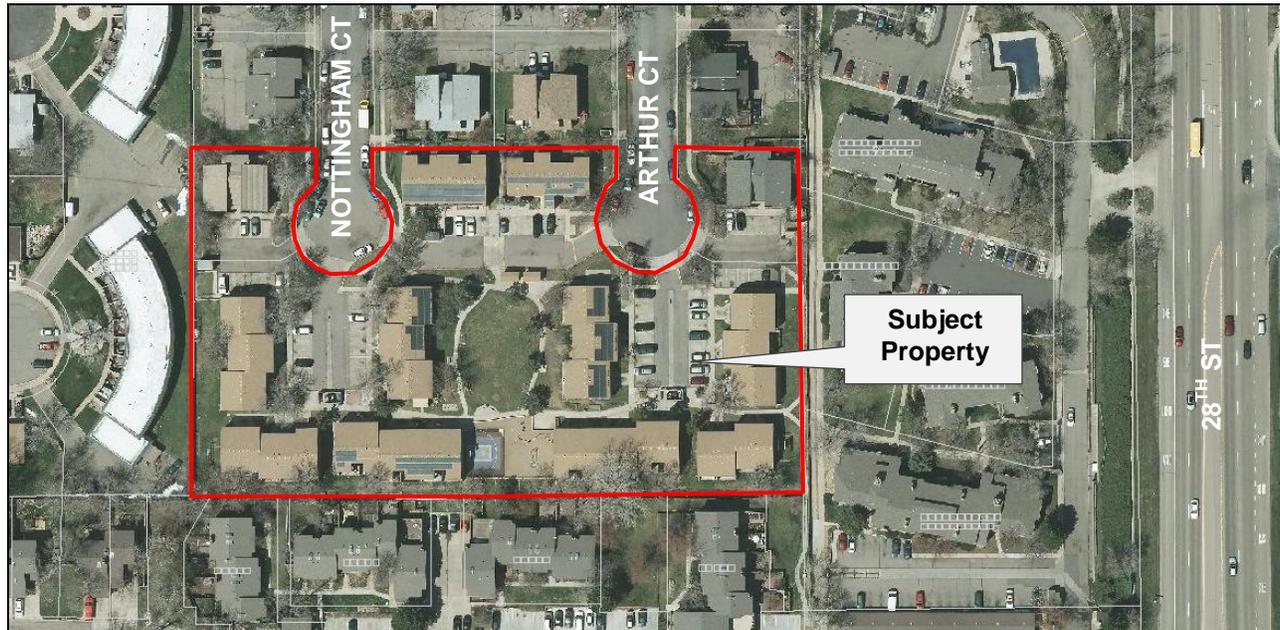


## MEMORANDUM

**To:** Planning Board  
**FROM:** Sloane Walbert, Case Manager  
**DATE:** August 17, 2015  
**SUBJECT:** **Call Up Item:** Approval of a Minor Amendment to Approved Site Review to convert six one-bedroom units into a new community center at 3502 Nottingham Ct. (Kalmia Apartments), which includes the addition of 588 square feet on two levels. Included in the approval are new porches and decks on all ten buildings, new storage sheds for all units, updated landscaping and a relocated playground. In addition, the drive access between Nottingham Ct. and Arthur Ct. will be converted into a one-way pedestrian-oriented street. The project site is zoned Residential – High 4 (RH-4). Case No. LUR2015-00023.

**Background.** The subject development is owned and managed by Boulder Housing Partners. The property is comprised of four lots at the south terminus of Arthur Court and Nottingham Court, west of 28<sup>th</sup> Street and south of Kalmia Avenue in North Boulder (see vicinity map). The project site is zoned Residential – High 4 (RH-4), which is defined as “high density residential areas primarily used for a variety of types of attached residential units, including, without limitation, apartment buildings, and where complementary uses may be allowed” (section 9-5-2(c)(1)(F), B.R.C. 1981). In addition, the property is located in the Winding Trail neighborhood within the North Boulder Subcommunity Plan.



**Figure 1: Vicinity Map**

City records indicate that the development was approved as a Planned Residential Development (PRD) in 1970 (Sherwood Estates 1<sup>st</sup> Addition) for 55 dwelling units, which are currently being provided on the site. It does not appear that a parking reduction was considered with the original approval. However, the site is non-conforming due to parking. There is currently a 32 percent parking deficiency because 60 spaces are provided where 88 spaces are required. This level of deficiency will remain following the proposed redevelopment.

**Project Proposal.** The applicant is requesting the conversion of six one-bedroom units into a community center within Building 3525 of the Kalmia Apartments (refer to Figure 2). The proposal includes the addition of 588 square feet to the first and second floors of the building, which is located on the north end of the site. The 4,008 square foot community center will allow Boulder Housing Partners to provide on-site services for residents and will serve as a gathering place for the community. The proposed addition will be integrated into the existing building design with horizontal lap siding and brick veneer. Refer to architectural plans in



**Figure 2: Building 3525**

**Attachment D.** In addition, existing building facades will be updated with new fiber cement horizontal siding. The proposal includes expanding the existing front porches for each unit to be 8 feet deep and adding wood trellises. Additional brick will be incorporated to create new separating walls for each porch. The existing rear decks will be replaced but will not be expanded. In addition, new storage sheds will be provided for each unit either at rear decks or along the end of the building (1,050 square feet total).

As a part of redevelopment, the existing access between Arthur Court and Nottingham Court will be converted to a one-way woonerf style street. The existing asphalt will be removed and accent pavers or stamped concrete will be used within the woonerf to indicate that the access is a shared space. The drive design will feature narrow access points with additional landscaping and two pedestrian crossings with accent pavers or patterned concrete to slow traffic.



**Figure 3: Existing Access Drive**

A new covered steel and wood bus shelter will be added adjacent to the woonerf to serve public school buses. The woonerf design and building addition will remove four parking spaces. However, the conversion of six units into a community center will reduce the required parking by six spaces. As noted above, there will be no increase to the existing parking reduction. Short-term bike parking will be provided in the form of one “u” style bike rack at the entry of each unit and four “u” racks adjacent to the community mail kiosk (57 spaces total). For long-term parking, two vertical racks are included in each proposed shed for a total of 96 long-term bike parking spaces.

The proposal includes various site improvements, including updated landscaping. The landscape plan includes removing the existing playground and adding an updated play area in the central park area. Raised garden beds will remain along the perimeter of the site and additional beds will be added south of the play area. The area currently used for a basketball court will be removed in response to neighborhood feedback

(refer to “public comment” section below). The area will be landscaped and include a new tot lot play area for small children. Trees will be planted south of the play area to act as screening to the neighboring community. The proposed redevelopment is expected to exceed twenty-five percent of the value of the existing structures and all existing unshielded exterior light fixtures will be retrofitted with shielding to prevent light trespass, in compliance with section 9-9-16(c)(1), B.R.C. 1981. New and existing trash enclosures will be screened by horizontal wood or composite planks with climbing plantings. Refer to [Attachment D](#) for approved plans.

**Review Process.** The property is subject to an approved Planned Unit Development (PUD #P-81-67). A Minor Amendment to an Approved Site Plan is required to modify the intent of the original approval and convert approved dwelling units to a community center. A Minor Site Review Amendment is subject to Planning Board call up per Land Use Code section 9-2-14(l), B.R.C. 1981.

**Project Analysis:** The criteria for a Minor Amendment requires an evaluation of a project with specific Site Review criteria in subsections 9-2-14(h)(2) (A), (C), and (F), B.R.C. 1981, Open Space, Landscaping, and Building Design respectively. In terms of open space, the building coverage on the property will slightly increase with the proposed additions, which effectively reduces the open space. However, the required open space has been reduced due to the decrease in dwelling units provided on the site. The total open space proposed on the site is 60,974 square feet, which is in excess of the required usable open space of 58,800 square feet (1,200 square feet per dwelling unit). In addition, the quality of the open space will be greatly improved with updated landscaping, new porches and decks, outdoor seating, and play areas. The shared pedestrian space in the woonerf will connect the central park space to the new community center. In addition, landscape improvements will update the existing dated overgrown plantings like juniper shrubs to provide a mix of low water, low maintenance and native vegetation.



**Figure 3: Existing Building Entrances**

Regarding building design, the area is characterized by predominantly one- and two-story residential buildings most representative of architecture in the late 1960’s and 1970’s. Most buildings are clad in wood or brick. Site Review criteria (F) looks at the compatibility of the proposed “height, mass and scale in the existing character of the area, or the character established by adopted design guidelines for the area.” The proposed design calls for maintaining the existing brick veneer and matching the existing brick at the porches with new separating walls. Fiber cement horizontal siding will be used to update the existing siding. Staff finds that the design and materials are compatible with the surrounding neighborhood.

Refer to [Attachment C](#) for the site review criteria checklist.

**Public Comment:** Required public notice was provided in the form of written notifications of the application to property owners within 600 feet of the subject property. In addition, a public notice sign was posted on the property. All public notice requirements of section 9-4-3, “Public Notice Requirements,” B.R.C. 1981 were met. In addition, the notice was forwarded to the Parkside Homeowners Association for comment. In

response to the public notice, several phone calls and emails were received from neighbors regarding the proposal (refer to **Attachment B** for neighborhood correspondence). Neighbors were primarily concerned about disruptive activity along the south fence line, including objects thrown over the fence, and noise disturbances late at night. The initial proposal included an expanded basketball court and new futsal field on the south end of the site. Many neighbors had concerns that this would perpetuate disruptive activity in this area. Boulder Housing Partners and the applicant, Kristen Uitto from Caddis Architecture, hosted a neighborhood meeting on July 21, 2015 at the Boulder Jewish Community Center at 3800 Kalmia Avenue to discuss neighborhood concerns and solicit feedback. Twelve neighbors attended the meeting.

Following feedback from the meeting, Boulder Housing Partners sent a notice to residents in the community describing acceptable resident behavior. In addition, third party security patrols have been increased. Significant revisions were made to the site plan to address neighborhood concerns. The basketball court and futsal field were removed from the site entirely and the play areas were expanded. Raised garden beds were added to this area to provide an additional buffer between the main activities in the central park area and the south fence line.

**Conclusion:** Staff finds that the application for a Minor Amendment meets the criteria of section 9-2-14(l), B.R.C. 1981. The proposal was approved by staff on August 10, 2015 and the decision may be called up before Planning Board on or before August 24, 2015. There is one Planning Board hearing scheduled during the required 14-day call-up period on August 20, 2015. Questions about the project or decision should be directed to the Case Manager, Sloane Walbert at (303) 441-4231 or [walberts@bouldercolorado.gov](mailto:walberts@bouldercolorado.gov).

**Attachments.**

- Attachment A:** Staff Disposition
- Attachment B:** Neighborhood Correspondence
- Attachment C:** Site Review Criteria
- Attachment D:** Approved Plan Set



**CITY OF BOULDER**  
**Community Planning & Sustainability**

1739 Broadway, Third Floor • P.O. Box 791, Boulder, CO 80306-0791  
phone 303-441-1880 • fax 303-441-3241 • web www.bouldercolorado.gov

**CITY OF BOULDER PLANNING DEPARTMENT**  
**NOTICE OF DISPOSITION**

You are hereby advised that the following action was taken by the Planning Department based on the standards and criteria of the Land Use Regulations as set forth in Chapter 9-2, B.R.C. 1981, as applied to the proposed development.

DECISION: **Approved with conditions**  
PROJECT NAME: **KALMIA APARTMENTS**  
DESCRIPTION: **MINOR AMENDMENT TO APPROVED SITE PLAN to convert six one-bedroom units into a new community center within Building 3525 at the Kalmia Apartments, which includes the addition of 588 square feet on two levels. The community center will be for the exclusive use of the apartment complex. Included in the approval are new porches and decks on all ten buildings, new storage sheds for all units, updated landscaping and a relocated playground. In addition, the drive access between Nottingham Ct. and Arthur Ct. will be converted into a one-way pedestrian-oriented street.**

LOCATION: **3502 NOTTINGHAM CT**  
COOR: **N06W04**  
LEGAL DESCRIPTION: **Lots 6, 7, 15 and 16, Sherwood Estates 1<sup>st</sup> Addition, County of Boulder, State of Colorado**

APPLICANT: **KRISTEN UITTO, CADDIS PC**  
OWNER: **Housing Authority of the City of Boulder**  
APPLICATION: **Minor Site Review Amendment, LUR2015-00023**  
ZONING: **Residential – High 4 (RH-4)**  
CASE MANAGER: **Sloane Walbert**  
VESTED PROPERTY RIGHT: **NO; the owner has waived the opportunity to create such right under Section 9-2-19, B.R.C. 1981.**

FOR CONDITIONS OF APPROVAL, SEE THE FOLLOWING PAGES OF THIS DISPOSITION.

Approved On: 8/10/15  
Date

By: [Signature]  
David Driskell, Executive Director of Community Planning and Sustainability

This decision may be appealed to the Planning Board by filing an appeal letter with the Planning Department within two weeks of the decision date. If no such appeal is filed, the decision shall be deemed final fourteen days after the date above mentioned.

Appeal to Planning Board expires: 8/24/15

Final approval date: \_\_\_\_\_

IN ORDER FOR A BUILDING PERMIT APPLICATION TO BE PROCESSED FOR THIS PROJECT, A SIGNED DEVELOPMENT AGREEMENT AND FINAL PLANS FOR CITY SIGNATURE MUST BE

Address: 3502 NOTTINGHAM CT

SUBMITTED TO THE PLANNING DEPARTMENT WITH DISPOSITION CONDITIONS AS APPROVED SHOWN ON THE FINAL PLANS, IF THE DEVELOPMENT AGREEMENT IS NOT SIGNED WITHIN NINETY (90) DAYS OF THE FINAL DECISION DATE, THE PLANNING DEPARTMENT APPROVAL AUTOMATICALLY EXPIRES.

Pursuant to Section 9-2-12 of the Land Use Regulations (Boulder Revised Code, 1981), the applicant must begin and substantially complete the approved development within three years from the date of final approval. Failure to "substantially complete" (as defined in Section 9-2-12) the development within three years shall cause this development approval to expire.

### CONDITIONS OF APPROVAL

1. The Applicant shall be responsible for ensuring that the **development shall be in compliance with all plans** prepared by the Applicant on July 29, 2015 and on file in the City of Boulder Planning Department, except to the extent that the development may be modified by the conditions of this approval.
2. The Applicant shall **comply with all previous conditions** contained in any previous approvals, except to the extent that any previous conditions may be modified by this approval, including, but not limited to, Planned Residential Development (PRD) for Sherwood Estates 1<sup>st</sup> Addition approved October 5, 1970.
3. Prior to building permit application, the Applicant shall dedicate to the City, at no cost, the following easements as shown on the approved plans, meeting the City of Boulder Design and Construction Standards, as part of Technical Document Review applications, the form and final location of which shall be subject to the approval of the City Manager:
  - a. A 10-foot wide **utility easement** for the irrigation meter located south of the woonerf connection between Nottingham Ct. and Arthur Ct.
4. Prior to a building permit application, the Applicant shall submit a Technical Document Review application for the following items, subject to the approval of the City Manager:
  - a. A **final utility plan** meeting the City of Boulder Design and Construction Standards.
  - b. A **final storm water report and plan** meeting the City of Boulder Design and Construction Standards.
  - c. A **detailed landscape plan**, including size, quantity, and type of plants existing and proposed; type and quality of non-living landscaping materials; any site grading proposed; and any irrigation system proposed, to insure compliance with this approval and the City's landscaping requirements. Removal of trees must receive prior approval of the Planning Department. Removal of any tree in City right of way must also receive prior approval of the City Forester.

Address: 3502 NOTTINGHAM CT

**From:** [Dan](#)  
**To:** [Walbert, Sloane](#)  
**Subject:** 3502 Nottingham Ct. Renovations  
**Date:** Thursday, March 19, 2015 9:21:17 AM

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Hello Sloan,

I am a property owner of one of townhouses (2711 Juniper Avenue) backing to the Kalmia Apartments and I have some questions regarding the potential renovations. There have been some slight issues (but some consistent) over the years and if some of these could be alleviated with the renovations that would be great!

Here are some of the problems I have encountered:

1. Rocks and trash have been thrown at my unit and my dog. Both when I was outside and otherwise.
2. Rocks are thrown against the fence when I have occupying my backyard.
3. The upstairs bedroom window (facing the playground) has been shot with a BB or pellet gun (I'm happy to provide you with a photo).
4. Especially during the summer, residents (mostly children, as far as I can tell) are playing basketball or running around making quite a bit of noise late at night. It is not uncommon for this to go on after 10pm and even after 11pm.

There weren't many details in the letter I received, but it appears that the playground will be moved in lieu of a community center. Can you please confirm this? If this is the case, it seems like it may potentially eliminate some of the issues mentioned above, yes?

If this is the case of a community center being built in the space where the playground is, I am curious about new issues that may arise. Will there be south facing deck(s)/window(s) that will potentially affect my privacy (i.e. looking down into my yard or in my bedroom window)? Will there be some type of yard that will back onto my back fence? If yes, will this be fenced off and have limited hours of operation?

Any more available details would be helpful. I will not be able to get downtown to look at the project by tomorrow, is it possible to get the proposal sent via email?

Overall, my initial reaction to the building proposal is excitement. There are definitely improvements that can be made and there is no doubt that these renovations can be helpful to the Kalmia Apartments neighborhood as well as mine. But, I'd hate to have unanticipated problems pop-up when they could easily be avoided.

Please feel free to contact me at this email address or at 303.819.8887 with any questions. I'd be happy to provide more feedback.

Regards,

Dan Watson

**From:** [Brian Zegarski](#)  
**To:** [Walbert, Sloane](#)  
**Subject:** Comments on Kalmia Apts Site Plan Amendment  
**Date:** Thursday, March 19, 2015 6:50:49 PM

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Mr. Walbert,

I would like to comment on the amendment to the Kalmia Apartments site plan. I reside in Willow Springs building #9, directly behind the fence, south of the current playground. I am also President of the Willow Springs 9 Home Owners' Association and so represent the concerns of other residents of this complex which directly adjoins the Kalmia property.

We request that any relocation of the existing playground—and especially the basketball court—be accomplished with an ultimate objective of minimizing the noise and disruptive activity to the neighbors directly to the south. The current basketball court and playground have presented a serious problem for me and the other residents of my building: since our bedrooms are situated on the second floor directly facing the Kalmia property—and since our units are not air-conditioned so windows must be left open at night—noise has been a problematic issue in the past, with basketball and late-night activity keeping us awake long past midnight.

