

MEMORANDUM

TO: Planning Board
FROM: Elaine McLaughlin, Case Manager
DATE: Dec. 8, 2015
SUBJECT: **Call Up Item:** MINOR SITE REVIEW AMENDMENT (LUR2015-00038): Minor Site Review Amendment of an approved Planned Unit Development (PUD) to convert a two story office building to ground floor office with a residential unit above and remodel the interior.

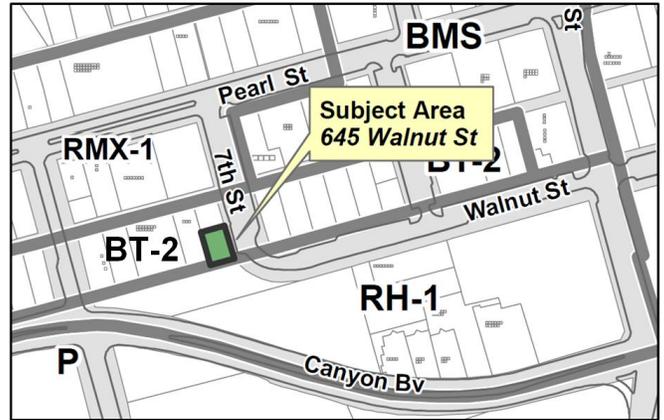


Figure 1: Vicinity Map

Background. Located at the northwest corner of Walnut and 6th street and fronting onto Canyon Pointe Park, the approximately 3,800 square foot site is zoned BT-2, Business - Transitional 2 defined in the Land Use Code (section 9-5-2, B.R.C. 1981) as areas which, “generally buffer a residential area from a major street and are primarily used for commercial and complementary residential uses, including temporary lodging and office uses.” The property includes an existing office building that had been converted in 1981 from residential to office through a Planned Unit Development (PUD), which is now referred to as “Site Review.” At that time the property was also subdivided and an attached duplex building was also constructed to the north, that portion of the building is not a part of this application. Because the applicant is requesting a change of use on the top floor from office to residential and a replacement of the roof with the addition of dormers, it modifies the original approval and exceeds the threshold for a Minor Modification. This necessitates review as a Minor Site Review Amendment. The review criteria for the minor amendment will be applied, focused specifically on Landscaping, Building Design and Open Space, per Section 9-2-14(l), B.R.C.1981.

While the exact date of the building’s original construction is not known, the front south portion of the building was likely constructed in the 1890s. The house retains elements that are representative of an Edwardian Vernacular residence, common in Boulder at the turn of the twentieth century. The house has been extensively modified from its original construction, particularly to the second level and in the construction of a large addition on the north. As a result, a demolition permit was issued on the house for the request for a new roof and addition of dormers. On Feb. 4, 2015 Landmarks Board approved the demolition based on findings that that due to a loss of architectural integrity, the property is not eligible for landmark designation.



Proposed Project.

The proposed project includes a new roof of the same roof angle along with the the addition of dormers to the roof structure to provide additional head room on the upper floor and conversion of the second floor from office back to residential. Existing approved modifications to the front, side and rear yard setbacks will remain as the existing building will not be moved.

Project Analysis. The Minor Amendment was found to be consistent with the Site Review Minor Amendment criteria and helps improve the overall appearance of the building and site. Please refer to **Attachment B** for staff's complete analysis of the review criteria. During the review process, the applicant had proposed a distinctly different roof pitch. Working with the applicant, staff encouraged them to retain the same roof pitch to be in keeping with the original building and maintain the appearance in the context. The applicant was open to the suggestion and has since revised the project plans.



Public Comment. Required public notice was provided in the form of written notifications to property owners within 600 feet of the subject property. In addition, a public notice sign was posted on the property and therefore, all public notice requirements of section 9-4-3, “Public Notice Requirements,” B.R.C. 1981 were met. Staff received a voicemail message from one neighbor who indicated support for the project.

Conclusion. Staff finds that the proposed project meets the relevant criteria pursuant to section 9-2-14(l), “Minor Amendments to Approved Site Plans,” B.R.C. 1981 (please refer to **Attachment B**). This proposal was approved by Planning and Development Services staff on Dec. 8, 2015 and the decision may be called up before Planning Board on or before Dec. 22, 2015. There is one Planning Board meeting within the 14-day call up period, on **Dec. 17 2015**. Questions about the project or decision should be directed to Elaine McLaughlin at (303) 441-4130 or mclaughline@bouldercolorado.gov.

