



**CITY OF BOULDER  
LANDMARKS BOARD MEETING**

**DATE:** Wednesday, March 2, 2016

**TIME:** 6:00 p.m.

**PLACE:** 1777 Broadway, Municipal Building, City Council Chambers

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1. Call to Order
2. Approval of minutes from the February 3, 2016 Landmark Board Meeting
3. Public Participation for Items not on the Agenda
4. Discussion of Landmark Alteration, Demolition Applications issued and pending
  - Statistical Report
5. Public Hearings
  - A. Public hearing and consideration of a Landmark Alteration Certificate application to demolish an existing house built in 1957 and, in its place, construct a new 2,266 sq. ft. house at 2110 4<sup>th</sup> Street in the Mapleton Hill Historic District, per section 9-11-18 of the Boulder Revised Code (HIS2015-00254). Owner / Applicant: Katrina H. Anastas Revocable Trust / Angela Feddersen
  - B. Public hearing and consideration of a Landmark Alteration Certificate application to construct a new one-car garage on north side of lot at 2303 Bluff Street, an individual landmark, the Perry White House, per section 9-11-18 of the Boulder Revised Code (HIS2016-00007). Owner / Applicant: Madeline and Peter Vogenthaler / Steve Montgomery
6. Matters from the Landmarks Board, Planning Department, and City Attorney
  - A. Update Memo
  - B. Subcommittee Update
    - 1) Design Guidelines and Code Revisions
    - 2) Outreach and Engagement
    - 3) Potential Resources
7. Debrief Meeting/Calendar Check
8. Adjournment

For more information contact James Hewat at [hewatj@bouldercolorado.gov](mailto:hewatj@bouldercolorado.gov) or (303) 441-3207. You can also access this agenda via the website at: <https://bouldercolorado.gov/historic-preservation> then select "Next Landmarks Board Meeting".

## PUBLIC HEARING PROCEDURES

### **Board members who will be present are:**

Kate Remley, Acting Chair  
Briana Butler  
George Clements  
Fran Sheets  
Deborah Yin

John Gerstle *\*Planning Board representative without a vote*

The Landmarks Board is constituted under the Landmarks Presentation Ordinance (Ordinance No. 4721; Title 9, Chapter 11, Boulder Revised Code, 1981) to designate landmarks and historic districts, and to review and approve applications for Landmark Alteration Certificates on such buildings or in such districts.

Public hearing items will be conducted in the following manner:

1. Board members will explain all ex-parte contacts they may have had regarding the item.\*
2. Those who wish to address the issue (including the applicant, staff members and public) are sworn in.
3. A historic preservation staff person will present a recommendation to the board.
4. Board members will ask any questions to historic preservation staff.
5. The applicant will have a maximum of 10 minutes to make a presentation or comments to the board.
6. The public hearing provides any member of the public three minutes within which to make comments and ask questions of the applicant, staff and board members.
7. After the public hearing is closed, there is discussion by board members, during which the chair of the meeting may permit board questions to and answers from the staff, the applicant, or the public.
8. Board members will vote on the matter; an affirmative vote of at least three members of the board is required for approval. The motion will state: *Findings and Conclusions*.

\* Ex-parte contacts are communications regarding the item under consideration that a board member may have had with someone prior to the meeting.

All City of Boulder board meetings are digitally recorded and are available from the Central Records office at (303) 441-3043. A full audio transcript of the Landmarks Board meeting becomes available on the city of Boulder website approximately ten days after a meeting. Action minutes are also prepared by a staff person and are available approximately one month after a meeting.

**CITY OF BOULDER  
LANDMARKS BOARD  
February 3, 2016  
1777 Broadway, Council Chambers Room  
6:00 p.m.**

The following are the action minutes of the February 3, 2016 City of Boulder Landmarks Board meeting. A digital recording and a permanent set of these minutes (maintained for a period of seven years) are retained in Central Records (telephone: 303-441-3043). You may also listen to the recording on-line at: [www.boulderplandevlop.net](http://www.boulderplandevlop.net).

**BOARD MEMBERS:**

Kate Remley, Chair

George Clements, Vice Chair

Briana Butler

Fran Sheets

Deborah Yin

\*John Gerstle, \*Planning Board representative without a vote

**STAFF MEMBERS:**

Debra Kalish, Senior Assistant City Attorney

James Hewat, Senior Historic Preservation Planner

Marcy Cameron, Historic Preservation Planner

Lesli Ellis, Comprehensive Planning Manager

Holly Opansky, Landmarks Board Secretary

William Barnum, Historic Preservation Intern

**1. CALL TO ORDER**

The roll having been called, Chair K. Remley declared a quorum at 6:01 p.m. and the following business was conducted.

**2. APPROVAL OF MINUTES**

On a motion by **K. Remley**, seconded by **B. Butler**, the Landmarks Board approved (5-0) the minutes as amended of the January 6, 2016 board meeting.

**3. PUBLIC PARTICIPATION FOR ITEMS NOT ON THE AGENDA**

There were no public speakers for items not on the agenda.

**4. DISCUSSION OF LANDMARK ALTERATION AND DEMOLITION  
APPLICATIONS ISSUED AND PENDING**

- Statistical Report

**5. PUBLIC HEARINGS**

**A.** : Public Hearing and consideration of a Landmark Alteration Certificate application for changes to the south face of Mt. St. Gertrude's Academy, 970 Aurora Ave., an individual landmark, including the installation of balconies and modifying windows to door

openings, per Section 9-11-18 of the Boulder Revised Code 1981 (HIS2015-00313).  
Owner / Applicant: Academy Equities, LLC / Jonas DiCaprio  
This application was withdrawn prior to the public hearing.

- B.** Public hearing and consideration of a Landmark Alteration Certificate application to make improvements at the north end of Chautauqua Park, 900 Baseline Rd., including construction of a sidewalk, retaining wall and drainage swale along Baseline Road (improving accessibility at King's Gate) and installation of new lighting from Baseline Road to the Auditorium, per Section 9-11-18 of the Boulder Revised Code 1981 (HIS2015-00355). Owner / Applicant: City of Boulder / City of Boulder, Public Works

**Ex-parte contacts**

**K. Remley, F. Sheets, D. Yin, G. Clements, and B. Butler** made site visits.  
**J. Gerstle**, even though he is not a voting member, he mentioned that on advice of council rescued himself from the conversation because a possible conflict and will wait outside during this discussion.

**Staff Presentation**

**J. Hewat**, presented the case to the Board, with the staff recommendation that the Landmarks Board conditionally approved the request. He mentioned that the Board is asked to comment upon the items not within the historic district and to vote upon the items within the historic district.

**Applicant's Presentation**

**Melanie Sloan**, City of Boulder, Transportation Planner, , spoke in support of Landmark Alteration Certificate application and answered questions from the board and the public.  
**Brian Wiltshire**, City of Boulder, Engineering Project Manager, answered questions about the when the lights would be on and about the retaining walls, the Queen's gate social trail the other application for the Ranger swale, the crusher fine sidewalk, City code for the width of the sidewalk, the anticipation of bike traffic, and separation of the sidewalk from the road.  
**David Roederer**, Clanton & Associates, Inc., 4699 nautilus Court South, Suite 102, , answered questions regarding the King's Gate lighting, the style of acorn fixtures, and the height of the fixtures.

**Public Hearing**

**Abby Daniels**, Historic Boulder, Inc., 1200 Pearl Street, suggested regardless of the board's vote, the application come back to the Landmarks Board meeting and not to the Landmark Design Review Committee so that the process is more widely available to the public.

**For items within the historic district the Board offered these suggested modifications:**

1. Swale  
**B. Butler** – supports matching the field stones

2. Queens Gate social path  
**B. Butler, G. Clements, K. Remley and D. Yin** – support  
**F. Sheets** - does not support social path without more research
  
3. Lighting
  - a. General  
**D.Yin** does not support the acorn style lighting just because it matches the donated 80's light fixtures. She noted that since it is a park and camp and that you should be able to look up and see the stars (sighting the Dark Skies Initiative).  
**K. Remley** mentioned that there's no data stating lighting is needed; lighting degrades the rural quality of Chautauqua; She supports no additional lighting except at the King's gate.
  - b. Acorn lighting  
**D.Yin** – requested that the fixtures have a simple design.
  - c. King's Gate / trolley  
**Butler, G. Clements, and D. Yin** – support the lighting as long as it marks the spot, instead of generally illuminating the area.
  - d. Arbor  
**G. Clements** – supports  
**B. Butler, K. Remley, F. Sheets, and D. Yin** – do not support
  - e. Majority and supported summary  
 Keep the light fixtures at the King's Gate, on Sumac, at the Tennis court and only one in the parking lot, and remove the lights along the path.
  
4. Kinnikinic Road sidewalk  
**B. Butler, G. Clements, D. Yin and F. Sheets** - supports the 5' width. They support the idea of a separation between the road and the sidewalk, as well as a transition from the concrete sidewalk on Baseline to a crusher fine sidewalk on the east side of the entrance, matching the narrower crusher fine sidewalk to the west side entrance sidewalk.  
**K. Remley** - does not support the 5' width, but likes the idea of crusher fine
  
5. Diagonal Parking  
**B. Butler and G. Clements** - supports this for general safety and safety of bikers  
**D. Yin, K. Remley and F. Sheets** - do not support

Since the Board indicated that the majority would not support approval of the application, the applicants chose to withdraw their application, integrate the suggested modifications then re-submit.

- C. Public hearing and consideration of a demolition permit for the house and accessory building located at 717 17th St., non-landmarked buildings over 50 years old, pursuant to Section 9-11-23 of the Boulder Revised Code (HIS2015-00337). Owner / Applicant: Lazzarino Living Trust / Stephen Brown

### Ex-parte contacts

**B. Butler, G. Clements, K. Remley, and D. Yin** made site visits.  
**F. Sheets** did not have ex-parte contacts.

### Staff Presentation

**M. Cameron**, presented the case to the Board, with the staff recommendation that the Landmarks Board place a stay of demolition for 180 days. She highlighted that the 1939 home was an example of Art Modern / International style, a rare find for the area. **M. Cameron** noted alternations made in the 1960s to the windows, garage roof, and entrance. She shared the reports detailing the extent of the deterioration of the structure.

### Applicant's Presentation

**Stephen Brown**, 145 South Ivy St., Denver, expressed his interest in demolition and rebuilding, because it has been altered and the cost to buy the property, remodel and refurbish the exiting building would be economically unfeasible to purchase the property.

### Public Hearing

**Abby Daniels**, Historic Boulder, Inc., 1200 Pearl St., expressed her support for staff's recommendation for a stay of demolition, because the building's unique qualities to the area.

### Motion

On a motion by **G. Clements**, seconded by **K. Remley**, the Landmarks Board issued (5-0) a stay of demolition for the buildings located at 717 17th St., for a period not to exceed 180 days from the day the permit application was accepted by the city manager, adopting the staff memorandum with the findings listed below, in order to further analyze information on the condition of the buildings.

- D.** Public hearing and consideration of revisions to the Downtown Urban Design Guidelines, Section 1, The Downtown Historic District.

### Staff Presentation

**Sam Assefa**, City of Boulder, Senior Urban Designer, introduced the project to the board.  
**Kalani Paho**, City of Boulder, Urban Designer, presented an overview of the revision process to the Downtown Urban Design Guidelines.

### Public Hearing

There were no public speakers for item.

### Motion

On a motion by **B. Butler**, and seconded by **G. Clements**, the Landmarks Board voted (5-0) to adopt the proposed revisions to Section 1, "*The Historic District: of the Downtown Urban Design Guidelines*" pursuant to the rule making procedures set forth in Chapter 1-4, B.R.C 1981 and adopted the staff memorandum dated February 3, 2016, including the following as the findings of the Board:

## **Suggested Revisions:**

### **Section 1 *The Historic District***

1. Kate Remley suggested changing the order of the sub-sections in Section 1 *The Historic District*, to place the general guidelines for the district first, and the minor guidelines (i.e. awnings and building colors) to the last part of the section;
2. Kate Remley suggested changing the wording on page 4, from “Human-scaled space” back to “human-scaled buildings;”
3. Kate Remley suggested changing the wording on page 17, from “differentiated yet compatible” back to “subtly distinguishable;”
4. Edits to the entire document to increase the sidebar notes column contrast between the background and the white font for improved legibility.
5. Page 17 – 1.3.A changes the bullets to an alphanumeric list and merge with the preceding “A”.
6. Page 19 – Figs 7-8 – Fix the figure ordering in the captions.
7. Fig 9 – Add historic district note to the caption.

### **Items to be recorded for consideration in a future revision to Section 1 *The Historic District* :**

1. Reorganize Section 1: The Historic District subsection order. Move 1.1 general building requirements for all areas of the historic district to end of the section and move 1.2, 1.3 and 1.4 forward in the order. The working group reorganized to move common building elements in front; however, the first few subsections are now the less-important building features (building colors, awnings, mechanical equipment). 1.1 is important, but not the heart of the guidelines (1.2 – 1.4 are the heart). LB consensus to reorganize the subsections.
2. Page 17 – Landmarks Board discussed the revising language regarding "differentiated but compatible" vs. "subtly distinguishable". K. Remley expressed concern that this was a significant. Majority of the board did not want to change the guidelines back to “subtly distinguishable”. D. Yin noted “differentiated, yet compatible” fits Secretary of the Interior Standards.
3. Page 17 – Fig. 5 – Figure shows a rather large addition that does not seem subordinate. Comments from the Landmarks Board include the size of the addition, confusion in the differentiation of the new versus original buildings. Landmarks boards expressed a consensus to revise this image or provide a different image. D. Yin suggested possibly showing two images.
4. Page 21 - Fig. 9 - K. Remley commented that in her opinion the figure does not follow any of the guidelines for historic building elements. D. Yin commented that she considers the figure to comply with the guidelines for new construction, and the list of historic building elements is not a checklist for new construction.
5. K. Remley inquired as to why the examples of the Neo-traditional building examples she submitted to the working group were not incorporated. K. Remley requested that it would be helpful to show range of acceptable styles.

6. Pages 19-23 – Figures – D. Yin noted the images are too big and have too much prominence. Consider ~~the~~ resizing the images to four images per page. K. Remley noted this may address concerns regarding Figure 9.
7. The Board agreed that it, if appropriate the Board could make some or all of the changes above to Section 1 of the *Guidelines* through the Rulemaking process after the entire document has been reviewed and adopted by the City Council.
1. Page 4 – K. Remley prefers “human scale buildings” to “human scale space”. The Board agreed that this was not an item it could change as it is not in Section 1 of the *Guidelines* and not subject to its change through the rulemaking process<sup>i</sup>.

Per 9-11-24, B.R.C., *Landmarks Board and City Manager Authorized to Adopt Rules.*, the landmarks board and the city manager are authorized to adopt rules and regulations under chapter 1-4, "Rulemaking," B.R.C. 1981, that the landmarks board or the city manager determine are reasonably necessary to implement the requirements of this chapter. Ordinance No. 7225 (2002)

**6. MATTERS FROM THE LANDMARKS BOARD, PLANNING DEPARTMENT AND CITY ATTORNEY**

- A. Update Memo
- B. Subcommittee Update
  - 1) Design Guidelines and Code Revisions
  - 2) Outreach and Engagement
  - 3) Potential Resources

**DEBRIEF MEETING/CALENDAR CHECK**

**ADJOURNMENT**

The meeting adjourned at 7:30 p.m.

Approved on \_\_\_\_\_, 2016

Respectfully submitted,

\_\_\_\_\_, Chairperson



**CITY OF BOULDER**  
**Planning and Development Services**

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 phone 303-441-1880 • fax 303-441-4241 • web boulderplandevlop.net

**Historic Preservation Reviews**

Between January 26, 2016 and February 19, 2016

This report shows all historic preservation cases on which the application was approved, denied or withdrawn within the stated date range. This is based on the last action and the date shown on the main screen of the case.

**Landmark Alteration Certificate Reviews**

**Case Count: 7**

<b>HIS2016-00001</b>	<b>2303 BLUFF ST</b>	<b>Individual Landmark</b>
Modifications to west and north elevations of non-historic addition including relocation of curb-cut to north as detailed on lac drawings dated 01.15.2016.		
<u>Sequence #:</u>	1	<u>Decision:</u> Application Approved
<u>Case Manager:</u>	James Hewat	<u>Date:</u> 02/12/2016
		<u>By:</u> LDRC
<b>HIS2016-00014</b>	<b>5631 BASELINE RD</b>	<b>Individual Landmark</b>
Rehabilitation of barn as detailed on lac application to rehabilitatwe all windows and doors as specified on lac notes dated 01.27.2016.		
<u>Sequence #:</u>	8	<u>Decision:</u> Application Approved
<u>Case Manager:</u>	James Hewat	<u>Date:</u> 02/12/2016
		<u>By:</u> LDRC
<b>HIS2016-00015</b>	<b>2453 7TH ST</b>	<b>Mapleton Hill</b>
Construction of rear addition to house as detailed on drawings dated 01.20.2016 - Ldrc supports setback and solar shadow varainces.		
<u>Sequence #:</u>	9	<u>Decision:</u> Application Approved
<u>Case Manager:</u>	James Hewat	<u>Date:</u> 02/12/2016
		<u>By:</u> LDRC
<b>HIS2016-00019</b>	<b>1136 PEARL ST</b>	<b>Downtown</b>
Installation of outdoor patio seating as detailed on landmark alteration certificate application dated January 22nd, 2016.		
<u>Sequence #:</u>	12	<u>Decision:</u> Application Approved
<u>Case Manager:</u>	James Hewat	<u>Date:</u> 02/12/2016
		<u>By:</u> Staff
<b>HIS2016-00024</b>	<b>1806 17TH ST</b>	<b>Chamberlain</b>
Paving as shown on drawings dated 01.28.2016 - site plan C. Bricks to be dry-set in herringbone pattern.		
<u>Sequence #:</u>	15	<u>Decision:</u> Application Approved
<u>Case Manager:</u>	James Hewat	<u>Date:</u> 02/12/2016
		<u>By:</u> LDRC
<b>HIS2016-00029</b>	<b>926 PEARL ST</b>	<b>Downtown</b>
Re-roofing of flat roof (behind parapet) with white TPO as detailed on landmark alteration certificate application dated 02.11.2016.		
<u>Sequence #:</u>	17	<u>Decision:</u> Application Approved
<u>Case Manager:</u>	James Hewat	<u>Date:</u> 02/19/2016
		<u>By:</u> Staff

**Landmark Alteration Certificate Reviews****Case Count: 7****HIS2016-00030      950 PEARL ST****Downtown**

Replacement of patio railing as detailed on landmark alteration certificate drawings dated 02.09.2016.