Also of concern is the damage caused by rocks and other objects that children throw over the fence from the playground; besides the obvious nuisance value, this has resulted in broken windows on several occasions.

And with a playground surface comprised of pea-gravel, there has been an endless source of "ammunition".

It is our hope that the playground and especially the basketball court can be relocated away from the property boundary where in the past, they have instigated intense disputes and police intervention—perhaps to a location more central to the Kalmia complex where parents can keep a watchful eye on their children and where rowdy basketball games will be further distanced from quiet neighbors.

Thank you for the opportunity to contribute to the planning process;  
Sincerely,

**Brian**

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• Brian Zegarski

Embedded Systems Engineer  
Electronics | Firmware | Software

**Intuicom**, Inc.

4900 Nautilus Ct. N, Suite 100  
Boulder, CO 80301 USA

[bzegarski@intuicom.com](mailto:bzegarski@intuicom.com)

Office: 303-449-4330 x231

FAX: 303-449-4346

[www.intuicom.com](http://www.intuicom.com)

3/17

Voicemail from Mark Wood in Willow Springs Apartments

-concern about location of community center, expansion of decks

4/7

Conversation with Mark Wood

Explained that rear patios will not be expanded, just upgraded.

General noise complaints late at night, units are close together

Would like contact information for BHP manager

303-517-1653

Markwood.me@gmail.com

**From:** [Brian Zegarski](#)  
**To:** [Walbert, Sloane](#)  
**Subject:** RE: Comments on Kalmia Apts Site Plan Amendment  
**Date:** Monday, April 06, 2015 3:03:34 PM

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Hi Sloane,

Thanks so much for the follow-up and especially for all the detail on the proposed plan! I passed this info along to the other HOA members.

We're glad to hear that the rocks (potential ammunition!) will be removed. But we are disheartened to learn that the basketball court will be expanded in its current location—that was our worst fear. Retaining the playground and moving the court beyond immediate ear-shot would actually be far easier on us than what is being proposed.

The big problem with the court is that activity—often aggressive, teenage testosterone-driven shouting and horsing around, and the incessant ping-pong of a ball—occurs at all hours. Sandwiched between two brick walls as it is, all sound is echoed, further amplified, and directed to our bedroom windows and backyards. Imagine trying to entertain guests or hot-tubbing in the backyard, or trying to sleep at night when all this commotion is mere feet away. I don't understand the process whereby the current, half-court was granted approval a few years ago but it seems to have been done with no regard for the rest of the neighborhood... or its property value.

Would this compromise work: Could we add a stipulation to the current amendment requiring that the court be closed after a certain hour? Say 9 or 10 PM? Perhaps a locking gate and lights on a timer. At least this would give us some recourse should things get out of hand; currently there is no curfew on playground/court hours and this has left us no leverage in dealing with Kalmia's property managers. More than any other factor, that is what has led to all the late-night police calls.

And the staff-suggested landscaping and fence—if of sufficient height to block errant balls from slamming into our dinner parties—would be a very welcome addition! I hope they follow your recommendation.

Yes, please do forward me a digital copy of the plans once they're resubmitted; thanks. I want to express again my appreciation for the opportunity to voice our concerns regarding the amendment and to thank you for hearing our grievances. Please let me know if I can provide you with any further information that might help you with the review process.

Respectfully,

**Brian**

---

• Brian Zegarski  
Embedded Systems Engineer  
Electronics | Firmware | Software

**Intuicom**, Inc.  
4900 Nautilus Ct. N, Suite 100  
Boulder, CO 80301 USA

[bzegarski@intuicom.com](mailto:bzegarski@intuicom.com)

**From:** [Jay Hebb](#)  
**To:** [Walbert, Sloane](#)  
**Subject:** Kalmia Apartments on Nottingham Ct  
**Date:** Friday, May 08, 2015 10:26:33 AM

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Hi Sloane,

I hope this note finds you having a good day. I am writing today as a concerned homeowner of a townhome in Willow Springs on Juniper Ave. By in large, this project looks great and I am excited for the people that live there. The only area of concern is related to the expansion of the recreational area on the plan. This area of the site has historically been a problem and I am afraid that an expansion will only further and heighten the ongoing issues.

In concept it looks great however the concept assumes good judgment and respectful behavior. Unfortunately we have not witnessed much of either in this area of the site which has resulted in all sorts of objects (big and small) being thrown over the fence into the unexpected yards of the neighbors, the harassment of pets and loud late night parties. With all of this in mind I urge you to either reconsider this expansion or relocate it within the site. Thank you in advance for your sensitivity to this matter.

Best,

**Jay Hebb** | Partner | RE/MAX Alliance Downtown

**M:** 303.859.9485 | **O:** 303.442.3180 | **F:** 303.442.6765

**From:** [Stephen Streicher](#)  
**To:** [Walbert, Sloane](#)  
**Subject:** Plans for Kalmia apartments  
**Date:** Friday, May 08, 2015 2:00:06 PM

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Dear Sloane,

My name is Stephen Streicher and I own the property right alongside the basketball court and my big concern is that if the court(s) are turned to the south I will end up with even more balls in my backyard, possibly damaging outdoor furniture, plants, lights, etc. on a regular basis. Also with that comes kids hopping fences into not only my own but other residents yards to retrieve lost balls, which could result in more damaged property and an invasion on our privacy. There would be an increase in noise and damage to the fences from accidental and possibly intentional balls hitting the fence, being very costly to fix on a regular basis for the residents. These are a few of my concerns and I do believe I am not alone. Thank you for your time and taking our concerns into consideration.

-Stephen Streicher

[stephenstreicher1@gmail.com](mailto:stephenstreicher1@gmail.com)

**From:** [Brian Zegarski](#)  
**To:** [Walbert, Sloane](#)  
**Subject:** RE: Comments on Kalmia Apts Site Plan Amendment  
**Date:** Monday, April 06, 2015 3:03:34 PM

---

Hi Sloane,

Thanks so much for the follow-up and especially for all the detail on the proposed plan! I passed this info along to the other HOA members.

We're glad to hear that the rocks (potential ammunition!) will be removed. But we are disheartened to learn that the basketball court will be expanded in its current location—that was our worst fear. Retaining the playground and moving the court beyond immediate ear-shot would actually be far easier on us than what is being proposed.

The big problem with the court is that activity—often aggressive, teenage testosterone-driven shouting and horsing around, and the incessant ping-pong of a ball—occurs at all hours. Sandwiched between two brick walls as it is, all sound is echoed, further amplified, and directed to our bedroom windows and backyards. Imagine trying to entertain guests or hot-tubbing in the backyard, or trying to sleep at night when all this commotion is mere feet away. I don't understand the process whereby the current, half-court was granted approval a few years ago but it seems to have been done with no regard for the rest of the neighborhood... or its property value.

Would this compromise work: Could we add a stipulation to the current amendment requiring that the court be closed after a certain hour? Say 9 or 10 PM? Perhaps a locking gate and lights on a timer. At least this would give us some recourse should things get out of hand; currently there is no curfew on playground/court hours and this has left us no leverage in dealing with Kalmia's property managers. More than any other factor, that is what has led to all the late-night police calls.

And the staff-suggested landscaping and fence—if of sufficient height to block errant balls from slamming into our dinner parties—would be a very welcome addition! I hope they follow your recommendation.

Yes, please do forward me a digital copy of the plans once they're resubmitted; thanks. I want to express again my appreciation for the opportunity to voice our concerns regarding the amendment and to thank you for hearing our grievances. Please let me know if I can provide you with any further information that might help you with the review process.

Respectfully,

**Brian**

---

• Brian Zegarski  
Embedded Systems Engineer  
Electronics | Firmware | Software

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4900 Nautilus Ct. N, Suite 100  
Boulder, CO 80301 USA

[bzegarski@intuicom.com](mailto:bzegarski@intuicom.com)

**From:** [David Leland Hyde](#)  
**To:** [Brian Zegarski](#)  
**Cc:** [Walbert, Sloane](#); [brian@zegarski.net](mailto:brian@zegarski.net)  
**Subject:** Re: Revised Plans for the Kalmia Apartments at 3502 Nottingham Ct.  
**Date:** Friday, May 08, 2015 4:36:33 AM

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To Whom It May Concern:

I would like to request that the basketball and other children's play areas be as far as possible away from our back fences. This will cut down on the noise nuisance calls to Boulder Police. Hopefully also it will keep trespassing kids from jumping our fences to retrieve balls and ending up in jail.

David Hyde  
2717 Juniper Ave  
Boulder, CO 80304

On May 7, 2015, at 5:00 PM, Brian Zegarski <[bzegarski@intuicom.com](mailto:bzegarski@intuicom.com)> wrote:

Hi Sloane,

Thank you for forwarding the Kalmia site plans; I had the opportunity to thoroughly review the court area in particular, and to discuss it with our residents.

Perhaps it was just an oversight but I see that the basketball hoops have been placed along the southern court boundary, facing north. Unfortunately, this orientation virtually guarantees a continuous volley of basketballs over the fence, crashing into our yards and gardens, and harassing our dogs.

I also see no specifications for the proposed fence separating the courts from the 11-foot wide utility easement corridor directly to the south of the courts. Other than "new painted fencing", I can find no other stipulations as to height or materials. Our concern is that to contain stray soccer and basketballs—and given the regulation hoop height of ten feet—a fence of considerable height would be required but perhaps not installed for financial or aesthetic reasons. Indeed, such a structure would be quite ugly and imposing, especially for those neighbors to the south, and would do little to contain the noise in an area enclosed on the east and west by sound-reflective, brick walls.

While the proposed location for the expanded courts may occupy a little-used, little-seen area for the Kalmia residents, we feel that this location shows no regard for the Willow Springs neighbors to the south in terms of noise and disruption. Currently, the soccer field occupies the central grassy area where all residences are equidistant and exposed to a minimal amount of nuisance and where activities, if they get out-of-hand, can be supervised by adults, especially after nightfall. Moving this problem space off to their southern boundary may ease those residents' annoyance and sense of responsibility, but at the expense of those off-site property owners who have little recourse other than to phone the police department or tangle with unruly and unsupervised youth.

**From:** [Brian Zegarski](#)  
**To:** [Walbert, Sloane](#)  
**Cc:** [brian@zegarski.net](mailto:brian@zegarski.net)  
**Subject:** RE: Revised Plans for the Kalmia Apartments at 3502 Nottingham Ct.  
**Date:** Thursday, May 07, 2015 6:00:14 PM

---

Hi Sloane,

Thank you for forwarding the Kalmia site plans; I had the opportunity to thoroughly review the court area in particular, and to discuss it with our residents.

Perhaps it was just an oversight but I see that the basketball hoops have been placed along the southern court boundary, facing north. Unfortunately, this orientation virtually guarantees a continuous volley of basketballs over the fence, crashing into our yards and gardens, and harassing our dogs.

I also see no specifications for the proposed fence separating the courts from the 11-foot wide utility easement corridor directly to the south of the courts. Other than “new painted fencing”, I can find no other stipulations as to height or materials. Our concern is that to contain stray soccer and basketballs—and given the regulation hoop height of ten feet—a fence of considerable height would be required but perhaps not installed for financial or aesthetic reasons. Indeed, such a structure would be quite ugly and imposing, especially for those neighbors to the south, and would do little to contain the noise in an area enclosed on the east and west by sound-reflective, brick walls.

While the proposed location for the expanded courts may occupy a little-used, little-seen area for the Kalmia residents, we feel that this location shows no regard for the Willow Springs neighbors to the south in terms of noise and disruption. Currently, the soccer field occupies the central grassy area where all residences are equidistant and exposed to a minimal amount of nuisance and where activities, if they get out-of-hand, can be supervised by adults, especially after nightfall. Moving this problem space off to their southern boundary may ease those residents’ annoyance and sense of responsibility, but at the expense of those off-site property owners who have little recourse other than to phone the police department or tangle with unruly and unsupervised youth.

The Willow Springs owners I have spoken with vehemently oppose the expansion and reorientation of Kalmia’s single-hoop basketball court—and the construction of a new futsal court—all in an out-of-sight, out-of-mind space, isolated from parental supervision but fully exposed to our private living spaces where conflict will certainly result.

Respectfully,

**Brian**

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• Brian Zegarski  
Embedded Systems Engineer  
Electronics | Firmware | Software

**Intuicom**, Inc.  
4900 Nautilus Ct. N, Suite 100  
Boulder, CO 80301 USA

[bzegarski@intuicom.com](mailto:bzegarski@intuicom.com)

**From:** [Annie Woodward](#)  
**To:** [Walbert, Sloane](#)  
**Subject:** Revised Plans for the Kalmia Apartments at 3502 Nottingham Ct.  
**Date:** Friday, May 08, 2015 7:00:56 AM

---

Dear Mr. Walbert,

My name is Annie Boetjer Woodward and I am a resident in the Willow Springs Complex. I live at 2693 Juniper Avenue and am directly behind this complex just a bit north of where the current basketball courts are.

I am writing you a brief email to express my concerns with the new plans at Nottingham Ct. Although, I think the residents are in need of an upgraded community I am greatly concerned as to how this remodel will affect the quality of living also for the Willow Springs residents. My main concern is the increase in people that will be at the new community center and play area. It is extremely loud over there all the time - even late into the night. We have had our bedroom window broken from kids throwing rocks as well as damage done to our cars. We have been "harassed" by the kids throwing food at us when sitting outside on our patio just enjoying dinner. There is constantly trash and litter everywhere. And absolutely NO adult supervision ever. We have contacted the police several times out of desperation to help us with some of these issues but are always met with "There is nothing we can do." It is an extremely frustrating situation and my wish is to find a way in which both communities can benefit.

Thank you for your time and consideration.

--

*Warm Regards,*

Annie Woodward  
[www.anniewoodward.com](http://www.anniewoodward.com)

**From:** [Kent & Cornelia](#)  
**To:** [Walbert, Sloane](#)  
**Subject:** proposed expansion  
**Date:** Sunday, May 10, 2015 7:57:00 PM

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Hello,

I would like to express my concern about adding additional basketball courts and a soccer field to the Kalmia development play area directly to the north of Willow Springs. I own 2695 Juniper. Our deck overlooks the present play area. We contend with basketballs, soccer balls, and occasional rocks flung from the playground, as well as light and noise pollution when someone chooses to use the play area after dark. Please reconsider expanding the play area or, if it must be expanded, a green belt separating the play areas from the Willow Springs properties.

Thank you,

Kent Olson

2695 Juniper

**From:** [Stephen Streicher](#)  
**To:** [Walbert, Sloane](#)  
**Subject:** Plans for Kalmia apartments  
**Date:** Friday, May 08, 2015 2:00:06 PM

---

Dear Sloane,

My name is Stephen Streicher and I own the property right alongside the basketball court and my big concern is that if the court(s) are turned to the south I will end up with even more balls in my backyard, possibly damaging outdoor furniture, plants, lights, etc. on a regular basis. Also with that comes kids hopping fences into not only my own but other residents yards to retrieve lost balls, which could result in more damaged property and an invasion on our privacy. There would be an increase in noise and damage to the fences from accidental and possibly intentional balls hitting the fence, being very costly to fix on a regular basis for the residents. These are a few of my concerns and I do believe I am not alone. Thank you for your time and taking our concerns into consideration.

-Stephen Streicher

[stephenstreicher1@gmail.com](mailto:stephenstreicher1@gmail.com)

**From:** [Stevi Schaning](#)  
**To:** [Walbert, Sloane](#)  
**Subject:** Kalmia property expansion  
**Date:** Monday, May 11, 2015 9:13:14 AM

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Hi Sloane,

I own the condo at 2689 Juniper Avenue - the area directly behind the proposed Kalmia expansion. During my time living here, there has already been many nights of loud music, other noise, random balls/trash that show up on our property, etc. By allowing the expansion of a community center on this property, it will negatively impact the Willow Springs community, degrading our property values and making it a less enjoyable place to live. Please strongly consider the properties which will be negatively affected by this change before allowing the expansion.

Thanks,  
Stevi Schaning (Wood)

**From:** [Brian Zegarski](#)  
**To:** [Walbert, Sloane](#)  
**Subject:** RE: Revised Plans for the Kalmia Apartments at 3502 Nottingham Ct.  
**Date:** Monday, July 06, 2015 4:54:59 PM

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Hello Sloane,

It's a pleasure to hear from you. I hope you had an enjoyable 4<sup>th</sup>.

I am glad to see the repositioning of the basketball hoops and the addition of trees and landscaping on the revised plan.

I am also happy to see that BHP is willing to work with neighbors to address further concerns. I think there is considerable interest in a neighborhood meeting with BHP. Would it be possible for you to set a tentative date/time/location so I can get firm commitments from our building's residents and owners?

Again I thank you for your continued efforts to achieve harmony in this project.

## Brian

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- Brian Zegarski  
Embedded Systems Engineer

**Intuicom**, Inc.  
4900 Nautilus Ct. N, Suite 100  
Boulder, CO 80301 USA

[bzegarski@intuicom.com](mailto:bzegarski@intuicom.com)

Office: 303-449-4330 x231

FAX: 303-449-4346

[www.intuicom.com](http://www.intuicom.com)

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**From:** Walbert, Sloane [mailto:WalbertS@bouldercolorado.gov]  
**Sent:** Thursday, July 02, 2015 3:17 PM  
**To:** 'syrup1776@gmail.com'; 'Brian Zegarski'; 'Markwood.me@gmail.com'; 'Stephen Streicher'; 'Jay Hebb'; 'Annie Woodward'; 'David Leland Hyde'; 'Kent & Cornelia'; 'Stevi Schaning'  
**Cc:** 'parksideparkhoa@gmail.com'  
**Subject:** RE: Revised Plans for the Kalmia Apartments at 3502 Nottingham Ct.

Hello all,

I am writing because you provided comments on the proposal for upgrades to the Kalmia Apartments. Thank you for your feedback regarding the proposal. It will be taken into consideration by planning staff and will be forwarded to Planning Board with any recommendation for approval or denial.

I have attached a revised set of plans for your review. The plans have been revised so that the

**From:** [Regan Slater](#)  
**To:** [Walbert, Sloane](#)  
**Subject:** Kalmia Apts.  
**Date:** Wednesday, July 22, 2015 8:35:02 AM

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Dear Sloane,

This morning a friend of mine showed me a letter regarding input on proposed site improvements at the Kalmia Apartments that she had received in the mail. She lives east of 28<sup>th</sup>, I live at Nottingham Court and had not heard about or received anything about this upcoming construction. Is there any way you are able to make sure I am on the mailing list for these notices in the future?

