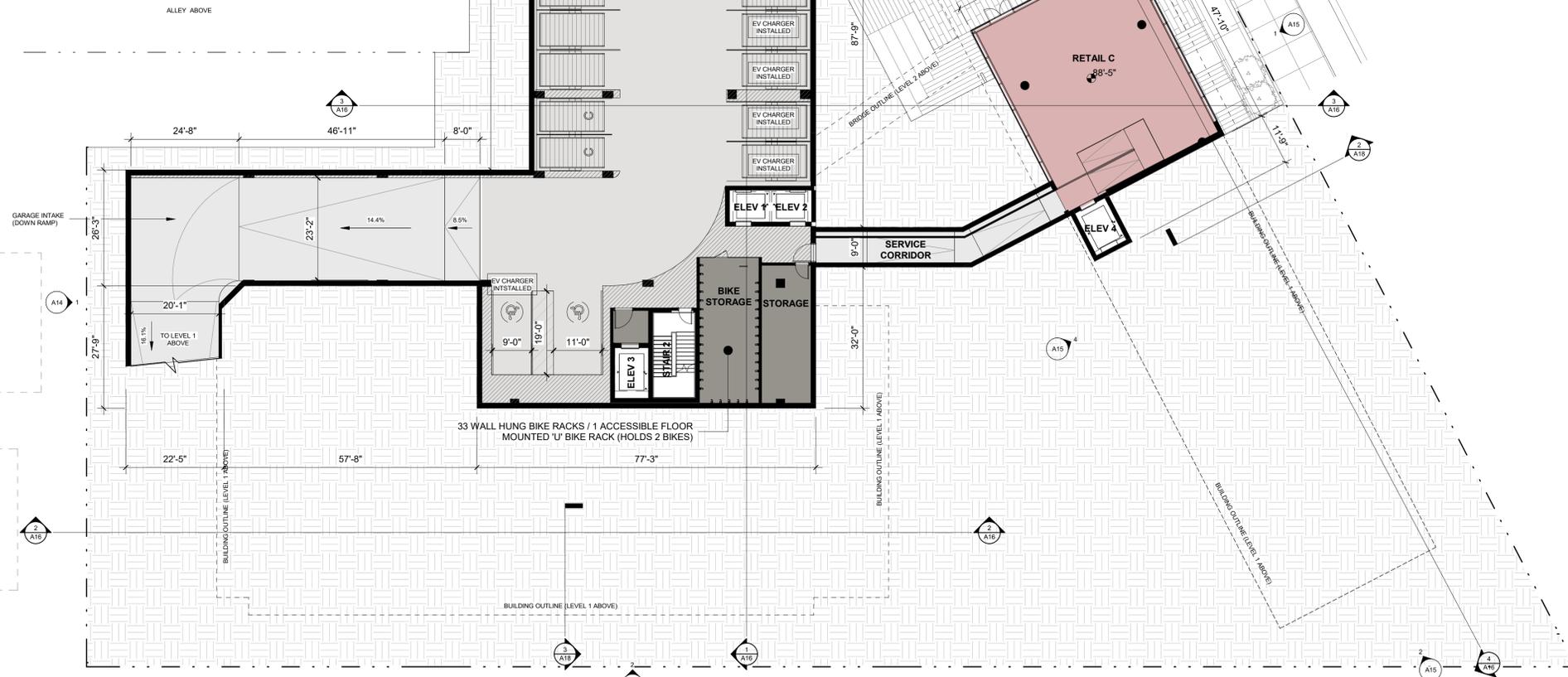
WALL MOUNTED BIKE RACK



FLOOR MOUNTED 'U' BIKE RACK



1 LEVEL B1
A08 1/16" = 1'-0"



- Retail
- Guestroom - Bunk
- Guestroom - Double Double
- Guestroom - Queen
- Guestroom - Suite
- Lobby
- Meeting
- Fitness
- Circulation
- BOH
- Parking

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LEVEL B1 PLAN

A08

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LEVEL 1
 1/16" = 1'-0"

PLEASANT ST

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LEVEL 1 PLAN

A09

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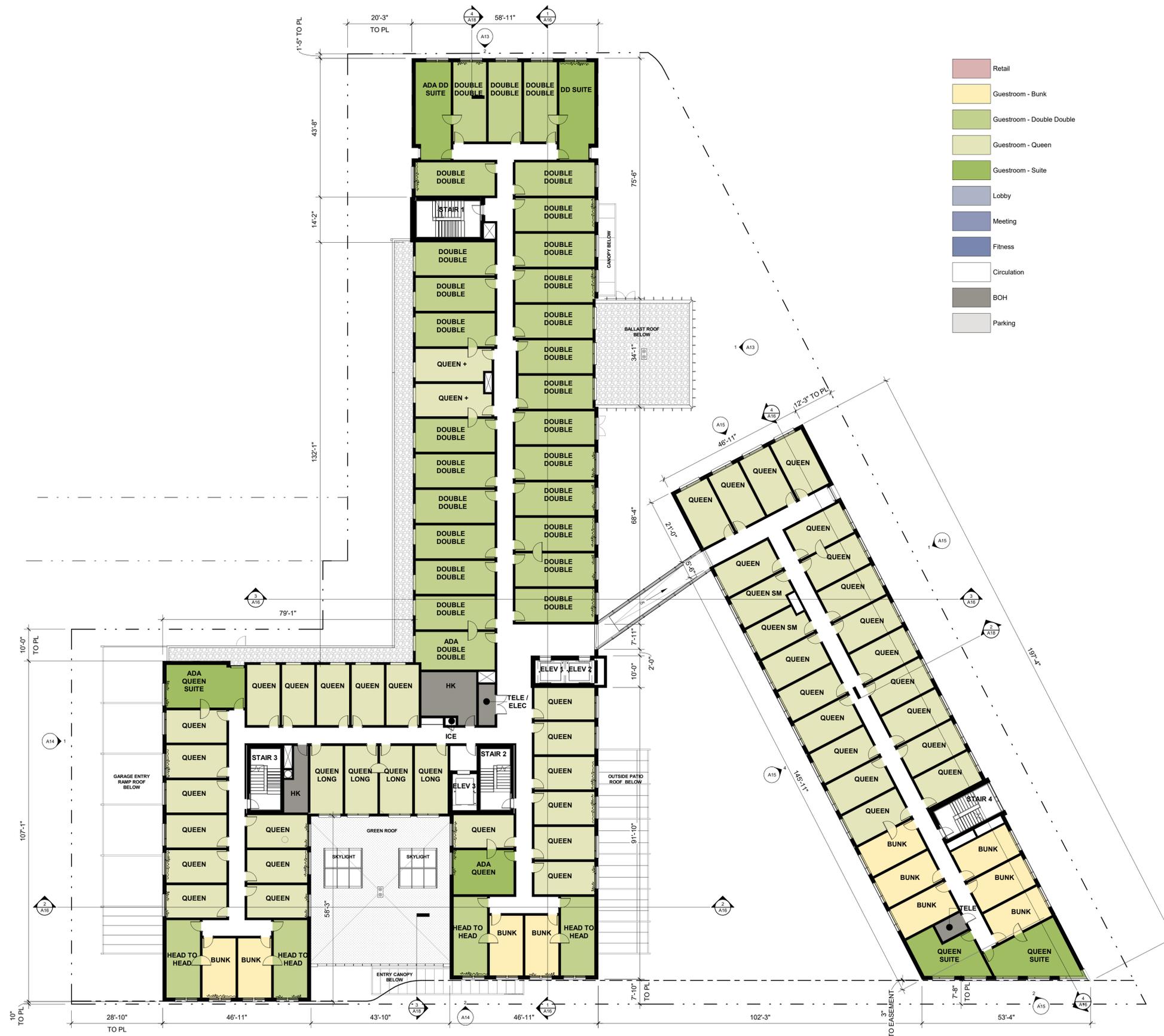
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SITE REVIEW

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LEVEL 2 PLAN

A10



- Retail
- Guestroom - Bunk
- Guestroom - Double Double
- Guestroom - Queen
- Guestroom - Suite
- Lobby
- Meeting
- Fitness
- Circulation
- BOH
- Parking

LEVEL 2
 1/16" = 1'-0"

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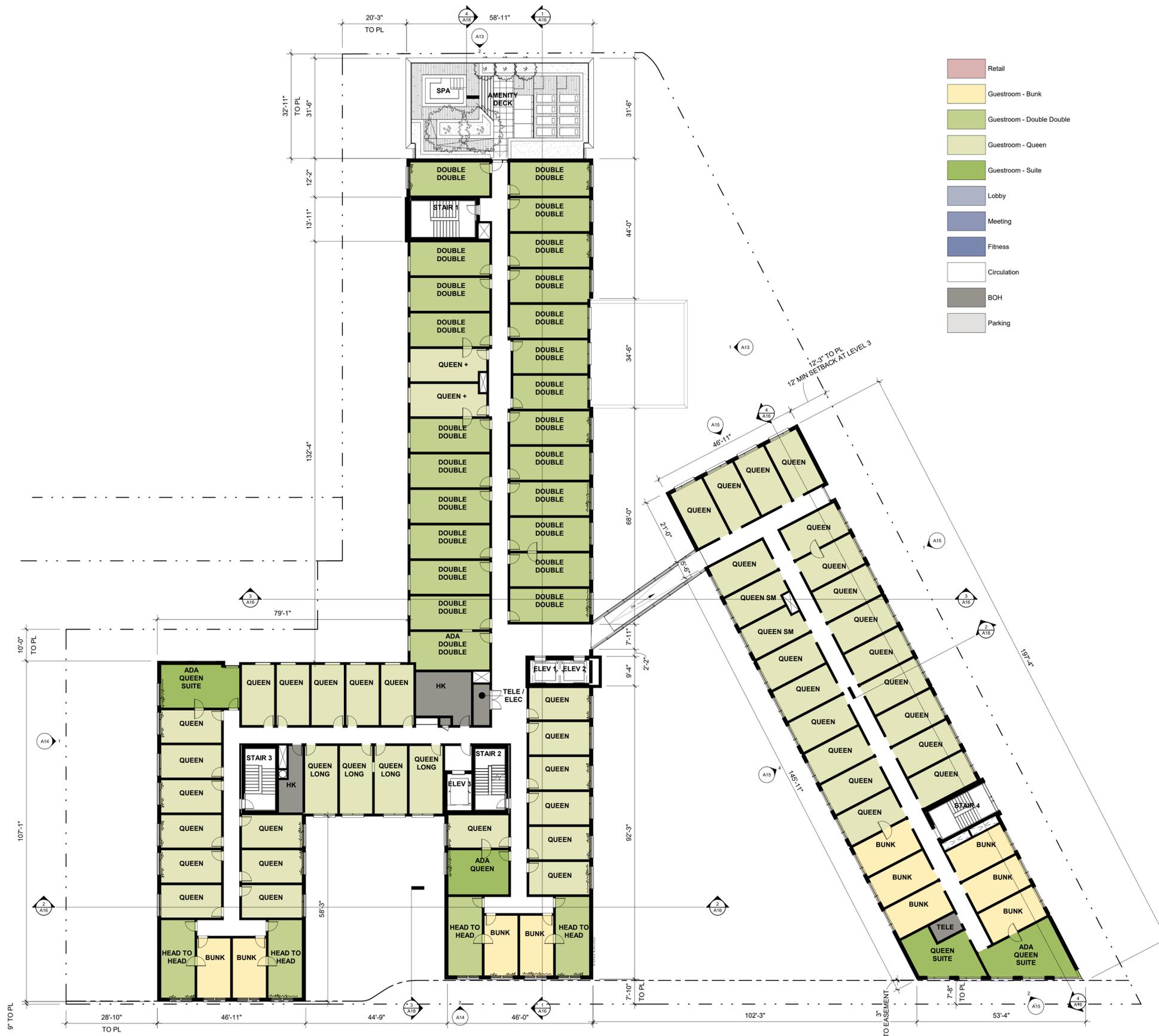
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SITE REVIEW