Sequence #: 18Decision: Application ApprovedCase Manager: James HewatDate: 02/19/2016By: Staff**Non-Designated Post-1940 Demo/Off Site Relocation Reviews****Case Count: 5****HIS2016-00009      1950 RIVERSIDE AV****Not Landmarked**

Full demolition of a house and two accessory buildings constructed in 1963.

Sequence #: 3Decision: Application ApprovedCase Manager: Marcy CameronDate: 01/28/2016By: Staff**HIS2016-00018      2001 EVERGREEN AV****Not Landmarked**

Partial demolition (removal of a street facing wall) of a home built in 1957. Full demolition approved.

Sequence #: 7Decision: Application ApprovedCase Manager: Marcy CameronDate: 02/03/2016By: Staff**HIS2016-00021      2260 MEADOW AV****Not Landmarked**

Full demolition of house constructed in 1966.

Sequence #: 8Decision: Application ApprovedCase Manager: Marcy CameronDate: 02/10/2016By: Staff**HIS2016-00022      980 S 46TH ST****Not Landmarked**

Partial demolition (removal of more than 50% of the roof) of a house constructed in 1962. Full demolition approved.

Sequence #: 9Decision: Application ApprovedCase Manager: Marcy CameronDate: 02/08/2016By: Staff**HIS2016-00025      1900 DARTMOUTH AV****Not Landmarked**

Partial structure demolition to include removal of entire roof, all exterior/interior walls and floor box at the main level, foundation to remain. Scope also includes removal of two sheds on site.

Sequence #: 10Decision: Application ApprovedCase Manager:Date: 02/12/2016By: Staff

## Historic Preservation Reviews Summary

between 1/26/2016 and 2/19/2016

This summary shows all historic preservation cases on which the application was approved, denied or withdrawn within the stated date range. This is based on the last action and the date shown on the main screen of the case.

### Landmark Alteration Certificate

Application Approved 7

### Non-Designated Post-1940 Demo/Off Site Relocation

Application Approved 5

**M E M O R A N D U M**  
**March 2<sup>nd</sup>, 2016**

**TO:** Landmarks Board

**FROM:** Lesli Ellis, Comprehensive Planning Manager  
Deborah Kalish, Senior Assistant City Attorney  
James Hewat, Senior Historic Preservation Planner  
Marcy Cameron, Historic Preservation Planner  
William Barnum, Historic Preservation Intern

**SUBJECT:** Public hearing and consideration of a Landmark Alteration Certificate application to demolish an existing house built in 1957 and, in its place, construct a new 2,266 sq. ft. house at 2110 4<sup>th</sup> Street in the Mapleton Hill Historic District, per section 9-11-18 of the Boulder Revised Code (HIS2015-00254).

**STATISTICS:**

1. Site: 2110 4th St.
2. Zoning: RL-1 (Residential Low-1)
3. Owner: Katrina H. Anastas Revocable Trust
4. Applicant: Angela Fedderson, Elevate Architecture
5. Site Area: 6,718 sq. ft.
6. Existing House: 840 sq. ft. (approx.)
7. Proposed House: 2,266 sq. ft.
8. Existing Garage: 327 sq. ft.

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**STAFF RECOMMENDATION:**

Staff recommends that the Landmarks Board adopt the following motion:

The Landmarks Board approves the demolition of the non-contributing house and the construction of the proposed 2,266 sq. ft. house at 2110 4<sup>th</sup> St. as shown on plans dated 1/26/16, finding that they generally meet the standards for issuance of a Landmark Alteration Certificate in Chapter 9-11-18, B.R.C. 1981, subject to the conditions below and adopts the staff memorandum dated March 2, 2016 in matter 5A (HIS2015-00254) as findings of the board.

This recommendation is based upon staff's opinion that if the applicant complies with the conditions listed below, the proposed demolition and new construction will be generally consistent with the conditions specified in Section 9-11-18, B.R.C. 1981, the *General Design Guidelines*, and the *Mapleton Hill Historic District Design Guidelines*.

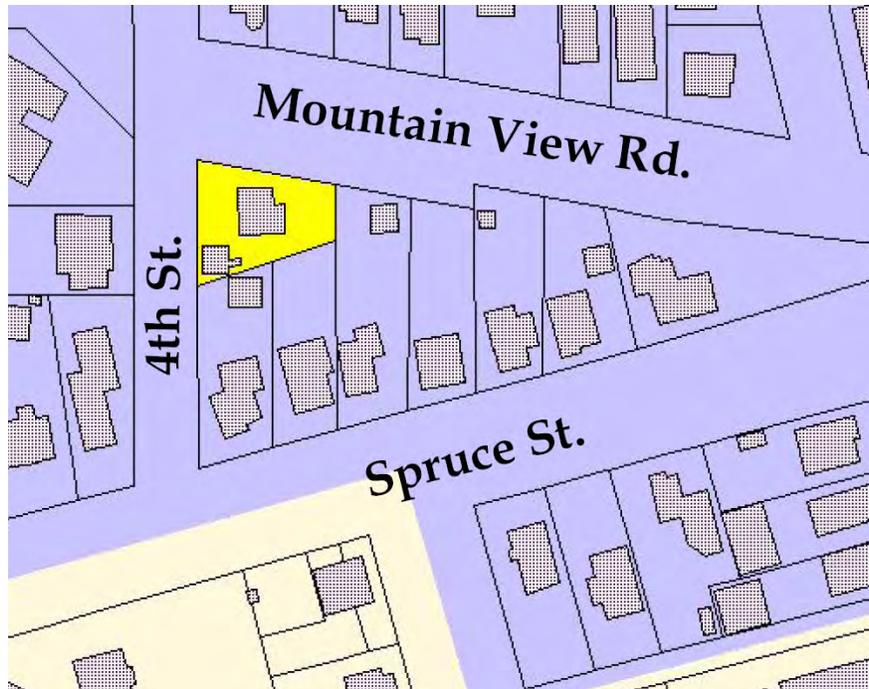
#### **CONDITIONS OF APPROVAL:**

1. The applicant shall be responsible for constructing the house in compliance with the approved plans dated 1/26/16, except as modified by these conditions of approval.
2. Prior to submitting a building permit application and final issuance of the Landmark Alteration Certificate, the applicant shall submit the following, which shall be subject to the final review and approval of the Landmarks design review committee: final architectural plans that include revisions to ensure that the final design of the building is:
  - a. Consistent with the *General Design Guidelines* and the *Mapleton Hill Historic District Design Guidelines*; and
  - b. Consistent with neo-traditional interpretations of the Edwardian Vernacular, including redesign to minimize the visual impact of the clerestory windows at the north and south so that all windows are traditionally proportioned, scaled and profiled, elimination of standing seam roof on the porch, and redesign of the east gable to be more consistent with neo-traditional interpretations of the Edwardian Vernacular in fenestration and materiality.
3. The Landmarks design review committee shall review details for the building, including dormers, wall materials, fenestration patterns on the front, north and south elevations, doors and window details including moldings, and proposed insets, paint colors, and hardscaping on the property to ensure that the approval is consistent with the *General Design Guidelines* and the *Mapleton Hill Historic District Guidelines* and the intent of this approval.

#### **SUMMARY**

- Because this application calls for complete demolition of a building and new free-standing construction of more than 340 sq. ft., review by the full Landmarks Board in a quasi-judicial hearing is required per Section 9-11-14(b), B.R.C. 1981 of the historic preservation ordinance.

- The applicant has met with staff on several occasions to review design concepts and provide feedback on the proposal.
- On January 6<sup>th</sup>, 2016, the Landmarks Board reviewed an application for the demolition of the existing house and the construction of a new 2,484sq. ft. house. Following comments from the board, the applicant withdrew the application and revised the design. . The current application is a resubmittal integrating a number of changes suggested by the Board at the January 6<sup>th</sup> meeting. The board's comments are included as Attachment A.
- The existing house was constructed in 1957, outside the 1865-1946 period of significance for the Mapleton Hill Historic District. While the house features some interesting characteristics of 1950s residential design, staff does not consider the house to meet the definition of a "contributing" or "significant newer" building. Staff considers the house to be a non-contributing building to the historic district.
- In terms of mass, scale, height, proportion and style, staff is of the opinion that the proposed design is generally inconsistent with Section 2, Site Design and Section 6, New Primary Buildings of the *General Design Guidelines*, and Section U of the *Mapleton Hill Design Guidelines* and *Section 9-11-18(a)&(b)(1-4) of the Boulder Revised Code*.
- Staff finds the proposed demolition and new construction to be consistent with the criteria for a Landmark Alteration Certificate as per 9-11-18(a) & (b)(1)-(4), B.R.C. 1981, the *General Design Guidelines*, and the *Mapleton Hill Historic District Design Guidelines*.
- Staff finds the proposed new construction to be consistent with the criteria for a Landmark Alteration Certificate as per 9-11-18(a) & (b)(1)-(4) B.R.C. 1981, the *General Design Guidelines*, and the *Mapleton Hill Historic District Design Guidelines*.
- Staff's recommendation to approve the demolition and new construction is based upon the understanding that the stated conditions will be reviewed and approved by the Landmarks design review committee (Ldrc) prior to the issuance of a Landmark Alteration Certificate.



*Figure 1. Location Map of 2110 4<sup>th</sup> St.*

### **PROPERTY HISTORY**

According to Tax Assessor Records, the house at 2110 4<sup>th</sup> St. was constructed in 1957, and first appears in City Directories in 1961. Dr. Robert Beatty was the first owner of the house, living there from 1961 until his death in 1993. In the 1960s and 1970s, Robert's mother Marie Ellen resided there with him.



*Figure 2. 2110 4<sup>th</sup> St., Tax Assessor photograph, 1944*



Figure 3. Robert Beatty, c. 1963.

Dr. Robert Beatty was born in 1917 in York, Pennsylvania to Raymond T. and Marie Ellen Beatty. Robert received his bachelor's degree in electrical engineering from George Washington University in 1939, a master's degree in electrical communication from the Massachusetts Institute of Technology in 1943, and received his Doctor of Engineering degree from the University of Tokyo in Japan in 1972. In the 1940s, Robert began working for the U.S. Naval Research Laboratory in Washington D.C. where he worked on underwater sound and radio-direction finding. In 1948, he began working for the U.S. National Bureau of Standards (NBS), also in Washington D.C. He moved to Boulder in 1955 where he continued work as the Chief of the Microwave Circuit Standards with the local NBS branch.<sup>1</sup>

Aside from his work at NBS, Robert published numerous articles, co-authored a book on Microwave Network Analysis and contributed to two NBS Monographs. He also gave lectures to NBS employees, such as the one in 1955 titled "A Problem in Attenuation Measurement."<sup>2</sup> In 1970, he was sent by NBS to Japan to be a guest worker at the Electrotechnical Laboratory in Tanashi, Tokyo, where he also delivered lectures at each of the Imperial Universities in Japan.

Robert married Mary S. Johnson in 1947 in Washington, D.C. but divorced a few years before Robert purchased the house at 2110 4<sup>th</sup> St.<sup>3</sup> Robert later married Nobuko Bowden of Boulder.

Robert's mother, Marie Ellen, resided at the house for nearly two decades up to her death in 1979 at the age of 92. Marie Ellen (Ritter) was born in 1887 in Philadelphia to William and Phoebe Ritter. She married Raymond Beatty (Robert's father) in Washington, D.C. Little else is known about Marie Ellen, other than she was a member of the Daughters of the King, and was a member of St. John's Episcopal Church, both in York, Pennsylvania. She was also interred in York.<sup>4</sup> After Robert's death in 1993, the

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<sup>1</sup> "Robert W. Beatty." *Daily Camera* (Boulder, CO), November 27, 1993.

<sup>2</sup> "NBS Lecture On Wednesday At 2:30," *Daily Camera* (Boulder, CO), June 20, 1955.

<sup>3</sup> "District Court Divorces." *Daily Camera* (Boulder, CO) January 14, 1959.

<sup>4</sup> "Marie Beatty." *Daily Camera* (Boulder, CO), March 28, 1979.

house passed to his daughter, Sherry Stroh. The Katrina H. Anastas Revocable Trust purchased the house in 2015.

### PROPERTY DESCRIPTION

Located on the east side of 4<sup>th</sup> St., between Spruce St. and Mountain View Rd., the property at 2110 4<sup>th</sup> St. is part of the Mapleton Terrace addition to the city, which was platted in 1890 by W.H. Thompson, Harold D. Thompson, and Isaac C. Dennett. For many years 4<sup>th</sup> Street formed the western edge of the city with the land beyond in the ownership of John Brierly who operated vegetable gardens, an orchard, and lime kilns in the area.



*Figure 4. Detail from 1911 Haines Panoramic Photo from Mt. Sanitas (approx. property in blue)*



*Figure 5. Detail from 1919 Tangen Panoramic Photo (approx. property in blue).*

The property was included in the expansion of Mapleton Hill Historic District in 2002 which annexed the southwest corner of Mapleton Hill into the historic district. The triangular lot slopes to the south and features mature vegetation, much of which is volunteer in nature. The north side of the property is bounded by the Farmer's ditch along which a driveway runs providing access to the side of 2110 4<sup>th</sup> St. as well as the rear of two properties to the east, fronting onto Spruce St.

Building permit records indicate the simple 840 sq. ft. proto-Ranch house was constructed in 1957, and has only been moderately altered since that time. A 327 sq. ft. stone garage likely constructed prior to 1919 faces onto 4<sup>th</sup> St. at the southwest corner of the property. The garage is considered to be a contributing building to the Mapleton Hill Historic District.



*Figure 6. 2110 4th St., southwest corner (façade), 2015.*

The modest one-story, gabled roof frame building with exposed rafter tails and faux-log siding features a central door, a group of three double-hung windows to the left of the door, and a group of three larger fixed windows to the right of the front door on the facade. The building rests on a concrete foundation part of which is faced with a sandstone veneer. A full basement is accessed by an exterior stair at the south face of

the house. This entrance does not appear on the tax assessor photograph (fig. 3) was added later and likely served as access to a basement apartment.



*Figure 7. 2110 4th St., Northwest corner (façade) and side driveway adjacent to Farmer’s Ditch, 2015.*



*Figure 8. 2110 4th St., north elevation from ditch easement, 2015.*



*Figure 9. 2110 4th St., East (rear) elevation from ditch easement, 2015.*



*Figure 10. 2110 4th St., South (side) elevation, 2015.*



*Figure 11. Property from north side of ditch looking down 4<sup>th</sup> St. with contributing garage at right, 2015*



*Figure 12. 2110 4th St., stone garage, west elevation (façade), 2015.*

Research indicates that the stone garage on the southwest corner of the property originally belonged to the adjacent 327 Spruce St. prior to it being subdivided and a new lot created. A 1919 panoramic photograph of the city taken from Red Rocks shows a building in this location but little detail is discernible. The c.1949 tax assessor card identifies the building as having flat tin roof. Since then the roof height appears to have been raised, creating a lower pitch gable roof with asphalt shingles. A non-historic, multi-panel garage door is located on the west elevation, a single divided light historic casement window on the north elevation, and a pedestrian door is located on the east (rear) face of the building. In spite of the non-historic change in roof and garage door, staff considers the garage to possess a sufficient historic integrity and should be considered a contributing resource to the Mapleton Hill Historic District.



*Figure 13. 2110 4th St., stone garage, north elevation, 2015.*

### **PROPOSED NEW CONSTRUCTION**

The applicant proposes to demolish the existing house and in its place construct a one and one-half story, 2,266 sq. ft. house.

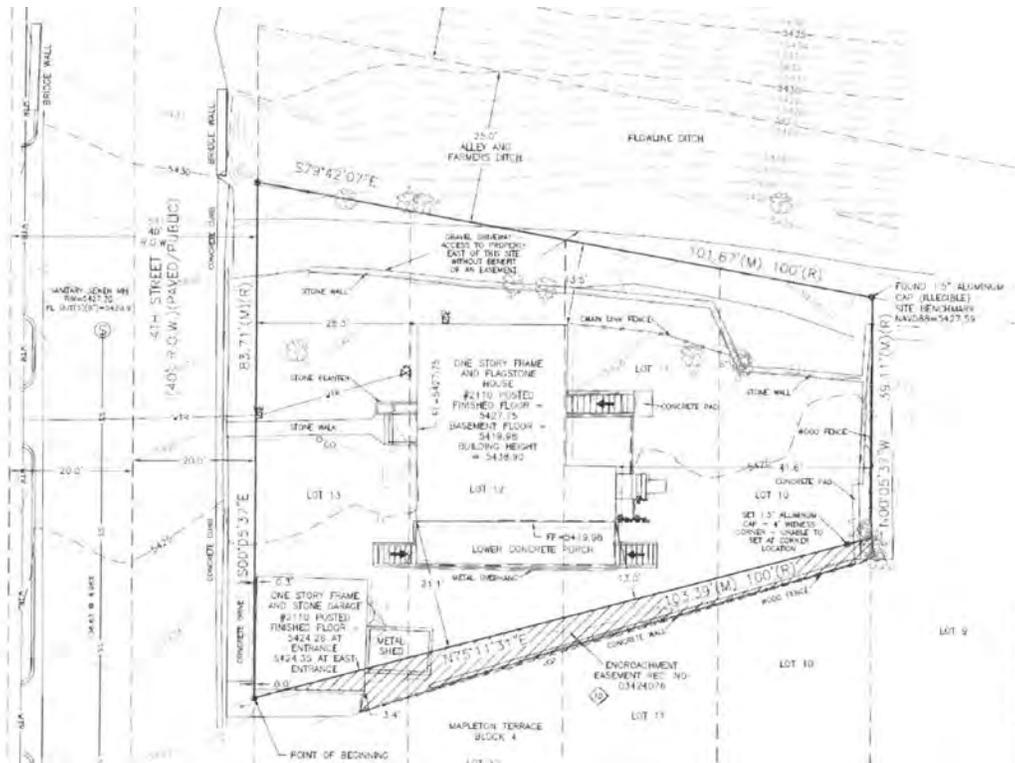


Figure 14. Existing Site Plan

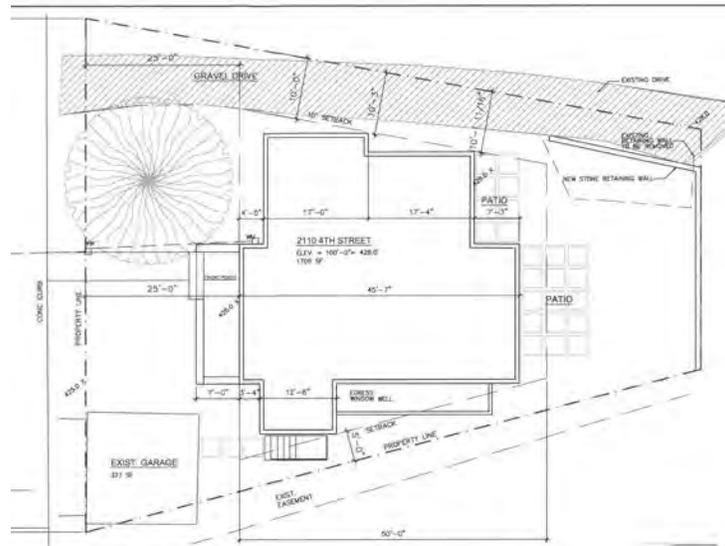


Figure 15. Proposed Site Plan

In plan, the proposed new house is shown to be located at approximately the same location as the existing house. The existing house is located approximately 26' from the west property line and the proposed house is shown to be located at the 25' front yard setback. The existing house measures approximately 35' wide and 26' long, with a 21'

by 8' shed-roof portion located at the rear of the house. The proposed house is shown to measure 45'-7" long and approximately 49' wide with the north wall creating an oblique angle to the north property line which runs adjacent to the Farmer's Ditch. Currently, the driveway provides access to at least one property to the east, although there is no dedicated easement providing that access. The existing contributing garage is shown to be maintained in its current location. The proposed shed at the east edge of the property has been removed in this scheme.