Thank you for your help,  
Regan Slater

**From:** [Regan Slater](#)  
**To:** [Walbert, Sloane](#)  
**Subject:** Kalmia  
**Date:** Wednesday, July 22, 2015 8:55:10 AM

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Hi Sloane,

May I ask you what the hours of operation will be for this project? Will it be scheduled Monday through Friday, and how long is the construction expected to last please?

Thank you!  
Regan

**From:** [Laura Sheinbaum](mailto:Laura.Sheinbaum)  
**To:** [syrup1776@gmail.com](mailto:syrup1776@gmail.com); [akeiw.12@hotmail.com](mailto:akeiw.12@hotmail.com); [aniskar@yahoo.com](mailto:aniskar@yahoo.com); [Markwood.me@gmail.com](mailto:Markwood.me@gmail.com); [Brenwood96@yahoo.com](mailto:Brenwood96@yahoo.com); [Brenwood96@yahoo.com](mailto:Brenwood96@yahoo.com); [Brian@zegarski.net](mailto:Brian@zegarski.net); [Amber@zegarski.net](mailto:Amber@zegarski.net); [Jcourter10@hotmail.com](mailto:Jcourter10@hotmail.com); [aflora@msudenver.edu](mailto:aflora@msudenver.edu); [Stephenstreicher1@gmail.com](mailto:Stephenstreicher1@gmail.com); [Clark.Shelk@gmail.com](mailto:Clark.Shelk@gmail.com); [pachugabi@hotmail.com](mailto:pachugabi@hotmail.com)  
**Cc:** [Jeremy Ehrhart](mailto:Jeremy.Ehrhart); [Daniel Nunez](mailto:Daniel.Nunez); [Karin Stayton](mailto:Karin.Stayton); [Adriana Perea](mailto:Adriana.Perea); [Annie Beall](mailto:Annie.Beall); [Walbert Sloane](mailto:Walbert.Sloane); [Kristen Uitto](mailto:Kristen.Uitto) ([kristen@caddispc.com](mailto:kristen@caddispc.com)); [Terry Johnson](mailto:Terry.Johnson)  
**Subject:** New Kalmia Site Plan and Community Notice  
**Date:** Tuesday, July 28, 2015 11:34:14 AM  
**Attachments:** [Kalmia site notice regarding being good neighbors.pdf](#)  
[Revised KALM siteplan 7-28-2015.pdf](#)

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Hi Everyone,

Thanks again for your time last week. Apologies in delay of getting back to you with design changes and a copy of the notice that was sent to residents. Both are attached. The notice was posted on Friday of last week. We have also increased third party security patrols at the site. Colorado Security is now at the site every night at 9:00 pm to lock the laundry room and again at midnight to walk the perimeter of the site and the playground area. The security personnel will address any late night activity if they come across it and report back to BHP. We understand that there has been continued noise issues. We apologize for this and are working hard from our end to encourage better, lease compliant resident behavior.

We have made significant revisions to the site plan based on our meeting last week. Please note the following:

- We removed the basketball court from the site entirely. We agree that the kids can utilize the local Parkside Park for basketball.
- We removed the futsal field (small soccer court) from the new design. This will eliminate any ball activities in the area where the current basketball court is located.
- As reported last week, we are changing the play surface of the playground from pea gravel to poured in place play surface. This should help with noise reduction as well.
- We increased the amount and changed the type of landscape along the South property line where the current basketball court is located. There will be more evergreens which will assist with access to the fence and promote noise reduction.
- We plan to install garden beds just North of the new landscaping in the area where the current basketball court is located to provide additional buffer between the main activities at the site and the South fence line.
- We plan to amend all lighting at the site to comply with Boulder dark skies ordinances. This will eliminate the well-lit spaces that are attracting current evening hanging out and the associated noise.
- Overall—the other changes to the site—moving of the current location of the Community Center, addition of air conditioning, better windows, fans in bedrooms, open floor plans, covered and screened front and back porches will all make a difference in terms of the activity at the site. The Community Center, in its expanded size, will also offer more room for the kids to hang out and more programming to keep the kids busy in productive ways.

We listened hard to your comments at our meeting last week and really hope that these changes

address your concerns. If you would like to have another meeting to look at the plans in more detail, please let me know. I'm happy to set up another meeting.

Thanks for your engagement and efforts to assist BHP with being a better neighbor.

Best,

Laura



**Laura Sheinbaum**

Boulder Housing Partners

Senior Project Manager

[SheinbaumL@boulderhousing.org](mailto:SheinbaumL@boulderhousing.org)

4800 N. Broadway

Boulder, CO 80304

720.564.4646

[www.BoulderHousingPartners.org](http://www.BoulderHousingPartners.org)

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**From:** Laura Sheinbaum

**Sent:** Wednesday, July 22, 2015 1:45 PM

**To:** 'syrup1776@gmail.com'; 'akeiw.12@hotmail.com'; 'aniskar@yahoo.com'; 'Markwood.me@gmail.com'; 'Brenwood96@yahoo.com'; 'Brenwood96@yahoo.com'; 'Brian@zegarski.net'; 'Amber@zegarski.net'; 'Jcourter10@hotmail.com'; 'aflora@msudenver.edu'; 'Stephenstreicher1@gmail.com'; 'Clark.Shelk@gmail.com'; 'pachugabi@hotmail.com'

**Cc:** Jeremy Ehrhart; Daniel Nunez; Rene Brodeur; Karin Stayton; Adriana Perea; Annie Beall; 'Walberts@bouldercolorado.gov'; Kristen Uitto (kristen@caddispc.com)

**Subject:** Neighborhood Meeting, 7-21-2015

Hi Everyone,

Thanks so much for taking the time to meet with Boulder Housing Partners last evening. We appreciate the input regarding your experiences living next door to the Kalmia site as well as your thoughts on the design plans for the renovation. We are looking at options that take into consideration all that was discussed last night and should have some conclusions on design this week which we will share with you. In the meantime, we are drafting a letter to residents regarding behavior expectations and how this could impact their tenancy. We will send that letter along to this email list once it is ready to go out to the Kalmia residents later this week. In addition, we will start increased patrol immediately by our security service to assist with the late night noise,

fireworks and other disturbances that you experience.

Please stay tuned on design and all the rest. Please do not hesitate to contact me, Daniel Nunez, or Jeremy Ehrhart if you have any questions or comments in the interim.

Daniel Nunez  
Kalmia Property Manager  
720.564.4654  
[nunezd@boulderhousing.org](mailto:nunezd@boulderhousing.org)

Jeremy Ehrhart  
Director of Operations  
720.473.4459  
[ehrhartj@boulderhousing.org](mailto:ehrhartj@boulderhousing.org)

Thanks again,

Laura



**Laura Sheinbaum**

Boulder Housing Partners  
Senior Project Manager  
[SheinbaumL@boulderhousing.org](mailto:SheinbaumL@boulderhousing.org)  
4800 N. Broadway  
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KALMIA RESIDENT NOTICE  
JULY 24, 2015

BHP would like to remind you about your lease obligations and your important contribution to the safety and the peaceful enjoyment of your community and your neighborhood at large. Not adhering to your lease and the below listed expected behaviors put you at risk of eviction.

Please cooperate by:

- Keeping a quiet volume at night. Many families work early in the morning and need to rest at night. The City of Boulder has several ordinances that regulate noise. Violations of any of these ordinances can result in criminal prosecution and a maximum fine of up to \$1,000 and 90 days in jail.
  - Disruption of Quiet Enjoyment of the Home, Section 5-3-8, B.R.C. 1981. This focuses on individuals who engage in loud behavior that disrupts a neighbor who is in his or her own home.
  - Unreasonable Noise, Section 5-6-1, B.R.C. 1981. This is a provision that can be used when officers, standing more than 100 feet away from a noise source, hear amplified music in a residential zone after 11:00 p.m.
  - Excessive Sound Levels, Section 5-6-2, B.R.C. 1981. This is based upon measuring sound levels with meters. Noise must not exceed 50 decibels between 11:00 p.m. and 7:00 a.m. in a residential zone. Late at night, the ambient or background noise level in most neighborhoods is approximately 35 decibels. A sound 15 decibels greater than background noise (50dBA), such as a loud stereo, will wake the average person from a deep sleep.
- Respect your neighbor's property, including their patios and cars.
- Do not set off fireworks. We encourage all residents to be proactive in fire prevention and safety efforts. Playing with any source of fire, including matches and lighters and fireworks is not safe and constitutes a fire hazard. Fireworks in particular are loud and disruptive to neighbors and are illegal in the city of Boulder.
- Please be considerate of neighboring communities by not making noise outside after dark, not throwing rocks or other items into neighboring properties, not climbing on their fence, and not teasing animals.

We appreciate your cooperation and we hope you have a great rest of the summer!

Thank you,

Daniel Nuñez  
Property Manager  
720-564-4654



AVISO PARA LOS RESIDENTES DE KALMIA  
JULIO 24, 2015

A BHP le gustaria recordarle acerca de sus obligaciones de contrato y la importante contribución a la seguridad y disfrute de su comunidad y vecindario. No seguir las normas de su contrato y no seguir las normas de comportamiento listadas aqui abajo los pone en riesgo de demanda de desalojo.

Por favor cooperen con:

- Mantener un volume bajo durante la noche. Muchas familias trabajan temprano en la mañana y necesitan descansar en la noche. La ciudad de Boulder tiene distintas ordenanzas que regulan el ruido. La violación de cualquiera de estas ordenanzas pueden resultar en prosecución criminal y una multa máxima de hasta \$1000 y 90 días de cárcel.
  - La disrupción del disfrute tranquilo/silencioso del hogar, Sección 5-3-8, B.R.C. 1981. Esta se enfoca en individuos que se comportan de una forma ruidosa que disturba a algun vecino en su casa.
  - Ruido no razonable, Sección 5-6-1, B.R.C. 1981. Esta es una provisión que puede ser usada cuando un oficia, parado a mas de 100 pies de la Fuente de ruido, escucha música amplificada en una zona residencial después de las 11:00 p.m.
  - Niveles excesivos de sonido, Sección 5-6-2, B.R.C. 1981. Esto está basado en medir los niveles de sonido con un medidor. El ruido no puede exceder los 50 decibeles entre las 11:00 p.m. y las 7:00 a.m. en una zona residencial. Tarde en la noche, el sonido ambiental y/o ruido en la mayoría de los vecindarios es aproximadamente de 35 decibeles. Un sonido que sea 15 decibeles mayor ruido ambiental (50dBA), como el sonido de un stereo, levanta a una persona average de su sueño.
- Respete la propiedad de sus vecinos, incluyendo sus patios y carros.
- No prenda cohetes/fireworks. Nosotros motivamos a todos los residentes a que sean proactivos en la prevención de incendios y en hacer un esfuerzo en mantenernos seguros. Jugar con cualquier fuente de fuego, incluyendo fósforos, encendedores, y cohetes/fireworks no es seguro y contituye un riesgo de incendio. Los cohetes/fireworks son particularmente peligrosos, y ademas son ruidosos, lo que causa molestía a sus vecinos, y son incluso ilegales en la ciudad de Boulder.
- Por favor sean considerados con las comunidades vecinas no haciendo ruido después de oscurecer, no tirando piedras u otros objetos a las propiedades vecinas, no montándose en las cercas, y no molestando a las mascotas de sus vecinos.

Apreciamos su cooperación y esperamos que tengan un fabuloso resto del verano!

Gracias,

Daniel Nuñez

Gerente de Propiedad

720-564-4654



**Section 9-2-14 (I), B.R.C. 1981, "Minor Amendments to Approved Site Plans"**

**(1) Standards:** Changes to approved building location, or additions to existing buildings which exceed the limits of a minor modification, may be considered through the minor amendment process, if the following standards are met:

- (A) In a residential zone as set forth in section 9-5-2, "Zoning Districts," B.R.C. 1981, all approved dwelling units within the development phase have been completed;  
*The project site is zoned Residential – High 4 (RH-4) and all approved dwelling units have been built.*
- (B) In residential zones, dwelling unit type is not changed;  
*The dwelling unit type will not change. Six one-bedroom units will be converted into a new community center, which is accessory to the development.*
- N/A (C) The required open space per dwelling unit requirement of the zone is met on the lot of the detached dwelling unit to be expanded, and  
*Not applicable. The development is composed of attached dwelling units.*
- (D) The total open space per dwelling unit in the development is not reduced by more than ten percent of that required for the zone; or  
*The required open space per dwelling unit in the RH-4 zone district is 1,200 square feet. The development will provide 60,954 square feet, which exceeds the required 58,800 square feet of open space for 49 units.*
- N/A (E) If the residential open space provided within the development or an approved phase of a development cannot be determined, the detached dwelling unit is not expanded by more than ten percent and there is no variation to the required setbacks for that lot;  
*Not applicable. The development is composed of attached dwelling units.*
- N/A (F) For a building in a nonresidential use module, the building coverage is not increased by more than twenty percent, the addition does not cause a reduction in required open space, and any additional required parking that is provided, is substantially accommodated within the existing parking arrangement;  
*Not applicable.*
- (G) The portion of any building over the permitted height under section 9-7-1, "Schedule of Form and Bulk Standards," B.R.C. 1981, is not increased;  
*No portion of any building is over the permitted height.*
- (H) The proposed minor amendment does not require public infrastructure improvements or other off-site improvements.

**(2) Amendments to the Site Review Approval Process:** Applications for minor amendment shall be approved according to the procedures prescribed by this section for site review approval, except:

- (A) If an applicant requests approval of a minor amendment to an approved site review, the city manager will determine which properties within the development would be affected by the proposed change. The manager will provide notice pursuant to subsection 9-4-3(b), B.R.C. 1981, of the proposed change to all property owners so determined to be affected, and to all property owners within a radius of six hundred feet of the subject property.
- (B) Only the owners of the subject property shall be required to sign the application.
- (C) The minor amendment shall be found to comply with the review criteria of subparagraphs (h)(2)(A),

(h)(2)(C), and (h)(2)(F) of this section, and

*See checklist below.*

- (D) The minor amendment is found to be substantially consistent with the intent of the original approval, including conditions of approval, the intended design character and site arrangement of the development, and specific limitations on additions or total size of the building which were required to keep the building in general proportion to others in the surrounding area or minimize visual impacts.
- (E) The city manager may amend, waive, or create a development agreement.

**Subparagraphs (h)(2)(A), (h)(2)(C), and (h)(2)(F) of section 9-2-14:**

**(h) Criteria for Review:** No site review application shall be approved unless the approving agency finds that:

**(2) Site Design:** Projects should preserve and enhance the community's unique sense of place through creative design that respects historic character, relationship to the natural environment, multi-modal transportation connectivity and its physical setting. Projects should utilize site design techniques which are consistent with the purpose of site review in subsection (a) of this section and enhance the quality of the project. In determining whether this subsection is met, the approving agency will consider the following factors:

**(A) Open Space:** Open space, including, without limitation, parks, recreation areas and playgrounds:

- (i) Useable open space is arranged to be accessible and functional and incorporates quality landscaping, a mixture of sun and shade and places to gather;  
*The quality of the open space will be greatly improved with updated landscaping, porches and decks, outdoor seating, and play areas. The design includes both formal and informal gathering places. The shared pedestrian space in the woonerf will help tie the central park space to the new community center.*
- N/A (ii) Private open space is provided for each detached residential unit;  
*Not applicable. The development is composed of attached units.*
- N/A (iii) The project provides for the preservation of or mitigation of adverse impacts to natural features, including, without limitation, healthy long-lived trees, significant plant communities, ground and surface water, wetlands, riparian areas, drainage areas and species on the federal Endangered Species List, "Species of Special Concern in Boulder County" designated by Boulder County, or prairie dogs (*Cynomys ludovicianus*), which is a species of local concern, and their habitat;  
*Not applicable; there are no notable natural features associated with the project site.*
- (iv) The open space provides a relief to the density, both within the project and from surrounding development;
- (v) Open space designed for active recreational purposes is of a size that it will be functionally useable and located in a safe and convenient proximity to the uses to which it is meant to serve;  
*The proposed playground and small tot lot are located on the south end of the site within the central green and will be protected from vehicular traffic.*
- N/A (vi) The open space provides a buffer to protect sensitive environmental features and natural areas; and  
*Not applicable; there are no sensitive environmental features or natural areas on the developed site.*
- (vii) If possible, open space is linked to an area- or city-wide system.  
*The overall site design is existing and no opportunities exist to connect to a larger open space system.*

**(C) Landscaping:**

- ✓ (i) The project provides for aesthetic enhancement and a variety of plant and hard surface materials, and the selection of materials provides for a variety of colors and contrasts and the preservation or use of local native vegetation where appropriate;

*The proposed landscaping will update the existing dated overgrown plantings like juniper shrubs to provide a mix of low water, low maintenance and native vegetation. A variety of tree species, native and adaptable shrub, perennial and groundcover plantings will be used throughout the site.*

- N/A (ii) Landscape design attempts to avoid, minimize or mitigate impacts on and off site to important native species, healthy, long lived trees, plant communities of special concern, threatened and endangered species and habitat by integrating the existing natural environment into the project;

*Not applicable; the site is developed and contains no important native species, plant communities of special concern, threatened and endangered species.*

- ✓ (iii) The project provides significant amounts of plant material sized in excess of the landscaping requirements of sections 9-9-12, "Landscaping and Screening Standards," and 9-9-13, "Streetscape Design Standards," B.R.C. 1981; and

- ✓ (iv) The setbacks, yards and useable open space along public rights of way are landscaped to provide attractive streetscapes, to enhance architectural features and to contribute to the development of an attractive site plan.