Attachments

- A. Signed Disposition
- B. Analysis of Review Criteria
- C. Applicant's Proposed Plans



CITY OF BOULDER
Community Planning & Sustainability

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phone 303-441-1880 • fax 303-441-3241 • web www.bouldercolorado.gov

CITY OF BOULDER PLANNING DEPARTMENT
NOTICE OF DISPOSITION

You are hereby advised that the following action was taken by the Planning Department based on the standards and criteria of the Land Use Regulations as set forth in Chapter 9-2, B.R.C. 1981, as applied to the proposed development.

DECISION: APPROVED WITH CONDITIONS
PROJECT NAME: 645 WALNUT OFFICE/RESIDENTIAL
DESCRIPTION: Minor Site Review Amendment of an approved Planned Unit Development (PUD) to convert a two story office building to ground floor office with a residential unit above and addition of 194 square feet of floor area.
LOCATION: 645 WALNUT ST
COOR: N03W07
LEGAL DESCRIPTION: South 75 feet of Lot 12, Block 61, West Boulder, County of Boulder, State of Colorado
APPLICANT: JENNIFER CAMPBELL
OWNER: EDWARD M. PARENT
APPLICATION: Minor Site Review Amendment, LUR2015-00038
ZONING: BT-2
CASE MANAGER: Elaine McLaughlin
VESTED PROPERTY RIGHT: NO; the owner has waived the opportunity to create such right under Section 9-2-19, B.R.C. 1981.

APPROVED MODIFICATIONS FROM THE LAND USE REGULATIONS: None

FOR CONDITIONS OF APPROVAL, SEE THE FOLLOWING PAGES OF THIS DISPOSITION.

Approved on: 12-18-15
Date

By: [Signature]
David Driskell, Executive Director of Community Planning and Sustainability

This decision may be appealed to the Planning Board by filing an appeal letter with the Planning Department within two weeks of the decision date. If no such appeal is filed, the decision shall be deemed final fourteen days after the date above mentioned.

Appeal to Planning Board expires: 12-22-15

Final Approval Date: 12-23-15

IN ORDER FOR A BUILDING PERMIT APPLICATION TO BE PROCESSED FOR THIS PROJECT, A SIGNED DEVELOPMENT AGREEMENT AND FINAL PLANS FOR CITY SIGNATURE MUST BE SUBMITTED TO THE PLANNING DEPARTMENT WITH DISPOSITION CONDITIONS AS APPROVED

SHOWN ON THE FINAL PLANS, IF THE DEVELOPMENT AGREEMENT IS NOT SIGNED WITHIN NINETY (90) DAYS OF THE FINAL DECISION DATE, THE PLANNING DEPARTMENT APPROVAL AUTOMATICALLY EXPIRES.

Pursuant to Section 9-2-12 of the Land Use Regulations (Boulder Revised Code, 1981), the applicant must begin and substantially complete the approved development within three years from the date of final approval. Failure to "substantially complete" (as defined in Section 9-2-12) the development within three years shall cause this development approval to expire.

CONDITIONS OF APPROVAL

1. The Applicant shall ensure that the **development shall be in compliance with all plans prepared by the Applicant** on August 8, 2015, on file in the City of Boulder Planning Department, except to the extent that the development may be modified by the conditions of this approval.
2. The Applicant shall **comply with all previous conditions** contained in any previous approvals, except to the extent that any previous conditions may be modified by this approval, including, but not limited to the following: NC-76-2; NC78-29; P-81-35.

Minor Amendments to Approved Site Plans

Section 9-2-14 (I), B.R.C. 1981

(1) **Standards:** Changes to approved building location, or additions to existing buildings which exceed the limits of a minor modification, may be considered through the minor amendment process, if the following standards are met:

N/A (A) In a residential zone as set forth in [section 9-5-2](#), "Zoning Districts," B.R.C. 1981, all approved dwelling units within the development phase have been completed;

Not Applicable, the property is located in the BT-2 zoning district.

N/A (B) In residential zones, dwelling unit type is not changed;

Not Applicable, the property is located in the BT-2 zoning district.

N/A (C) The required open space per dwelling unit requirement of the zone is met on the lot of the detached dwelling unit to be expanded, and

Not Applicable, as the building being expanded is not a detached dwelling unit.