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LEVEL 3 PLAN

A11



- Retail
- Guestroom - Bunk
- Guestroom - Double Double
- Guestroom - Queen
- Guestroom - Suite
- Lobby
- Meeting
- Fitness
- Circulation
- BOH
- Parking

1 LEVEL 3
A11 1/16" = 1'-0"

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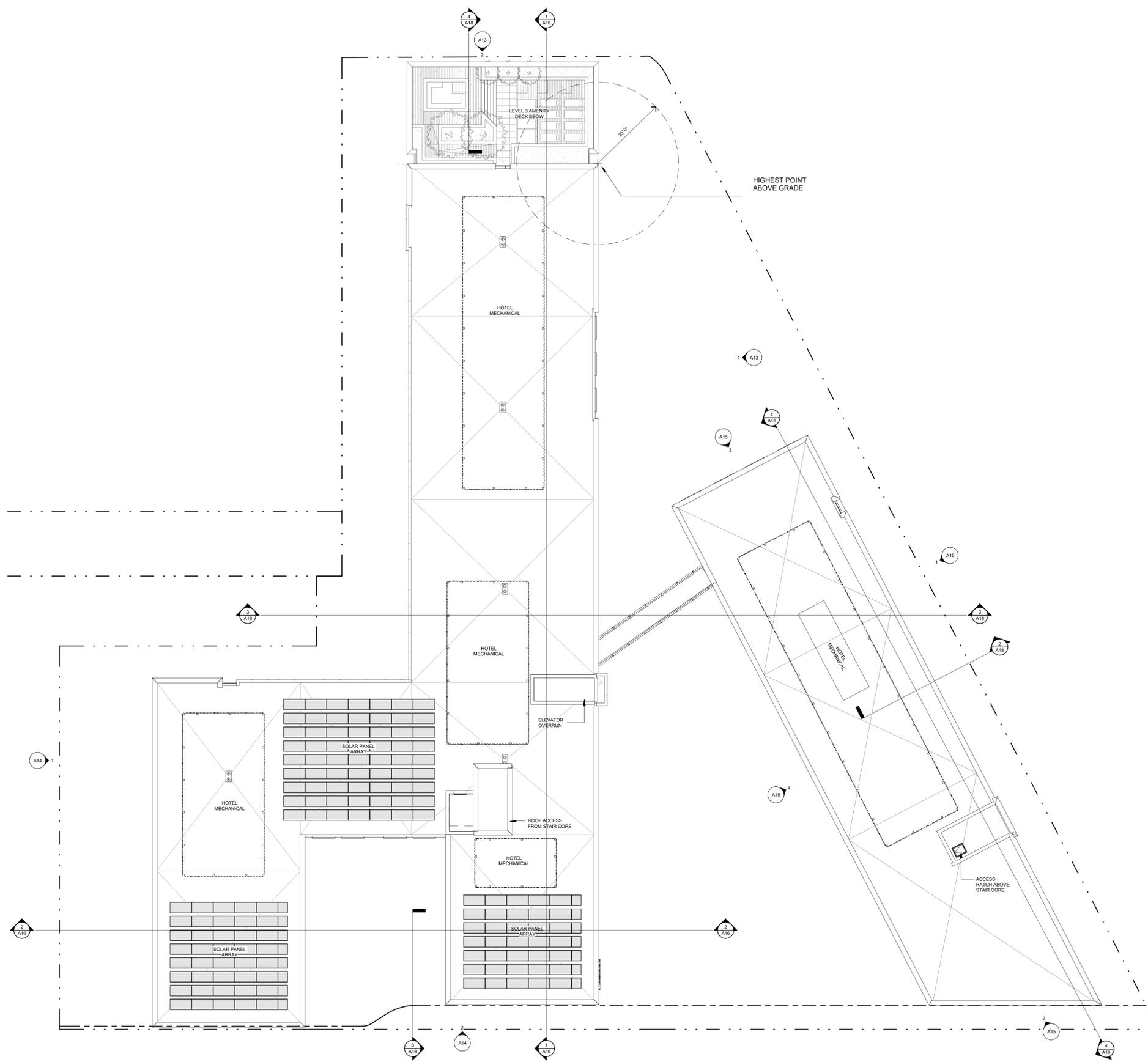
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ROOF PLAN

A12



N
 1
 A12
 ROOF LEVEL
 1/16" = 1'-0"

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ELEVATIONS

A13



2 NORTH ELEVATION - MAIN BUILDING
 1/16" = 1'-0"



1 EAST ELEVATION - MAIN BUILDING
 1/16" = 1'-0"

MATERIAL LEGEND



BRICK FACING MASONRY - BRK 1
 COLOR: SUMMIT BRICK - 33% SHEPHERD GRAIN, 33% PLUM GRAIN, 33% EBONY GRAIN
 COMMENTS: SMOOTH MASONRY, RUNNING BOND
 MORTAR: COLORED MORTAR



BRICK FACING MASONRY - BRK 2
 COLOR: SUMMIT BRICK - 50% SMOKEY MOUNTAIN, 50% DARK PEWTER GRAIN
 COMMENTS: SMOOTH MASONRY, RUNNING BOND
 MORTAR: COLORED MORTAR



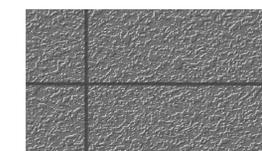
STONE WALL PANEL - STN 1
 BOD: TERRACORE STONE VENEER RAINSCREEN
 COLOR: BLACK
 COMMENTS: LARGE FORMAT
 LOCATION: EXTERIOR LOBBY AND RETAIL B



CONCRETE MASONRY UNIT - CMU 1
 BOD: ECHELON GROUND FACE
 COLOR: EBONY
 COMMENTS: GROUND FACE SMOOTH, STACK BOND
 LOCATION: ALLEY, SERVICE & LOADING AREAS



CAST-IN-PLACE CONCRETE - CNC 1
 COMMENTS: EXPOSED ARCHITECTURAL SMOOTH FINISH
 LOCATION: EXPOSED COLUMNS



PORTLAND CEMENT PLASTER - EIFS 1
 COLOR: GREY
 COMMENTS: EIFS SYSTEM; ACRYLIC STUCCO BASE & FINISH COATS WITH INTEGRAL REINFORCING MESH



WOOD SOFFIT MATERIAL - WD 1
 BOD: ACCOYA WOOD SIDING
 LOCATION: EXTERIOR SOFFITS, RE: RCP'S



METAL WALL PANEL - MTL 1
 BOD: PURE FREEFORM
 COLOR: BLACK
 COMMENTS: LARGE FORMAT, CONCEALED FASTENERS



STAMPED METAL WALL PANEL - MTL 2
 BOD: TBD
 COLOR: BLACK
 COMMENTS: VERTICAL STAMPED STRIPES GROUPINGS



1 1/2" CORRUGATED STEEL WALL PANEL - MTL 3
 BOD: BERRIDGE B-16 24 GAUGE STEEL WALL PANEL
 COLOR: GREY
 COMMENTS: ADD PERFORMANCE COATING
 LOCATION: MECH ROOF SCREEN



PREFINISHED BRAKE METAL - MTL 4
 COLOR: BLACK
 COMMENTS: BLACK SEALANT
 LOCATION: MISC METAL AND DETAILING



STANDING SEAM METAL PANEL - MTL 5
 COLOR: BLACK
 COMMENTS: BLACK SEALANT
 LOCATION: EAST LOBBY & GARAGE ENTRANCE



GLASS TYPE 1 PUNCHED OPENINGS - GLS 1
 BOD: ANDERSEN LOW E SMARTSUN GLAZING
 COLOR: CLEAR
 COMMENTS: LOW E, SOUND-REDUCING GLASS, TYP ALL PUNCHED OPENINGS



GLASS TYPE 2 VISION GLAZING UNIT AT STOREFRONT & CURTAIN WALL - GLS 2
 BOD: SOLAR BAN 60
 COLOR: CLEAR + CLEAR
 COMMENTS: LOW E

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ELEVATIONS

A14



2 SOUTH ELEVATION - MAIN BUILDING
 1/16" = 1'-0"



1 WEST ELEVATION - MAIN BUILDING
 1/16" = 1'-0"

MATERIAL LEGEND



BRICK FACING MASONRY - BRK 1
 BOD: PURE FREEFORM
 COLOR: SUMMIT BRICK - 33% SHEFIELD GRAIN, 33% PLUM GRAIN, 33% EBONY GRAIN
 COMMENTS: SMOOTH MASONRY, RUNNING BOND
 MORTAR: COLORED MORTAR



BRICK FACING MASONRY - BRK 2
 BOD: TBD
 COLOR: SUMMIT BRICK - 50% SMOKEY MOUNTAIN, 50% DARK PEWTER GRAIN
 COMMENTS: SMOOTH MASONRY, RUNNING BOND
 MORTAR: COLORED MORTAR



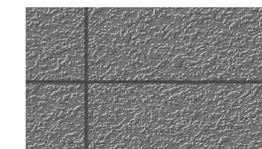
STONE WALL PANEL - STN 1
 BOD: TERRACORE STONE VENEER RAINSCREEN
 COLOR: BLACK
 COMMENTS: LARGE FORMAT
 LOCATION: EXTERIOR LOBBY AND RETAIL B



CONCRETE MASONRY UNIT - CMU 1
 BOD: ECHELON GROUND FACE
 COLOR: EBONY
 COMMENTS: GROUND FACE SMOOTH, STACK BOND
 LOCATION: ALLEY, SERVICE & LOADING AREAS



CAST-IN-PLACE CONCRETE - CNC 1
 COMMENTS: EXPOSED ARCHITECTURAL SMOOTH FINISH
 LOCATION: EXPOSED COLUMNS



PORTLAND CEMENT PLASTER - EIFS 1
 COLOR: GREY
 COMMENTS: EIFS SYSTEM; ACRYLIC STUCCO BASE & FINISH COATS WITH INTEGRAL REINFORCING MESH