*Additional landscaping will be added at the site entry points. The woonerf access design will also contribute to the streetscape and enhance the overall feeling of the north portion of the site. In addition, screening has been provided to the residential development to the south.*

**(F) Building Design, Livability and Relationship to the Existing or Proposed Surrounding Area:**

- ✓ (i) The building height, mass, scale, orientation, architecture and configuration are compatible with the existing character of the area or the character established by adopted design guidelines or plans for the area;

*The area is characterized by predominantly one- and two-story multi-family residential buildings most representative of architecture in the late 1960's and 1970's. Most buildings are clad in wood or brick. The proposed design calls for maintaining the existing brick veneer and matching the existing brick at the porches with new separating walls. Fiber cement horizontal siding will be used to update the existing siding. Staff finds that the proposed design is compatible with the character of the area.*

- ✓ (ii) The height of buildings is in general proportion to the height of existing buildings and the proposed or projected heights of approved buildings or approved plans or design guidelines for the immediate area;

- ✓ (iii) The orientation of buildings minimizes shadows on and blocking of views from adjacent properties;

- ✓ (iv) If the character of the area is identifiable, the project is made compatible by the appropriate use of color, materials, landscaping, signs and lighting;

*The proposed design is compatible with the use, scale and materiality of the neighborhood. Improvements are proposed to site landscaping and lighting, which will be an improvement to current conditions.*

- ✓ (v) Projects are designed to a human scale and promote a safe and vibrant pedestrian experience through the location of building frontages along public streets, plazas, sidewalks and paths, and through the use of building elements, design details and landscape materials that include, without limitation, the location of entrances and windows, and the creation of transparency and activity at the pedestrian level;

- N/A (vi) To the extent practical, the project provides public amenities and planned public facilities;
- N/A (vii) For residential projects, the project assists the community in producing a variety of housing types, such as multifamily, townhouses and detached single family units, as well as mixed lot sizes, number of bedrooms and sizes of units;
- ✓ (viii) For residential projects, noise is minimized between units, between buildings and from either on-site or off-site external sources through spacing, landscaping and building materials;
- ✓ (ix) A lighting plan is provided which augments security, energy conservation, safety and aesthetics;  
*A preliminary lighting plan has been provided. A final lighting plan will be provided at time of building permit.*
- ✓ (x) The project incorporates the natural environment into the design and avoids, minimizes or mitigates impacts to natural systems;
- ✓ (xi) Buildings minimize or mitigate energy use; support on-site renewable energy generation and/or energy management systems; construction wastes are minimized; the project mitigates urban heat island effects; and the project reasonably mitigates or minimizes water use and impacts on water quality;  
*The proposed design utilizes the existing east-west orientation of buildings to allow for passive and active solar energy. Insulation will be improved in the walls and roofs. Active solar arrays on the rooftops will be maintained as part of the proposal.*
- ✓ (xii) Exteriors of buildings present a sense of permanence through the use of authentic materials such as stone, brick, wood, metal or similar products and building material detailing;  
*The project will utilize brick in addition to fiber cement horizontal siding to match the existing materials. Additional brick will be added to create new separating walls for each porch.*
- ✓ (xiii) Cut and fill are minimized on the site, the design of buildings conforms to the natural contours of the land, and the site design minimizes erosion, slope instability, landslide, mudflow or subsidence, and minimizes the potential threat to property caused by geological hazards;
- N/A (xiv) In the urbanizing areas along the Boulder Valley Comprehensive Plan boundaries between Area II and Area III, the building and site design provide for a well-defined urban edge; and
- N/A (xv) In the urbanizing areas located on the major streets shown on the map in Appendix A to this title near the Boulder Valley Comprehensive Plan boundaries between Area II and Area III, the buildings and site design establish a sense of entry and arrival to the City by creating a defined urban edge and a transition between rural and urban areas.

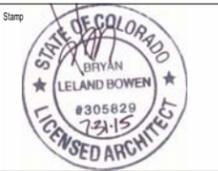
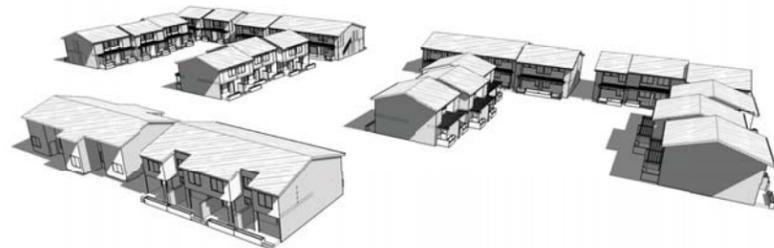


Caddis Architecture, pc.

# BHP - Kalmia

## EXTERIOR & COMMUNITY CENTER

3502-3522 Nottingham Court;  
 3500-3525 Arthur Court  
 Boulder, CO  
 FINAL ARCHITECTURAL DRAWINGS  
 7.31.15



SHEET NO.	SHEET NAME	PERMIT DOCUMENTS
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GENERAL	
A000X	COVER SHEET
A001X	PROJECT INFO, SCOPE OF WORK & OPEN SPACE DIAGRAM
CIVIL	
C1.01X	COVER SHEET
C2.01X	EXISTING CONDITIONS & DEMO PLAN
C2.02X	CIVIL SITE PLAN & HORIZONTAL CONTROL
C2.03X	OVERALL DRAINAGE PLAN
C2.04X	STORMWATER MANAGEMENT PLAN
C2.05X	UTILITY PLAN
C3.01X	DETAILED GRADING PLAN
C3.02X	DETAILED GRADING PLAN
C3.03X	DETAILED GRADING PLAN
C4.01X	CIVIL DETAILS
C4.02X	CIVIL DETAILS
C4.03X	CIVIL DETAILS
LANDSCAPE	
L-100X	IRRIGATION PLAN
L-101X	IRRIGATION DETAILS
L-102X	IRRIGATION DETAILS
ARCHITECTURAL - NEW	
A101X	SITE PLAN
A111X	BLDG 3500, 3502, 3505 & 3507 FLOOR PLANS
A112X	BLDG 3510, 3512, 3515, 3517, 3522 & 3525 FLOOR PLANS
A121X	BLDG 3525 LEVEL 1 FLOOR PLAN
A122X	BLDG 3525 LEVEL 2 FLOOR PLAN
A124X	BLDG 3525 EXISTING/DEMO PLANS
A201X	BLDG 3500 & 3502 ELEVATIONS
A202X	BLDG 3505 & 3507 ELEVATIONS
A203X	BLDG 3510 & 3512 ELEVATIONS
A204X	BLDG 3515 & 3517 ELEVATIONS
A205X	BLDG 3522 ELEVATION
A206X	BLDG 3525 ELEVATIONS
A207X	COLOR STUDY

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Full Size: 0' 1' 2'

Date: 7.31.15

Project: 1424

Archiver:

Plot Date: 7.31.15

Revisions:

Rev#	Date	Description
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### PROJECT CONTACTS

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### VICINITY MAP - NTS



### FINAL ARCHITECTURAL DRAWINGS

LUR2015-00023

### BHP - Kalmia

#### EXTERIOR & COMMUNITY CENTER

Project Address:  
 3502-3522 Nottingham Court, 3500-3525 Arthur Court  
 Boulder, CO



## ENERGY CODE ANALYSIS

A. PROJECT SUMMARY: CONVERSION OF FORMER RESIDENTIAL APARTMENTS TO COMMUNITY CENTER. ADDITION, CHANGE OF OCCUPANCY. CLASSIFIED AS COMMERCIAL ENERGY CODE.

B. APPLICABLE CODES: BOULDER ENERGY CONSERVATION CODE, IECC 2012 WITH LOCAL AMENDMENTS.

COMPLIANCE WITH TABLE 2: CITY OF BOULDER ENERGY CODE EXISTING BUILDINGS TO DEMONSTRATE 30% BETTER THAN 2012 IECC.

CRITERIA 2.1: ENERGY CODE COMPLIANCE: MEET 2012 IECC FOR MEASURES NOT OUTLINED IN ABNCC.

CRITERIA 2.6: LIGHTING CONTROLS  
BI-LEVEL SWITCHING BY 50%  
VACANCY CONTROLS FOR MIN 85% OF THE CONNECTED INTERIOR LIGHTING POWER.

CRITERIA 2.16: ACCEPTANCE TESTING, PERFORMED BY THE INSTALLING CONTRACTORS, ENGINEER OF RECORD, OR OWNER'S AGENT IN A COORDINATE WITH APPENDIX A.

- AND -

ELEMENTS THAT ARE BEING MODIFIED THROUGH THE REMODEL INCLUDE:

**ENVELOPE: WALLS**  
NEW EXTERIOR WALLS AT ENTRY ADDITION & FORMER LANDING ENCLOSURE NEED TO MEET:  
CRITERIA 2.18: OPAQUE WALLS  
WALLS, ABOVE GRADE: R29.4  
WALLS, BELOW GRADE: C-0.074  
CRITERIA 2.19: FENESTRATION PERFORMANCE  
VERTICAL GLAZING-29 FOR 0-30% WINDOW TO WALL RATIO  
VERTICAL SHGC: .35  
CRITERIA 2.2: AIR BARRIER PERFORMANCE, A WHOLE-BUILDING BLOWER DOOR TEST VERIFYING AN INFILTRATION RATE NO GREATER THAN 4 CFM50 OF ENVELOPE AREA AT 75 PA, OR EQUIVALENT.

**ENVELOPE: ROOF**  
NEW ROOF OVER ADDITION NEEDS TO MEET:  
CRITERIA 2.18 OPAQUE WALLS (ROOF)  
ROOFS, SLOPED: R59  
ROOFS, FLAT: R50  
CRITERIA 2.19 FENESTRATION PERFORMANCE (SKYLIGHTS ONLY) N/A

**HVAC: REDESIGN OF THE BUILDING HEATING & COOLING SYSTEMS MUST MEET:**  
CRITERIA 2.12: FAN POWER REDUCTION, ALL AIR DISTRIBUTION SYSTEMS SHALL BE DESIGNED TO CONFORM TO THIS SECTION.  
CRITERIA 2.11: DUCT CONSTRUCTION (WHERE EXPOSED), ALL DUCTWORK FOR HVAC AND VENTILATION SHALL COMPLY WITH THIS SECTION.

**INTERIOR LIGHTING: REPLACEMENT OF EXISTING FIXTURES AND ADDITION OF NEW FIXTURES MUST MEET:**  
CRITERIA 2.20: LIGHTING POWER DENSITY, PER TABLE 2.20.1, ALL LED LIGHTING SHALL BE LISTED ON EITHER ENERGY STAR QUALIFIED BULBS LIST OR THE DESIGN LIGHTS CONSORTIUM QUALIFIED PRODUCTS LIST.  
CRITERIA 2.6: LIGHTING CONTROLS  
BI-LEVEL SWITCHING BY 50%  
VACANCY CONTROLS FOR MIN 85% OF THE CONNECTED INTERIOR LIGHTING POWER.

**EXTERIOR LIGHTING: REPLACEMENT OF EXISTING AND ADDITION OF NEW FIXTURES MUST MEET:**  
CRITERIA 2.8: EXTERIOR LIGHTING EFFICIENCY  
LAMP EFFICACY NO LESS THAN 80 LUMENS/WATT  
CRI > 22  
LED LIGHTING SHALL BE ENERGY STAR QUALIFIED OR DESIGNLIGHTS CONSORTIUM'S QUALIFIED PRODUCT LIST

- AND -

**COLUMN D - A RENEWABLE ENERGY SYSTEM WITH A MINIMUM SYSTEM RATING OF .1W/SF OF CONDITIONED AREA. REQUIRED SYSTEM IS 4436 SF X .1 W = 443.6 W. THE EXISTING PV ARRAY IS 76.84KW TOTAL, 7.56 KW INSTALLED ON BUILDING 3525.**

## SCOPE OF WORK

-CONVERSION OF (6) APARTMENT FLATS TO COMMUNITY CENTER SPACE.  
-RECONFIGURATION OF PARKING & DRIVE LANE TO 'WOONERF' TYPE STREET.  
-NEW FRONT PORCHES WITH TRELLIS & REAR DECKS AT EACH UNIT.  
-NEW STORAGE SHEDS, EITHER AT DECK OR GROUPED AT END OF BUILDING  
-SITE UTILITY UPGRADES: STROM SEWER, WATER METER UPSIZE, (N) IRRIGATION METER.  
-INCREASED ELECTRIC SERVICE CAPACITY AND IMPROVED DISTRIBUTION.  
-SIDING & ROOFING REPLACEMENT AT ALL BUILDINGS  
-NEW WINDOWS AND EXTERIOR DOOR REPLACEMENT AT ALL BUILDINGS, INCLUDING (N) COMMUNITY CENTER.  
-UPGRADES TO LANDSCAPING THROUGHOUT, PER CITY LANDSCAPING STANDARDS.  
-OUTDOOR LIGHTING REPLACEMENT PER CITY CODE.  
-25% OF STRUCTURE VALUE  
ALL NON COMPLIANT FIXTURES TO BE RETROFIT FOR DARK SKY COMPLIANCE, CUT SHEETS PROVIDED  
-AT COMMUNITY CENTER INTERIOR: (N) ADA COMPLIANT ELEVATOR, KITCHEN AND RESTROOMS. (N) INTERIOR PARTITIONS & FINISHES. (N) EGRESS STAIRS. (N) MECHANICAL AND LIGHTING. CONVERSION OF (E) NFPA13R WET PIPE FIRE PROTECTION TO NFPA13.

## ACCESSIBILITY NARRATIVE

APPLICABLE ACCESSIBILITY CODES  
2012 IBC  
ANSI A117.1  
UNIFORM FEDERAL ACCESSIBILITY STANDARDS (UFAS)  
2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

IMPROVED ACCESSIBILITY MEASURES TO BE INCLUDED UP TO 20% OF CONSTRUCTION CAP INCLUDING:  
-ACCESSIBLE ROUTE PROVIDED THROUGHOUT SITE, AND FROM ACCESSIBLE PARKING TO COMMUNITY CENTER ENTRANCE.  
-ADDITIONAL VAN ACCESSIBLE PARKING PER ADA CODE - (3) ADA STALLS TOTAL PROVIDED  
-UPGRADED ACCESSIBLE PLAYGROUND  
-ADA COMPLIANT LEVER HARDWARE THROUGHOUT COMMUNITY CENTER  
-ADA COMPLIANT LEVER HARDWARE AT EACH UNIT ENTRY DOOR  
-NEW ADA COMPLIANT SINGLE USER BATHROOM WITHIN COMMUNITY CENTER  
-ADA COMPLIANT PASSENGER ELEVATOR  
-NEW ADA COMPLIANT DUAL HEIGHT WATER FOUNTAIN  
-ADA COMPLIANT COMMUNITY MAILBOXES  
-NEW ADA COMPLIANT KITCHEN WITHIN COMMUNITY CENTER  
-NEW HORNISTROBE FIRE ALARM SYSTEMS  
-NEW ADA PUSH BUTTON ACCESS TO COMMUNITY CENTER ENTRY

## PROJECT INFORMATION

LEGAL DESCRIPTION - 6-7-15-16 SHERWOOD EST 1 20-IN-70 HOUSING AUTHORITY

SITE AREA - 2.68 ACRES (116,768sf)

# OF BUILDINGS - 10 BUILDINGS, 2-STORY

# OF UNITS - 49 UNITS  
2 BED - 32  
3 BED - 17

NEW TOTAL GROSS BUILDING AREA - 55,305 sf (addition is less than 10% of existing area)  
BUILDING 3500 - existing 3,780 sf, proposed addition 261 sf  
BUILDING 3502 - existing 6,669 sf  
BUILDING 3505 - existing 6,840 sf  
BUILDING 3507 - existing 4,952 sf, proposed addition 261 sf  
BUILDING 3510 - existing 5,761 sf, proposed addition 132 sf  
BUILDING 3512 - existing 5,761 sf, proposed addition 132 sf  
BUILDING 3515 - existing 5,761 sf, proposed addition 132 sf  
BUILDING 3517 - existing 5,761 sf, proposed addition 132 sf  
BUILDING 3522 - existing 4,514 sf  
BUILDING 3525 - existing 3,845 sf, proposed addition 588 sf

EXISTING TOTAL 53,967 sf, TOTAL ADDITIONAL AREA: 1,638 sf (roughly 1% increase)

FOODPLAIN - NO

ZONING - RH-4  
PRIOR APPROVAL: LURA2015-00023

LAND USE - HR

SETBACKS  
FRONT - 20'  
SIDE - 1' PER 2' OF BUILDING, 5' MIN  
REAR - 20'

BUILDING HEIGHT - 35', N/A STORIES MAX

MAX FLOOR AREA RATIO - 0

BUILDING FOOTPRINT TOTAL (LEVEL 1 INCL'DS OVERHANG OR COVERED AREA) - 29,886sf  
Bldg3500 = 2,112sf  
Bldg3505 = 3,860sf  
Bldg3502 = 3690sf  
Bldg3507 = 2,719sf  
Bldg3510 = 3,302sf  
Bldg3512 = 3,302sf  
Bldg3515 = 3,302sf  
Bldg3517 = 3,302sf  
Bldg3522 = 2,345sf  
Bldg3525 = 1,792sf EXISTING + 415 sf ADDITION = 2,197 sf

CAR PARKING:  
PARKING: CURRENTLY THERE ARE 60 STALLS ON SITE (ONE DESIGNATED ADA STALL) OUT OF 88 PARKING STALL REQUIREMENT (EXISTING 32% PARKING REDUCTION IN PLACE). WITH THE CONVERSION OF THE COMMUNITY CENTER, WE ARE PROPOSING TWO ADA STALLS DIRECTLY ADJACENT TO THE COMMUNITY CENTER ENTRY. THE NEW WOONERF PEDESTRIAN STREET REMOVES 4 PARKING STALLS. HOWEVER, WITH THE CONVERSION OF THE SIX 1-BED TOWNHOUSES, OUR PARKING REQUIREMENT REDUCES BY 6 SPACES. SO THE LOSS OF FOUR SPACES IS OFFSET BY THE REDUCTION OF SIX UNITS, RESULTING IN NO INCREASE TO THE EXISTING PARKING REDUCTION.

PROPOSED - 56  
REQUIRED - 82 PER ZONING  
EXISTING - 60 STALLS (01 ADA STALL INCLUDED)  
\*NOTE: THE SITE CURRENTLY HAS A 32% PARKING REDUCTION IN PLACE

BIKE PARKING:  
PROPOSED LONG TERM - 96 (2 BIKE HOOKS PER STORAGE SHED)  
PROPOSED SHORT TERM - 8 (4 BIKE LOOPS), + 1 LOOP @ EA ENTRY

PRIOR APPROVALS - LUR2015-00023 MINOR AMENDMENT TO SITE PLAN

Stamp

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Full Size: 0' 1' 2'

Date: 07.31.2015

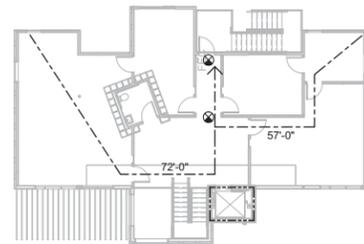
Project: 1424

Architect: [ ]

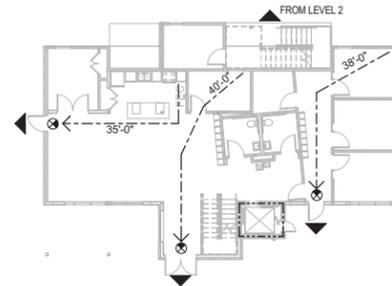
Print Date: 07.31.2015

Revisions:

Rev#	Date	Description



2 LIFE SAFETY PLAN - LEVEL 2  
1/16" = 1'-0"



1 LIFE SAFETY PLAN - LEVEL 1  
1/16" = 1'-0"

## LIFE SAFETY LEGEND

- ▶ 14' - 0" ▶ EGRESS PATH & SEGMENT DISTANCE
- ▼ EGRESS DOOR
- ⊕ FIRE EXTINGUISHER
- ⊕ FIRE EXTINGUISHER CABINET - RECESSED
- ⊕ FIRE EXTINGUISHER CABINET - SEMI-RECESSED
- ↑ EXIT SIGN
- 1/2 HOUR RATED ASSEMBLY
- 1 HOUR RATED ASSEMBLY
- 2 HOUR RATED ASSEMBLY

NOTE: FIRE RATINGS INDICATED AT EXISTING PARTITIONS ARE FOR COORDINATION OF NEW PENETRATIONS ONLY AND ARE NOT CONFIRMATION OF EXISTING CONDITIONS.