X (D) The total open space per dwelling unit in the development is not reduced by more than ten percent of that required for the zone; or

There is no reduction in open space per dwelling unit occurring as part of this proposal.

N/A (E) If the residential open space provided within the development or an approved phase of a development cannot be determined, the detached dwelling unit is not expanded by more than ten percent and there is no variation to the required setbacks for that lot;

Not Applicable, as the building being expanded is not a detached dwelling unit.

X (F) For a building in a nonresidential use module, the building coverage is not increased by more than twenty percent, the addition does not cause a reduction in required open space, and any additional required parking that is provided, is substantially accommodated within the existing parking arrangement;

The proposed remodel of the building that includes the conversion of the second story from office to residential will not cause an increase in building coverage or a reduction in required open space, and parking will be accommodated on-site in an existing parking area.

X (G) The portion of any building over the permitted height under [section 9-7-1](#), "Schedule of Form and Bulk Standards," B.R.C. 1981, is not increased;

No portion of the existing building exceeds the 35' maximum permitted height for the BT-2 zone, rather the maximum height of the building will be 26 feet.

X (H) The proposed minor amendment does not require public infrastructure improvements or other off-site improvements.

The proposed minor amendment is for the site and building changes associated with the conversion of the existing office into a mixed use building with ground floor office and residential above.

(2) Amendments to the Site Review Approval Process: Applications for minor amendment shall be approved according to the procedures prescribed by this section for site review approval, except:

X (A) If an applicant requests approval of a minor amendment to an approved site review, the city manager will determine which properties within the development would be affected by the proposed change. The manager will provide notice pursuant to subsection [9-4-3\(b\)](#), B.R.C. 1981, of the proposed change to all property owners so determined to be affected, and to all property owners within a radius of six hundred feet of the subject property.

Required public notice was provided in the form of written notifications to property owners within 600 feet of the subject property. In addition, a public notice sign was posted on the property and therefore, all public notice requirements of section 9-4-3, "Public Notice Requirements," B.R.C. 1981 were met.

X (B) Only the owners of the subject property shall be required to sign the application.

The owner of the property signed the application.

X (C) The minor amendment shall be found to comply with the review criteria of subparagraphs (h)(2)(A), (h)(2)(C), and (h)(2)(F) of this section, and

The minor amendment has been found to meet the Open Space, Landscaping and Building Design and Livability standards found in the Site Review criteria. The proposed removal of the existing parking lot represents a substantial improvement to the existing open space on site, and the proposed landscaping has been reviewed and approved by staff as meeting the intent of the Landscaping standards. Only minor changes to the existing building are proposed, all of which serve to improve the livability and relationship to the surrounding area compared to the previously approved design.

X (D) The minor amendment is found to be substantially consistent with the intent of the original approval, including conditions of approval, the intended design character and site arrangement of the development, and specific limitations on additions or total size of the building which were required to keep the building in general proportion to others in the surrounding area or minimize visual impacts.

X (E) The city manager may amend, waive, or create a development agreement.