WOOD SOFFIT MATERIAL - WD 1
 BOD: ACCOYA WOOD SIDING
 LOCATION: EXTERIOR SOFFITS, RE: RCP'S



METAL WALL PANEL - MTL 1
 BOD: PURE FREEFORM
 COLOR: BLACK
 COMMENTS: LARGE FORMAT, CONCEALED FASTENERS



STAMPED METAL WALL PANEL - MTL 2
 BOD: TBD
 COLOR: BLACK
 COMMENTS: VERTICAL STAMPED STRIPES GROUPINGS



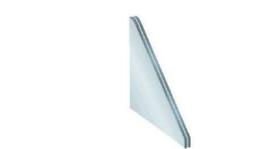
1 1/2" CORRUGATED STEEL WALL PANEL - MTL 3
 BOD: BERRIDGE B-16 24 GAUGE STEEL WALL PANEL
 COLOR: GREY
 COMMENTS: ADD PERFORMANCE COATING
 LOCATION: MECH ROOF SCREEN



PREFINISHED BRAKE METAL - MTL 4
 COLOR: BLACK
 COMMENTS: BLACK SEALANT
 LOCATION: MISC METAL AND DETAILING



STANDING SEAM METAL PANEL - MTL 5
 COLOR: BLACK
 COMMENTS: BLACK SEALANT
 LOCATION: EAST LOBBY & GARAGE ENTRANCE



GLASS TYPE 1 PUNCHED OPENINGS - GLS 1
 BOD: ANDERSEN LOW E SMARTSUN GLAZING
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 BOD: SOLAR BAN 60
 COLOR: CLEAR + CLEAR
 COMMENTS: LOW E

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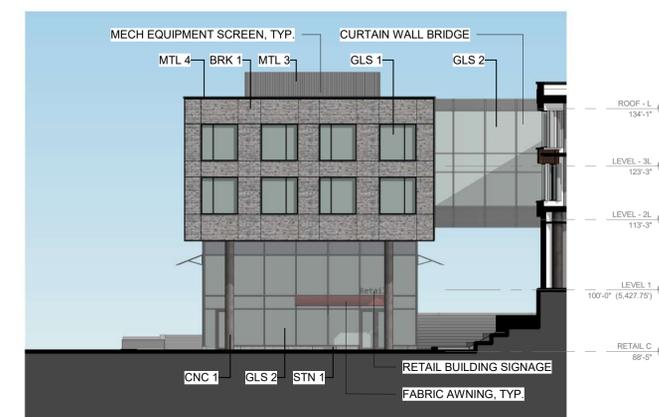
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ELEVATIONS

A15



4 WEST ELEVATION - BROADWAY BAR
 A15 1/16" = 1'-0"



3 NORTH ELEVATION - BROADWAY BAR
 A15 1/16" = 1'-0"



2 SOUTH ELEVATION - BROADWAY BAR
 A15 1/16" = 1'-0"

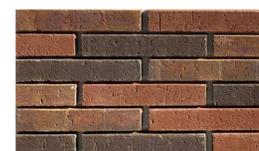


1 EAST ELEVATION - BROADWAY BAR
 A15 1/16" = 1'-0"

MATERIAL LEGEND



BRICK FACING MASONRY - BRK 1
 BOD: PURE FREEFORM
 COLOR: SUMMIT BRICK - 33% SHEFIELD GRAIN, 33% PLUM GRAIN, 33% EBONY GRAIN
 COMMENTS: SMOOTH MASONRY, RUNNING BOND
 MORTAR: COLORED MORTAR



BRICK FACING MASONRY - BRK 2
 BOD: TBD
 COLOR: SUMMIT BRICK - 50% SMOKEY MOUNTAIN, 50% DARK PEWTER GRAIN
 COMMENTS: SMOOTH MASONRY, RUNNING BOND
 MORTAR: COLORED MORTAR



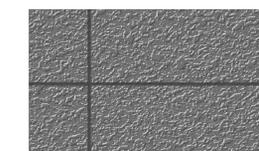
STONE WALL PANEL - STN 1
 BOD: TERRACORE STONE VENEER RAINSCREEN
 COLOR: BLACK
 COMMENTS: LARGE FORMAT
 LOCATION: EXTERIOR LOBBY AND RETAIL B



CONCRETE MASONRY UNIT - CMU 1
 BOD: ECHOLON GROUND FACE
 COLOR: EBONY
 COMMENTS: GROUND FACE SMOOTH, STACK BOND
 LOCATION: ALLEY, SERVICE & LOADING AREAS



CAST-IN-PLACE CONCRETE - CNC 1
 COMMENTS: EXPOSED ARCHITECTURAL SMOOTH FINISH
 LOCATION: EXPOSED COLUMNS



PORTLAND CEMENT PLASTER - EIFS 1
 COLOR: GREY
 COMMENTS: EIFS SYSTEM; ACRYLIC STUCCO BASE & FINISH COATS WITH INTEGRAL REINFORCING MESH



WOOD SOFFIT MATERIAL - WD 1
 BOD: ACCOYA WOOD SIDING
 LOCATION: EXTERIOR SOFFITS, RE: RCP'S



METAL WALL PANEL - MTL 1
 BOD: PURE FREEFORM
 COLOR: BLACK
 COMMENTS: LARGE FORMAT, CONCEALED FASTENERS



STAMPED METAL WALL PANEL - MTL 2
 BOD: TBD
 COLOR: BLACK
 COMMENTS: VERTICAL STAMPED STRIPES GROUPINGS



1 1/2" CORRUGATED STEEL WALL PANEL - MTL 3
 BOD: BERRIDGE B-16 24 GAUGE STEEL WALL PANEL
 COLOR: GREY
 COMMENTS: ADD PERFORMANCE COATING
 LOCATION: MECH ROOF SCREEN



PREFINISHED BRAKE METAL - MTL 4
 COLOR: BLACK
 COMMENTS: BLACK SEALANT
 LOCATION: MISC METAL AND DETAILING



STANDING SEAM METAL PANEL - MTL 5
 COLOR: BLACK
 COMMENTS: BLACK SEALANT
 LOCATION: EAST LOBBY & GARAGE ENTRANCE



GLASS TYPE 1 PUNCHED OPENINGS - GLS 1
 BOD: ANDERSEN LOW E SMARTSUN GLAZING
 COLOR: CLEAR
 COMMENTS: LOW E, SOUND-REDUCING GLASS, TYP ALL PUNCHED OPENINGS



GLASS TYPE 2 VISION GLAZING UNIT AT STOREFRONT & CURTAIN WALL - GLS 2
 BOD: SOLAR BAN 60
 COLOR: CLEAR + CLEAR
 COMMENTS: LOW E

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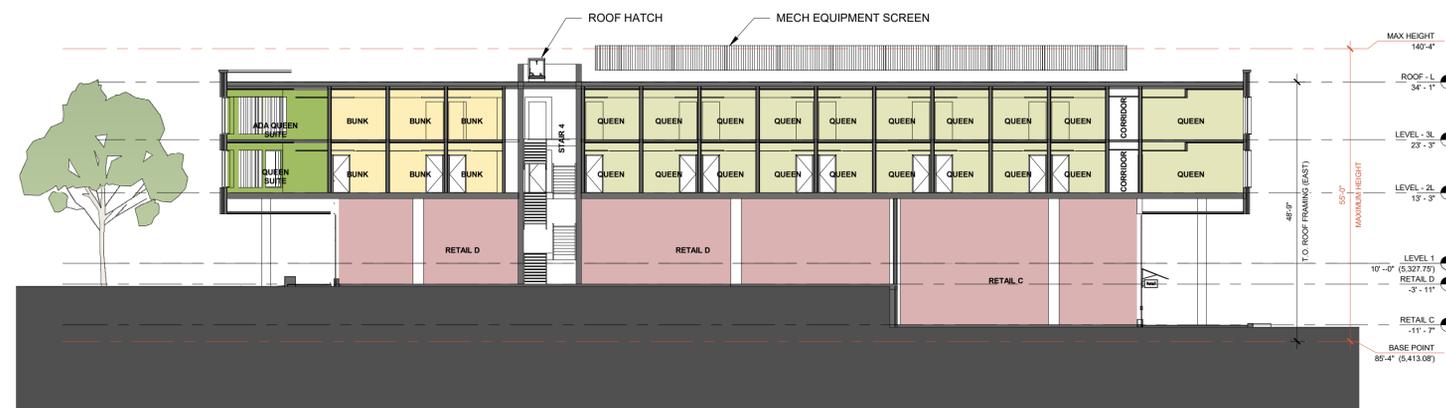
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SITE REVIEW

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 Date No. Remarks

BUILDING SECTIONS

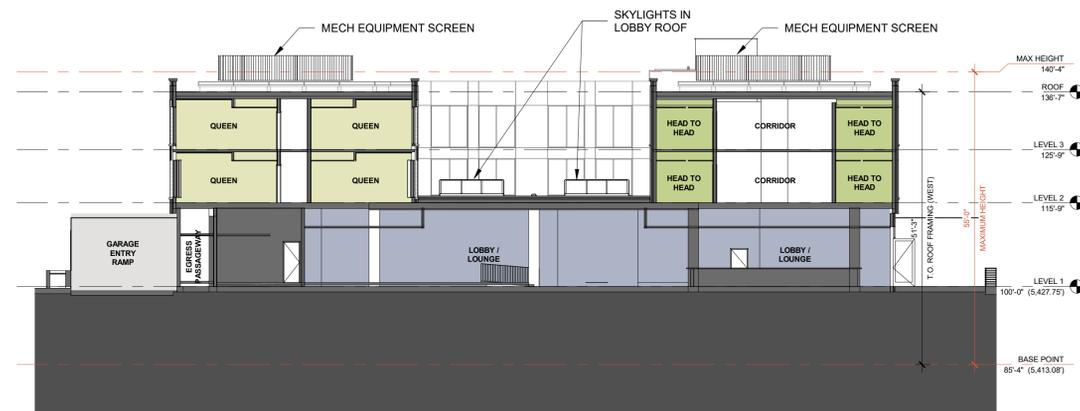
A16



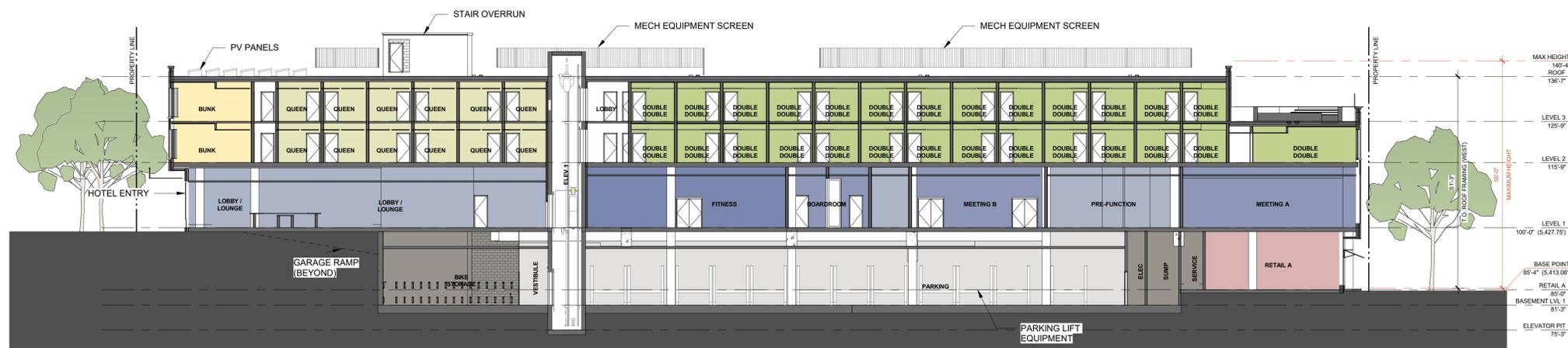
4 SECTION - BROADWAY BUILDING
 1/16" = 1'-0"