Elevations indicate the house to be one and one-half stories in height of frame construction, with a cross-gable forms and two lower flat roofs at the south and north sides of the house respectively. At its highest point the house is shown to be approximately 29' above grade (a reduction of approximately 1' ft. in height from the January 6<sup>th</sup> proposal), with the grade declining approximately 3' from the north to south sides of the proposed building.

Drawings show the façade of the house to feature a front-gable (clad in stone) with 22' x 7' porch, a frame north projecting side portion set back 4' from the front gable and a one story flat roof mud-room construction at the south side with the same set back from the projecting gable. The tallest east-west gable form is shown to be clad with "ledgestone" siding, while the side portions of the building are shown to be clad with clapboard. This materiality with stone on the main portion of the house with frame wings is a revision from the January 6<sup>th</sup> proposal.

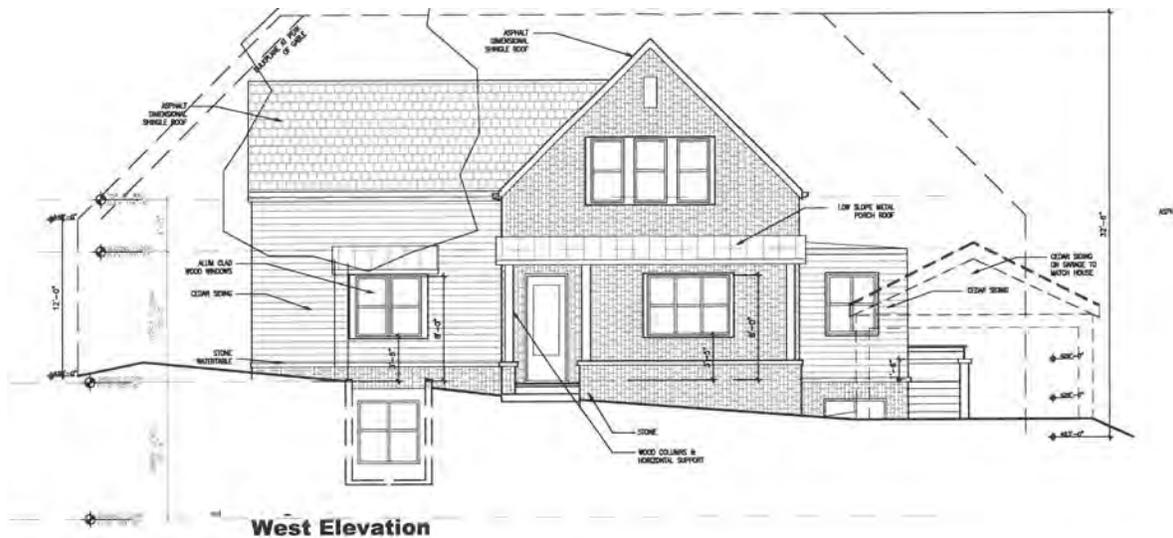


Figure 16. Proposed west elevation (façade)

The first floor of the façade (west elevation), is shown to be fenestrated with ¾ light door on the porch and a set of one-over-one double hung sash and pairs of similar windows on the west face of the north and south portions of the house. A set of three one-over-one double hung sash is shown on the west upper-gable. A light-well is indicated at the north end of the west elevation, however, this feature does not appear on site or floor plans. Likewise, a basement window on the south ell on the west face is shown to rise several feet above grade, but a window well in this location is not shown in plan.



Figure 17. Proposed south (side) elevation

The south elevation measures 44' in length, and features feature a 5' x 10' recessed balcony set back 4' from the west face of the gable. This balcony is accessed by a single light door, flanked by two double hung windows. The upper level of the south elevation is also shown to be fenestrated by three sets of pairs of rectangular casement windows while the first floor features a door into the mud room accessed by stairs to a stoop. A 24' x 4' light-well is shown at the south face of the house behind the mud room ell. Three sets of slider windows at the basement level are shown to rise approximately 3' above ground level at the south face.



Figure 18. Proposed north (side) elevation

The north elevation of the house shows five upper-level casement windows, a rear sliding door and a one-over-one double hung window at the west end of the wood sided portion of the house. The projecting side gable is shown to feature one-over-one sash and a rear facing dormer, while the one story flat roof portion features a 17' x 14' roof deck enclosed by steel railing and casement window.



Figure 19. Proposed east (rear) elevation

The east (rear) face of the house shows glazed gable area while a set of four French doors is proposed to provide access to a patio area on the ground level. The upper level rear deck area is shown to be accessed by a set of French doors while fenestration at the ground level of the north portion of the house is shown to consist of a single-light door and double hung window. A four-light casement window and light well are shown at the south end of the east face.

Exterior materials shown include asphalt (gable roofs) and standing seam metal roofing (front porch and west awning), clapboard and “ledgestone” cladding, stained cedar, fascia and metal clad windows and doors.

The site plan indicates construction of rear retaining walls. No information was provided as to whether any changes to the contributing garage are contemplated as part of this project.

### **CRITERIA FOR THE BOARD’S DECISION**

Subsection 9-11-18(b), B.R.C. 1981, sets forth the standards the Landmarks Board must apply when reviewing a request for a Landmark Alteration Certificate.

- (b) Neither the Landmarks Board nor the City Council shall approve a Landmark Alteration Certificate unless it meets the following conditions:
- (1) The proposed work preserves, enhances, or restores and does not damage or destroy the exterior architectural features of the landmark or the subject property within an historic district;
  - (2) The proposed work does not adversely affect the special character or special historic, architectural, or aesthetic interest or value of the landmark and its site or the district;
  - (3) The architectural style, arrangement, texture, color, arrangement of color, and materials used on existing and proposed constructions are compatible with the character of the existing landmark and its site or the historic district;
  - (4) With respect to a proposal to demolish a building in an historic district, the proposed new construction to replace the building meets the requirements of paragraphs (b)(2) and (3) above.
- (c) In determining whether to approve a landmark alteration certificate, the Landmarks Board shall consider the economic feasibility of alternatives, incorporation of energy-efficient design, and enhanced access for the disabled.

### **ANALYSIS**

*1. Does the proposed application preserve, enhance, or restore, and not damage or destroy the exterior architectural features of the landmark or the subject property within a historic district?*

The existing house was constructed in 1957, well outside the 1865-1946 period of significance for the Mapleton Hill Historic District. While an interesting and intact example of representative architecture from the late 1950s, staff considers the house to be non-contributing to the Mapleton Hill Historic District. Staff finds that, provided the listed conditions are met, the demolition of the existing house and construction of the proposed house will not damage or destroy contributing properties in the streetscape and will be generally compatible and consistent with the *General Design Guidelines* and the *Mapleton Hill Historic District Guidelines* (see Design Guidelines Analysis section).

*2. Does the proposed application adversely affect the special character or special historical, architectural, or aesthetic interest or value of the district?*

The staff finds that, provided the listed conditions are met, the proposed application will not adversely affect the special character or special historic, architectural, or aesthetic interest or value of the district because the proposed new house will be

generally compatible with the *General Design Guidelines* and the *Mapleton Hill Historic District Guidelines* in terms of mass, scale, height, design and color (see Design Guidelines Analysis section).

3. *Is the architectural style, arrangement, texture, color, arrangement of color, and materials used on existing and proposed structures compatible with the character of the historic district?*

Staff considers the proposed one and two story design of the proposed house to be reflective of Edwardian Vernacular houses in this part of the Mapleton Historic District, yet that the design is makes clear the house is of its time. As such, the staff finds that, provided the listed conditions are met, the proposed new construction will be generally compatible with the architectural style, arrangement, texture, color, arrangement of color, and materials used on the proposed building and will be generally compatible with the character of the historic district in terms of mass, scale, height, setback, and design (see Design Guidelines Analysis section).

4. *Does the proposal to demolish the building within the Mapleton Hill Historic District and the proposed new construction to replace the proposed demolished building meet the requirements of the Land Use Code (B.R.C. 1981) paragraphs 9-11-18(b)(2) and 9-11-18(b)(3) of this section?*

Staff finds that the application to replace the demolished building meets the requirements of paragraphs 9-11-18(b)(2), 9-11-18(b)(3) and 9-11-18(b)(4) because, provided the listed conditions are met, the construction of a new house will establish compatible features on the streetscape. With the stated conditions, the application is generally compatible and consistent with the *General Design Guidelines* and the *Mapleton Hill Historic District Guidelines* (see Design Guidelines Analysis section).

Once modified as suggested in the Conditions of Approval, the proposal will be consistent in terms of site planning, mass, scale, materials and architectural details and does not detract from the Mapleton Hill Historic District.

## **DESIGN GUIDELINES**

The Historic Preservation Ordinance sets forth the standards the Landmarks Board must apply when reviewing a request for a Landmark Alteration Certificate and the board has adopted the *General Design Guidelines* to help interpret the ordinance. The following is an analysis of the submitted proposal with respect to relevant guidelines. It is important to emphasize that design guidelines are intended to be used as an aid to appropriate design, and not as a checklist of items for compliance.

The following is an analysis of the proposal's compliance with the applicable design

guidelines:

<i>General Design Guidelines</i>			
<b>2.0 Site Design</b>			
<p>Site design includes a variety of character-defining elements of our historic districts and building. Individual structures are located within a framework of streets and public spaces that set the context for the neighborhood. How structures occupy their site, in terms of alignment, orientation, and spacing, creates much of the context of the neighborhood.</p>			
	<i>Guideline</i>	<i>Analysis</i>	<i>Conforms?</i>
.1	<i>Locate buildings within the range of alignments as seen traditionally in the area, maintaining traditional setbacks at the front, side and rear of the property</i>	The property measures 67' in width at the west and 40' at the east, creating a trapezoid where lots in Mapleton Hill are typically 50' wide by 100' rectangles. The building is proposed to have a similar front yard setback as the existing house, and is shown to be several feet wider than the existing house and contained within the front, rear and side yard setback standards. This section of 4 <sup>th</sup> St. in Mapleton Hill does contain a number of historic houses with alignments similar to that proposed. Staff considers location and setbacks of proposed house in keeping with traditional patterns in Mapleton Hill.	Yes
.2	<i>Building proportions should respect traditional patterns in the district</i>	The proposed house references traditional one and one-half story form common to Boulder. Overall, staff considers the proposed cross-gable form, roof pitch and building widths respects patterns found within the district.	Yes

.3	<i>Orient the primary building entrance to the street</i>	Primary entrance is oriented to the street.	<b>Yes</b>
.4	<i>Preserve original location of the main entry and walk.</i>	Existing house considered non-contributing and proposed for demolition. Walkway is proposed in approximately the same location.	<b>Yes</b>
.5	<i>A new porch may encroach into the existing alignment only if it is designed according to the guidelines and if it is appropriate to the architectural style of the house.</i>	Porch is proposed at the entry way – encroachment into the 25' front yard setback is acceptable under Residential-low 1 (RL-1) zoning and consistent with historic pattern in Mapleton Hill. Proportions and shed roof porch design are generally consistent with guidelines and 1½ story form proposed. Review details including posts and materiality at the Ldrc.	<b>Yes</b>
.7	<i>Preserve a backyard area between the house and the garage, maintaining the general proportion of built mass to open space found within the area</i>	Lot configuration is wider and shallower than traditional lot pattern in the district. Proposed design preserves general proportion of built mass to open space.	<b>Yes</b>
2.2.2	<i>Preserve street trees whenever possible</i>	A mature tree along 4 <sup>th</sup> St. is shown to be preserved.	<b>Yes</b>

## 6.0 New Primary Buildings

New construction within a historic district can enhance the existing district character if the proposed design and its siting reflect an understanding of and a compatibility with the distinctive character of the district. While new construction should fit into the historic character of the district or site, it should not replicate historic styles. Instead, new buildings should relate to the fundamental characteristics of the historic district or landmark site while also conveying a contemporary style. New buildings should not

overshadow existing historic structures. Fundamental characteristics to be considered in designing compatible new structures include: site and setting, building size and proportions, materials, and the placement and style of doors and windows.

The primary focus in reviewing new structures will be on aspects that are visible from public streets. The guidelines will be applied most stringently to these publicly visible areas. More flexibility will be allowed for rear elevations and other areas largely screened from public view.

**6.1 Distinction from Historic Structures**

The replication of historic architecture in new construction is inappropriate, as it can create a false historic context and blur the distinction between old and new buildings. While new structures must be compatible with the historic context, they must also be recognizable as new construction.

	<i>Guideline</i>	<i>Analysis</i>	<i>Conforms?</i>
.1	<i>Create compatible contemporary interpretations of historic elements.</i>	Contemporary interpretation of traditional form is generally appropriate. Ldrc should review fenestration to ensure consistency with guidelines and ordinance. Design and visibility of rear gable treatment should be reviewed at Ldrc for same.	Maybe
.2	<i>Interpretations of historic styles may be appropriate if distinguishable as new.</i>	Proposed design is largely neo-traditional referencing Edwardian Vernacular 1½ story house form but will be clearly contemporary. More contemporary features of the design are evidenced at sides and rear of house including casement windows balcony/deck railing details as well as rear gable treatment. These elements should be resolved at Ldrc (see 6.1 above).	

## 6.2 Site and Setting

New structures should be designed and located so that significant site features, including mature trees, are not lost or obscured. The size of the new structures should not overpower the site or dramatically alter its historic character. Buildings within historic districts generally display a consistency in setback, orientation, spacing and distance

	<i>Guideline</i>	<i>Analysis</i>	<i>Conforms?</i>
.1	<i>Conform to Section 2.0 Site Design.</i>	See above for analysis.	Yes
.2	<i>Overall character of site is retained.</i>	Residential character will be retained, with similar setbacks.	Yes
.3	<i>Compatible with surrounding buildings in setback, orientation, spacing, and distance from adjacent buildings.</i>	Trapezoidal lot configuration is anomalous to Mapleton Hill and presents design challenges. None-the-less, the proposed building retains similar setbacks, orientation, spacing and distance from adjacent buildings.	Yes
.4	<i>Proportion of built mass to open space not significantly different from contributing buildings.</i>	Proposed design preserves general proportion of built mass to open space.	Yes

## 6.3 Mass and Scale

In considering the overall compatibility of new construction, its height, form, massing, size and scale will all be reviewed. The overall proportion of the building's front façade is especially important to consider since it will have the most impact on the streetscape. While new construction tends to be larger than historic buildings, reflecting the needs and desires of the modern homeowner, new structures should not be so out-of-scale with the surrounding buildings as to loom over them.

	<i>Guideline</i>	<i>Analysis</i>	<i>Conforms?</i>
.1	<i>Compatible with surrounding buildings in terms of height, size, scale, massing, and proportions.</i>	Proposed scale is generally compatible with surrounding buildings through utilization of traditional 1½ story Edwardian	Yes

		Vernacular building form. While somewhat anomalous, flat roof side and rear portions of house do not detract and are compatible with surrounding historic buildings.	
.2	<i>Mass and scale of new construction should respect neighboring buildings and streetscape.</i>	Massing and scale generally respect neighboring buildings and streetscape as a whole.	Yes
.3	<i>Historic heights and widths as well as their ratios maintained, especially proportions of façade.</i>	General proportions of the façade elements are compatible with, historic forms of like-sized historic houses in the district.	Yes

#### 6.4 Materials

	<i>Guideline</i>	<i>Analysis</i>	<i>Conforms?</i>
.1	<i>Materials should be similar in scale, proportion, texture, finish, and color to those found on nearby historic structures.</i>	Proposed materials include wood clapboard siding, “ledgestone”, stained cedar, asphalt shingle and standing seam metal roofing, metal clads windows and doors. Use of stone for wall cladding relatively rare in Mapleton Hill. Likewise, use of stained wood elements and standing seam roof not common. Consider revision to simplify material palette including use of stone cladding, fascia, porch roofing. Provide detailed information on all materials including proposed path ways, patio and retaining walls. Review	Maybe

		at Ldrc.	
.2	<i>Maintain a human scale by avoiding large, featureless surfaces and by using traditionally sized building components and materials.</i>	Publicly visible elevations appear to meet this guideline.	Yes

### 6.5 Key Building Elements

Roofs, porches, dormers, windows and doors are some of the most important character-defining elements of any building. As such, they require extra attention to assure that they complement the historic architecture. In addition to the guidelines below, refer also to Section 3.0 Alterations for related suggestions.