## PERMIT DOCUMENTS

BHP - Kalmia Exterior & Community Ctr

Project Address:  
3325 Nelson Court  
Boulder, CO

PROJECT INFO,  
SCOPE OF WORK &  
DIAGRAMS

Page 23 of 54  
A001X



NOTE: REFER TO L-101 FOR GROUND COVER PLANTING INFORMATION AND DIMENSIONS.

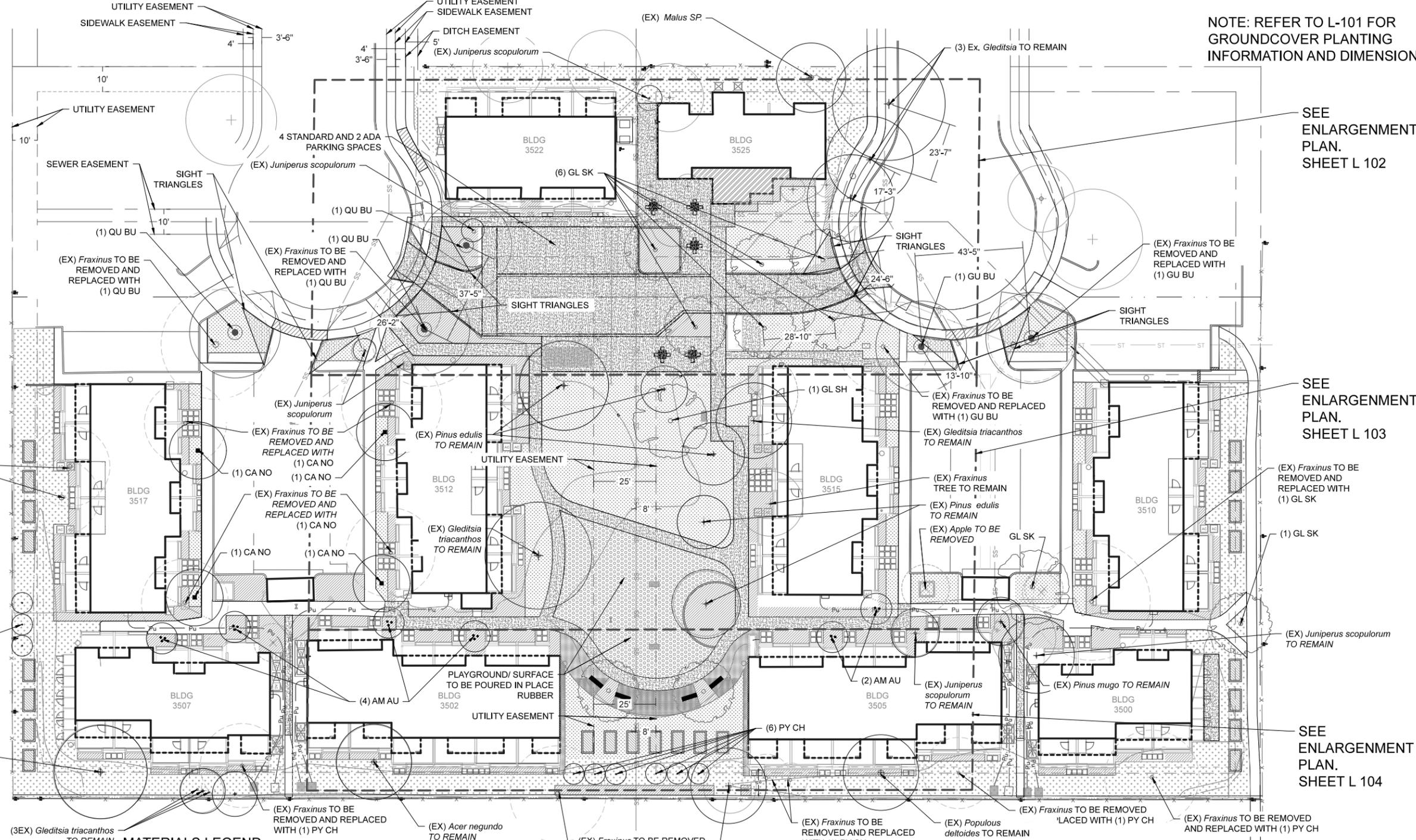


Stamp  
Consultant

**R DESIGN**  
LANDSCAPE ARCHITECTURE + PLANNING  
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80204  
303.600.8795  
rdesignstudios.com

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Full Size: 0' 1' 2'  
Date: 07.27.2015  
Project: BHP - KALMIA  
Archive:  
Plot Date: 07.27.2015

Revisions:  
Rev# Date Description



SEE ENLARGEMENT PLAN, SHEET L 102

SEE ENLARGEMENT PLAN, SHEET L 103

SEE ENLARGEMENT PLAN, SHEET L 104

**DRAWING LEGEND**

NOTE: REFER TO CIVIL DRAWINGS FOR DETAILED UTILITY INFORMATION

- PROPERTY LINE
- UTILITY EASEMENT
- SEWER EASEMENT
- SETBACKS
- ST ST ST S STORM WATER LINE
- SS SS SS SS SANITARY LINE
- X X X X EXISTING FENCE
- SIGHT TRIANGLES

**MATERIALS LEGEND**

NOTE: REFER TO NOTES ON SHEET L-102 FOR SPECIFICATIONS

- 2'x2' PRECAST CONCRETE PAVERS
- RAISED COMMUNITY GARDEN BEDS
- CAST IN PLACE CONCRETE SIDEWALK
- PLAYGROUND SURFACE WITH POURED IN PLACE BONDED RUBBER
- 3" LAYER OF COMPRESSED CRUSHED STONE
- KENTUCKY BLUEGRASS SOD W/ 100% SPRAY IRRIGATION
- EXISTING LANDSCAPE TO REMAIN, FIELD VERIFY FOR EXTENTS
- PLANT BED W/ WOOD MULCH AND DRIP IRRIGATION

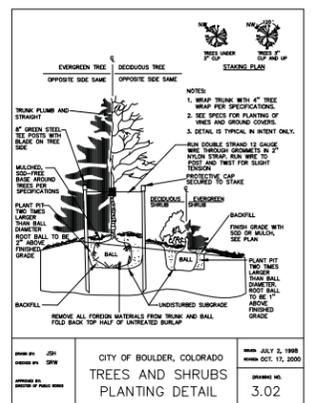
**PLANT LEGEND**

SYMBOL	ABBREV.	#	COMMON NAME	BOTANICAL NAME	SIZE	SPACING	HYDROZONE
AMAU	6	AUTUMN BRILLIANCE SERVICEBERRY	<i>Amelanchier grandiflora</i> 'Autumn Brilliance'	10'-12" TALL CLUMP	REFER TO PLAN	MODERATE	
CA NO	4	NORTHERN CATALPA	<i>Catalpa speciosa</i>	3.5" CAL.	REFER TO PLAN	MODERATE	
GL SH	1	SHADEMASTER HONEYLOCUST	<i>Gleditsia triacanthos</i> 'Inermis' ShadeMASTER	3.5" CAL.	REFER TO PLAN	MODERATE	
GL SK	9	SKYLINE HONEYLOCUST	<i>Gleditsia triacanthos</i> 'Inermis' Skyline	3" CAL.	REFER TO PLAN	MODERATE	
PY CH	9	CHANTICLEER PEAR	<i>Pyrus calleryana</i> 'Chanticleer'	2" CAL.	REFER TO PLAN	MODERATE	
QU BU	4	BUR OAK	<i>Quercus macrocarpa</i>	3.5" CAL.	REFER TO PLAN	MODERATE	

NUMBER OF EXISTING TREES : 53 (17 Fraxinus)  
 NUMBER OF TREES REMOVED : 17 (INCLUDES 5 Fraxinus)  
 NUMBER OF TREES IN GOOD CONDITION TO REMAIN : 24 (DOES NOT INCLUDE Fraxinus)  
 NUMBER OF PROPOSED SITE TREES : 30

NOTES:  
 - SINGLE "U" SHAPED BICYCLE PARKING TO BE PROVIDED FOR EACH UNIT.  
 - REFER TO SHEETS L 100 AND L 101 FOR PLANTING INFORMATION.  
 - ALL TREES TO BE PLACED AWAY FROM UTILITY LINES PER CITY OF BOULDER GUIDELINES.  
 - FIELD VERIFY INSTALLATION OF ALL 2'X2' PAVERS. ALL PAVERS SHALL BE PLACED IN LOCATIONS WHICH WILL NOT OBSTRUCT ROOT SYSTEMS OF EXISTING TREES.  
 - ALL LANDSCAPE BEDS THAT MEET WITH GRASS AND/OR CRUSHED GRAVEL WILL BE EDGED WITH ROLL TOP GALVANIZED EDGING, TYP. M

- + EXISTING TREE IN GOOD CONDITION TO REMAIN
- x EXISTING TREE IN POOR CONDITION TO BE REMOVED
- + EXISTING *Fraxinus pennsylvanica* Green Ash NOTE: GREEN ASH TO BE REPLACED AS NEEDED TO MEET REQUIRED TREE COUNTS

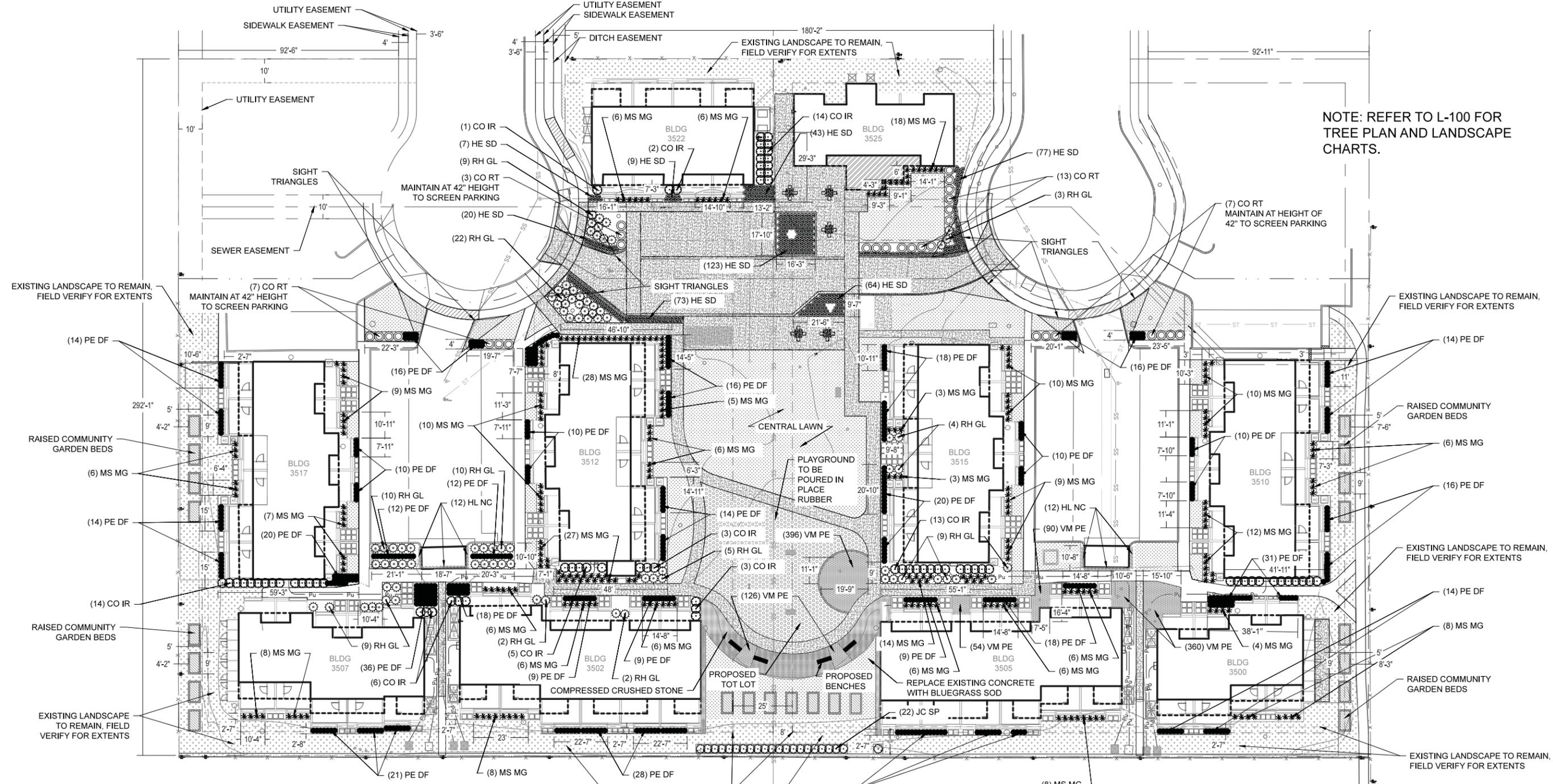


**LANDSCAPE TREE PLAN**

1" = 20' - 0"  
0 20 40 NORTH

TOTAL LOT AREA	116,768 SF
BUILDING FOOTPRINT	29,888 SF
TOTAL LANDSCAPE AREA	74,893 SF
TOTAL PARKING LOT SIZE	11,987 SF
TOTAL NUMBER OF PARKING STALLS REQUIRED	56
TOTAL NUMBER OF PARKING STALLS PROVIDED	56
TOTAL INTERIOR PARKING LOT LANDSCAPE AREA REQUIRED	599 SF
TOTAL INTERIOR PARKING LOT LANDSCAPE AREA PROVIDED	1339 SF
TOTAL NUMBER OF STREET TREES REQUIRED	9
TOTAL NUMBER OF STREET TREES PROVIDED	10 LARGE
TOTAL NUMBER OF PLANT MATERIAL REQUIRED	50 TREES, 250 SHRUBS
TOTAL QUANTITY OF PLANT MATERIAL PROVIDED	54 TREES, 201 SHRUBS, 730 ORNAMENTAL GRASSES, 1128 GROUND COVER, 24 VINES.

PROJECT DESCRIPTION  
**BHP - Kalmia**  
 Project Address:  
 3502-3522 Nottingham Court, 3500-3525 Arthur Court  
 Boulder, CO  
 SHEET DESCRIPTION  
**LANDSCAPE TREE PLAN**  
 SHEET NAME  
**Appendix 4A**  
 Page 15 of 100



NOTE: REFER TO L-100 FOR TREE PLAN AND LANDSCAPE CHARTS.

(7) CO RT MAINTAIN AT HEIGHT OF 42" TO SCREEN PARKING

LANDSCAPE GROUNDCOVER PLAN  
1" = 20' - 0"

**DRAWING LEGEND**

NOTE: REFER TO CIVIL DRAWINGS FOR DETAILED UTILITY INFORMATION

	PROPERTY LINE
	UTILITY EASEMENT
	SEWER EASEMENT
	SETBACKS
	STORM WATER LINE
	SANITARY LINE
	EXISTING FENCE
	SIGHT TRIANGLES

**MATERIALS LEGEND**

NOTE: REFER TO NOTES ON SHEET L-102 FOR SPECIFICATIONS

	2'x2' PRECAST CONCRETE PAVERS
	RAISED COMMUNITY GARDEN BEDS
	CAST IN PLACE CONCRETE SIDEWALK
	PLAYGROUND SURFACE WITH Poured IN PLACE BONDED RUBBER
	3" LAYER OF COMPRESSED CRUSHED STONE
	KENTUCKY BLUEGRASS SOD W/ 100% SPRAY IRRIGATION
	EXISTING LANDSCAPE TO REMAIN, FIELD VERIFY FOR EXTENTS
	PLANT BED W/ WOOD MULCH AND DRIP IRRIGATION

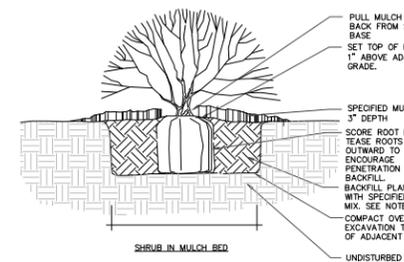
**PLANT LEGEND**

DECIDUOUS SHRUBS							
SYMBOL	ABBREV.	#	COMMON NAME	BOTANICAL NAME	SIZE	SPACING	HYDROZONE
	CO RT	(33)	RED TWIG DOGWOOD	<i>Cornus alba 'Sibirica'</i>	5 GAL.	48" O.C.	MODERATE
	RH GL	(85)	GRASS-FRAGRANT SUMAC	<i>Rhus aromatica 'Oro-Low'</i>	5 GAL.	36" O.C.	LOW
	CO IR	(61)	ISANTIL RED-OSIER DOGWOOD	<i>Cornus sericea 'Isantil'</i>	5 GAL.	30" O.C.	MODERATE
EVERGREEN SHRUBS							
SYMBOL	ABBREV.	#	COMMON NAME	BOTANICAL NAME	SIZE	SPACING	HYDROZONE
	JC SP	(22)	'SPARTAN' JUNIPER	<i>Juniperus chinensis 'Spartan'</i>	5 GAL.	36" O.C.	LOW
ORNAMENTAL GRASS							
SYMBOL	ABBREV.	#	COMMON NAME	BOTANICAL NAME	SIZE	SPACING	HYDROZONE
	MS MG	(287)	MAIDEN GRASS 'MORNING LIGHT'	<i>Miscanthus sinensis 'Morning Light'</i>	5 GAL.	30" O.C.	LOW
	PE DF	(463)	DWARF FOUNTAIN GRASS 'HAMELIN'	<i>Festucetum alpecoroides 'Hamelin'</i>	1 GAL.	18" O.C.	LOW
PERENNIALS							
SYMBOL	ABBREV.	#	COMMON NAME	BOTANICAL NAME	SIZE	SPACING	HYDROZONE
	HE SD	(409)	DAYLILY 'STELLA DE ORO'	<i>Heemerocallis x 'Stella de Oro'</i>	1 GAL.	18" O.C.	LOW

**GROUNDCOVER**

SYMBOL	ABBREV.	#	COMMON NAME	BOTANICAL NAME	SIZE	SPACING	HYDROZONE
	VM PE	(1026) / 57 Flats	COMMON PERIWINKLE	<i>Vinca minor</i>	18 PLANTS / 1 FLAT	12" TRIANGLE O.C.	MODERATE
VINE							
SYMBOL	ABBREV.	#	COMMON NAME	BOTANICAL NAME	SIZE	SPACING	HYDROZONE
	HL NC	(24)	NEWPORT COMMON HOPS	<i>Humulus lupulus 'Newport'</i>	1 GAL.	36" O.C.	MODERATE

NOTES:  
 - SINGLE "U" SHAPED BICYCLE PARKING TO BE PROVIDED FOR EACH UNIT.  
 - REFER TO SHEETS L 100 AND L 101 FOR PLANTING INFORMATION.  
 - ALL TREES TO BE PLACED AWAY FROM UTILITY LINES PER CITY OF BOULDER GUIDELINES.  
 - FIELD VERIFY INSTALLATION OF ALL 2'X2' PAVERS. ALL PAVERS SHALL BE PLACED IN LOCATIONS WHICH WILL NOT OBSTRUCT ROOT SYSTEMS OF EXISTING TREES.  
 - ALL LANDSCAPE BEDS THAT MEET WITH GRASS AND/OR CRUSHED GRAVEL WILL BE EDGED WITH ROLL TOP GALVANIZED EDGING, TYP.  
 - ALL EXPANSION JOINTS AND CONTROL JOINTS WILL BE BASED OFF OF DRAWING LOCATIONS, BUT WILL BE FIELD VERIFIED FOR SPACING DIMENSIONS



2 SHRUB PLANTING SECTION

N.T.S.