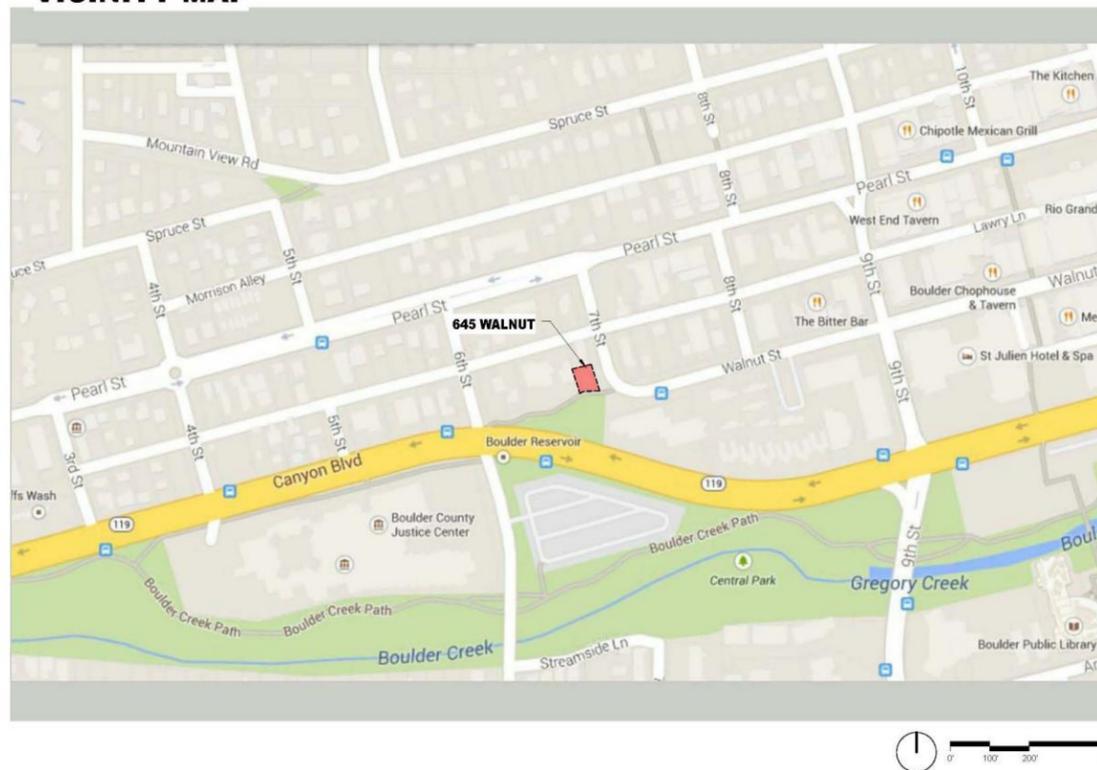
The applicant will be required to sign a development agreement.

SHEET INDEX	
SHEET NUMBER	SHEET NAME
A0.00	COVER SHEET
A0.01	SOLAR AND BULK PLANE ANALYSIS
A0.02	PROPERTY ZONING ANALYSIS
A1.01	SITE PLAN
A2.01	FLOOR PLAN
A3.01	BUILDING SECTIONS
A3.02	BUILDING SECTIONS
A4.01	REFLECTED CEILING PLAN
A5.01	EXTERIOR ELEVATIONS
A6.03	DOOR AND WINDOW SCHEDULES
A7.01	EXTERIOR DETAILS
A8.01	FIREPLACE SPECS



PROPOSED RENDERING

VICINITY MAP



EXISTING PROPERTY PHOTO



PROJECT NO. 14042.000

359
DESIGN

PARENT RESIDENCE BOULDER, COLORADO
645 WALNUT

OWNER

EDWARD PARENT
645 WALNUT STREET
BOULDER, CO 80302

ARCHITECT

359 DESIGN
710 W. COLFAX
DENVER, COLORADO 80204

GENERAL CONTRACTOR

ROBLUCKETT BUILDERS
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STRUCTURAL ENGINEER

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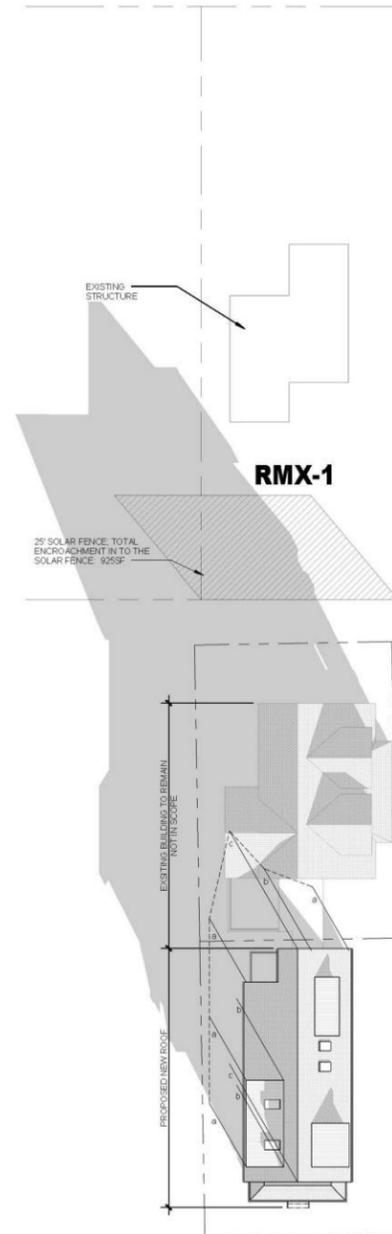
GENERAL CONTRACTOR