	<i>Guideline</i>	<i>Analysis</i>	<i>Conforms?</i>
.1	<i>Design the spacing, placement, scale, orientation, proportion, and size of window and door openings in new structures to be compatible with the surrounding buildings that contribute to the historic district, while reflecting the underlying design of the new building.</i>	Casement windows on north and south sides of house uncharacteristic of houses in Mapleton Hill may be visible from a public way. Consider redesign to reduce or remove this element from publicly visible elevations. Other windows and doors, especially those on publicly visible faces, should be reviewed by Ldrc to ensure compatibility.	Maybe
.2	<i>Select windows and doors for new structures that are compatible in material, subdivision, proportion, pattern and detail with the windows and doors of surrounding buildings that contribute to the historic district</i>	See .1 above.	
.3	<i>New structures should use a roof form found in the</i>	Current design makes use of gable forms of locations and proportions	Yes

	<i>district or on the landmark site</i>	that are found on Edwardian Vernacular form houses in Mapleton Hill. While side and rear flat roof portions of house are less common in the Historic District. Shed roof on front porch consistent with this guideline.	
.4	<i>Porches should be compatible in massing and details to historic porches in the district, and should be appropriate to the style of the house.</i>	Porch form and location is generally consistent with historic porches on Edwardian Vernacular houses in Mapleton Hill. Consider open railing on porch. Review design details of porch including roof, posts, railing and steps at Ldrc.	Maybe
.5	<i>Dormers should be secondary to the main roof and should be lower than the roofline. Oversized dormers are inappropriate.</i>	Small rear facing dormer is proposed at rear of house. Review details at Ldrc.	

The following section is an analysis of the proposal relative to Section U. of the *Mapleton Hill Historic District Design Guidelines*. Only those guidelines that further the analysis of the proposed project are included and those that reflect what has been evaluated in the previous section are not repeated.

### *Mapleton Hill Historic District Design Guidelines*

#### **U. New Construction**

While new construction should fit into the character of the Mapleton Hill Historic District, there is no intent to require historic imitation. It is appropriate that new designs incorporate the elements that contribute to the character of the District, such as overall mass, rooflines, windows, porches, front entries, etc. However, innovative ways of incorporating such elements and modern expressions of detailing are strongly encouraged.

New construction in the District should be in the character of the buildings surrounding it. Because streetscapes vary in the District, new buildings facing the

street should respect and be consistent with the existing block pattern. Traditional site layout, porch size and placement, front entry location, roof type, and door and window sizes and patterns should be considered when proposing new in-fill construction.

New buildings on the rear of a lot (including house behind a house developments) should be of a lesser mass and scale than the original structure and more simply detailed. New accessory buildings on the rear of a lot should be consistent with the existing pattern of small structures that are simple and utilitarian in design.

New construction on corner lots requires an especially thoughtful approach. Each corner lot will present a unique design challenge for a highly visible building that does not disrupt the historic context.

	<i>Guideline</i>	<i>Analysis</i>	<i>Conforms?</i>
.1	<i>New construction should incorporate the elements contributing to the historic character of the Mapleton Hill Historic District as identified by the Design Guidelines.</i>	Residential character will be retained with similar setbacks.	Yes
.2	<i>Building elevations visible from streets and alleys need the greatest sensitivity. Front porches are an important visual element and should be incorporated into new construction except in unusual situations.</i>	Proposed scale is generally compatible with surrounding buildings. Front porch appropriate – review details at Ldrc as outlined in 2.6 of the <i>General Design Guidelines</i> above.	Yes
.3	<i>New construction should not imitate historic buildings, but should be an expression of its own time. Contemporary expression of traditional architectural elements is encouraged. Simplicity is an important aspect of creating</i>	Design is generally neo-traditional and references Edwardian Vernacular in form. In addition to materiality and finish, staff considers integration of flat roof elements and inset balcony to be contemporary but compatible design elements that will clearly distinguish this building as of its	Yes

	<i>compatible new construction.</i>	time.	
.4	<i>The mass and scale of new construction should respect neighboring buildings and the streetscape as a whole. Site layout, porch size and placement, entry level and location, roof line, and door and window sizes and patterns should harmonize with the historic context rather than compete with or copy it.</i>	The proposed house references traditional one and one-half story form common to Boulder. Overall, staff considers the proposed cross-gable form, roof pitch and building widths respects patterns found within the district. Details of materiality, fenestration, etc. should be reviewed and approved by the Ldrc to ensure consistency with the historic preservation ordinance.	Yes
.7	<i>New construction should utilize a roof form found in the district.</i>	One and one-half story design with cross-gable form consistent with Edwardian Vernacular houses in the historic district.	Yes
.8	<i>Use building materials that are familiar in their dimensions and that can be repeated. This helps to establish a sense of scale for new buildings. Whenever possible, use familiar building components in traditional sizes. Avoid large featureless surfaces.</i>	Staff considers little historic precedent for the use of stone cladding on the walls of a house of this type. More typically, Edwardian Vernacular houses are brick (lower) and clapboard or shingle (upper). Consider revising design to follow this pattern. Little historic precedent for use of metal roofing or stained wood in Mapleton Hill. Provide detailed information on all materials including proposed path ways, patio and retaining walls for review by the Ldrc.	Maybe

Staff considers that, while the existing house is an interesting example of modest, late 1950s housing on Mapleton Hill, because it was constructed well outside of the 1865-1946 period-of-significance for the Mapleton Hill Historic district, it be considered non-

contributing.

Staff also considers the proposal to construct one and one-half story neo-traditional house in its place is generally appropriate and contextual in this section of the Mapleton Historic District. The applicant has revised the proposal after withdrawing at the January 6<sup>th</sup>, 2016 Landmarks Board meetings. In response to Landmarks Board comments at that meeting, the height of the building has been reduced from 30' to 29', the stone siding shown on the wings has been changed to the main body of the house with wings being revised to be clapboard sided, the number and configuration of casement windows at the north and south elevations have been revised, steel elements on the porch have been removed. More space has been provided at the north line has been provided in the revised plans giving more space to the shared driveway. Finally, the east (rear) elevation has been revised to remove the louvres.

Staff considers that that the design of the casement and narrow double-hung windows at the south and east elevations be further revised to ensure consistency with guidelines. Staff also considers that the material palette should be revised to reflect traditional materials, including painted wood.

## FINDINGS

Provided the conditions outlined in the staff recommendation are met, staff recommends that the Landmarks Board approve the application and adopt the following findings:

1. The demolition of the existing house is appropriate as it is non-contributing and the proposed new construction meets the standards in 9-11-18 of the Boulder Revised Code.
2. The proposed new house and garage will not have an adverse effect on the value of the district, as it will be generally compatible in terms of mass, scale, or orientation with other buildings in the district.
3. In terms of mass, scale, and orientation the proposed new house garage will be generally consistent with Section 9-11-18 B.R.C., Sections 2, 7, 6 and 7 of the *General Design Guidelines*, and Sections D, M, P, Q, & U of the *Mapleton Hill Historic District Guidelines*.

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**ATTACHMENTS:**

- A: Landmarks Board Comments from the January 6<sup>th</sup>, 2016 Meeting
- B: Tax Assessor Card
- C: Photographs
- D: Plans and Elevations

Attachment A: Landmarks Board Comments from the January 6, 2016 Meeting

**AREAS OF CONCERN:**

1. **Window-wall proportion:** Revise design so that the north, and west elevations have a traditional window to wall proportion (avoid large blank walls); consider revisions to reduce amount of blank wall on the façade (west). K. Remley referenced, Section U.8 of the *Mapleton Hill District Design Guidelines*.
2. **Windows:** Ensure that all windows are traditionally proportioned, scaled and profile, and that there are fewer types (shapes) of windows used (including redesign of redesign of the clerestory windows at the north and south). Consider reducing amount of glass at east face.
3. **Use of stone:** Revise application, massing, and type of stone. Consider application of ashlar stone at the foundation and a rustic stone on the main mass of the building with the wing similar to the frame. Brick construction on main body of house may also be appropriate.
4. **Use of metal:** Eliminate metal accents (standing seam roof on the porch and bronze fascia detail).
5. **Height:** Explore ways to reduce the overall height of the house (reduce ceiling heights, plate heights, etc.), especially because a nicer part of this design is that the massing is relatively simple (implied attractive / desirable).
6. **Front porch supports:** Eliminate the use of steel supports and consider open railing as opposed to masonry wall at porch.
7. **Rear porch:** Consider the use of a single door at the deck rather than two new openings.
8. **North deck:** Further integration of the deck into the roof structure of the addition.
9. **Skylights:** Eliminate the use of skylights toward the front of the building (reduce visibility).
10. **Alley:** Minimize the impact of the new house on the historic context of the north driveway (lane).
11. **Additional detail:** Submit drawings of rear accessory building and all proposed hardscaping including impact to existing as well as proposed retaining wall and patio areas.  
**Documentation of existing house:** Prepare archival quality photographs and measured drawings of each elevation of the existing house prior to issuance of a building permit.



CLASS OF BUILDING		HEIGHT	ROOF	LIGHT	DESCRIPTION			
1- Single Residence 2- Duplex 3- Single, Apt. 4-2 4- Flat or Terrace 5- Apartment House 6- Hotel 7- Store Building 8- Auto. House or Court 9- Office Building 10- Hospital or Sanitarium 11- Bank Building 12- Theatre 13- Warehouse 14- Factory 15- Public Garage 16- Private Garage 17- Service Station 18- Post Office or Co. House 19- Postory House 20- Bureau or Shop					Basement	1st	2nd	Attic
CONSTRUCTION Frame <input checked="" type="checkbox"/> Brick _____ Tile _____ Stone _____ Casted Brick _____ Casted Block _____ Concrete, Plaster or Block _____ Concrete, Reinforced _____ Steel Frame _____ Reinforced and W. B. _____ Adobe _____		No. of Stories _____ FOUNDATION Brick _____ Concrete _____ Stone _____ Wood _____ Tile _____ No. Foundation _____ BASEMENT Ceiling Only _____ Quarter _____ Third _____ Half _____ Two-Thirds _____ Three-Quarters _____ Full _____ Cement Floor _____ Finished Walls and Ceiling _____ Plaster _____ Lumber _____	Roofing _____ Wood Shingle _____ Composition Shingle _____ Tar and Gravel _____ Prepared Paper _____ Sheet Iron _____ Copper _____ Concrete Tile _____ Clay Tile _____ Slate _____ Asbestos Shingle _____ Tin _____ Insulated _____ STYLE Gable _____ Hip _____ Flat _____ Gambrel _____ Mansard _____ Lemon _____ PLUMBING Old Style _____ Modern _____ No. Bath Tubs _____ No. Shower Baths _____ No. Toilets _____ No. Lavatories _____ No. Urinals _____ No. Laundry Tubs _____ No. Sinks _____ Garbage Disposal _____ Dishwasher _____	Electricity _____ Gas _____ Oil _____ PRIVATE GARAGE Size _____ Construction _____ Floor _____ Bond _____ Heat _____ SHEEDS AND BARRIS Size _____ Construction _____ Size _____ Local IMPROVEMENTS Street Paving _____ Alley Paving _____ Sidewalks _____ Curbings _____ Water _____ Sewer _____ Laundry Room _____ Electricity _____ Gas _____ Telephone _____ MISCELLANEOUS Give No. _____ Radiolacide _____ Bath _____ Cabinet _____ Book Cases _____ Beam Ceiling _____ Insulation _____ Sky Light _____ Refrigerator or Cooler _____ Day Window _____ Dinner Window _____ Porches _____	Kitchen EQUIPMENT Cabinets _____ Coal _____ Oil _____ Gas _____ Appliances _____ Bathing _____	REPAIRS Living Room _____ Dining Room _____ Kitchen _____ Kitchen _____ Bed Room _____ Bath Room _____ Toilet Room _____ Shower Room _____ Sleeping Porch _____ Sun Room _____ Pan _____ Storage Room _____ Office _____ Halls _____ FINISH Give Numbers Unfinished _____ Plastered, Plank _____ Plastered, Plank _____ Papered _____ Painted or Tiled _____ Softwood Floor _____ Hardwood Floor _____ Softwood Parquet _____ Hardwood Parquet _____ Tile _____ Marble or Onyx _____ Wall Board _____ Sheetrock _____ Calceat _____ Wallpapering _____ Metal Ceiling _____ REMARKS Sun - Single, Dbl - Dbl/Single Ven. - Venetian, F.A.C. - Forced Air Heat, Sol. - Solid		



**Tax Assessor Card, c. 1954.**

**Attachment C: Photographs**



West Elevation (façade), 2015.



View facing southeast, 2015.



East elevation (rear), 2015.



South elevation, 2015.



Garage, north elevation, 2015.



Garage, west elevation, 2015.



View facing southeast, October 2015.



View facing southeast, December 2015.



View into property from north (Mountain View Avenue)