Stamp  
 Consultant  
**R DESIGN**  
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 Project: BHP - KALMIA  
 Archive:  
 Plot Date: 07.27.2015  
 Revisions:

Rev#	Date	Description

PROJECT DESCRIPTION  
**BHP - Kalmia**  
 Project Address:  
 3502-3522 Nottingham Court, 3500-3525 Arthur Court  
 Boulder, CO

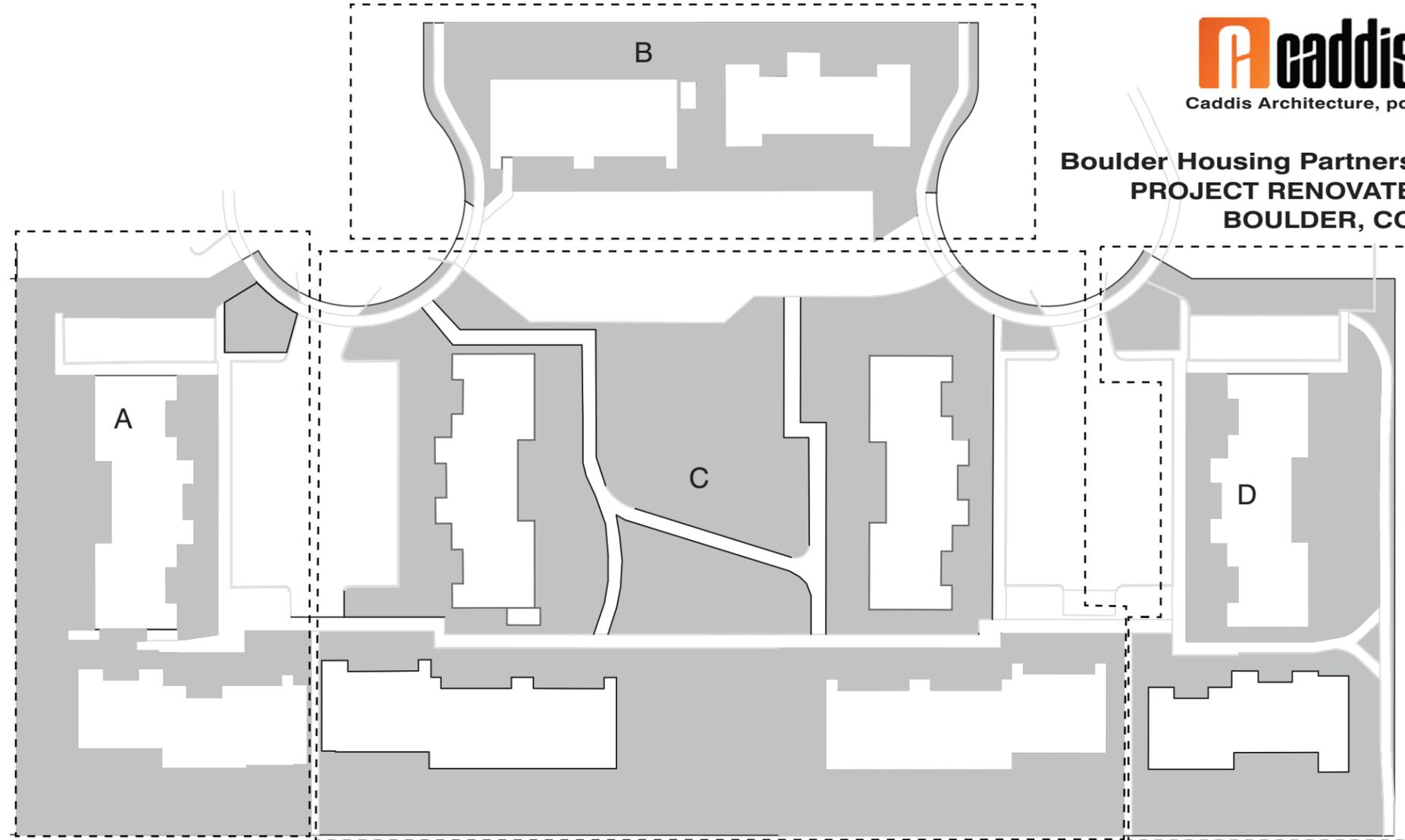
SHEET DESCRIPTION  
**LANDSCAPE GROUNDCOVER PLAN**

SHEET NAME  
**L-101**

Agenda Item 4A  
 Page 36 of 34



**Boulder Housing Partners  
PROJECT RENOVATE  
BOULDER, CO**



**OPEN SPACE CHART**

REQUIRED PER DWELLING UNIT: 1,200 SF/ D.U.  
 EXISTING OPEN SPACE: 1,200 SF x 55 units = 66,000 SF  
 PROVIDED PER DWELLING UNIT: 60,974 SF / 49 units = 1244 SF

- A - 11,038 SQ. FT OF OPEN SPACE
- B - 7,266 SQ. FT OF OPEN SPACE
- C - 32,595 SQ. FT OF OPEN SPACE
- D - 10,075 SQ. FT OF OPEN SPACE

\* INCLUDES DWELLING UNIT REAR AND FRONT PORCHES



**KALMIA OPEN SPACE DIAGRAM**



04.17.2015, 6.15.15 rev.

PROJECT # 1424

**CADDIS PC**



# KALMIA

Proposed Color Scheme



Not to Scale



3517 East Elevation



3507 North Elevation



3512 West Elevation



3512 East Elevation



3517 West Elevation



3517 East Elevation



3515 West Elevation



3515 East Elevation



3510 North Elevation



3505 North Elevation



3502 North Elevation



3507 North Elevation



3510 South Elevation (reflected)



3505 South Elevation (reflected)



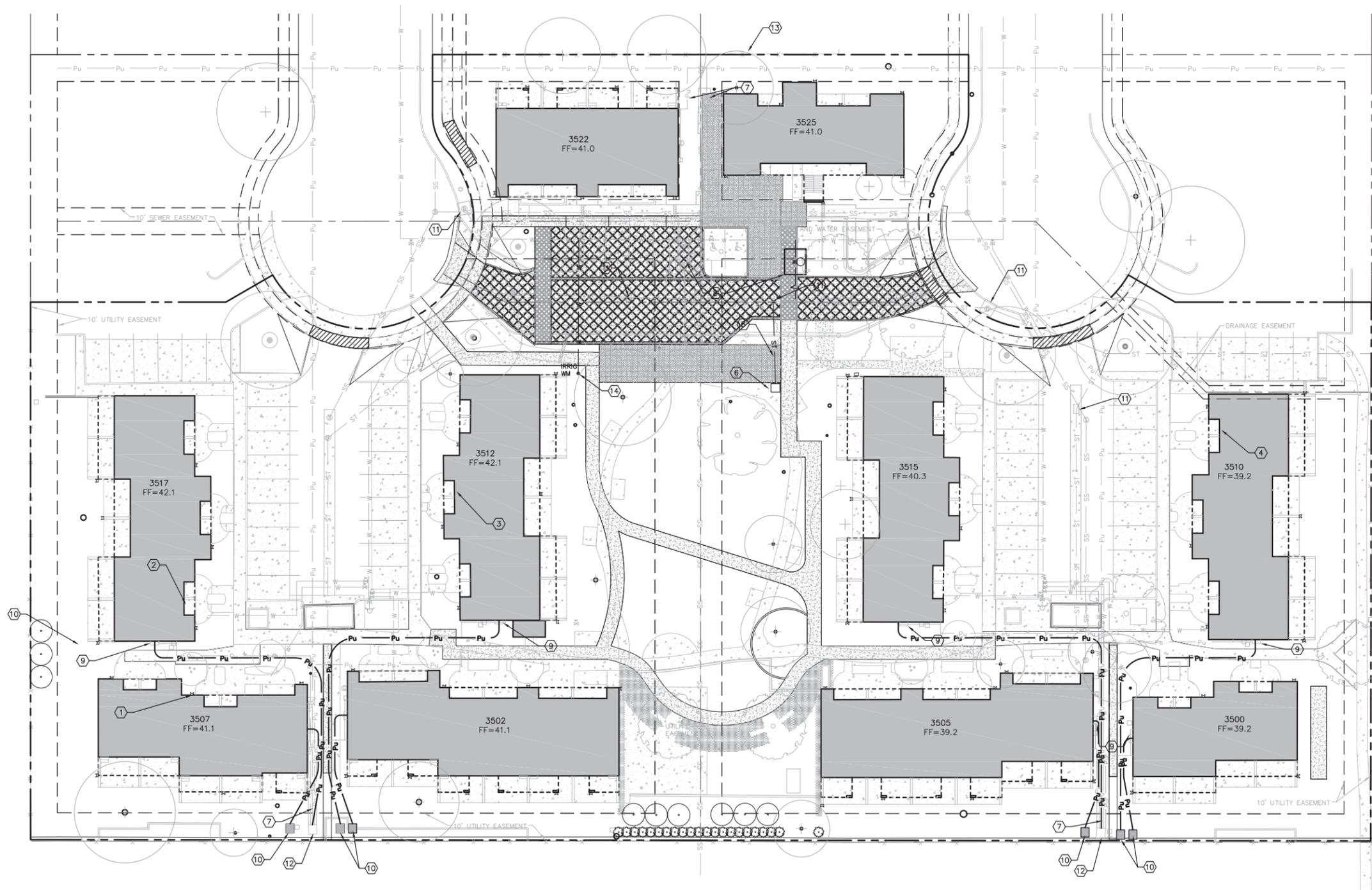
3502 South Elevation (reflected)



3507 South Elevation (reflected)

# LEGEND

-  EXISTING DECIDUOUS TREE
-  EXISTING PINE TREE
-  EXISTING TELEPHONE PEDESTAL
-  EXISTING CABLE T.V. PEDESTAL
-  EXISTING SPRINKLER VALVE BOX
-  EXISTING UNDERGROUND CABLE T.V.
-  EXISTING UNDERGROUND TELEPHONE
-  EXISTING OVERHEAD TELEPHONE
-  EXISTING UNDERGROUND POWER LINE
-  EXISTING SANITARY SEWER W/MANHOLE
-  EXISTING WATER W/FIRE HYDRANT
-  EXISTING STORM SEWER W/MANHOLE
-  EXISTING WATER VALVE
-  EXISTING WATER METER
-  EXISTING GAS METER
-  EXISTING POWER POLE
-  PROPOSED UNDERGROUND POWER
-  PROPOSED STORM SEWER W/MANHOLE
-  PROPOSED WATERLINE
-  PROPOSED WATER VALVE
-  PROPOSED WATER METER
-  PROPOSED CLEAN-OUT



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Arch/rev:		
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Revisions:		
Rev#	Date	Description
1	04-17-15	Submittal revisions
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1	07-29-15	Submittal revisions

## KEYED NOTES

1. REMOVE AND REPLACE EXISTING SANITARY SEWER SERVICE LINE TO BUILDING 3507 #3. MAJOR OFFSETS AND ROOT INTRUSION.
2. REMOVE AND REPLACE EXISTING SANITARY SEWER SERVICE LINE TO BUILDING 3517 #6. ROOT INTRUSION AND 15" BELLY" SLOPE IN LINE.
3. RECOMMENDED CABLE CLEANING SERVICE OF EXISTING SANITARY SEWER SERVICE LINE TO BUILDING 3512 #3. LINE COMPLETELY CLOGGED.
4. RECOMMENDED CABLE CLEANING SERVICE OF EXISTING SANITARY SEWER SERVICE LINE TO BUILDING 3510 #1. 40" OF LINE PLUGGED.
5. PROPOSED STORM SEWER
6. PROPOSED INLET
7. REPLACE EXISTING ELECTRICAL SERVICE LINES. SEE ELECTRICAL PLANS.
8. REMOVE AND REPLACE EXISTING WATER METER WITH PROPOSED 3" WATER METER. REPLACE DISTRIBUTION PIPING AS REQUIRED. SEE PLUMBING PLANS.
9. PROPOSED CONDENSER UNITS. PROPOSED CONDUITS TO BE INSTALLED IN CRAWL SPACE. SEE MECHANICAL PLANS.
10. PROPOSED TRANSFORMER.
11. EXISTING STORM SEWER INLETS TO REMAIN.
12. EXISTING TRANSFORMER TO REMAIN.
13. EXISTING TRANSFORMER OFFSITE TO REMAIN.
14. PROPOSED IRRIGATION METER

## UTILITY NOTES

1. ALL CITY UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF BOULDER STANDARD SPECIFICATIONS.
2. WATER, FIRELINE, SEWER TAPS, AND SERVICE LINE SIZES SHALL BE DETERMINED AT THE TIME OF BUILDING PERMIT APPLICATION.
3. ALL NEW WATER AND SANITARY SEWER SERVICE TAPS TO EXISTING MAINS SHALL BE MADE BY CITY CREWS AT THE DEVELOPER'S EXPENSE.
4. ALL CONNECTIONS TO EXISTING UTILITIES SHALL BE DONE IN A WAY SO AS TO MINIMIZE DISRUPTION IN SERVICE TO EXISTING USERS.
5. THE LOCATION OF THE ABOVE GROUND UTILITIES SHOWN HEREON ARE BASED ON THE FIELD SURVEY BY SCOTT, COX & ASSOCIATES, INC. THE LOCATIONS OF THE UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON SAID SURVEY AND INFORMATION PROVIDED BY OTHERS (WHICH MAY INCLUDE THE UTILITY OWNER OR UTILITY LOCATING SERVICES). SCOTT, COX & ASSOCIATES, INC. IS NOT RESPONSIBLE FOR UTILITY INFORMATION PROVIDED BY OTHERS. SCOTT, COX & ASSOCIATES, INC. RECOMMENDS THAT THE LOCATION OF THE UTILITIES BE FIELD VERIFIED PRIOR TO ANY DIGGING ON, OR ADJACENT TO THE SUBJECT PROPERTY.
6. BENCH MARK ELEVATION TAKEN FROM A CHISELED CROSS AT THE TOP OF A STORM INLET LOCATED AT THE NW CORNER OF THE INTERSECTION OF 28TH STREET AND KALMIA AVENUE. CITY OF BOULDER BENCHMARK T-440-4. ELEVATION= 5338.41 (NAVD88)