3 SECTION - EAST/WEST THROUGH UPPER PLAZA
 1/16" = 1'-0"



2 SECTION - EAST/WEST THROUGH LOBBY
 1/16" = 1'-0"

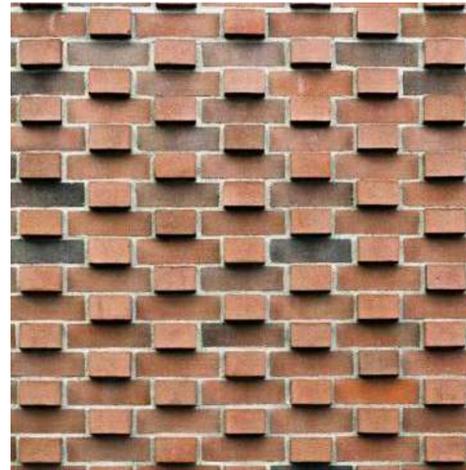


1 SECTION - MAIN BUILDING
 1/16" = 1'-0"



MAIN BUILDING FACADE

BRICK PATTERNING AND PROJECTING COURSES PROVIDE TEXTURE AND INTEREST TO THE MASONRY FACADES



BROADWAY BUILDING SOUTH FACADE (BRICK COLOR VARIES WITH SUN ANGLES)



PRECEDENT IMAGES



BROADWAY BUILDING EAST FACADE (BRICK COLOR VARIES WITH SUN ANGLES)

THE PROJECT PROVIDES MANY BLANK BRICK WALLS WHERE UNIQUE MURAL ART BY LOCAL ARTISTS CAN EMBRACE THE HILL CULTURE AND REINFORCE THE IDENTITY OF PLACE



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EXTERIOR PRECEDENTS AND RENDERINGS

A17

9-9-15 - Fences and Walls.
 (c) Fence and Wall Height: No fence or wall shall exceed seven feet in height, except as otherwise permitted by this section. A fence or wall shall be measured as follows:
 (1) Height Measurement - Generally: The height of a fence or wall shall be measured from the finished grade directly beneath a fence or upon which a wall is located. (See Figure 9-10 of this section.)
 (2) Fences on Retaining Walls: A fence located on or within three feet of a retaining wall, where both the fence and retaining wall are on the same property, shall not exceed a combined height of seven feet (see Figure 9-11 of this section), except that:
 (A) Fence and Retaining Wall on Property Line: The combined height of a retaining wall and fence or a fence located on or within three feet of a property line, may exceed seven feet when the abutting property owners are in joint agreement. (See Figure 9-12 of this section.) The fence shall not exceed an individual height of seven feet when measured from the highest elevation of grade within three feet of either side of the property line. (See Figure 9-13 of this section.) In no event shall such a fence exceed twelve feet in height. (See Figure 9-14 of this section.)



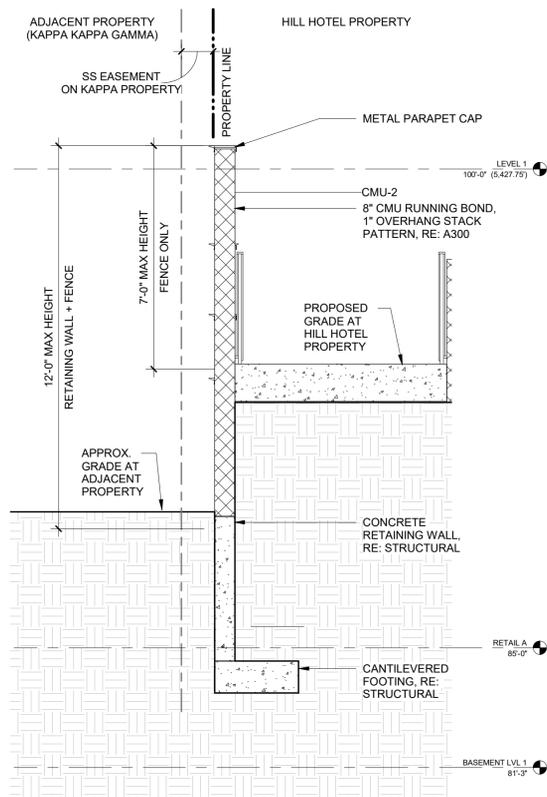
AERIAL VIEW OF ALLEY / LOADING LOOKING EAST



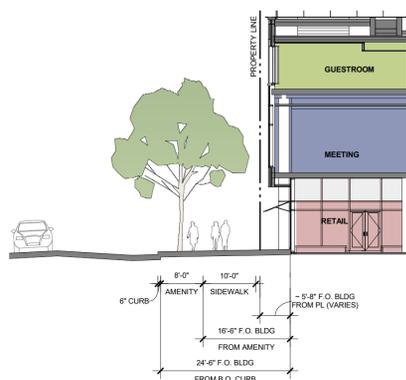
AERIAL VIEW OF ALLEY / SERVICE FROM UNIVERSITY LOOKING SOUTHEAST



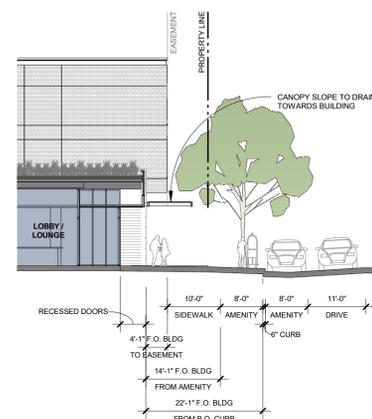
VIEW FROM UNIVERSITY LOOKING SOUTH



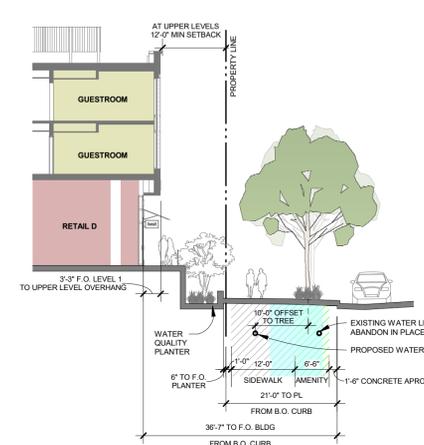
5 WALL SECTION - SITE WALL
 3/8" = 1'-0"



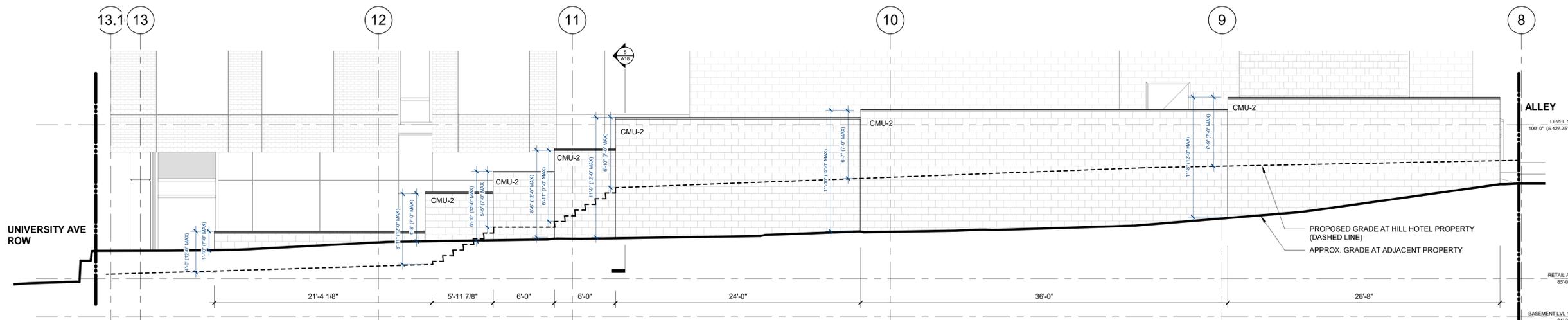
4 UNIVERSITY AVE ROW SECTION
 1/16" = 1'-0"



3 PLEASANT ST ROW SECTION
 1/16" = 1'-0"



2 BROADWAY ROW SECTION
 1/16" = 1'-0"



1 ENLARGED ELEVATION - SITE WALL WEST
 3/16" = 1'-0"

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ROW SECTIONS &
 SITE WALL
 ELEVATION