Historic house across from 2110 4<sup>th</sup> Street



Historic house across from 2110 4<sup>th</sup> Street

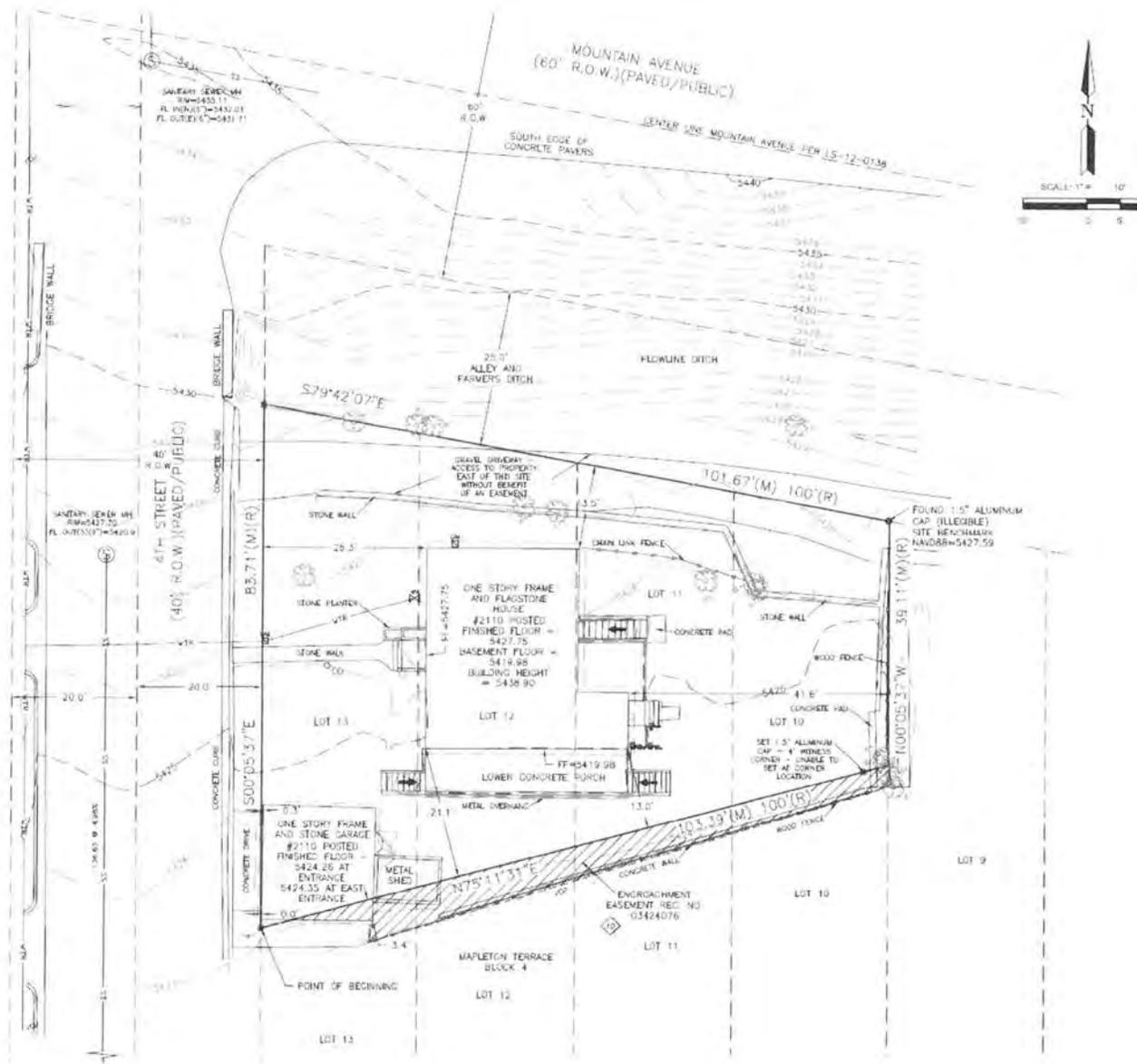


400 Block of Mountain View Avenue

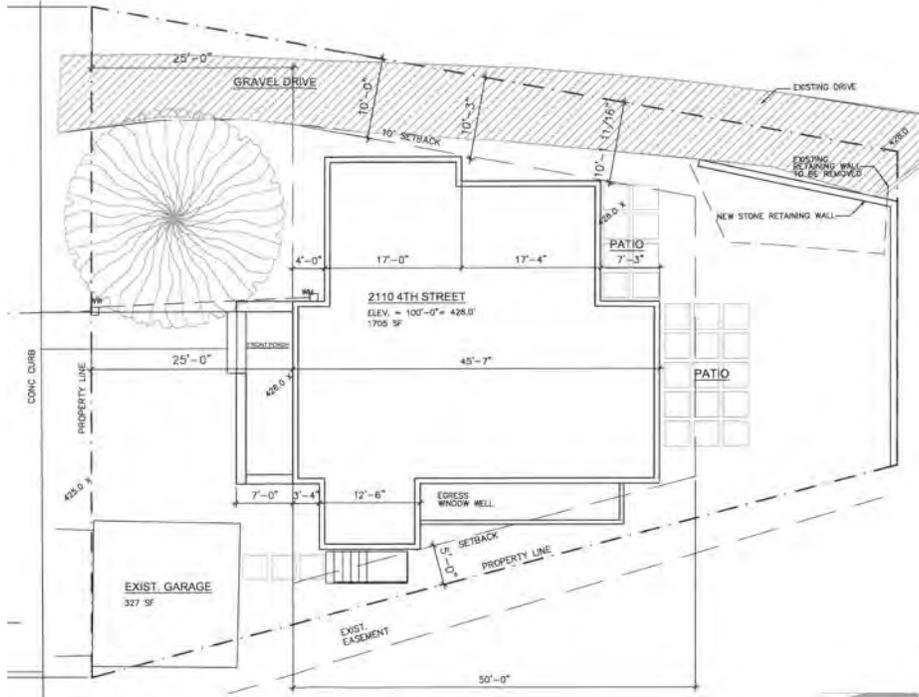


400 Block of Mountain View Avenue

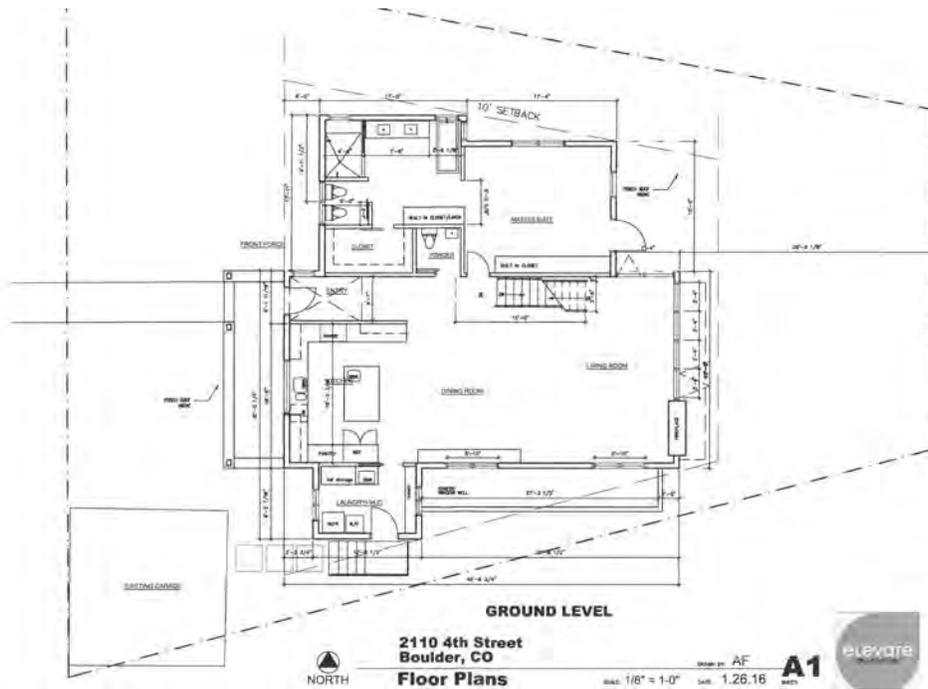
**Attachment D: Plans and Elevations**



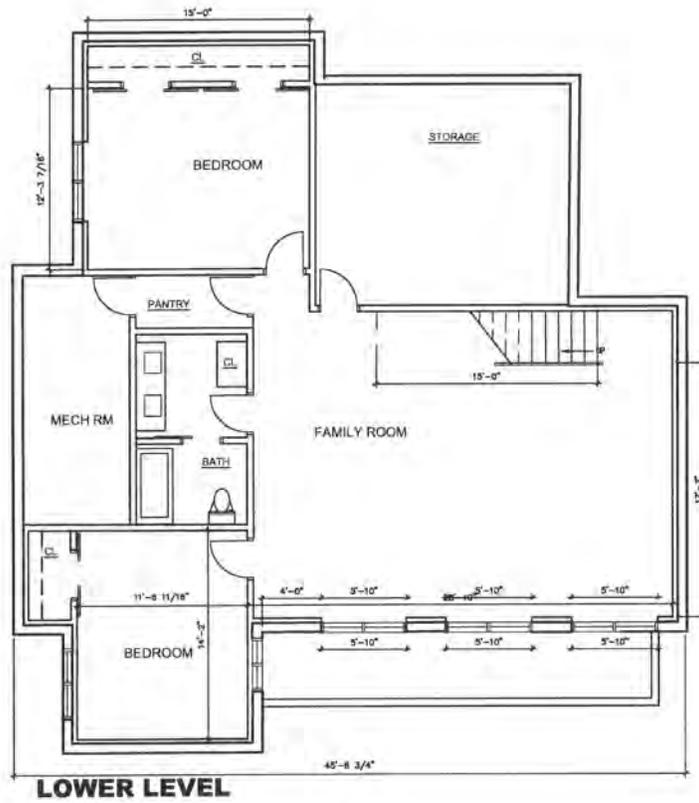
Existing Site Plan



Proposed Site Plan

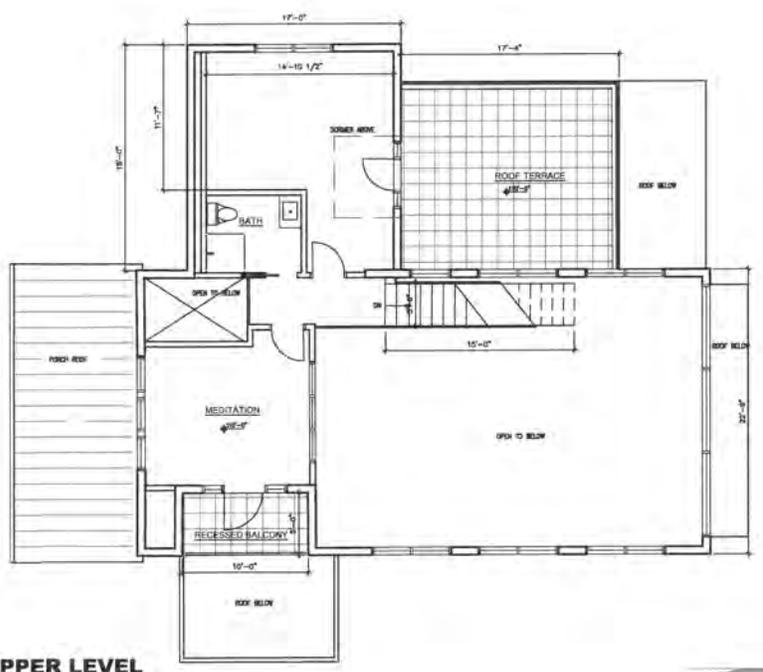


Proposed ground floor plan



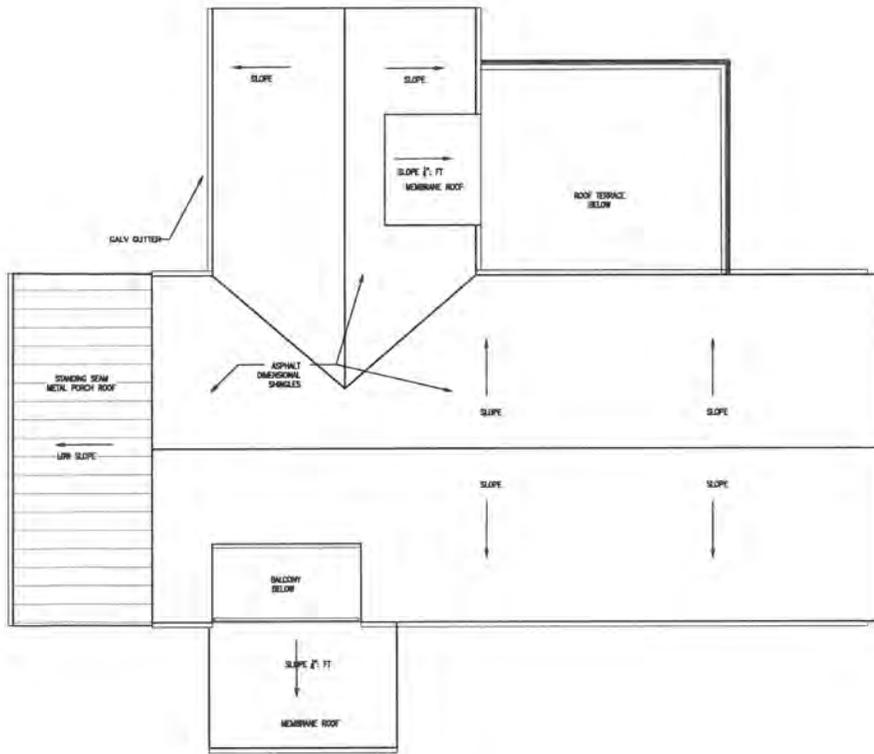
**LOWER LEVEL**

Proposed lower level

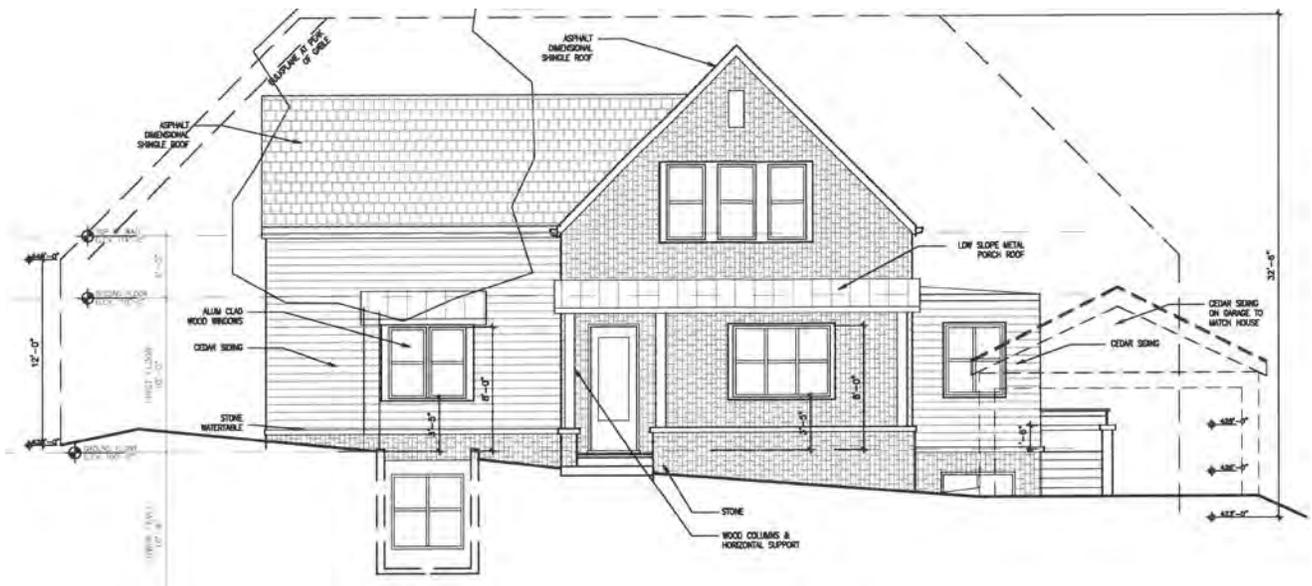


**UPPER LEVEL**

Proposed upper level



Proposed roof plan



Proposed west (façade) elevation



**East Elevation**  
 Proposed east (rear) elevation



Proposed north elevation



anastas vision board

● NORTH DRIVE PHOTOS



Property line shown in existing driveway



Existing Retaining wall



Proposed Rubble Limestone Retaining wall – up to grade approx 42” high



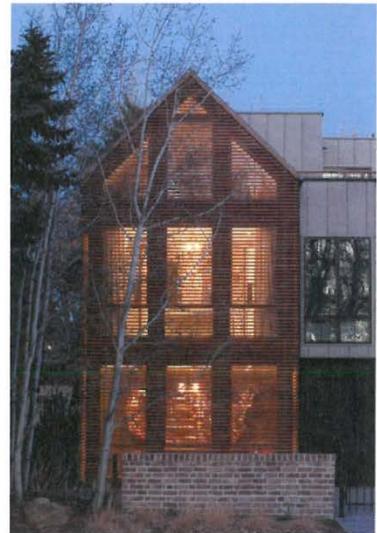
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complementing quality neighborhoods

[www.elevatearch.com](http://www.elevatearch.com) | [info@elevatearch.com](mailto:info@elevatearch.com) | 303.319.1274

## Existing Conditions and Proposed Retaining Wall



MODERN PITCHED ROOF EXAMPLES



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## Modern Pitched Roof Examples

## MEMORANDUM

March 2, 2016

**TO:** Landmarks Board

**FROM:** Lesli Ellis, Comprehensive Planning Manager  
Debra Kalish, Senior Assistant City Attorney  
James Hewat, Senior Historic Preservation Planner  
Marcy Cameron, Historic Preservation Planner  
William Barnum, Historic Preservation Intern

**SUBJECT:** Public hearing and consideration of an application for a Landmark Alteration Certificate to construct a 397 sq. ft. one-car garage at the Landmarked Perry White property located at 2303 Bluff St. , per section 9-11-18 of the Boulder Revised Code 1981 (HIS2014-00172).

### STATISTICS:

1. Site: 2303 Bluff St.
2. Zoning: RMX-1 (Residential-Mixed 1)
3. Lot size: 8,363 sq. ft.
4. Existing House: 2,578 sq. ft.
5. Proposed Garage: 397 sq. ft.
6. Applicant/Owner: Steve Montgomery, Madeline Vogenthaler
7. Date of Construction: 1875

### STAFF RECOMMENDATION:

If the applicant complies with the conditions listed below, staff considers the proposed construction of a new one-car garage on the property will be generally consistent with the conditions specified in Section 9-11-18, B.R.C. 1981, and the *General Design Guidelines*. Staff recommends that the Landmarks Board adopt the following motion:

*I move that the Landmarks Board adopt the staff memorandum dated March 2<sup>nd</sup>, 2016, as the findings of the board and approve a Landmark Alteration Certificate for the proposed construction and relocation shown on plans dated 03/02/2016, finding that they generally meet the standards for issuance of a Landmark Alteration Certificate in Chapter 9-11-18, B.R.C. 1981, subject to the following conditions:*

## CONDITIONS OF APPROVAL

1. The applicant shall be responsible for constructing a new one-car garage in compliance with the approved plans dated 03/02/2016, except as modified by these conditions of approval.
2. Prior to submitting a building permit application and final issuance of the Landmark Alteration Certificate, the applicant shall revise plans to:
  - a. Eliminate the half-timbered motif at the portico;
  - b. Change the man door windows to single light; and
  - c. Show a reduced amount of driveway/paving area and the use of crusher fines or similar in front of the garage.
3. Prior to submitting a building permit application and final issuance of the Landmark Alteration Certificate, the applicant shall submit the following, which shall be subject to the final review and approval of the Landmarks design review committee: window and door details, wall material details, siding material details, paint colors, roofing material details and details regarding any hardscaping on the property to ensure that the approval is consistent with the *General Design Guidelines* and the intent of this approval.

## SUMMARY:

- On January 20, 2016 the Landmarks design review committee (Ldrc) reviewed and issued a landmark alteration certificate for the property calling for modifications to remodel the attached garage to living space and to relocate the curb cut north on the property.
- On January 11, 2016, the applicant submitted Landmark Alteration Certificate to construct a new 397 sq. ft. garage on the property at 2303 Bluff Street. Because the application calls for new free-standing construction over 340 sq. ft., review by the Landmarks Board is required.
- Staff finds the proposed new construction to be generally consistent with the criteria for a Landmark Alteration Certificate found at Section 9-11-18, B.R.C. 1981, and the *General Design Guidelines*.
- This recommendation is based upon the recommendation that, pursuant to the conditions of approval, the stated conditions will be reviewed and approved by the Landmarks design review committee (Ldrc) prior to the issuance of a Landmark Alteration Certificate.

## PROPERTY HISTORY:



Figure 1. 2303 Bluff St. Tax Assessor Card photograph 1929.  
Photograph Courtesy the Carnegie Branch Library for Local History.

Constructed in 1875, the Perry White House is one of the earliest extant buildings in Boulder. The 1994 Landmark designation documentation for the Perry White House describes the property's first owners:

*This building is significant for its association with Perry White. Perry White and his wife Rachel Barlow White came to Colorado in 1860 by wagon train and homesteaded on land five miles west of Longmont at a way station called Pella. Here they planted fruit trees, berry bushes and a truck garden around their log house. White, together with George Webster, is credited with starting the first tree nursery in the area. He also had interests in mines near Springdale and in Leadville. In 1874, Perry sold his farm and bought land from Granville Berkley, Sr. and built this house at 2303 Bluff Street, then some distance from the town of Boulder. White planted an orchard and vegetable garden on the property. The Rachel White sold the house in 1891 and moved to 1824 17th Street (since demolished) where she lived until her death.*

*The Whites had four daughters: Safronia, Alice, Clarissa, and Mariette. Clarissa Barlow White married Granville Berkley, Jr. in 1869, a prominent Boulder pioneer. Granville established and operated Boulder's first ice business at 2108 Walnut Street.*

*This house was built in 1875 when this area was located outside of the city limits. As late as 1931, this house was located at the edge of the city limits. The house is a visual landmark on Bluff Street and represents the type of rural development which took place in what was far east Boulder during the 1870's.*

**DESCRIPTION:**

The property is located on the north side of Bluff St. between 23<sup>rd</sup> and 24<sup>th</sup> Streets, in the East Boulder addition to the city in the Whittier neighborhood, an identified potential local historic district. The approximately 2,578 sq. ft. house is located on an 8,363 sq. ft. lot.



*Figure 3. Location Map, 2303 Bluff St.*

The "T-shaped" brick and stone house has steep side and cross gables. Unusual decorative molded concrete keystones are found above what used to be the house's two front doors. One keystone depicts a woman's face with a small fruit and flower basket above her head. The other keystone depicts a man's face with a basket of large fruit above his head. Other window and door decorations are simple keystones. The corners of the house display decorative quoining. The front porch has simple wooden balustrades.

There have been minor alterations to the house over time. In the 1920's, a rear addition with lap siding was added to the original house. In the 1960's, the lap siding was covered with cedar shingles. Dormers were added to the front and west elevations sometime during the 1960's or 1970's. In the 1960's, a sun deck was added above the front porch. The front elevation of the house used to have two doors; the door to the west was converted to a bay window in the 1970's. In 1985 an attached garage was added to the rear of the house; this addition incorporated the molded keystone and quoin elements found on the original house. In 1993, the attic of the attached garage was converted to living space and

Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for 2303 Bluff St.

a new dormer was added to the west elevation. (Source: City of Boulder Building Permit History.)

While there have been numerous alterations to the house, the original structure is still preserved and clearly delineated from newer additions. Perhaps the most compromising alterations are those made to the front porch. These alterations, however, have the potential for restoration.



*Figure 4. South (front) elevation of 2303 Bluff St., 2016.*



*Figure 5. West elevation of 2303 Bluff St., 2016.*

### **PROPOSED ADDITION**

Drawings show a 397 sq. ft. garage to be constructed at the northeast corner of the existing 2,578 sq. ft. house. The 1985 garage addition is located in the north wing of the house and taking access from 23<sup>rd</sup> Street. In January of 2016, the Ldrc approved remodeling the rear addition of the house to provide for more living area and relocating the curb cut north on the property.