2 PRELIMINARY UTILITY PLAN  
SCALE: 1" = 20'



**LEGEND**

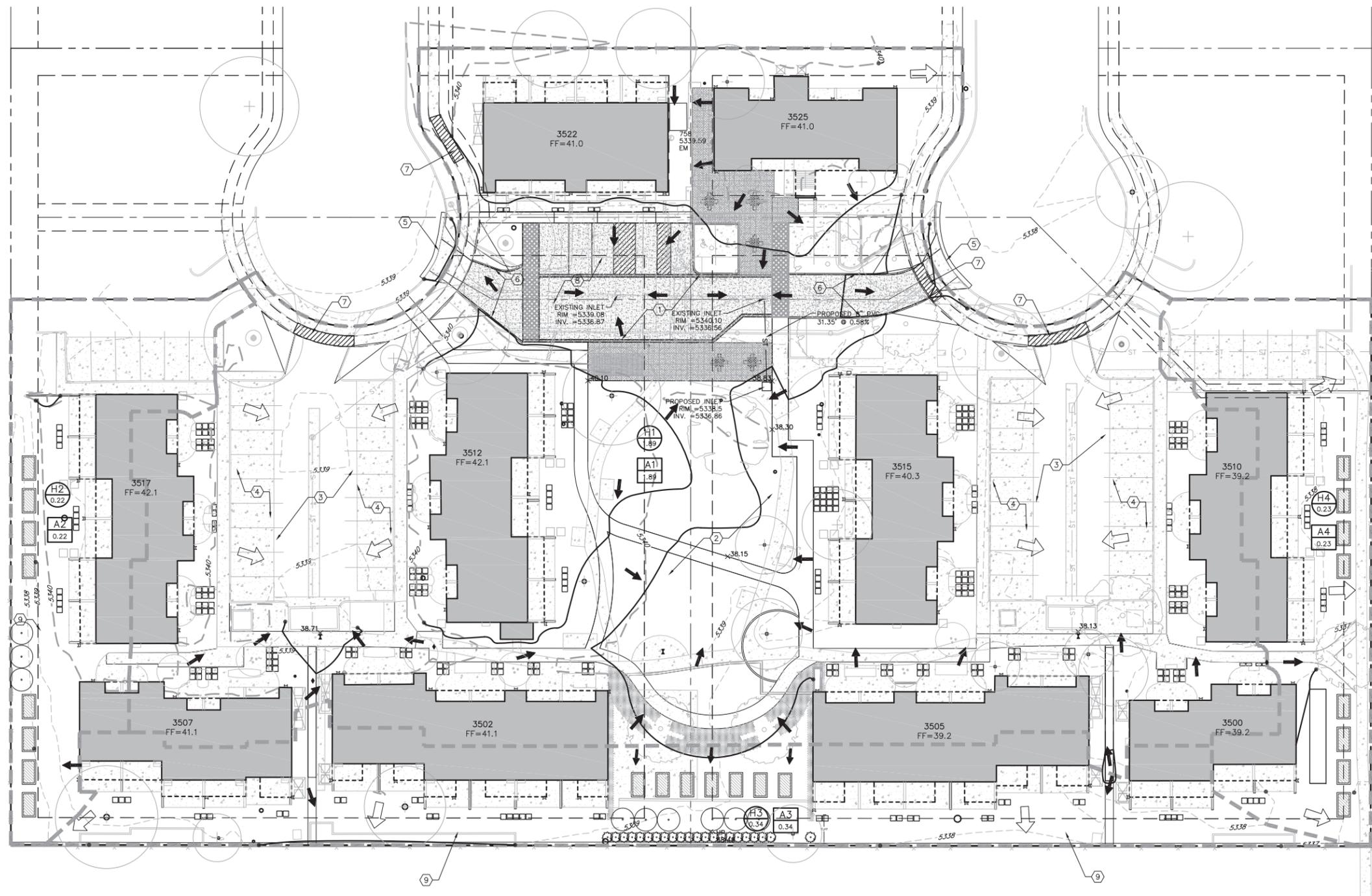
- 5225 --- EXISTING CONTOUR
- 25 --- PROPOSED CONTOUR  
ADD 5300 TO ALL CONTOURS
- x 25.8 EXISTING SPOT ELEVATION
- x 25.8 PROPOSED SPOT ELEVATION  
ADD 5300 TO ALL SPOT ELEVATIONS
- HISTORIC SHEET FLOW
- PROPOSED FLOW DIRECTION
- POINT WHERE PROPOSED GRADE MEETS EXISTING GRADE
- ◆ PROPOSED HIGHPOINT
- ◆ PROPOSED LOWPOINT
- DRAINAGE BASIN BOUNDARY (HISTORIC)
- PROPOSED BASIN BOUNDARY
- ⊕ (H) 1 SUB-BASIN DESIGNATION (HISTORIC)
- ⊕ (A) 1 AREA IN ACRES
- ⊕ (A) 1 PROPOSED SUB-BASIN DESIGNATION
- ⊕ (A) 1 AREA IN ACRES
- ST --- EXISTING STORM SEWER
- ST --- ST --- PROPOSED STORM SEWER W/ INLET
- FF --- PROPOSED SWALE
- FF FINISHED FLOOR ELEVATION

**KEYED NOTES**

1. REMOVE EXISTING ASPHALT, CURB AND GUTTER. CONSTRUCT NEW WOODEN STYLE STREETScape WITH SHARED SPACE AND TRAFFIC CALMING DEVICES.
2. REGRADE CENTER WALKWAY FOR DRAINAGE IMPROVEMENTS. SEE LANDSCAPE PLANS. DRAIN TO STORM INLETS.
3. EXISTING ASPHALT PAVEMENT TO BE REMOVED AND REPLACED.
4. EXISTING CONCRETE PARKING TO REMAIN.
5. CONCRETE DRIVE RAMP PER CITY OF BOULDER STANDARDS DRAWING 2.21.
6. INSTALL 6" VERTICAL CURB AND GUTTER.
7. REMOVE AND REPLACE CONCRETE SIDEWALK.
8. PROPOSED PAVERS. SEE LANDSCAPING PLAN.
9. PROPOSED GRASS DRAINAGE SWALE.

**GRADING NOTES**

1. GRADE AWAY FROM BUILDINGS AT A MINIMUM 10% SLOPE IN THE FIRST 10 FEET AT LANDSCAPE AREAS AND AT A MINIMUM 2% SLOPE IN THE FIRST 10 FEET AT IMPERVIOUS AREAS, EXCEPT AS NOTED.
2. TOP OF FOUNDATION ELEVATION SHALL BE SET AT LEAST 8" ABOVE THE PROPOSED GRADING AT THE EXTERIOR OF THE FOUNDATION AT LANDSCAPE AREAS.
3. THE FEMA FLOOD INSURANCE RATE MAP, PANEL 08013C0392J, DATED DECEMBER 18, 2012, INDICATES THAT THE ENTIRE SITE IS OUTSIDE OF ANY MAPPED 500 YEAR FLOODPLAIN.
4. ALL CITY UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF BOULDER STANDARD SPECIFICATIONS.
5. THE LOCATION OF THE ABOVE GROUND UTILITIES SHOWN HEREON ARE BASED ON THE TOPOGRAPHIC SURVEY BY SCOTT, COX & ASSOCIATES ON 9/3/14. THE LOCATIONS OF THE UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON SAID SURVEY AND INFORMATION PROVIDED BY OTHERS (WHICH MAY INCLUDE THE UTILITY OWNER OR UTILITY LOCATING SERVICES). SCOTT, COX & ASSOCIATES, INC. IS NOT RESPONSIBLE FOR UTILITY INFORMATION PROVIDED BY OTHERS. SCOTT, COX & ASSOCIATES, INC. RECOMMENDS THAT THE LOCATION OF THE UTILITIES BE FIELD VERIFIED PRIOR TO ANY DIGGING ON, OR ADJACENT TO THE SUBJECT PROPERTY.
6. BENCH MARK ELEVATION TAKEN FROM A CHISELED CROSS AT THE TOP OF A STORM INLET LOCATED AT THE NW CORNER OF THE INTERSECTION OF 28TH STREET AND KALMA AVENUE. CITY OF BOULDER BENCHMARK T-440-4. ELEVATION= 5338.41 (NAVD88)
7. SEE ARCHITECTURAL AND LANDSCAPE PLANS FOR ADDITIONAL SITE FEATURES.



**PRELIMINARY GRADING & DRAINAGE PLAN**  
 1 SCALE: 1" = 20'

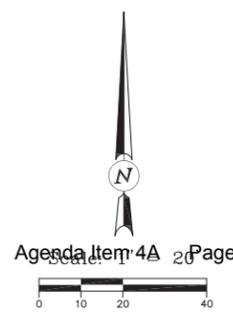


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Architect:		
Plot Date:	5.4.15	
Revisions:		
Rev#	Date	Description
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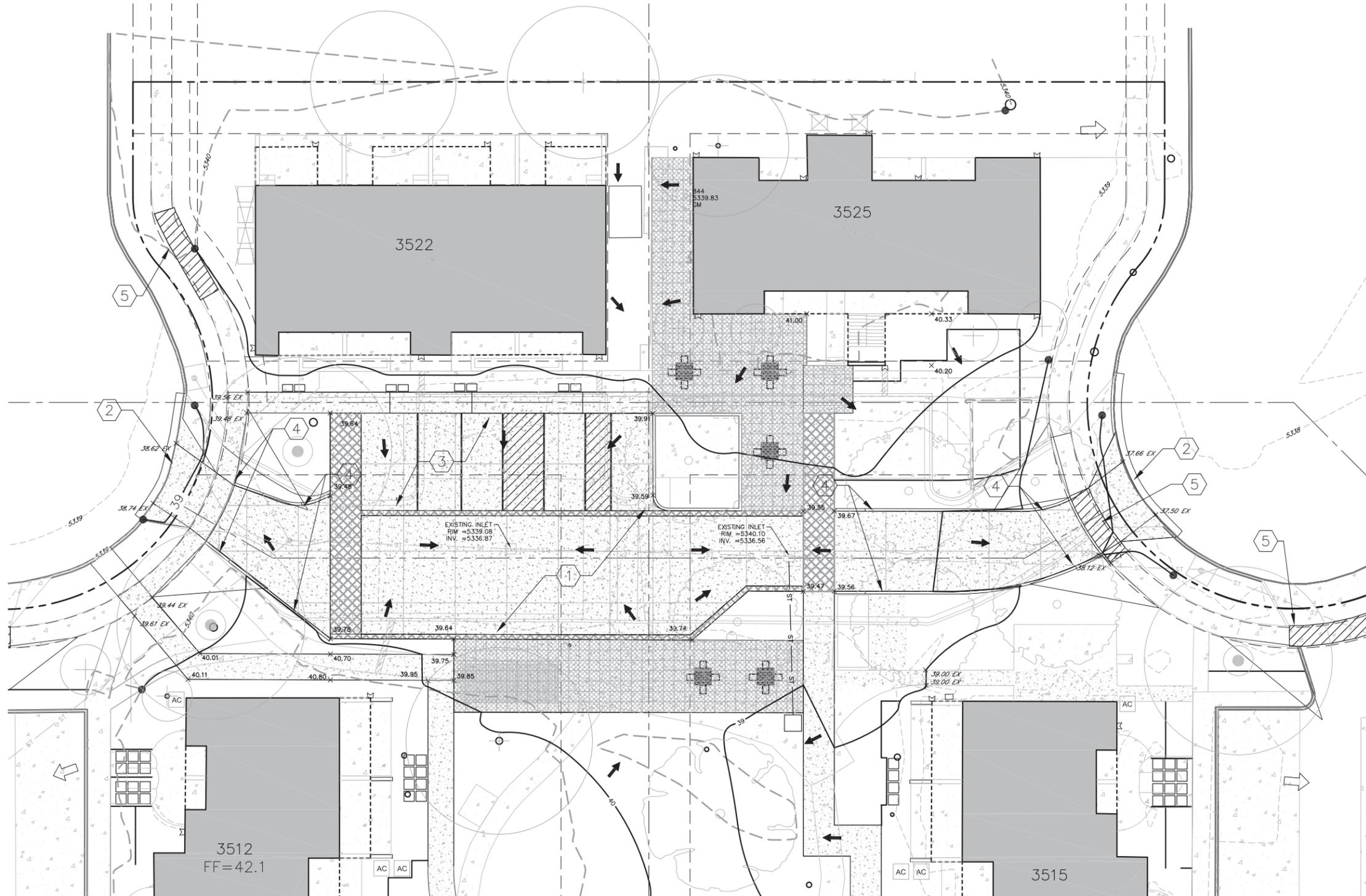
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Archive:

Plot Date: 5.4.15

Revisions:

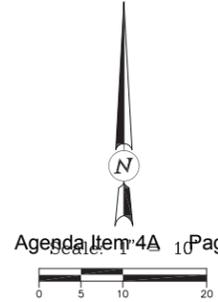
Rev#	Date	Description
1	04-17-15	Submittal revisions
1	06-15-15	Submittal revisions
1	07-29-15	Submittal revisions



**1** DETAILED GRADING PLAN  
 SCALE: 1" = 10'

**KEYED NOTES**

1. REMOVE EXISTING ASPHALT, CURB AND GUTTER. CONSTRUCT NEW WOODNERF STYLE STREETScape WITH SHARED SPACE AND TRAFFIC CALMING DEVICES.
2. CONCRETE DRIVE RAMP PER CITY OF BOULDER STANDARDS DRAWING 2.21.
3. PROPOSED PAVERS. SEE LANDSCAPE PLANS.
4. TRANSITION 6" CURB TO FLUSH CURB.
5. REMOVE AND REPLACE CONCRETE SIDEWALK.





## Memorandum

Date: 2/27/2015  
To: City of Boulder  
From: Kristen Uitto  
Regarding: Minor Amendment to site plan – 3502-3522 Nottingham Ct & 3500-3525 Arthur Ct, Boulder, CO 80304

The following is the required written statement demonstrating compliance with review criteria for the proposed renovations to Boulder Housing Partners' Kalmia property, located at 3502-3522 Nottingham Court & 3500-3525 Arthur Ct.

The scope of work is generally as follows, and is described further in the attached drawings:

- Site wide, the quality of open space will be drastically improved, providing community amenities, such as play grounds, outdoor seating and community garden beds.
- New proposed one-way "Woonerf" pedestrian street replaces the existing drive & parking access lane.
- New front porches & rear decks at each townhouse unit
- Individual storage sheds – either at individual decks or along solid end of building.
- Conversion of six 1-bed apartments into new community center at Building 3525. Includes proposed total addition of 588 SF to the first and second floors. Total community center square footage is approx. 4008 SF. The existing building is fire sprinklered and fire protection will be maintained and modified for new layout.
- PARKING: Currently there are 60 stalls on site (one designated ADA stall) out of 88 parking stall requirement (existing 32% parking reduction in place). With the conversion of the community center, we are proposing two ADA stalls directly adjacent to the community center entry. The new Woonerf pedestrian street removes 4 parking stalls. However, with the conversion of the six 1-bed townhouses, our parking requirement reduces by 6 spaces. So the loss of four spaces is offset by the reduction of six units, resulting in no increase to the existing parking reduction.

Below is the parking analysis:

- EXISTING PARKING – 60 stalls (including one ADA stall)
- PROPOSED PARKING - 56 stalls (including one additional new ADA stall)
- REQUIRED PER ZONING – 82 (1 for 1-bedroom DU, 1.5 for 2-bedroom DU, 2 for 3-bedroom DU)

All criteria have been met as outlined below:

*(A) In a residential zone as set forth in [Section 9-5-2](#), "Zoning Districts," B.R.C. 1981, all approved dwelling units within the development phase have been completed;*

Response: All dwelling units have been completed, as this site was developed in the 1970's.

*(B) In residential zones, dwelling unit type is not changed;*

Response: Existing dwelling unit types are not proposed to change. The new community center will be an accessory use to the existing dwelling units on the site.

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*(C) The required open space per dwelling unit requirement of the zone is met on the lot of the detached dwelling unit to be expanded; and*

Response: Per City of Boulder Pre-application response prepared by Sloane Walbert, the existing site open space meets the historic open space requirements (given the age of the development). However, since the approved discretionary plan was not located, criteria (E) appears most applicable.

*(D) The total open space per dwelling unit in the development is not reduced by more than ten percent of that required for the zone; or*

Response: Basing our analysis on existing conditions, we feel the open space is not decreased by 10%, however original approved discretionary plans were not located, so criteria (E) appears to be the most applicable.

*(E) If the residential open space provided within the development or an approved phase of a development cannot be determined, the detached dwelling unit is not expanded by more than ten percent and there is no variation to the required setbacks for that lot;*

Response: The proposed addition to Building 3525 does not expand the square footage by more than 10% and there is no variation of the required setbacks requested.

*(F) For a building in a nonresidential use module, the building coverage is not increased by more than twenty percent, the addition does not cause a reduction in required open space, and any additional required parking that is provided is substantially accommodated within the existing parking arrangement;*

Response: Not applicable as this is a residential development.

*(G) The portion of any building over the permitted height under [Section 9-7-1](#), "Schedule of Form and Bulk Standards," B.R.C. 1981, is not increased;*

Response: No increase to approved building height is requested.

*(H) The proposed minor amendment does not require public infrastructure improvements or other off-site improvements.*

Response: The proposed changes do not require public infrastructure improvements or other off-site improvements.

The design has been presented to and approved of by Boulder Housing Partners as the client & property owner. They have expressed support for the design work shown in the attached drawings. There are no changes proposed to setbacks, building height, or design intent of the original approved plan.

Signed,

A handwritten signature in blue ink, appearing to read 'Bryan Bowen'.

Bryan Bowen



Attachments: Administrative Review Application  
G-000 – Coversheet/Scope of work/sheet index  
G-002 – Code Analysis  
C-101 – Preliminary Grading & Drainage plan  
C-102 – Preliminary Utility Plan  
L-100 – Overall landscape plan  
A-101 – Site plan showing redlined modifications  
A-102 – Floor plans  
A-301 – Building elevations  
A-903 – Community Center Plans & Building elevations



## Memorandum

Date: 4/20/2015  
To: City of Boulder  
From: Kristen Uitto  
Regarding: RESUBMITTAL LUR2015-00023 Minor Amendment to site plan – 3502-3522 Nottingham Ct & 3500-3525 Arthur Ct, Boulder, CO 80304

The following is the required written statement in response to the City of Boulder comments, dated 3/20/2015. LUR2015-00023 Boulder Housing Partners' Kalmia property, located at 3502-3522 Nottingham Court & 3500-3525 Arthur Ct.

**Access/Circulation**, David Thompson, 303-441-4417

1. Please revise the plans to describe and show how long-term bicycle parking and short-term bicycle parking will be met on the site. Per [table 9-8](#) of the land use code, two bicycle parking spaces are required per unit (98 spaces total). Twenty five percent (24 spaces) must be short-term parking and seventy five percent must be long-term parking (74 spaces). Refer to [section 9-9-6\(g\)](#), B.R.C. 1981 for bicycle parking standards for long-term and short-term bicycle parking. Staff recommends providing some long-term bike storage in the form of vertical racks on rear decks (see attached). In addition, please include a table on the site plans showing the number of short-term and long-term bicycle parking spaces that are required and the number of spaces provided.

**Response:** Long term bicycle parking will be provided at each unit private shed with two provided hooks. There will be 96 long term spaces & 8 short term spaces provided. Short term bicycle parking will be provided by bike loops or similar method near the community mail kiosk.
2. Please revise the site plans to show the design details of the proposed "collective covered bike shelter" and the number of bikes that can be accommodated by the shelter.

**Response:** In light of the requirements in comment 1, we have eliminated the collective bike shelter in lieu of providing long term parking at each individual unit shed.
3. Please revise the site plans to show the specific design elements of the proposed woonerf. Sheet 1.01 states "construct new woonerf-style streetscape with shared space and traffic calming devices." Please elaborate with detailed plans. Staff recommends using colored pavers to delineate the bus pull out and parking stalls. In addition, the applicant should consider constructing a raised crosswalk with distinct pavers and/or reducing the width of the curb cut (driveway) in order to reduce vehicle speeds at the access points.

**Response:** See provided enlarged landscape plan for Woonerf style street layout & details. Sheet L102.
4. Please revise the site plans to show the replacement of sidewalk along Nottingham Ct. and Arthur Ct. meeting the criteria for sidewalk replacement as described in [section 8-2-17\(b\)](#) of the B.R.C. Please contact staff to obtain the limits of the sidewalk replacement along Nottingham Ct. and Arthur Ct.

**Response:** See updated civil plan for sidewalk replacement notes, Sheet C101.
5. Revise the site plans to show the design details of the proposed bus shelter. Please describe the nature of the bus service to this development, i.e., school bus, etc. **Response:** The bus shelter serves the public school buses. The design of new shelter is an open sided covered shelter, with a central structural column. Approx. 8'x20' steel & wood cantilevered roof. See design intent imagery on sheet A101.