A18

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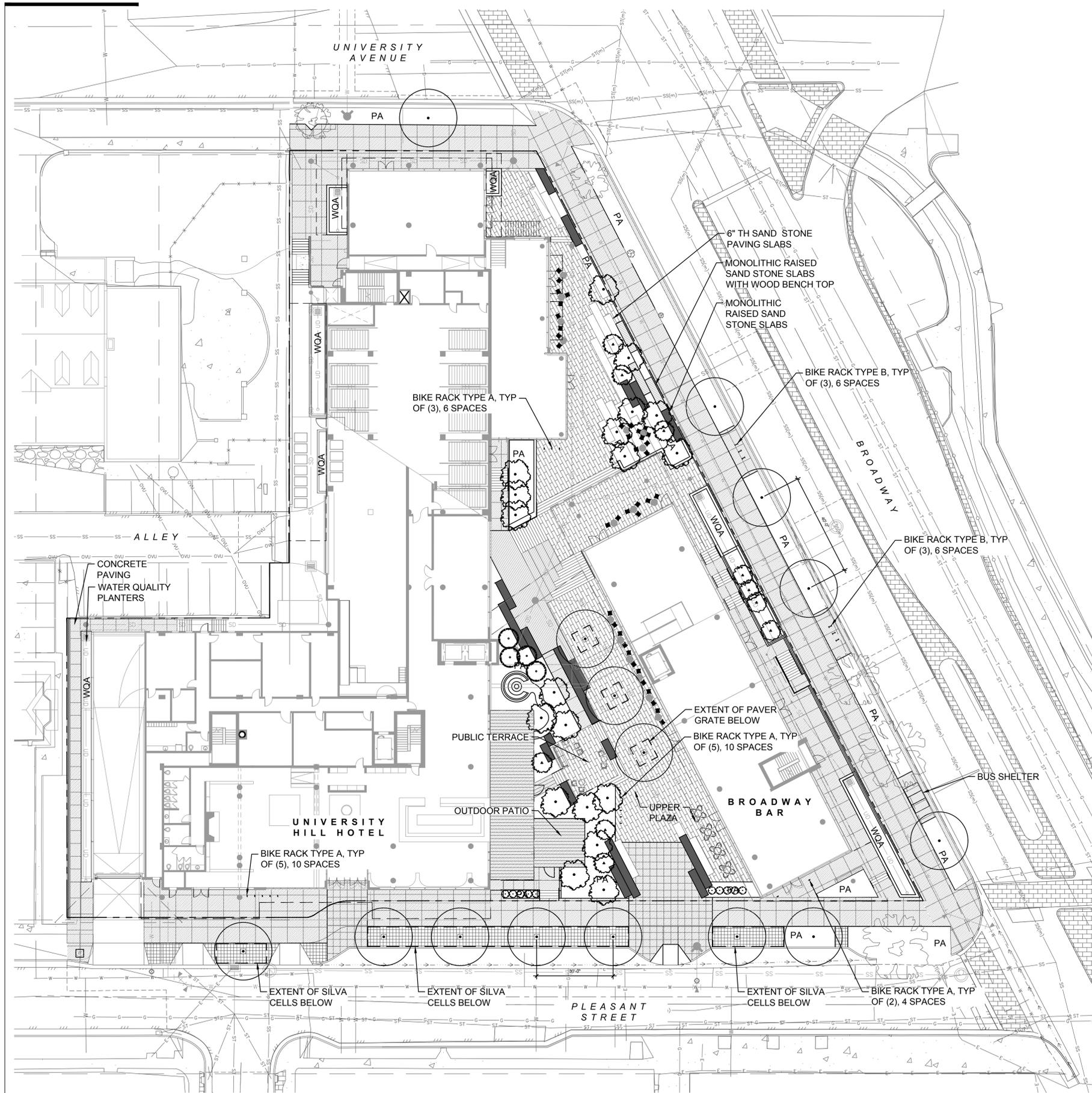
LANDSCAPE
PLAN

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LEGEND

- PROPERTY LINE / ZONE LOT BOUNDARY
- HANDRAIL
- GUARDRAIL
- STAIRS
- WALL
- ▨ CONCRETE PAVING
- ▩ PERMEABLE PAVING
- ▧ CONCRETE UNIT PAVERS
- ▤ WOOD DECK
- MONOLITHIC SAND STONE BLOCKS
- 6" TH SAND STONE PAVING BLOCKS
- PAVER GRATE BELOW
- SILVA CELLS BELOW
- ⋯ BICYCLE RACK - TYPE A
- ⋯ BICYCLE RACK - TYPE B
- ✱ MOVEABLE TABLE & CHAIRS
- PA PLANTING AREA
- WQA WATER QUALITY AREA
- PROPOSED TREES
- EXISTING TREES



LANDSCAPE PLAN





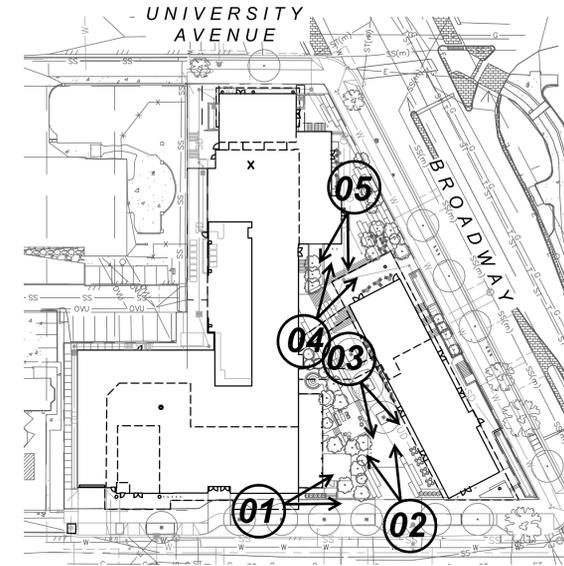
01 PLEASANT STREET PATIO ENTRANCE



02 PLEASANT STREET PLAZA VIEW



03 PLAZA VIEW LOOKING BACK TOWARD PLEASANT



KEY PLAN
NTS



04 AMPHITHEATER VIEW FROM TOP



05 AMPHITHEATER VIEW FROM BELOW

NICHOLS PARTNERSHIP
 BMC INVESTMENTS
 BUILD. MANAGE. CREATE.
SA+R
 SHEARS ADKINS ROCKMORE
 WENK
 ASSOCIATES 1130 31ST ST STE 101
 PLANNERS & DENVER, CO 80205
 LANDSCAPE ARCHITECTS FAX: 628.0004
 ARCHITECTS 303.628.0003

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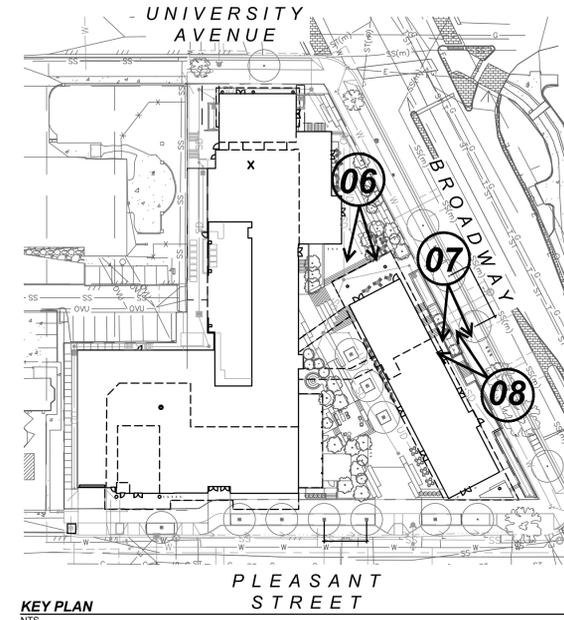
06 LOWER PLAZA VIEW



07 BROADWAY SIDEWALK VIEW



08 BROADWAY STAIRS TO RETAIL



NICHOLS PARTNERSHIP

BMC INVESTMENTS
BUILD. MANAGE. CREATE.

SA+R
SHEARS ADKINS ROCKMORE
w e n k

ASSOCIATES 1130 31ST ST STE 101
PLANNERS & DENVER, CO 80205
LANDSCAPE FAX. 628.0004
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RENDERINGS

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LANDSCAPE DETAILS

L3.0

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01 ROW TREE PLANTING
 NTS

CITY OF BOULDER, COLORADO
 TREE TREES AND SHRUBS
 PLANTING DETAIL

ISSUED: JULY 2, 1998
 REVISIONS: OCT. 17, 2000
 DRAWING NO. 3.02

02 TREE PROTECTION
 NTS

CITY OF BOULDER, COLORADO
 PROTECTED ROOT ZONE AND CANOPY DRIPLINE

ISSUED: JULY 2, 1998
 REVISIONS: OCT. 17, 2000
 DRAWING NO. 3.12

03 ROW BICYCLE RACK - TYPE B
 NTS

CITY OF BOULDER, COLORADO
 "INVERTED U"
 BICYCLE RACK

ISSUED: JULY 2, 1998
 REVISIONS: OCT. 17, 2000
 DRAWING NO. 2.52

04 ROW BICYCLE PARKING
 NTS

CITY OF BOULDER, COLORADO
 BICYCLE PARKING

ISSUED: JULY 2, 1998
 REVISIONS: OCT. 17, 2000
 DRAWING NO. 2.53

05 ROW TREE GRATE FOR SIDEWALK PLANTING - ALT
 NTS

CITY OF BOULDER, COLORADO
 TREE GRATE FOR SIDEWALK PLANTING

ISSUED: JULY 2, 1998
 REVISIONS: OCT. 17, 2000
 DRAWING NO. 3.03

06 BIKE RACKS - TYPE A
 1/2=1'-0"

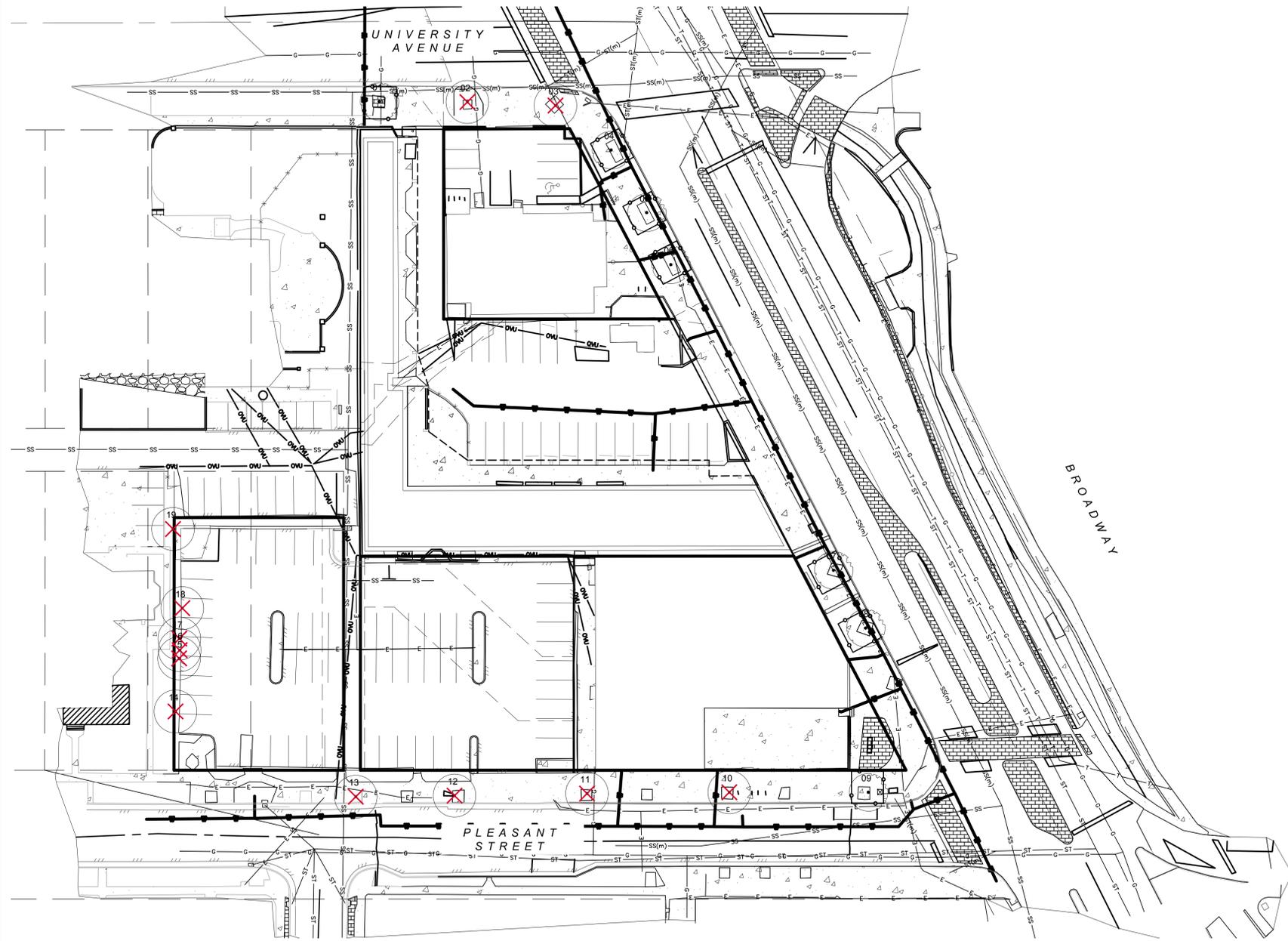
PRODUCT NOTES:
 - ALL ALUMINUM FRAME CONSTRUCTION
 - POWDER COATED FINISH: TBD
 - ISURFACE MOUNT BASE
 - PRE-DRILLED HOLES PROVIDED
 - TWO-BIKE CAPACITY
 - NOT RATED AS VEHICULAR BOLLARD
 - 1/2" FLAT BAR

site pieces



MFR: SITE PIECES
 STYLE: MONOLINE CORE
 FINISH: POWDERCOAT
 COLOR: TBD

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01 TREE REMOVAL & PROTECTION PLAN
1"=20'-0"