The floor area of the existing house is calculated to be approximately 2,578 sq. ft. with the estimated lot coverage estimated at 1,639 sq. ft. on the 8,363 sq. ft. lot. The application states with the proposed garage, the total floor area (FAR) for the will be 2,975 sq. ft. where the maximum floor area for this property is 4,081 sq. ft

Memo to the Landmarks Board  
 Re: Landmark Alteration Certificate for 2303 Bluff St.

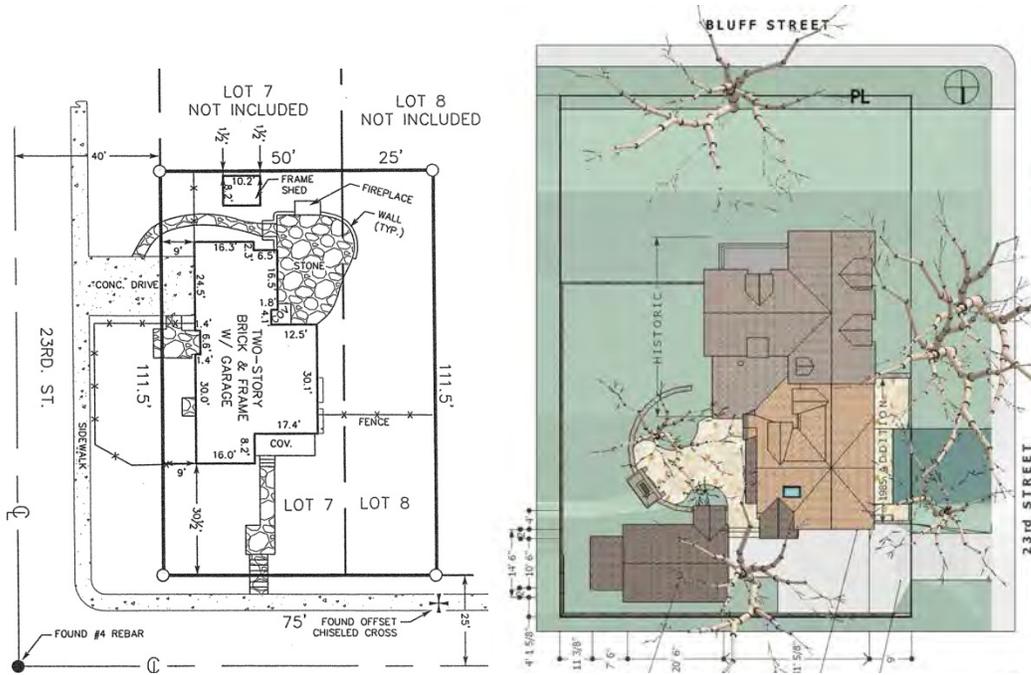


Figure 7. April 4<sup>th</sup>, 2015 (left) and Proposed Site Plans (right). Not to scale

In plan, the southeast corner of the proposed garage is shown to be located approximately 8' from the northwest corner of the house. A large concrete driveway/apron is shown to link the garage to the new curb cut.



Figure 8. Proposed West Elevation



Figure 9. Proposed South Elevation (façade)

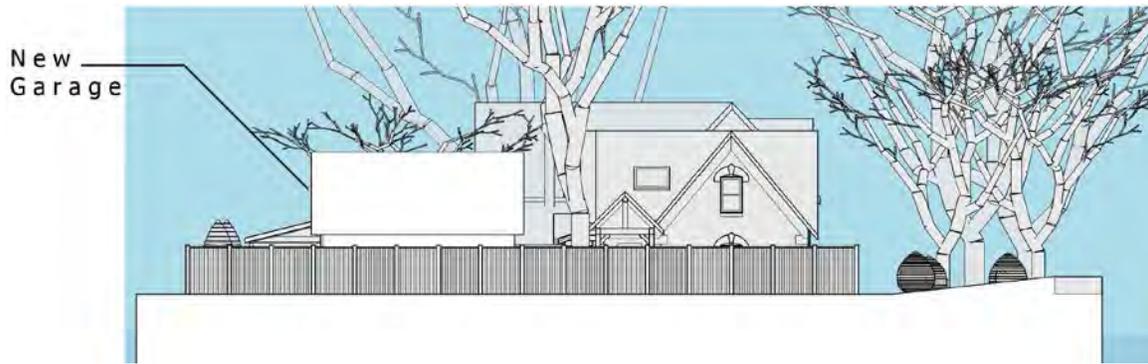


Figure 10. Proposed North Elevation (façade)



Figure 11. Proposed East Elevation



*Figure 12. Proposed Northwest View*



*Figure 13. Proposed View from Bluff St.*

Elevations show the 397 sq. ft. one-car garage to be simply designed with a gable roof with pitch similar in proportion to the main house. The west face of the garage is shown to be located approximately 50' east of the west property line and to be accessed by way of a new curb-cut at the northwest. A simulated two-leaf door is shown to be set slightly asymmetrically on this face below a centrally located four light window set in the gable end. There is no adjacent alley and the

unadorned north face of the garage is set back approximately 4' from the north property line.

A small shed-roof addition is proposed at the east side of the garage. The east face of the shed is shown to feature a set of three, 2/2 double-hung windows while the south elevation of this portion of the building is shown to be accessed an eight-light man door. Three double hung windows, a small portico enclosing a similar man-door is proposed on the main portion at the south elevation. Plans call for the new building to be sheathed in wood shingle.



*Figure 22. South and East Elevations of proposed garage.*



*Figure 24: North and West Elevations of proposed garage.*

### **CRITERIA FOR THE BOARD'S DECISION**

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Subsections (b) and (c) of Section 9-11-18, B.R.C. 1981, set forth the standards the Landmarks Board must apply when reviewing a request for a Landmark Alteration Certificate.

- (b) Neither the Landmarks Board nor the City Council shall approve a Landmark Alteration Certificate unless it meets the following conditions:

- (1) The proposed work preserves, enhances, or restores and does not damage or destroy the exterior architectural features of the landmark or the subject property within an historic district;
  - (2) The proposed work does not adversely affect the special character or special historic, architectural, or aesthetic interest or value of the landmark and its site or the district;
  - (3) The architectural style, arrangement, texture, color, arrangement of color, and materials used on existing and proposed constructions are compatible with the character of the existing landmark and its site or the historic district;
  - (4) With respect to a proposal to demolish a building in an historic district, the proposed new construction to replace the building meets the requirements of paragraphs (b)(2) and (3) above.
- (c) In determining whether to approve a Landmark Alteration Certificate, the Landmarks Board shall consider the economic feasibility of alternatives, incorporation of energy-efficient design, and enhanced access for the disabled.

## **ANALYSIS**

*1. Does the proposed application preserve, enhance, or restore, and not damage or destroy the exterior architectural features of the landmark or the subject property within an historic district?*

Staff finds that, provided the listed conditions are met, the proposed construction of a new one-car garage will preserve the historic character of the property and be consistent with the *General Design Guidelines* (see Design Guidelines Analysis section).

*2. Does the proposed application adversely affect the special character or special historic, architectural, or aesthetic interest or value of the district?*

Staff finds that, provided the listed conditions are met, the proposed application will not adversely affect the special character or special historic, architectural, or aesthetic interest or value of the landmark property as it will be generally compatible with the *General Design Guidelines* in terms of mass, scale, height, design and color (see Design Guidelines Analysis section).

*3. Is the architectural style, arrangement, texture, color, arrangement of color, and materials used on existing and proposed structures compatible with the character of the historic district?*

Staff finds that, provided the listed conditions are met, the proposed construction of a new one-car garage will be generally compatible with the architectural form, arrangement, texture, color, arrangement of color, and materials will be generally compatible with the character of the landmark property in terms of mass, scale, height, setback, and design (see Design Guidelines Analysis section).

4. Does the proposal to demolish the building within the Mapleton Hill Historic District and the proposed new construction to replace the proposed demolished building meet the requirements of paragraphs 9-11-18(b)(2), 9-11-18(b)(3) and 9-11-18(b)(4) of this section?

Not applicable.

**DESIGN GUIDELINES ANALYSIS:**

Chapter 9-11, Historic Preservation, B.R.C. 1981, sets forth the standards the Landmarks Board must apply when reviewing a request for a Landmark Alteration Certificate. The Board has adopted the *General Design Guidelines* to help interpret the historic preservation chapter. The following is an analysis of the proposed new construction with respect to relevant guidelines. Design guidelines are intended to be used as an aid to appropriate design and not as a checklist of items for compliance.

The following is an analysis of the proposal’s compliance with the appropriate sections of the *General Design Guidelines*.

**General Design Guidelines**

<b>7. GARAGES &amp; OTHER ACCESSORY STRUCTURES</b>			
<b>7.2 New Accessory Buildings</b>			
<i>New accessory buildings should follow the character and pattern of historic accessory buildings. While they should take design cues from the primary buildings, they must be subordinate in size, massing, and detailing. Alley buildings should maintain a scale that is pleasant to walk along and comfortable for pedestrians.</i>			
<b>Location and Orientation</b>			
.1	<i>It is inappropriate to introduce a new garage or accessory building if doing so will detract from the overall historic character of the principal building, and the site, or if it will require removal of a significant historic building element or site feature, such as a mature tree.</i>	The proposed construction of a new garage is generally in keeping with the design of the main house, and location at the rear will not impact the character of the principal building or the landmark site.	<b>Yes</b>

.2	<i>New garages and accessory buildings should generally be located at the rear of the lot, respecting the traditional relationship of such buildings to the primary structure and the site.</i>	The property takes access from 23 <sup>rd</sup> Street. Location of new garage behind house is appropriate.	<b>Yes</b>
.3	<i>Maintain adequate spacing between accessory buildings so alleys do not evolve into tunnel-like passageways.</i>	No alley	<b>N/A</b>
.4	<i>Preserve a backyard area between the house and the accessory buildings, maintaining the general proportion of built mass to open space found within the area.</i>	Construction of proposed one-car garage will not affect general proportion of built mass to open space of the property or streetscape. Currently, there is little yard space at the rear of the property. Consider reducing the amount of driveway and parking apron area and using soft (crusher fines) material, (review details at the Ldrc).	<b>Maybe</b>
<b>Mass and Scale</b>			
.5	<i>New accessory buildings should take design cues from the primary building on the property, but be subordinate to it in terms of size and massing.</i>	Proposed design relates to existing house and garage; size and massing are appropriate.	<b>Yes</b>
.6	<i>New garages for single-family residences should generally be one story tall and shelter no more than two cars. In some cases, a two-car garage may be inappropriate.</i>	Proposed one-car garage is one-story tall. Massing proportionate to built mass and open space on property.	<b>Yes</b>
.7	<i>Roof form and pitch should be complementary to the primary structure.</i>	Roof form is complementary to the main house.	<b>Yes</b>
<b>Materials and Detailing</b>			
.8	<i>Accessory structures should be simpler in design and detail than the primary building.</i>	As shown, garage is simpler than main house in design, material, and detailing. Staff recommends simplifying design to remove half timbering at portico, (review details at the Ldrc).	<b>Yes</b>
.9	<i>Materials for new garages and accessory structures should be compatible with those found on the primary structure and in the district.</i>	Proposed materials (wood shingle, windows, and doors) will be compatible with character of landmark. Details not provided on	<b>Maybe</b>

	<i>Vinyl siding and prefabricated structures are inappropriate.</i>	siding at rear shed. Staff considered windows on doors should be simplified to single lights. Review details of windows doors (including garage door) at Ldrc.	
.10	<i>Windows, like all elements of accessory structures, should be simpler in detailing and smaller in scale than similar elements on primary structures.</i>	Proposed design of windows on appears to be compatible in terms of window type, size and detailing with similar elements on the primary building.	<b>Yes</b>
.11	<i>If consistent with the architectural style and appropriately sized and located, dormers may be an appropriate way to increase storage space in garages.</i>	N/A	<b>N/A</b>
.12	<i>Garage doors should be consistent with the historic scale and materials of traditional accessory structures. Wood is the most appropriate material and two smaller doors may be more appropriate than one large door.</i>	Garage doors appear to be consistent in terms of scale and materials. Review final details at Ldrc.	<b>Maybe</b>
.13	<i>It is inappropriate to introduce features or details to a garage or an accessory building in an attempt to create a false historical appearance.</i>	Proposed design does not attempt to recreate a false historic appearance.	<b>Yes</b>
.14	<i>Carports are inappropriate in districts where their form has no historic precedent.</i>	Carport not proposed.	<b>N/A</b>

**FINDINGS:**

Provided the conditions outlined in the staff recommendation are met, staff recommends that the Landmarks Board approve the application and adopt the following findings:

1. The proposed new construction will meet the standards in 9-11-18 of the Boulder Revised Code 1981.
2. The proposed construction will not have an adverse effect on the value of the landmark property, as it will be generally compatible in terms of mass, scale, or orientation with other buildings in the district.
3. In terms of mass, scale, and orientation, the proposal will be generally

Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for 2303 Bluff St.

consistent with Section 9-11-18, B.R.C.1981, and the *General Design Guidelines*.

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**ATTACHMENTS:**

- A: Tax Assessors Card
- B: Photographs
- C: Applicant's Materials
- D: Plans, Elevations and Massing Model

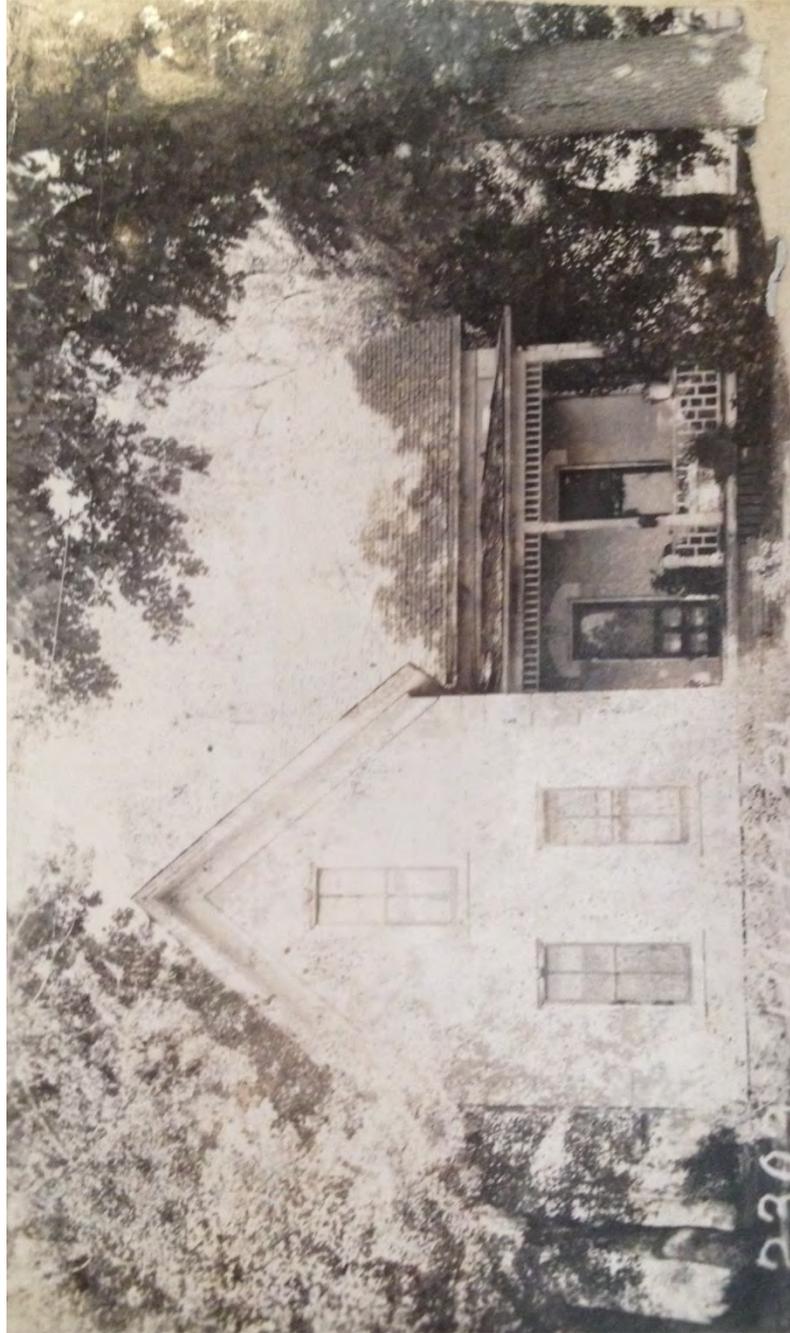


Memo to the Landmarks Board  
 Re: Landmark Alteration Certificate for 2303 Bluff St.

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CLASS OF BUILDING	HEIGHT	ROOF	LIGHT	DESCRIPTION
1—Single Residence 2—Duplex 3—Rowing, Apt., Crt. 4—Flat or Terrace 5—Apartment House 6—Hotel 7—Store Building 8— 9—Office Building 10—Hospital or Sanitarium 11—Bank Building 12—Theatre 13—Warehouses 14—Factory 15—Public Garage 16—Private Garage 17— 18—Hot House or Gr. House 19—Poultry House 20—Barn or Stable	No. of Stories <b>FOUNDATION</b> Brick Concrete Stone Wood Tile <b>BASEMENT</b> Quarter Half Three-Quarter Full Cement Floor Finished Walls and Ceiling Laundry <b>EXTERIOR</b> Common Brick Pressed Brick Wire Cut Brick Glazed Brick Wood Siding Wood Shingles Cement Stucco Kallistone Stone Corrugated Iron Terra Cotta Tile	<b>CONSTRUCTION</b> Wood Shingle Composition Shingle The Tin Gravel Prepared Paper Sheet Iron Copper Concrete Tile Clay Tile Slate Asbestos Shingle Tin <b>STYLE</b> Gable Hip Flat Gambrel Mansard Lowpitch <b>PLUMBING</b> Old Style Modern No. Bath Tubs No. Shower Baths No. Toilets No. Lavatories No. Urinals No. Laundry Tubs No. Sinks Sanitary Closets Cess Pool <b>HEATING</b> Stove Hot Air Hot Water Steam No. Fireplaces No. Dummy Fireplaces Air Conditioned <b>FUEL</b> Coal Oil Gas Electricity	Electricity Gas Oil <b>PRIVATE GARAGE</b> Size Construction Floor Roof Heat <b>BEDS AND BATHS</b> Size Style Count <b>LOCAL IMPROVEMENTS</b> Street Paving Alley Paving Sidewalks Curbing Water Storm Sewer Sanitary Sewer Electricity Gas Telephone <b>MISCELLANEOUS</b> Sign Wall Board Buffet Cabinet Book Case Beam Ceiling Incandescent Sky Lights Refrigerator or Cooler Bay Windows Dormer Windows Porch	ROOMS Living Room Dining Room Kitchen Breakfast Room Bed Room Bath Room Toilet Room Shower Room Sleeping Porch Sun Room Den Storage Room Office Halls <b>FINISH</b> Unfinished Plastered, Plain Plastered, Ornate Papered Painted or Tiled Softwood Floor Hardwood Floor Hardwood Finish Tile Marble or Onyx Wall Board Sheetrock Colored Wainscoting Metal Ceiling <b>REMARKS</b>

Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for 2303 Bluff St.