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STRUCTURAL ENGINEER

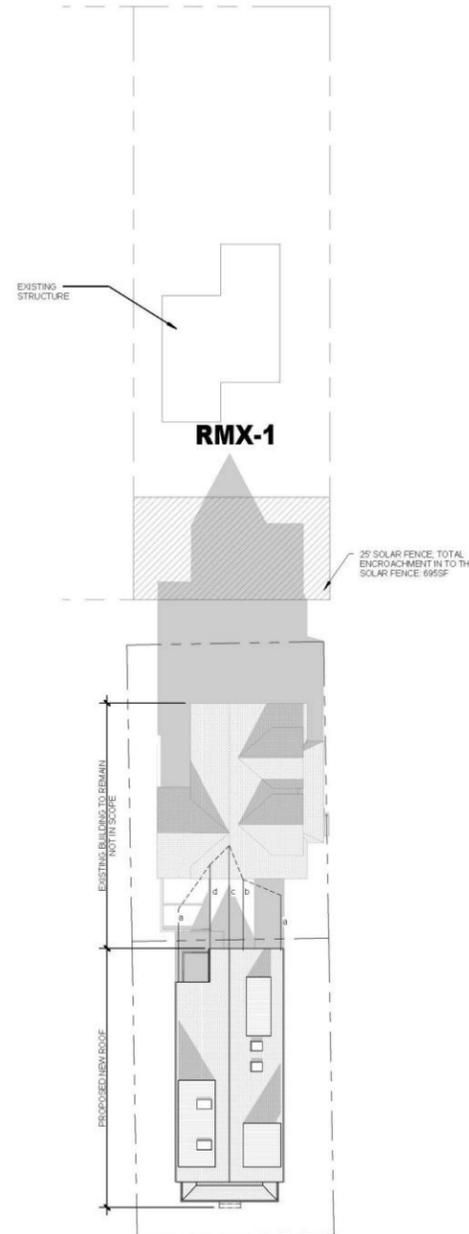
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JOEL AMBROSINO - 303-444-8545

PARENT RESIDENCE
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BOULDER, CO 80302



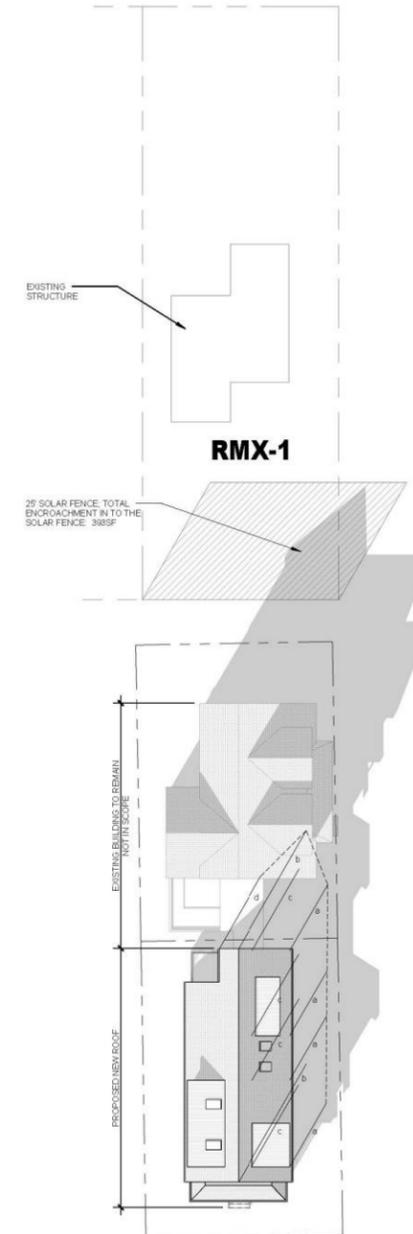
ACTUAL SHADOW LENGTHS
ON DEC. 21 AT 10AM
a. 18.6' (19' @ Bottom of Dome)
b. 23.9' (21' @ Top of Dome)
c. 34.5' (25' @ Top of Roof)
d. 21.2' (20' @ Roof)

03 SOLAR SHADOW ANALYSIS- 10AM DEC. 21
1" = 20'-0"
TRUE NORTH



ACTUAL SHADOW LENGTHS
ON DEC. 21 AT 12PM
a. 14' (19' @ Bottom of Dome)
b. 18' (21' @ Top of Dome)
c. 26' (25' @ Top of Roof)
d. 16' (20' @ Roof)