6. Pursuant to [table 9-1](#) of the B.R.C., please revise the site plans to provide three (3) accessible parking spaces, of which one of them must be van accessible. Please see [technical drawing 2.54](#) from the City of Boulder Design and Construction Standards (DCS) for the design standards of the accessible parking stall.

**Response:** The parking layout has been adjusted to accommodate (2) standard car ADA stalls and (1) van ADA stall. See updated arch and civil plans.

7. Please revise the site plans to demonstrate that the head-in parking and backing area in the woonerf meets the parking stall design criteria from [section 9-9-6\(g\)](#), B.R.C. 1981.

**Response:** The proposed parking layout conforms to the BRC code. See arch site plan for dimensions of parking stall & backing area.

8. Please revise the landscape plan to:

- Remove the installation of pavers within the City's public right-of-way; and
- Show the site's proposed sidewalk connecting to the back of the existing street sidewalk, rather than to the back of the street curb.

**Response:** The landscape plan has been updated to reflect the corrections above.

**Building Design**, Sloane Walbert, Case Manager, 303-441-4231

1. Please provide existing and proposed elevations for Building 3525 (new community center) and call out specific changes. Color elevations would be helpful for review by staff and Planning Board.

**Response:** Provided. See attached elevation sheet, A903A.

2. Provide additional information regarding the proposed building materials, including new horizontal fiber cement siding and brick. [Criterion \(F\)\(xii\)](#) of the site review criteria states that "exteriors of buildings present a sense of permanence through the use of authentic materials such as stone, brick, wood, metal or similar products and building material detailing."

**Response:** The existing buildings exterior is comprised of horizontal lap siding & brick veneer. The proposed design calls for maintaining the existing brick veneer and matching the existing brick at the porches with new separating walls. Fiber cement horizontal siding is proposed to replace the existing siding, as it is low maintenance and very durable.

3. Provide additional information on the design of the proposed collective covered bike parking.

**Response:** In light of the bicycle parking requirements in transportation comment 1 above, we have eliminated the covered collective bike shelter in lieu of providing long term parking at each individual unit shed and short parking closer to the unit entries.

4. Provide a description of the character of the neighborhood area and state how the proposed modifications are compatible with this character. Refer to site review [criteria \(2\)\(F\)\(i\)](#) and [\(2\)\(F\)\(iv\)](#) that address building design and relationship to the surrounding area.

**Response:** The existing character of the neighborhood is one or two story residential buildings, mostly multifamily buildings clad in common materials (wood and brick typically). The proposed design is compatible with the use, scale, and materiality of the neighborhood.

5. Clarify that additionally storage sheds to be located on the end of the building are only proposed for Building 3500. Please provide an additional typical elevation for another building that does not include sheds on the end but includes them on the rear decks.

**Response:** No, there are additional storage units also proposed at the end of Building 3507. See included building elevations, sheets A302 & A303.



6. Please provide additional information regarding how the project meets [criterion \(2\)\(F\)\(xi\)](#), which states “buildings minimize or mitigate energy use; support on-site renewable energy generation and/or energy management systems; construction wastes are minimized; the project mitigates urban heat island effects; and the project reasonably mitigates or minimizes water use and impacts on water quality.”

**Response:** The proposed design minimizes energy use due to the orientation of most of the buildings east-west allowing for passive and active solar energy. Improved insulation in the walls & roofs is also proposed. Active solar arrays on the rooftops will be maintained as part of the proposed work.

**Landscaping**, Elizabeth Lokocz, 303-441-3138

**Section 9-2-14(l)(2)(C):** The minor amendment shall be found to comply with the review criteria of Subparagraphs (h)(2)(A), (h)(2)(C), and (h)(2)(F) of this section.

(C) Landscaping:

(i) The project provides for aesthetic enhancement and a variety of plant and hard surface materials, and the selection of materials provides for a variety of colors and contrasts and the preservation or use of local native vegetation where appropriate;

**Response:** Yes, the proposed landscaping will update the existing dated overgrown plantings (i.e. juniper shrubs) to provide a mix of low water, low maintenance, and native vegetation.

(ii) Landscape design attempts to avoid, minimize or mitigate impacts on and off site to important native species, healthy, long lived trees, plant communities of special concern, threatened and endangered species and habitat by integrating the existing natural environment into the project;

**Response:** Not applicable; the site is developed and contains no important native species, plant communities of special concern, threatened and endangered species.

(iii) The project provides significant amounts of plant material sized in excess of the landscaping requirements of Sections 9-9-12, "Landscaping and Screening Standards," and 9-9-13, "Streetscape Design Standards," B.R.C. 1981; and

**Response:** Yes, the proposed landscaping was designed in accordance with City landscaping standards.

(iv) The setbacks, yards and useable open space along public rights of way are landscaped to provide attractive streetscapes, to enhance architectural features and to contribute to the development of an attractive site plan.

**Response:** Yes, the proposed design addresses the site entry points with updated landscaping & signage, in addition to re-imagining the parking configuration to enhance the overall feeling of the north portion of the site.

Include a landscape requirements table as described in [section 9-9-12\(d\)\(1\)\(J\)](#), B.R.C. 1981.

**Response:** A landscape requirements table has been included, see sheet L101.

**Neighborhood Comments**, Sloane Walbert, Case Manager, 303-441-4231

**Response:** Noise concerns along south property line were taken into consideration with regards to landscaping design and layout. Adequate separation between the play area and the property line exist. See updated landscape plans.



**Open Space**, Sloane Walbert, Case Manager, 303-441-4231

*Provide an analysis of the total amount of open space currently provided and proposed. Per current standards, the property is required to provide 1,200 square feet of open space per dwelling unit (refer to the intensity standards in [table 8-1](#) in the land use code).*

**Response:** An analysis of the open space has been provided. See included Exhibit A.

*Clarify whether the existing garden beds on the south property line will be removed. They are not shown on the site plan.*

**Response:** Existing garden beds (provided by residents) will be maintained.

*Clarify whether the concrete pads for the front porches and rear decks are expanding. If so, by how much?*

**Response:** Yes, the front porches will be expanded from 4' to 8' deep. Rear decks will not be expanded.

**Outdoor Lighting**, Sloane Walbert, Case Manager, 303-441-4231

*Please indicate whether outdoor lighting will be addressed as part of the site improvements. Note the redevelopment thresholds described in [section 9-9-16\(b\)](#), B.R.C. 1981 for compliance with the outdoor lighting standards. The level of required compliance is based on the cost of redevelopment against the actual value of the existing structure. Regardless of the thresholds, all exterior lighting fixtures that do not conform to the outdoor lighting standards must be brought into conformance by July 15, 2018.*

**Response:** Yes, outdoor lighting will be addressed as part of the site improvements as the project cost exceeds 25% of the appraised value.

**Plan Documents**, Sloane Walbert, Case Manager, 303-441-4231

1. *Please add the floor area analysis sent in an email on 3/18 to the plans in a table format.*

**Response:** See the included coversheet with floor area analysis included.

2. *Show the locations of new A/C units for Buildings 3522 and 3525 on the site and landscape plans.*

**Response:** See site plan A101 for A/C locations

3. *Please correct the survey to reflect six existing parking spaces south of building 3525 (not four).*

**Response:** Corrected. See C101.

4. *Many details on the elevations refer to architectural building plans. Please provide more detail on the elevations or provide these plans.*

**Response:** More elevation sheets have been included. See A302 & A303.

5. *The site plan refers to a solar analysis. Please submit with plan revisions.*

**Response:** Solar analysis table has been included. See A101.

6. *Provide the height of each building on the site plan and the low point within 25 feet.*

**Response:** Provided. See updated A101.

**Site Design**, Sloane Walbert, Case Manager, 303-441-4231

1. *It appears that the trash enclosure currently located south of Building 3522 is proposed to be removed. Please clarify if this will be replaced by a new enclosure and where it will be located.*

**Response:** The trash enclosure will be replaced by a new enclosure and located



between buildings 3522 and 3525. The enclosure shall be uncovered, but screened. See updated site plan A101.

2. Clarify whether the screening of existing trash enclosures will be improved. The site plan refers to landscape sheets that were not included. Refer to sections 9-9-18, "Trash Storage and Recycling Areas" and 9-9-12(d)(5), "General Landscaping and Screening Requirements," B.R.C. 1981.

**Response:** Yes, it is the intention of the proposed design to improve the trash enclosure screening, both architecturally and by landscaping. See landscape sheet L101 for images of design intent & landscape design.

**Signage,** Sloane Walbert, Case Manager, 303-441-4231

Large building numbers are depicted on the plans. Note that per section 9-9-20 of the land use code, building numbers more than twenty-four inches high are subject to all of the provisions of section 9-9-21, "Signs," B.R.C. 1981, to the extent of such excess.

**Response:** The building numbers have been reduced to 24" high each, in order to meet the code for building numbers.

**Utilities,** Scott Kuhna, 303-441-4071

1. All of the existing easements need to be shown and labeled on the Preliminary Utility Plan.

**Response:** All easements have been shown on the preliminary utility plan.

2. The proposed private storm sewer inlets need to be located outside of the existing 25-foot wide utility easement for the existing wastewater main running north/south through the middle of the site.

**Response:** The proposed storm water has been relocated outside of the utility easement.

3. The landscape irrigation system requires a separate water service and meter. Revise the Preliminary Utility Plan as necessary. A separate water Plant Investment Fee must be paid at time of building permit. Service, meter and tap sizes will be required at time of building permit submittal.

**Response:** A separate irrigation water meter has been added to the plans.

4. All water meters are to be placed in city right-of-way or a public utility easement, but meters are not to be placed in driveways, sidewalks or behind fences. The relocated 3-inch water meter lid needs to be located outside of the drive aisle and parking area.

**Response:** The water meter has been added to a landscaped area.

**Zoning,** Sloane Walbert, Case Manager, 303-441-4231

1. Please identify the existing and proposed setbacks from the street for Building 3522 and 3525, include setback of proposed trellis features.

**Response:** Please see updated site plan with setbacks shown.

2. Please identify the rear yard setback for Buildings 3507, 3502, 3505, 3500, including the trellis structures.

**Response:** Please see updated site plan with setbacks shown.



In addition to the written response demonstrating full compliance with criteria, updated drawings are included with the resubmittal, itemized below.

Signed,

A handwritten signature in black ink, appearing to read 'Bryan Bowen'.

Bryan Bowen

Attachments:

- G-000 – Coversheet/Scope of work/sheet index
- C1.01 – Preliminary Grading & Drainage plan
- C1.02 – Preliminary utility plan
- C2.01 – Detailed grading plan
- L-100 – Landscape material plan
- L-101 – Overall landscape planting plan
- L-102 – Enlarged “Woonerf” Street plan
- A-101 – Site plan showing redlined modifications
- A-103 – Typical building plans Bldg 3507
- A-104 – Typical building plans – Bldg 3510
- A-301 – Building elevations
- A-302 – Building Elevations – Bldg 3507
- A-303 – Building Elevations – Bldg 3510
- A-903 – Community Center Plans & Building elevations
- A-903a –Existing Building elevations – Bldg 3525
- Updated survey
- Exhibit A - Open space table & diagrams



## Memorandum

Date: 6/16/2015  
To: City of Boulder  
From: Kristen Uitto  
Regarding: RESUBMITTAL LUR2015-00023 Minor Amendment to site plan – 3502-3522 Nottingham Ct & 3500-3525 Arthur Ct, Boulder, CO 80304

The following is the required written statement in response to the City of Boulder comments, dated 5/8/2015. LUR2015-00023 Boulder Housing Partners' Kalmia property, located at 3502-3522 Nottingham Court & 3500-3525 Arthur Ct.

### II. CITY REQUIREMENTS

#### **Access/Circulation**, David Thompson, 303-441-4417

1. Please correct the discrepancy between the landscape plans and the other site plan sheets, which show two separate locations for short-term bike parking. Staff supports providing additional short-term bike parking at different locations.

**Response:** The plans have been coordinated to show the short term parking locations dispersed at each unit, as well as public short term parking near the community mailboxes.

2. Please revise the 1<sup>st</sup> note of the landscape plans to indicate two (2) hooks are being provided in each unit shed for long-term bike parking rather than the single "u" described in the 1<sup>st</sup> note.

**Response:** The landscape strategy is both the short term with the single "u" loop by each unit deck and the (2) hooks located in the shed for the long term storage. The landscape plan only notes the "U" shape loop since it is part of the landscape design, while the architectural site plan notes both long term and short term parking.

#### **Building Design**, Sloane Walbert, Case Manager, 303-441-4231

Please provide color elevations.

**Response:** Color building elevations have been included.

#### **Fees**, Sloane Walbert, Case Manager, 303-441-4231

Please note that 2014 development review fees include a \$131 hourly rate for reviewer services following the initial city response (these written comments). Please see the P&DS Questions and Answers brochure for more information about the hourly billing system.

**Response:** Noted.

#### **Landscaping**, Elizabeth Lokocz, 303-441-3138

1. The following standards are of concern and are not clearly met, or called out as a requested modification:

a. Street trees appear to be a mix of private and public, existing and proposed. Additional detail on the mix and the length being used to calculate the requirement would be helpful for documentation purposes.

**Response:** Within the property lines, we have calculated 500 LF of streetscape frontage including the Woonerf. We are using a combination of existing and proposed trees to allow for the trees to have an average spacing of 35 feet O.C. new trees are positioned where possible based upon existing conditions.

b. It does not appear that parking is screened from adjacent properties and rights-of-way by required planting strips AND minimum screen height. Please clarify. What are conditions that prevent meeting screening requirements?

**Response:** The parking will be screened using RedTwig Dogwood Hedge plantings at a height of 42" spaced densely to provide full screening from adjacent properties and Right



of Ways. These have been specified on the landscape planting plan. Some trees sizes have been reduced per the recommendations.

2. Consider 2 or 2.5-inch caliper trees instead of 3 or 3.5-inch, which take much longer to get established and have a much higher mortality rate.

**Response:** Some trees sizes have been reduced per the recommendations.

**Legal Documents**, Julia Chase, City Attorney's Office, 303-441-3020

1. If the project is approved, the following will be required, upon request of the Case Manager:

- a. An updated title commitment current within 30 days; and
- b. Proof of authorization to bind on behalf of the owner.

2. The Applicant will be required to sign a Development Agreement.

**Response:** Noted.

**Neighborhood Comments**, Sloane Walbert, Case Manager, 303-441-4231

Staff has received additional input from several neighbors (see attached). Concerns remain regarding the proposed location of the futsal/basketball court and disruptive activity along the south fence line, including objects thrown over the fence. Staff recommends creating a management plan and/or holding a neighborhood meeting to address these concerns.

**Response:** The orientation of the basketball hoops has been reversed to direct the activity away from the south property line. Additional landscaping, including trees, have been proposed between the court and the south property line in an effort to mitigate sound and visual connections between the properties. BHP will be happy to work with the neighborhood to address any remaining concerns.

**Open Space**, Sloane Walbert, Case Manager, 303-441-4231

Thank you for providing an open space analysis. Please revise the analysis of the current conditions to include the open space provided for 55 units, which were approved per the original PRD. Provide an additional analysis showing the amount of open space proposed following the community center addition for 49 units.

**Response:** The open space analysis has been updated to include the existing/originally approved open space for 55 units, as well as the proposed design for 49 units & a community center.

**Outdoor Lighting**, Sloane Walbert, Case Manager, 303-441-4231

Please clarify how outdoor lighting will be addressed as part of the site improvements. When development or redevelopment exceeds twenty-five percent of the value of the existing structure, then all existing unshielded exterior light fixtures must be retrofitted with shielding to prevent light trespass ([section 9-9-16\(b\)](#), B.R.C. 1981). Are any additional upgrades proposed? Staff encourages the applicant to bring all exterior lighting fixtures that do not conform to the outdoor lighting standards into conformance with this project. If this is the case, please submit a preliminary lighting plan.

**Response:** Current DD level pricing reflects that the construction cost will likely exceed 25% the value of the building. Therefore all existing unshielded exterior light fixtures shall be retrofitted with shielding to prevent light trespass, per BRC. A preliminary lighting layout has been included on the site plan.

**Plan Documents**, Sloane Walbert, Case Manager, 303-441-4231

Please submit a preliminary lighting plan, if necessary.

**Response:** A preliminary site lighting layout has been included on the site plan to indicate the locations of non-compliant lighting that will be upgraded to full-cutoff lighting to match existing compliant fixtures.



**Site Design**, Sloane Walbert, Case Manager, 303-441-4231

*The response to comments states that the existing trash enclosures will be improved. Please provide additional information regarding the materials of the new screening. Refer to sections 9-9-18, "Trash Storage and Recycling Areas" and 9-9-12(d)(5), "General Landscaping and Screening Requirements," B.R.C. 1981.*

**Response:** The existing trash enclosure structure (concrete walls) & pad will remain, but will be painted and updated with new horizontal slats (wood or composite) every 6" & new climbing plantings at the perimeter. Additional landscaping is proposed around the 3 sides of the enclosures.

**Utilities**, Scott Kuhna, 303-441-4071

1. *The Preliminary Utility Plan (Sheet C-102) shows the proposed irrigation service line running parallel to the wastewater main directly on the edge of the easement (½ of the water meter would be in the easement and ½ would be outside the easement) and under a proposed new bus shelter. Service lines in easements may not run parallel to main lines in easements or right-of-way. Relocation of the irrigation line and meter is required.*

**Response:** The location of the irrigation line and meter has been revised.

2. *The plans show a portion of a proposed new bus shelter encroaching into the existing 25-foot wide utility easement. Relocation of the shelter is required.*

**Response:** The bus shelter has been placed outside of the utility easement.

3. *All proposed trees need to be included on the Preliminary Utility Plan. There may be additional comments on utility vs. tree conflicts at resubmittal.*

**Response:** All trees have been included on the Utility Plan.

**III. INFORMATIONAL COMMENTS**

**Access/Circulation**, David Thompson, 303-441-4417

*Consideration should be given to locating the short-term bicycle parking closer to the Community Center Building.*

**Response:** We will consider it in the overall design.

In addition to the written response demonstrating full compliance with criteria, updated drawings are included with the resubmittal, itemized below.

Signed,

Bryan Bowen

Attachments: C1.01 – Preliminary Grading & Drainage plan  
C1.02 – Preliminary utility plan  
C2.01 – Detailed grading plan  
L-100 – Landscape material plan



L-101 – Overall landscape planting plan  
L-102 – Enlarged “Woonerf” Street plan  
A-101 – Architectural Site plan  
Exhibit A - Open space table & diagrams  
Exhibit B – Color elevations