**Attachment B: Current Photographs**



2303 Bluff St., view of south (front) elevation, 2016.



2303 Bluff St., view of west elevation, 2014.

Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for 2303 Bluff St.



2303 Bluff St., Location of proposed garage, 2016



2303 Bluff St., view of south east corner, 2016.



January 11, 2016

To: Landmarks Preservation Advisory Board  
City of Boulder, CO

From: Steve Montgomery, Architect  
for the Owners: Peter Hoglund & Madeline Vogenthaler  
2303 Bluff Street, Boulder, CO 80304

Re: New Garage  
The Perry White House Landmark  
2303 Bluff Street, Boulder, CO

**LAC REQUEST**

The Owners of 2303 Bluff Street are proposing to construct a new one-car garage on their property.

**There are no changes requested on the Historic Residence.**

**NEED**

We have made a separate LAC application to convert the existing two-car garage into a Family Room.

To replace the two-car garage that we're remodeling, we would like to build a one-car New Garage in the rear of the property.

Re: FAMILY ROOM REMODEL

Currently the main living areas of the home can only access the rear yard of the property by going through either a bedroom or the existing garage. This makes it difficult to join the indoor and outdoor activities during daily living - such as access for outdoor cooking, monitoring children, and enjoying the garden area. To resolve this problem we hope to convert the existing two-car garage into a Family Room that will link the Kitchen, Dining & Living spaces of the house to the really nice rear outdoor patio area.

The proposed New Garage is designed to park only one car with adjacent bicycle storage, to provide a small shop area on the east end and to provide household storage in a low loft area.

ARCHITECTURE / LANDSCAPE DESIGN  
2207 MAPLETON AVENUE  
BOULDER, COLORADO 80304  
303.443.4414  
stevemontgomery@earthlink.net

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**HISTORY**

The current buildings consist of the Historic Residence and the 1985 Addition built onto the north side of the Historic Residence. The first floor of the 1985 Addition is a two car garage and the second floor is a bedroom.

In 1985 BOZA approved the 1985 Addition with a side yard setback variance of 9'-0" from the west property line facing 23rd Street (where 25' is required), and a 20'-0" rear yard setback from the north property line (where 25' is required).

In July, 2015 the Landmarks Board DRC approved the addition of New Roof Dormers on a portion of the 1985 Addition's 2nd Floor (HIS 2015-0194) and BOZA approved a side yard setback variance for the dormers of 17'-6" (where 25' is required). *A construction permit application has been made for this dormer work.*

**Re: SEPERATE PERMITS**

We have, simultaneous to this New Garage application, made a separate application to the DRC on 1/5/16 (# HIS-2016-00001) to allow several modifications that will facilitate the conversion of the existing garage on the 1st Floor of the 1985 Addition into a Family Room. A new driveway & parking location to replace the existing garage is proposed in the DRC Family Room modification LAC. This application is currently under review.

Separating the applications allows the Garage approval process to proceed on its own time schedule independent of the Family Room modifications.

Differentiating the LAC applications allows us to move more quickly through Landmarks DRC for the minor requests on the Family Room and consequently to a more timely application to BOZA for approval of one Family Room roof item, and to make a timely application for a building permit so that the Family Room can be built *in coordination with the new 2nd Floor dormer work that will soon receive a building permit.*

The separate applications allow the Board to focus on the New Garage uniquely, without distractions on the minor Family Room details that the DRC can best handle.

The proposed New Garage work is contingent on the DRC's approval to build a new driveway, but is otherwise physically disconnected from the proposed remodeling of the existing garage into a Family Room. We will apply for a separate construction permit for the New Garage if approved.

In the attached sketches of the Garage, the Family Room modifications illustrated are as presented to the DRC.

**PLANNING NOTES**

Zoning: RMX-1

Lot Size: 8,362.5 s.f.

Floor Area:

Existing

(includes new 108 s.f. below previously approved dormers) 2,578 s.f.

Proposed New Garage 397 s.f.

Total Floor Area 2,975 s.f.

Allowed Floor Area: 3,992 s.f.

Building Coverage:

Existing 1,639 s.f.

Proposed New Garage 397 s.f.

Total Building Coverage 2,036 s.f.

Allowed Building Coverage: 4,081 s.f.

Building Coverage within the 25' rear setback:

Existing 1985 Addition 99 s.f.

Proposed New Garage 397 s.f.

Total Coverage w/in 25' rear setback 496 s.f.

Allowed Coverage w/in 25' rear setback on an historic landmark: 500 s.f.

Setbacks:

Existing Res.

West side yard from 23rd St 9'-0"

East side yard 23'-6"

North rear yard 20'-0"

South front yard 30'-6"

Proposed New Garage Setbacks:

West side yard from 23rd St 31'-0" (25' min. req'd)

East side yard 6'-11" (1' or 3' min. req'd)

North rear yard 4'-1" (1' or 3' min. req'd)

South front yard 92'-6" (55' min req'd)

Building Height:

Historic Res. 24'-0" above grade

1985 Addition 19'-4" above grade

Proposed New Garage 16'-1" above grade

appx. 17'-6" above lowest pt. (20' max allowed)

Solar:

RMX-1 Zoning, Solar Access Area II, 25' solar fence

Proposed Garage casts no shadow beyond solar fence.

## **DISCUSSION**

### **1. Construction of a new detached one-car Garage structure.**

The property is located in the Whittier neighborhood in the RMX-1 zoning classification.

This is a large property consisting of 1 1/2 city lots. The existing structures are located close the west property line leaving a broad side yard outdoor area on the east side of the property.

RMX-1 is a high density classification. There is a duplex home on the adjacent properties to the north and east, and across the street to the west of the subject property. Even with our addition of the New Garage the subject property will still be of low density, occupying only 50% of the allowable building coverage for this lot.

Garages are typical in the Whittier neighborhood, most of which are accessed from alleys behind the properties. Many of the neighborhood garages are two story structures, some with accessory dwelling units above.

There is not an alley behind the subject property so access to a garage must be made from the side yard.

The new Garage is subordinated to the main residence by its generous setbacks, by its small size, and by its simple detailing.

The New Garage is setback 31'-0" from the west (side) property line along 23rd Street (22'-0" behind the west facade of the home) and 92'-6" from the south front property line (62'-0" behind the south facade of the home).

To avoid an existing tree the access driveway to the New Garage must be located south of the tree, hugging the north face of the existing 1985 Addition. This necessary driveway location determines the garage door location, which must align with the driveway. The necessary door location then determines the New Garage location. The New Garage ends up being setback from the north property line 4'-1".

The New Garage is a small, one-story structure. It is broken into three elements:

- 1.) A main element of a 14'-6" x 21'-6" one-car and bike parking area under a 12:12 pitch gable-end roof, with an unfinished loft storage space (6'-0" ht.) and ladder access.
- 2.) An 10'-6" x 7'-6" shop space under a shed roof on the east end.
- 3.) A 5'-0" x 4'-0" outdoor Porch on the south facade with a 12:12 pitch gable end roof.

The ridge height of the proposed New Garage is 16'-1", well below the 24'-0" ridge height of the Historic Residence. The height of the adjacent 1985 Addition is 19'-4". The wall plate height of the garage door is 8'-1". The wall plate height along the north property line at the shed roof eave is 6'-7".

The New Garage satisfies all of the requirements of the Planning Code and will not require other City approvals.

The proposed New Garage also satisfies all of the General Historic Guidelines for new accessory buildings.

The guidelines of Chapter 7.2 of the General Guidelines are listed below with comments regarding our proposal.

## **GUIDELINES**

### **7.2 New Accessory Buildings**

*New accessory buildings should follow the character and pattern of historic accessory structures. While they should take design cues from the primary structure, they must be subordinate to the primary structure in size, massing, and detailing. Alley buildings should maintain a scale that is pleasant to walk along and comfortable for pedestrians.*

Like the Historic Residence the proposed New Garage has a steep-pitched gable-end roof. The Garage Roof is sloped at a 12:12 pitch. The Historic Residence roof is sloped at a 14:12 pitch.

The siding on the New Garage's main element is wood shingles. The shingle siding material is less elaborate than the brick veneer of the Historic Residence and the 1985 Addition. It resembles wood the shingle siding on the one-story element of the Historic Residence.

The columns supporting the roof above the man-door are straight shaft 6x6 wood columns, simpler than the turned wood columns of the Historic Residence. Concealed connectors will be used between the column and the timber beam which they support. Simple wood brackets between the columns and the supported beam will provide structural strength and slight ornament. The columns will be painted to match the existing trim color used on the house.

#### **Location and Orientation**

1 It is inappropriate to introduce a new garage or accessory building if doing so will detract from the overall historic

character of the principal building and the site, or if it will require removal of a significant historic building element or site feature, such as a mature tree.

The New Garage is in the rear yard in a location where an historic garage or a carriage house would have been located.

By detaching the Garage function from the main residence an historically appropriate hierarchy is created between the major historic forms of the residence and the subordinate accessory/carriage/garage function.

The new Garage is in a subordinate position to the residence. The New Garage is visually concealed from the residence by its deep setbacks. It is setback 31'-0" from the west (side) property line and 92'-6" from the front property line.

The New Garage will benefit the historic character of the property. The New Garage replaces the inappropriate existing two-car garage in the 1985 Addition with a smaller garage of historic proportions and of secondary stature.

The new Garage is visually concealed from Bluff St. by the distance of the 92'-6" setback from the south (front) property line.

- .2 New garages and accessory buildings should generally be located at the rear of the lot, respecting the traditional relationship of such buildings to the primary structure and the site.

The proposed New Garage is in the rear yard.

- .3 Maintain adequate spacing between accessory buildings so alleys do not evolve into tunnel-like passageways.

N.A.

- .4 Preserve a backyard area between the house and the accessory buildings, maintaining the general proportion of built mass to open space found within the area.

The new Garage is separated from the historic Residence by 24'-0". The area between the Historic Residence and the New Garage is an existing paved patio. The New Garage is separated from the 1985 Addition by 8'-3".

#### Mass and Scale

- .5 New accessory structures should take design cues from the primary structure on the site, but be subordinate to it in terms of size and massing.

The New Garage's gable-end and shed roof types and its roof pitches are similar to the Historic Residence and the 1985 Addition.

- .6 New garages for single-family residences should generally be one story tall and shelter no more than two cars. In some cases, a two-car garage may be inappropriate.

The New Garage is a one story structure.  
The New Garage is for one car and for bicycle storage.

- .7 Roof form and pitch should be complimentary to the primary structure.

As previously noted, the roof of the proposed New Garage compliments the steep gable-end roofs of the main residence.

**Materials and Detailing**

- 8 Accessory structures should be simpler in design and detail than the primary building.

The New Garage form is a simple "gable-end with shed roof" design, detailed with vernacular 1x4 door and window casing.

- 9 Materials for new garages and accessory structures should be compatible with those found on the primary structure and in the district. Vinyl siding and prefabricated structures are inappropriate.

The shingle siding on main element of the New Garage is similar to the shingle siding on the one-story portion of the Historic Residence.

The shed roofed Shop element on the east has wood beveled lap siding with a 3" reveal, which is an appropriate historic material.

The scale of the New Garage is reduced by the use of different siding materials.

- 10 Windows, like all elements of accessory structures, should be simpler in detailing and smaller in scale than similar elements on primary structures. See Sections 3.7 and 4.5 for additional direction.

The windows proposed are wood double-hung windows. They are small in size and appropriate for the accessory buildings' subordinate scale.

- 11 If consistent with the architectural style and appropriately sized and located, dormers may be an appropriate way to increase storage space in garages. See Section 3.5 and 4.5 for additional direction.

There are no dormers on the proposed New Garage. There is an attic storage space which is 6' high under the ridge. The attic storage is accessed by a ladder.

- 12 Garage doors should be consistent with the historic scale and materials of traditional accessory structures. Wood is the most appropriate material, and two smaller doors may be more appropriate than one large door.

We are proposing one 9'-0"W x 7'-0"H overhead, wood garage door with glass lights in the upper panel. The door will be trimmed to appear to be a two carriage house doors when in the closed position.

- 13 It is inappropriate to introduce features or details to a garage or an accessory building in an attempt to create a false historical appearance.

The detailing on the garage is simple painted wood 1x4 trim on the window & door casing and corner boards. The fascia board is 1x6 wood trim. There are no elaborate details. The only ornaments are the brackets on the Porch columns.

14. Carports are inappropriate in districts where their form has no historic precedent.

N.A.

We hope the Board will find our proposed New Garage acceptable. Please call me or the Owners if you have further questions.

Thanks,

Steve Montgomery  
Architect  
303-443-4414

**Exhibits**

1. Property ILC & Vicinity Map
2. Garage Site Plan
3. Garage Plan
4. Garage Only Architectural Elevations, Sections
5. Elevations of Entire Structure
6. West Views from 23rd Street
7. East Views
8. South Views from Bluff Street
9. Existing Photos - West Views from Bluff Street
10. Existing Photos - Garage Location Views
11. Existing Photos - Views from Bluff Street

Memo to the Landmarks Board  
 Re: Landmark Alteration Certificate for 2303 Bluff St.

**Attachment D: Plans, Elevations and Massing Model**

**LEGAL DESCRIPTION**  
 (PROVIDED BY FIDELITY NATIONAL TITLE CO.)  
 DEED RECORDED ON 4/30/2013 AT REC. NO. 3308396

THE SOUTHERLY 111.5 FEET OF LOT 7,  
 AND THE SOUTHERLY 111.5 FEET OF THE WEST  
 $\frac{1}{4}$  OF LOT 8,  
 BLOCK 191,  
 EAST BOULDER,  
 COUNTY OF BOULDER,  
 STATE OF COLORADO,  
 THE PLAT OF WHICH IS RECORDED IN PLAT  
 BOOK 2 AT PAGE 46.

**Flatirons, Inc.**  
 Surveying, Engineering & Geomatics  
 3825 IRIS AVE, Ste 395  
 BOULDER, CO 80301  
 PH: (303) 443-7001  
 FAX: (303) 443-9830  
 www.flatironsinc.com

SCALE 1" = 30'

**Notes:**

- 1-FIDELITY NATIONAL TITLE CO. COMMITMENT NO. 515-F0511323-170-LLO WAS USED TO HELP IDENTIFY EASEMENTS OF RECORD THAT MAY AFFECT THE SUBJECT PROPERTY, THERE MAY BE EASEMENTS OR RIGHTS OF WAY NOT SHOWN ON THIS CERTIFICATE THAT AFFECT THE SUBJECT PROPERTY.
- 2-AN IMPROVEMENT SURVEY PLAT IS RECOMMENDED TO DEPICT MORE PRECISELY THE LOCATIONS OF THE IMPROVEMENTS SHOWN HEREON.
- 3-THE FENCES ARE NOT COINCIDENT WITH THE LOT LINES AS SHOWN HEREON.

**IMPROVEMENT LOCATION CERTIFICATE**

I hereby certify that this improvement location certificate was prepared for RE/MAX OF BOULDER AND FIDELITY NATIONAL TITLE CO., that it is not a Land Survey Plat or Improvement Survey Plat, and that it is not to be relied upon for the establishment of fence, building or other future improvement lines. This certificate is valid only for use by RE/MAX OF BOULDER AND FIDELITY NATIONAL TITLE CO. and describes the parcel's appearance on APRIL 3, 2015. I further certify that the improvements on the above described parcel on this date, APRIL 3, 2015, except utility connections, are entirely within the boundaries of the parcel, except as shown, that there are no encroachments upon the described premises by improvements on any adjoining premises, except as indicated, and that there is no apparent evidence or sign of any easement crossing or burdening any part of said parcel, except as noted.

**NOTICE:** This Improvement Location Certificate is prepared for the sole purpose of use by the parties stated herein, the use of this Improvement Location Certificate by any person or entity other than the person or entity certified to without the express permission of Flatirons, Inc. is prohibited. This certificate is only valid for 90 days from the signature date. It is not a Land Survey Plat as defined by C.R.S. 38-51-102(13) or an Improvement Survey Plat as defined by C.R.S. 38-51-102(9). It does not establish property corners. A more precise relationship of the improvements to the boundary lines can be determined by a Land Survey or Improvement Survey. The improvements are generally situated as shown and only apparent (visible at the time of fieldwork) improvements and encroachments are noted. Flatirons, Inc. and John B. Guyton will not be liable for more than the cost of this Improvement Location Certificate, and then only to the parties specifically shown herein. Acceptance and/or use of this improvement Location Certificate for any purpose constitutes acknowledgment and agreement to all terms stated herein.