EXISTING TREE INVENTORY LIST						
	NUMBER	SPECIES	DBH	CONDITION	MUNICIPAL ID	NOTES
PUBLIC TREES	1	LOCUST	11	POOR	53747	PLANT BUG, NECTRIA CANKER
	2	LOCUST	12	POOR	53748	BRANCH DIEBACK
	3	LOCUST	11	POOR	53749	BRANCH DIEBACK, ROOT FLARE RESTRICTION
	4	LOCUST	15	POOR	53750	BRANCH DIEBACK
	5	LOCUST	3	POOR	53751	STRUCTURAL FAILURE
	6	LOCUST	3	GOOD	53752	
	7	LOCUST	16	POOR	53753	BRANCH DIEBACK, ROOT FLARE RESTRICTION, NECTRIA CANKER
	8	OAK	25	FAIR	53754	ROOT FLARE RESTRICTION, RECENT NEARBY CONSTRUCTION (WATER METER)
	9	OAK	22	POOR	53756	BRANCH DIEBACK, ROOT FLARE RESTRICTION, RECENT NEARBY CONSTRUCTION (CURB REPLACEMENT)
	10	LOCUST	10	POOR	53759	BRANCH DIEBACK, PLANT BUG, ROOT FLARE RESTRICTION
	11	ASH	14	POOR	53761	ROOT FLARE RESTRICTION
	12	ASH	12	POOR	53762	MARKED FOR REMOVAL
	13	ASH	12	POOR	53725	ROOT FLARE RESTRICTION, RECENT NEARBY CONSTRUCTION (SIDEWALK REPLACEMENT)
PRIVATE TREES	14	SIBERIAN ELM	18	FAIR	53747	ELM LEAF BEETLE
	15	AILANTHUS	3	POOR	53747	STRUCTURAL DEFICIENCY
	16	AILANTHUS	8	GOOD	53747	
	17	AILANTHUS	9	GOOD	53747	
	18	LOCUST	16	POOR	53747	STRUCTURAL DEFICIENCY (INCLUDED BARK)
	19	SIBERIAN ELM	21	POOR	53747	STRUCTURAL DEFICIENCY (INCLUDED BARK)



- CONDITION DESCRIPTIONS**
- EXCELLENT**
- SPECIMEN TREE, HEALTHY WITH GOOD VIGOR
 - NO APPARENT SIGNS OF DISEASE OR MECHANICAL INJURY
 - NO CORRECTIVE WORK REQUIRED
 - EXCEPTIONAL FORM REPRESENTATIVE OF THE SPECIES
- GOOD**
- AVERAGE CONDITION AND VIGOR FOR THE AREA
 - NO APPARENT SIGNS OF DISEASE OR MECHANICAL INJURY
 - LITTLE CORRECTIVE WORK NEEDED
 - TYPICAL FORM REPRESENTATIVE OF THE SPECIES OR NEARLY SO

- FAIR**
- BELOW AVERAGE CONDITION AND VIGOR FOR THE AREA
 - IN NEED OF CORRECTIVE PRUNING
 - MAY LACK CHARACTERISTIC FORM FOR SPECIES
 - MAY SHOW EVIDENCE OF DISEASE OR INJURY
 - TREE MAY BE SALVAGEABLE WITH PROPER CARE
- POOR**
- GENERAL STATE OF DECLINE OR DEAD
 - MAY SHOW SEVERE SIGNS OF DISEASE OR INJURY
 - MAY BE SEVERELY MISSHAPEN
 - UNLIKELY TO EVER BE A DESIRABLE TREE
 - MAY BE HAZARDOUS

TREE REMOVAL & PROTECTION LEGEND

- EXISTING TREE TO BE REMOVED BY LICENSED TREE SERVICE
- EXISTING TREE TO REMAIN
- TREE PROTECTION

NICHOLS PARTNERSHIP

BMC INVESTMENTS
BUILD. MANAGE. CREATE.

SA+R
SHEARS ADKINS ROCKMORE
WENK

ASSOCIATES 1130 31ST ST STE 101
PLANNERS & DENVER, CO 80205
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ARCHITECTS 303.628.0003

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TREE INVENTORY, REMOVAL, AND PROTECTION

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TREE REMOVAL & PROTECTION NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL DEMOLITION WITH OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
2. CONTRACTOR SHALL CONTACT ALL UTILITY LOCATOR SERVICES AND VERIFY ALL SERVICE LINES AND EQUIPMENT LOCATIONS WITHIN THE LIMITS OF WORK PRIOR TO COMMENCING DEMOLITION OPERATIONS. CALL UTILITY NOTIFICATION CENTER OF COLORADO TO LOCATE SITE UTILITIES AT 1-800-922-1987 OR 303-534-6700 3 DAYS PRIOR TO COMMENCING THE WORK.
3. CONTRACTOR SHALL BE AWARE THAT UNDERGROUND IMPROVEMENTS MAY EXIST THAT ARE NOT SHOWN IN THE CONSTRUCTION PLANS INCLUDING, BUT NOT LIMITED TO, LIGHTING CONDUITS & IRRIGATION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE IF THESE UNKNOWN IMPROVEMENTS ARE FOUND OR DAMAGED.
4. CONTRACTOR SHALL PUT IN PLACE ALL TREE PROTECTION FENCING, BARRICADES, SIGNAGE, AND EROSION CONTROL MEASURES AS DESCRIBED IN THE SPECIFICATIONS PRIOR TO COMMENCING DEMOLITION OPERATIONS.
5. CONTRACTOR SHALL THOROUGHLY REMOVE AND DISPOSE OF ALL PLANT MATERIALS EXISTING WITHIN AREAS SHOWN FOR DEMOLITION.
6. CONTRACTOR SHALL COORDINATE SITE DEMOLITION OPERATIONS WITH ALL OTHER TRADES PERFORMING WORK ON THE PROJECT.
7. CONTRACTOR SHALL REPLACE OR REPAIR TO ORIGINAL CONDITION ALL BUILDINGS, UTILITIES, AND SITE IMPROVEMENTS NOT DESIGNATED FOR REMOVAL THAT ARE DAMAGED AS A RESULT OF CONSTRUCTION OPERATIONS AT NO ADDITIONAL COST TO OWNER.
8. CONTRACTOR SHALL REPAIR ELECTRICAL SYSTEMS, CONDUIT, CONNECTIONS IF DISRUPTED BY CONSTRUCTION OR REMOVALS AT NO ADDITIONAL COST TO OWNER.
9. FIELD VERIFY LOCATION OF TREE PROTECTION FENCE WITH OWNER'S REP. PRIOR TO CONSTRUCTION.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING AND MAINTENANCE FOR ALL TREES WITHIN PROJECT LIMITS.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING TREES, BUILDINGS, AND SITE IMPROVEMENTS CAUSED BY CONSTRUCTION.
12. ALL WORK WILL BE SUBJECT TO NOISE ORDINANCE REGULATIONS.
13. REMOVAL OF TREES MUST BE PERFORMED BY A BOULDER LICENSED TREE SERVICE. TREE REMOVAL PERMIT IS REQUIRED FROM CITY FORESTER PRIOR TO REMOVAL OF TREES WITHIN THIS PROJECT.
14. REFER TO 2/11.16 FOR TREE PROTECTION DETAIL.
15. ALL TREE PROTECTION STANDARDS OF CH 3 AND 10 OF THE DESIGN AND CONSTRUCTION STANDARDS SHALL BE MET WITH PARTICULAR ATTENTION GIVEN TO GRADING IMPACTS, LIMITATIONS OF STOCKPILING, SOIL COMPACTION PREVENTION AND VEHICULAR ROUTES. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY SITE DISTURBANCE AND REMAIN IN PLACE FOR THE DURATION OF THE PROJECT. ONLY HAND DIGGING MAY OCCUR WITHIN THE DRIPLINE OF ANY TREE TO BE PRESERVED. PROVIDE SUFFICIENT IRRIGATION THROUGHOUT CONSTRUCTION TO MAINTAIN THE LONG TERM HEALTH OF THE TREES.

ASH TREE QUARANTINE

1. BOULDER COUNTY IS CURRENTLY UNDER AN ASH TREE QUARANTINE FOLLOWING THE DISCOVERY OF THE EMERALD ASH BORER, A DESTRUCTIVE PEST THAT THREATENS THE TREES.
2. THE QUARANTINE PROHIBITS MOVING UNTREATED ASH TREES OR THEIR PARTS OUT OF THE COUNTY AND SURROUNDING AREAS.
3. THE EMERALD ASH BORER IS AN INVASIVE SPECIES RESPONSIBLE FOR KILLING MORE THAN 50 MILLION ASH TREES ACROSS 21 U.S. STATES SINCE 2002, ACCORDING TO OFFICIALS.
4. THE QUARANTINED AREA INCLUDES ALL OF BOULDER COUNTY AND MORE.
5. ITEMS THAT FALL UNDER THE QUARANTINE INCLUDE LOGS, GREEN LUMBER, NURSERY STOCK, WOOD CHIPS, MULCH, STUMPS, ROOTS, BRANCHES, AND FIREWOOD, ACCORDING TO THE NEWS RELEASE. EXCEPTIONS TO THE QUARANTINE INCLUDE SEEDS, LEAVES, KILN-DRIED, PROCESSED FIREWOOD, AND FINISHED WOOD PRODUCTS WITHOUT BARK, ACCORDING TO THE STATE'S ORDER.
6. ASH TREES MUST BE REMOVED BY A LICENSED TREE ARBORIST.