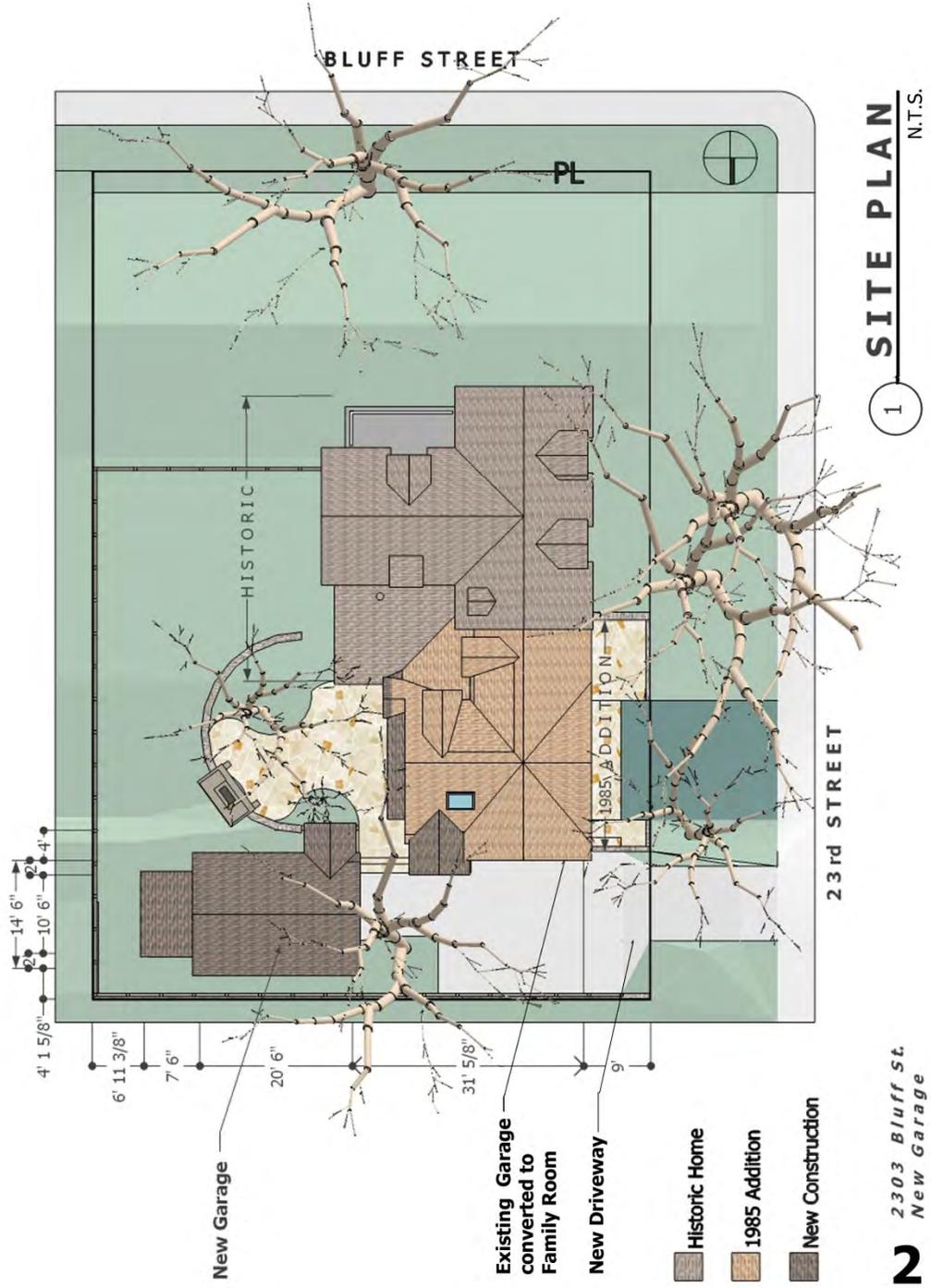
Flatirons No. 12-863-379 Title Co. No. 515-F0511323-170-LLO Borrower: MADELINE ROSENBERG VOGENTHALER AND PETER ELUS HOLLAND  
 Drawn BY: BECKETT CDR/RIGHT 2015: FLATIRONS, INC.

(303) 443-7001

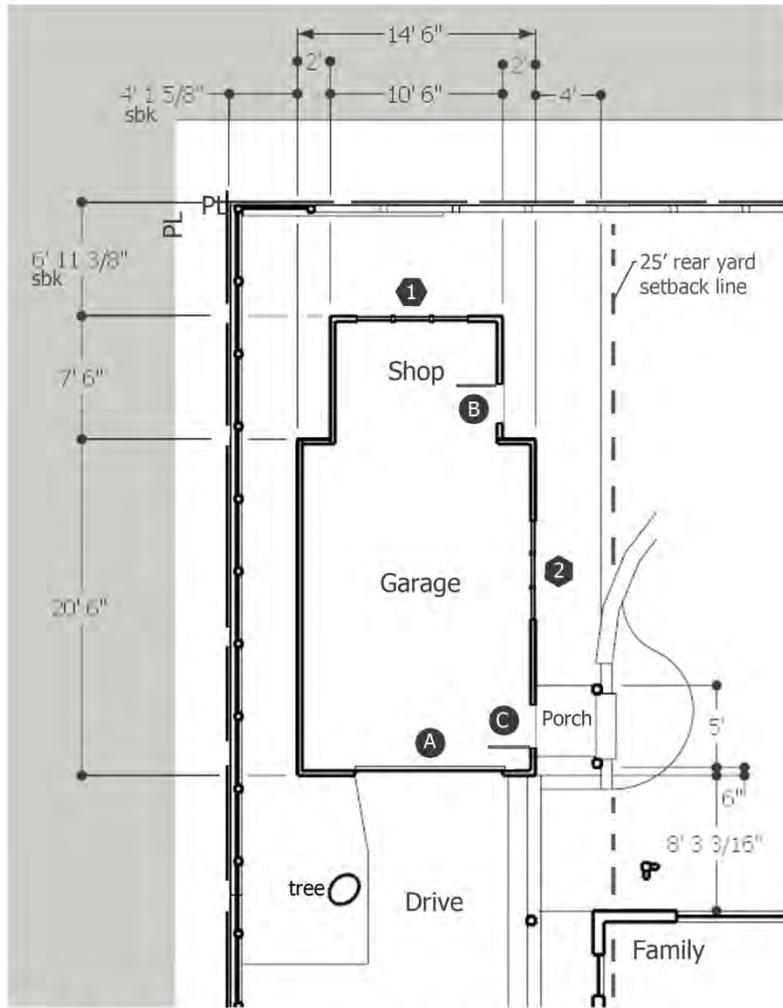
FLATIRONS, INC.

Boulder, Colorado

2303 Bluff St.  
 New Garage **1**



**2** 2303 Bluff St.  
 New Garage



1

**NEW GARAGE PLAN**

1/8"

**WINDOWS & DOORS**

- 1 (3) 2<sup>0</sup>2<sup>6</sup> wood dbl. hung, by MARVIN
- 2 (3) 1<sup>9</sup>2<sup>6</sup> wood dbl. hung, by Marvin
- A 9<sup>0</sup>7<sup>0</sup> overhead wood gar. door by Designer Doors w/ glass windows in upper panel
- B 2<sup>6</sup>7<sup>0</sup> wood, left h., two panel - glazed six light upper over wood lower panel
- C 2<sup>6</sup>7<sup>0</sup> wood, right h., two panel - glazed six light upper over wood lower panel

2303 Bluff St.  
New Garage  
**3**



**1** NEW GARAGE ELEVATIONS



**2** NEW GARAGE SECTION 1/8"

2303 Bluff St.  
New Garage

**4**

Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for 2303 Bluff St.



WEST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION



EAST ELEVATION

New Garage

New Garage

New Garage

**5**  
2303 Bluff St.  
New Garage

Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for 2303 Bluff St.



WEST VIEW - Residence from 23rd Street



WEST VIEW - Looking down new driveway at New Garage



NORTHWEST VIEW

2303 Bluff St.  
New Garage

6

Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for 2303 Bluff St.



SOUTHEAST VIEW



EAST VIEW



EAST VIEW

2303 Bluff St.  
New Garage

7

Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for 2303 Bluff St.



VIEW FROM BLUFF STREET



VIEW FROM BLUFF STREET

2303 Bluff St.  
New Garage

08

Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for 2303 Bluff St.



EXISTING WEST ELEVATION - View from 23rd Street.  
The 16' garage door and driveway will be removed. The new driveway accessing the New Garage will be in the left of the picture.



EXISTING WEST ELEVATION - View from 23rd Street.  
The new driveway will be in the left of the picture.

2303 Bluff St.  
New Garage  
**9**

Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for 2303 Bluff St.



EXISTING VIEW FROM BLUFF STREET.  
The New Garage is not visible at this angle.



EXISTING VIEW FROM BLUFF STREET.  
Because of the steep front grade change only the roof of the New Garage will be visible in the far background.

2303 Bluff St.  
New Garage

**11**

**DATE:** March 2<sup>nd</sup>, 2016  
**TO:** Landmarks Board  
**FROM:** James Hewat, Marcy Cameron  
**SUBJECT:** Update Memo

### **New Historic Preservation Intern**

William Barnum has replaced Angela as the historic preservation intern. William comes to us with a strong background in history and architecture. He is currently a student at the University of Colorado Denver pursuing a Master of Architecture. He holds a Bachelor of Art in Environmental Design at the University of Boulder with a minor in history.

### **Landmarks Board Appointments**

As of Friday February 19<sup>th</sup>, seven applications to fill the two Landmarks Board seats had be received by the City Manager's Office. Update at meeting

### **Landmarks Board Retreat Follow-up**

Heidi Brinkman has conducted short interviews with each Board member. Staff will be looking at adjusting times for Ldrc meetings and scoping ways to provide for more administrative reviews. The next retreat will be held in April when new board member(s) appointed.

### **Colorado Preservation Inc. *Saving Places* Conference**

The Saving Places Conference was held in Denver on February 3-6. James participated in a "Town and Gown" panel with representatives from Greeley and Fort Collins, Marcy gave a talk on Boulder's Mid-Century Modernism with former Landmarks Board Chair Mark Gerwing, as well as a talk on engaging local communities with architectural scavenger hunts. James and Marcy gave a talk on Boulder's Historic Preservation Plan. Update at meeting.

### **Civic Area Glen Huntington Band Shell/Atrium Building**

The Band Shell was listed as one of Colorado's Most Endangered Places by Colorado Preservation, Inc. at the *Saving Places* Conference. Information on this program is available at <http://coloradopreservation.org/programs/endangered-places/>. The complete streets study for Canyon Boulevard is underway and the potential impact of the band shell on the complete streets program will be assessed as part of this study. Anderson-Hallas has be hired to undertake a peer review of a reuse option for the Atrium Building to be used as a market hall. Update at meeting

### **Landmarks Board Lecture Series**

Mark Gerwing and James Hewat reprised the CPI talk on Boulder's Mid-Century Modernism on Feb. 17. Approximately 60 people attended. The next event is a screening of *Visual Acoustics* on March 16<sup>th</sup> at the Boulder Library Canyon Theater. See following page for flier.

### **University of Colorado Conference Center, Grandview Site**

Historic Preservation staff has been involved in continuing discussions about the possibility of a university conference center locating at Grandview Avenue and Broadway Road. Analysis of integrating the Quaker Meeting House into the redevelopment and other properties that may be affected by such a redevelopment.

### **Certified Local Government Grant – NAPC Conference**

The city has received a CLG grant for two board members and a staff member to attend the National Alliance of Preservation Commissions Forum in Mobile, AL from July 27-31, 2016. Session

information will be posted April 1<sup>st</sup>, 2016 on the NAPC website:

<https://www.regonline.com/builder/site/default.aspx?EventID=1772691>

### **Certified Local Government Grant – Historic Resource Survey Plan**

The city has selected Tatatanka Historic Associates Inc. to assist in the preparation of a Historic resource Survey Plan. Update at meeting.

### **University Hill Commercial District – National Register Nomination**

On Dec. 8, the City Council reviewed the [University Hill Reinvestment Strategy Update](#) (click for memo). As part of the strategy, the city is pursuing National Register designation for the commercial district. In October, History Colorado determined that the University Hill Commercial District is eligible for National Register designation. The city will be issuing an RFP to hire a consultant to prepare and submit the nomination in 2016. Update at meeting.

### **Comprehensive Planning and Sustainability Calendar**

See attached.

### **February 22<sup>nd</sup>, 2016 Land Use Review Comments for Redevelopment of 4750 Broadway Road**

*The Armory was completed in 1949 and has been operated by the Colorado Air National Guard and the Colorado Army National Guard.<sup>1</sup> In 1950, the Daily Camera reported that the facility cost \$4 million to construct and that it housed the third largest National Guard unit of its type in the United States and the largest Guard unit, including both ground and air squadrons, in Colorado.<sup>2</sup> The facility was originally built to serve as the headquarters for the 139<sup>th</sup> Aircraft Control and Warning Squadron of the Colorado Air National Guard. The unit was formed in Boulder in 1947 and maintained 4750 Broadway as their headquarters until 1956, when the unit relocated to Buckley Air Force Field near Denver. In 1956, the property served as the headquarters for Battery A of the 137<sup>th</sup> Artillery of the Colorado Army National Guard. Currently four buildings remain on site. The largest the long, gable roofed Mess Hall which the current proposal proposes to integrate into the redevelopment of the property. Staff does consider this building to be potentially eligible for Landmark designation and appreciates plans to preserve it.*

*Site Review approval of this project would require the applicant's submittal of a completed application to landmark the property as per policy 2.24 Preservation of Historic and Cultural Resources of the Boulder Valley Comprehensive Plan. Staff strongly recommends that an application be submitted with a proposed Landmark boundary, as soon as possible so that we can schedule a designation hearing. This will allow the Landmarks Board to review the proposed rehabilitation of the building in the context of the larger re-development of the property so that the subsequent Planning Board review will include the Landmark Board's comments and recommendations. In particular, changes occurring within a proposed landmark boundary will require review. This will include appropriateness of proposed dormers, exterior finish, changes in fenestration, roofing, etc. based upon consistency with the General Design Guidelines for Boulder's Historic Districts and Individual Landmarks available online at <https://www-static.bouldercolorado.gov/docs/section-t-general-design-guidelines-for-historic-districts-and-individual-landmarks-1-201305201317.pdf>.*

Please note that the historic preservation ordinance (9-11-5(a)) states that once a completed application for landmark designation made by the property owner is received, a public hearing must be heard by the Landmarks Board between 60 & 120 days of the application date. Once an application has been submitted, the proposal can be reviewed by the landmark alteration certificate (LAC) review process. An LAC and building permit issued prior to completion of the landmarking

<sup>1</sup> "Air Guard Training Station Opened In 1950." *Daily Camera*. 9 January, 1966.

<sup>2</sup> *Ibid.*

process. Landmarked buildings on the property would potentially be eligible for the Colorado State Historic Preservation Tax Credit and the City's permit fee waiver.

# 2016 LANDMARKS BOARD LECTURE/ FILM SERIES

jan  
13

## The Architect and The Painter

A documentary film about Ray Eames, an artist, & Charles Eames, an architect, significant industrial designers of the 2nd half of the 20th century. Directed by Jason Cohn and Bill Jersey, 2011

6 PM  
Boulder Main  
Library's  
Canyon Theater  
1001 Arapahoe

feb  
17

## Mid Century Modern in Boulder

Join Historic Preservation Planner Marcy Cameron and local architect Mark Gerwing for a lecture on Boulder's Midcentury Modernism. The talk will include the social context of the 1960s in Boulder, highlight the important works of Boulder's modernists and discuss local preservation efforts in recognizing this era.

7 PM  
The Academy's  
Historic Chapel  
Hall  
970 Aurora

mar  
16

## Visual Acoustics, the Modernism of Julius Shulman

A documentary film about a leading architectural photographer, Julius Shulman, who captured the modern works of Richard Neutra, John Lautner, Frank Lloyd Wright & others. Directed by Eric Bricker, 2008

6 PM  
Boulder Main  
Library's  
Canyon Theater  
1001 Arapahoe

apr  
13

## Ode to a Persian Garden

The Persian Garden, with a history of over 2500 years, is an art form that has influenced garden design from Spain to India. Together with the pavilions and other structures that are integral to these earthly depictions of Paradise, the Persian Garden has made significant contributions to world culture. The Boulder Dushanbe Teahouse is one of the only examples of this tradition in the Americas, and this talk will place it in the rich cultural context it so beautifully represents.

6 PM  
Boulder Main  
Library's  
Canyon Theater  
1001 Arapahoe

may  
13

## Bicycle Tour

Join us on a bicycle tour of the Highland Lawn & Mapleton Hill historic districts & see the recently completed restoration of the Hannah Barker House. Meet at the shuffle board courts west of city offices 1101 Arapahoe & south of Boulder Creek.

NOON  
Meet @ shuffle  
board courts

may  
may  
may

## Historic Preservation Month

Stayed tuned for additional events. For updates on the lecture series and other historic preservation events, visit [www.boulderhistoricpreservation.net](http://www.boulderhistoricpreservation.net).

PROGRAM DETAILS ARE SUBJECT TO CHANGE. CHECK WEBSITE FOR LATEST INFORMATION. [www.boulderhistoricpreservation.net](http://www.boulderhistoricpreservation.net)



# March 2016

Mon	Tue	Wed	Thu	Fri																																										
<div style="border: 1px solid black; padding: 5px; width: fit-content;"> <p>Feb 2016</p> <table border="1"> <tr><td>M</td><td>T</td><td>W</td><td>T</td><td>F</td><td>S</td><td>S</td></tr> <tr><td>1</td><td>2</td><td>3</td><td>4</td><td>5</td><td>6</td><td>7</td></tr> <tr><td>8</td><td>9</td><td>10</td><td>11</td><td>12</td><td>13</td><td>14</td></tr> <tr><td>15</td><td>16</td><td>17</td><td>18</td><td>19</td><td>20</td><td>21</td></tr> <tr><td>22</td><td>23</td><td>24</td><td>25</td><td>26</td><td>27</td><td>28</td></tr> <tr><td>29</td><td></td><td></td><td></td><td></td><td></td><td></td></tr> </table> </div>	M	T	W	T	F	S	S	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29							<p><b>1</b></p> <p><b>CC Meeting Rescheduled for February 29 6 p.m.</b></p>	<p><b>2</b></p> <p><b>Development Fees Working Group Meeting #2, 5-8 p.m., Library Boulder Creek Room</b></p> <p><b>LB, 6 p.m. in CC</b></p>	<p><b>3</b></p> <p><b>PB Meeting, 5pm in CC</b></p> <p><small>*4403 Broadway Site &amp; Use Review (C. Van Schaack)</small></p> <p><small>*4801 Riverbend Concept Plan (C. VanSchaack)</small></p>	<p><b>4</b></p>
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<p><b>9</b></p> <p>Development Fees Working Group Meeting #3, 5-8 p.m., Library Boulder Creek Room</p>	<p><b>10</b></p> <p>CC SS, 6 p.m. in CC *Potential Ballot Items and Budget and Long Range Financial Planning Update *Boulder Energy Future Update</p>	<p><b>11</b></p> <p>DAB, 4 p.m. in 1777 West Conference Room</p>	<p><b>12</b></p> <p>BOZA Meeting, 5 p.m. in CC</p>	<p><b>13</b></p>																																																																																																			
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