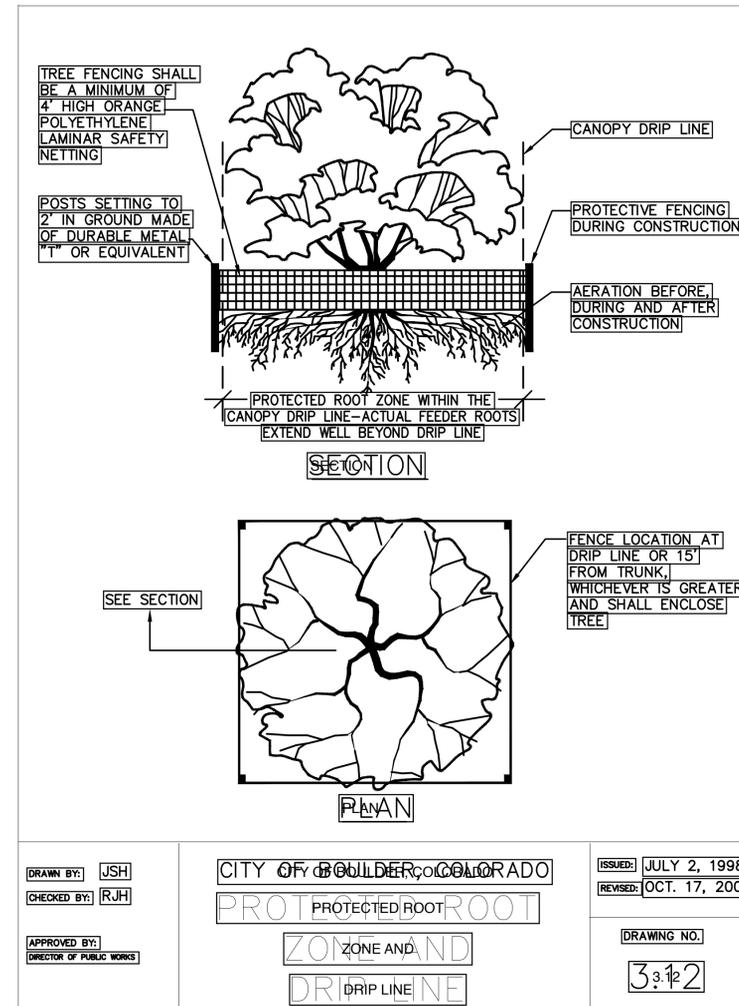
THE FOLLOWING SITES WILL BE ACCEPTING ASH TREE MATERIALS WITHIN THE QUARANTINED AREA:

DENVER REGIONAL LANDFILL,
1441 WELD COUNTY ROAD 6, ERIE

FRONT RANGE LANDFILL,
1830 WELD COUNTY ROAD 5, ERIE

REPUBLIC LANDFILL,
8900 COLO. 93, GOLDEN

FOR MORE INFORMATION ABOUT THE EMERALD ASH BORER AND THE QUARANTINE, VISIT EABcolorado.com



01 TREE PROTECTION
NTS

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TREE
REMOVAL AND
PROTECTION
NOTES

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LANDSCAPE NOTES

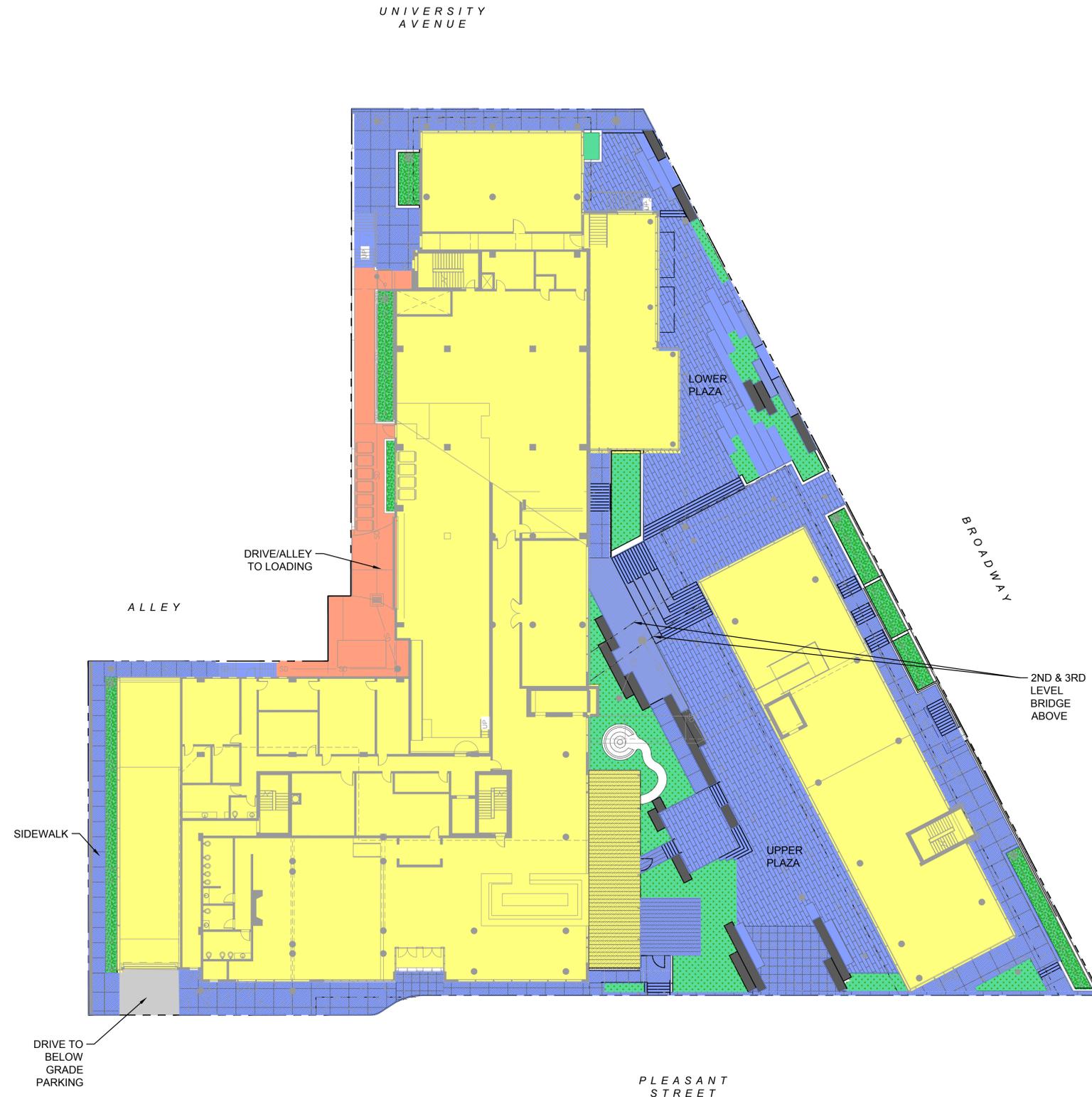
- LANDSCAPING SCHEDULE: (A) NOTHING SHALL BE PLANTED BETWEEN OCTOBER 15 AND MARCH 1 WITHOUT PRIOR WRITTEN APPROVAL OF THE CITY. STOCK, OTHER THAN CONTAINER-GROWN STOCK, SHALL NOT BE PLANTED BETWEEN JUNE 1 AND SEPTEMBER 1 WITHOUT PRIOR WRITTEN APPROVAL OF THE CITY. BARE ROOT STOCK SHALL NOT BE PLANTED AFTER APRIL 30 OR IF PLANTS HAVE BEGUN TO LEAF OUT. (B) NOTHING SHALL BE PLANTED DURING FREEZING OR EXCESSIVELY WINDY, HOT, OR WET WEATHER OR WHEN THE GROUND CONDITIONS CANNOT BE PROPERLY WORKED FOR DIGGING, MIXING, RAKING, OR GRADING. (C) NOTHING SHALL BE PLANTED UNTIL THE ADJACENT SITE IMPROVEMENTS, PAVEMENTS, IRRIGATION INSTALLATION AND FINISH GRADING IS COMPLETED. THE CONTRACTOR SHALL TEST THE IRRIGATION SYSTEM IN THE PRESENCE OF THE DIRECTOR. THE IRRIGATION SYSTEM SHALL BE IN APPROVED, OPERATING CONDITION PRIOR TO ANY PLANTING.
- SITE PREPARATION AND ALL PLANTING FOR ALL NEW PLANTING AREAS OR DISTURBED AREAS SHALL BE COMPLETED, AT A MINIMUM, IN ACCORDANCE WITH THE CITY OF BOULDER DESIGN AND CONSTRUCTION STANDARDS. SITE PREPARATION SHALL INCLUDE TILLING THE SOIL TO A MINIMUM DEPTH OF SIX INCHES BELOW THE FINISHED GRADE, TOGETHER WITH SOIL AMENDMENTS THAT ARE APPROPRIATE TO ENSURE THE HEALTH AND SUSTAINABILITY OF THE LANDSCAPING TO BE PLANTED.
- ALL NEW PLANTING BEDS AND A 3-FOOT DIAMETER RING AT THE BASE OF NEW TREE WITHIN SOD OR SEEDED AREAS SHALL BE MULCHED WITH ORGANIC MULCH AT LEAST 4" DEEP. WEED BARRIER FABRIC SHALL NOT TO BE USED IN ANY NEW PLANTING AREAS.
- GRAVEL, ROCK MULCH, OR CRUSHER FINES SHALL BE REMOVED FROM UNDER STREET TREES AND REPLACED WITH ORGANIC MULCH. NEW ROCK OR GRAVEL MAY NOT BE USED IN NEW PLANTING AREAS AND MAY ONLY BE USED AS A SPECIFIC ORNAMENTAL FEATURE IN LIMITED AREAS (SUCH AS AT THE BOTTOM OF A DRAINAGE SWALE OR DRY RIVER BED) OR AS A PEDESTRIAN PATH OR PATIO.
- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED FOR ALL NEW LANDSCAPING AND NEW OR EXISTING STREET TREES IF ONE DOES NOT CURRENTLY EXISTING. INSTALL A SMART SYSTEM THAT ADJUSTS FOR RAINFALL, SOIL MOISTURE, AND OTHER WEATHER FACTORS FOR ALL NEW IRRIGATION ZONES.
- PROTECTIVE MAINTENANCE: AN APPLICANT FOR CONSTRUCTION APPROVAL SHALL PROVIDE MAINTENANCE AND CARE FOR ALL EXISTING TREES REQUIRED TO BE PROTECTED IN THE PUBLIC RIGHT-OF-WAY ADJACENT TO ANY PROJECT OR CONSTRUCTION SITE DURING CONSTRUCTION ACTIVITIES AND THE PUBLIC IMPROVEMENT WARRANTY PERIOD TO ENSURE THAT EXISTING TREES SURVIVE AND ARE NOT DAMAGED. REFER TO CHAPTER 3 OF THE DESIGN AND CONSTRUCTION STANDARDS FOR ALL TREE PROTECTION REQUIREMENTS.
- ALL NEW TREES SHALL BE LOCATED A MINIMUM OF 10' FROM ANY EXISTING WATER OR SEWER UTILITY LINES OR FROM LIGHT POLES OR OVERHEAD UTILITY POLES. ALL NEW UTILITY LINES SHALL BE LOCATED A MINIMUM OF 10' FROM ANY EXISTING PUBLIC STREET TREE.

OPEN SPACE LEGEND

TYPE	
	SITE PLANTING
	BUILDINGS
	SERVICE AREAS
	DRIVEWAY
	OPEN SPACE

OPEN SPACE		
TYPE OF USE	AREA IN SF	PERCENTAGE
SITE PLANTING	4,207 SF	6.9%
BUILDINGS	36,242 SF	59.4%
SERVICE AREAS	1,837 SF	3.0%
OPEN SPACE	18,764 SF	30.7%
TOTAL	61,050 SF	100.0%

LANDSCAPE REQUIREMENTS TABLE			
	REQUIRED	PROVIDED	PERCENTAGE
TOTAL LOT SIZE	61,050 SF		
TOTAL BUILDING COVERAGE	36,242 SF		
TOTAL LANDSCAPE AREA	4,207 SF		
LENGTH OF STREET FRONTAGE - BROADWAY		380 FT	
LENGTH OF STREET FRONTAGE - PLEASANT	N/A	375 FT	N/A
LENGTH OF STREET FRONTAGE - UNIVERSITY		111 FT	
TOTAL NUMBER OF BIKE PARKING	70	70	
SHORT TERM PARKING	38	38	
LONG TERM PARKING	32	32	
TOTAL NUMBER OF OVERALL LANDSCAPE TREES		46	
TOTAL NUMBER OF OVERALL LANDSCAPE SHRUBS		TBD	N/A
TOTAL AMOUNT OF HIGH WATER USE ZONES	50% MAX	TBD	
TOTAL AMOUNT OF TURF GRASS	25% MAX	0 SF	0%



01 OPEN SPACE DIAGRAM
1"=20'-0"

WRITTEN STATEMENT

SITUATED AT THE EDGE OF THREE DISTRICTS, THE HILL, THE DOWNTOWN, AND THE UNIVERSITY CAMPUS, THE HILL HOTEL PROJECT WILL PLAY AN IMPORTANT ROLE IN REVITALIZING THE HILL NEIGHBORHOOD IN BOULDER BY ADDING NEW PUBLIC SPACES FOR DAILY ACTIVITY, EVENTS LEISURE, AND COMMERCE IN THE NEIGHBORHOOD. THE PUBLIC PLAZA IS POSITIONED IN BETWEEN THE TWO PROPOSED BUILDINGS CONNECTING PLEASANT STREET, ON THE HILL, WITH THE INTERSECTION AT BROADWAY STREET AND UNIVERSITY AVENUE. IT IS A CONTINUOUS PUBLIC PLAZA FORMED BY A SERIES UNIQUE OUTDOOR SPACES, PRIMARILY DUE TO ELEVATION CHANGES, THAT PROVIDE DIFFERENT EXPERIENCES AND MICRO-CLIMATES (SUN AND SHADE).

THE PLAZA IS DESIGNED FOR DAY TO DAY GATHERINGS AND FOR LARGER EVENTS AND IS INTENDED TO BE THE CENTER OF PUBLIC LIFE FOR THE HILL. A CENTRAL GATHERING NEAR PLEASANT STREET, THE UPPER PLAZA, IS FOR MARKETS, ART FESTIVALS, FOOD TRUCKS, AND MUSIC. A KEY FEATURE OF THE UPPER PLAZA IS AN ELEVATED SPACE THAT CAN FUNCTION AS A STAGE FOR MUSIC OR PERFORMANCES, AND DURING THE DAY CAN ALSO BE USED AS A PLACE FOR LEISURELY GATHERINGS. AT THE EDGES OF THE UPPER PLAZA ARE THE HOTEL'S PRIVATE PATIO SPACES AND RETAIL AND CAFÉ SPACE ALONG THE BROADWAY BUILDING WHICH WILL ADD VIBRANCY TO THE PLAZA. AT THE EDGES OF THE PUBLIC AND PRIVATE SPACES ARE GROVES OF TREES, WITH A RICH LANDSCAPE UNDERSTORY, THAT WILL PROVIDE SHADE AND COMFORT IN THE SUMMER MONTHS WHILE ALSO MEDIATING THE PUBLIC AND PRIVATE ZONE. NESTLED INTO THE TREES ARE ADDITIONAL PUBLIC BENCHES AND CAFÉ STYLE TABLES FOR GATHERING.

FROM PLEASANT STREET TO UNIVERSITY AVENUE, THE SITE HAS NEARLY SIXTEEN FEET OF VERTICAL ELEVATION CHANGE. THE PLAN CREATES AN AMPHITHEATER-LIKE SEATING AREA TO RESOLVE THE ELEVATION CHANGE AND CREATE A SPECIAL SPACE FOR EVENTS, PEOPLE WATCHING, OR ENJOYING A CUP OF COFFEE. THE LOWER PLAZA IS LINED WITH COMMERCIAL AND RETAIL USES ON THE GROUND FLOOR THAT WILL SPILL OUT ONTO TO THE PLAZA. THIS SPACE INCLUDES SEATING AND GATHERING AT THE EDGE OF THE PLAZA AND THE BROADWAY STREET SIDEWALK AT THE LOCATION OF THE BROADWAY/ UNIVERSITY BUS STOP.

THERE IS A GENEROUS BUILDING SETBACK ON BOTH PLEASANT AND BROADWAY STREETS RESPECTIVELY WHICH CREATES WIDER AREAS IN THE SIDEWALK ZONE FOR PEDESTRIANS, STREET TREES, AND GROUND FLOOR ACTIVITIES THAT CAN SPILL ONTO THE STREET.

Protect **solar access** for adjacent rooftops

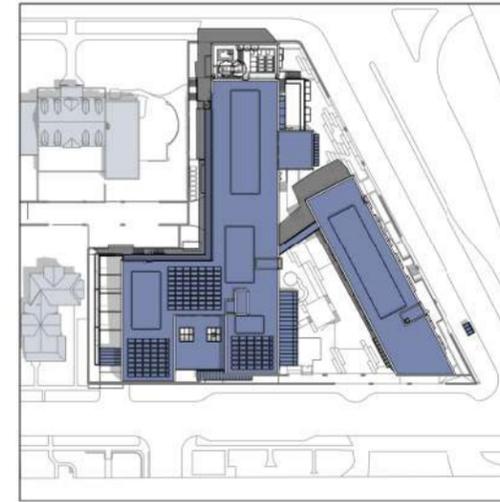
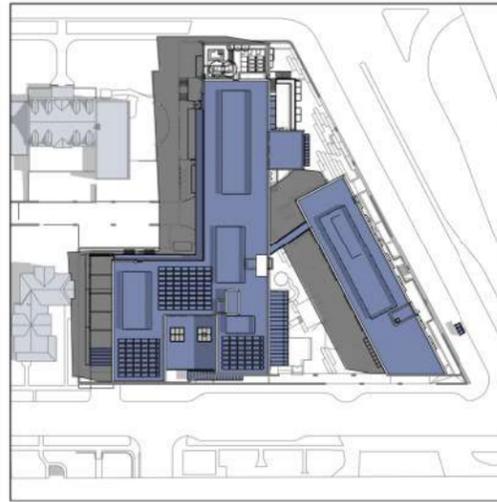
9.9.17 Solar Access Area III

-  Proposed Building / Shadow
-  Adjacent Rooftop / Shadow

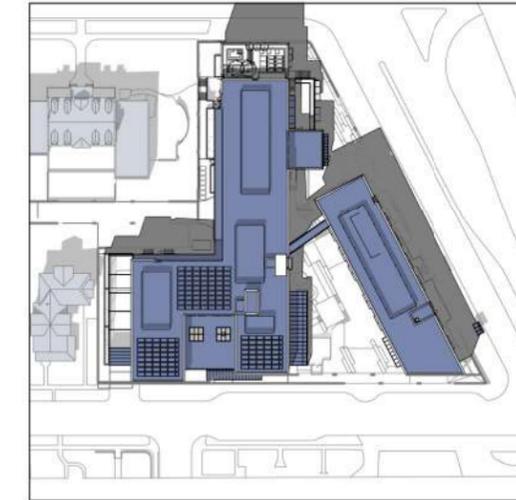
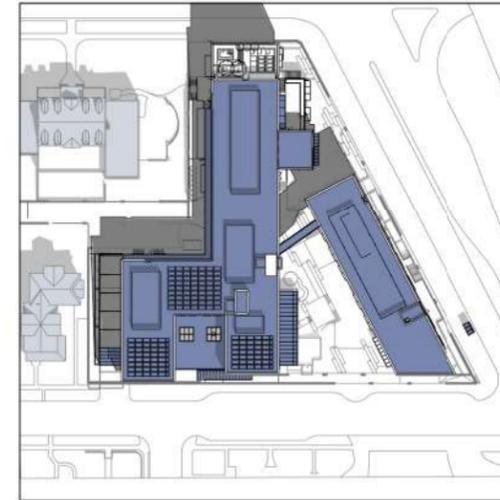
10:00 am

12:00 pm

2:00 pm



Summer Solstice
June 21st



Equinox
March/September 21st

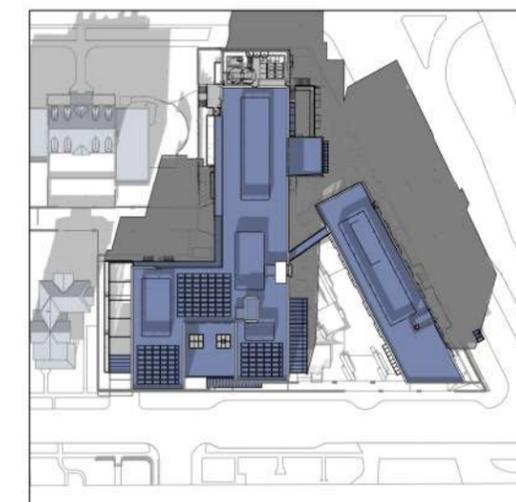
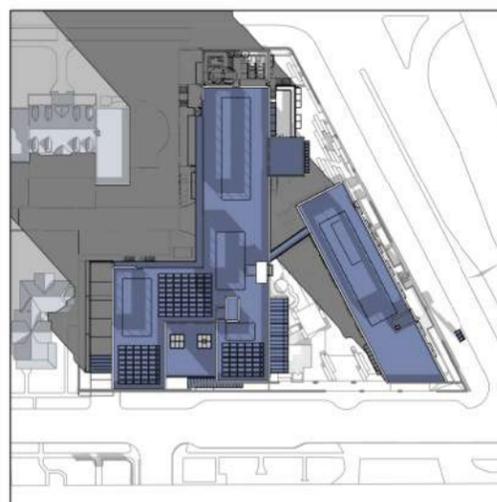
10:00 am
December 21st

Adjacent Neighbor
Kappa Kappa Gamma

south deck
south patio
east patio

Adjacent Neighbor
1137 Pleasant St

Existing Site



Winter Solstice
December 21st