02 SOLAR SHADOW ANALYSIS- 12PM DEC. 21
1" = 20'-0"
TRUE NORTH



ACTUAL SHADOW LENGTHS
ON DEC. 21 AT 2PM
a. 18.6' (19' @ Bottom of Dome)
b. 34.5' (25' @ Top of Roof)
c. 23.9' (21' @ Top of Dome)
d. 21.2' (20' @ Roof)

01 SOLAR SHADOW ANALYSIS- 2PM DEC. 21
1" = 20'-0"
TRUE NORTH

KEY PLAN

REVISION

No.	Description	Date
1	CITY OF BOULDER COMMENTS	07/10/2015

PROJECT NUMBER: 14049
ISSUE DATE: AUG 08 2015

ISSUE

MINOR SITE REVIEW AMENDMENT

SHEET TITLE
SOLAR AND BULK PLANE ANALYSIS

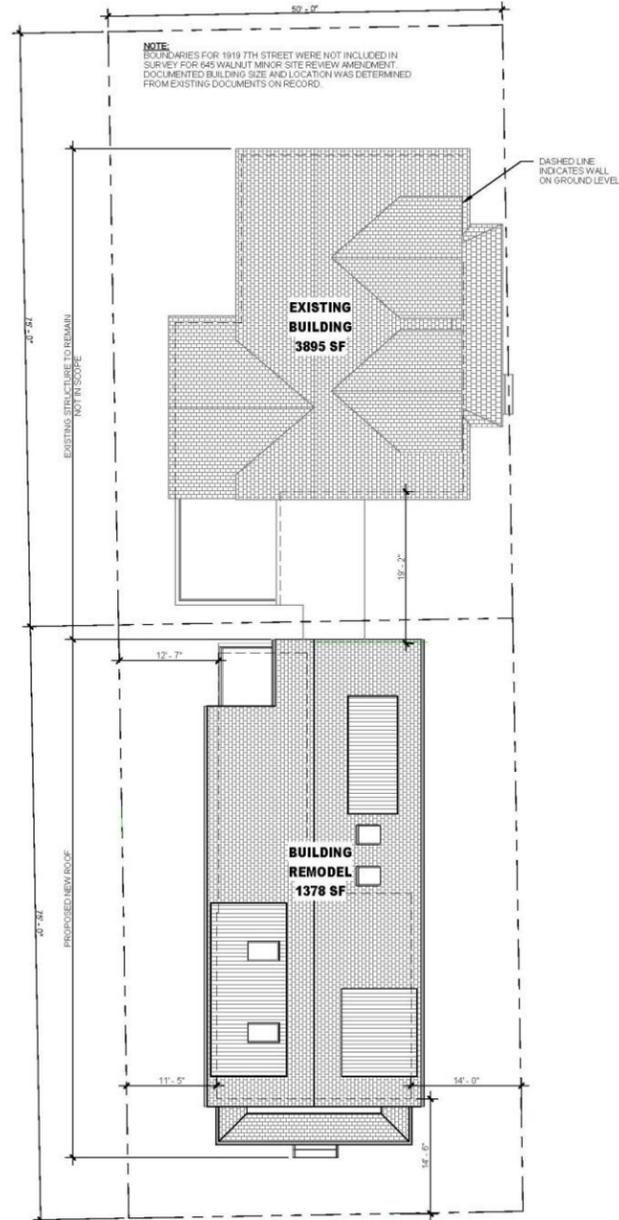
SHEET NO.

A0.01

ORIGINAL PUD AREAS:

AREAS OF LEVELS AS ORIGINAL PUD		EXISTING SQUARE FEET	PROPOSED SQUARE FEET
1919 7TH ST. OVERALL SQUARE FOOTAGE	OFFICE RESIDENTIAL	3895 SF 0 SF	0 SF 0 SF
TOTAL SQUARE FOOTAGE @ 1919 7TH ST.		3895 SF	0 SF
645 WALNUT OVERALL SQUARE FOOTAGE	OFFICE RESIDENTIAL	1378 SF 0 SF	523 SF 855 SF
TOTAL SQUARE FOOTAGE @ 645 WALNUT		1378 SF	1378 SF
TOTAL FLOOR AREA FOR PUD		5273 SF	0 SF
TOTAL SITE AREA FOR BOTH LOTS (SF)		6000 SF	
MAXIMUM FLOOR AREA RATIO FOR SITE (0.5 : 1)		4000 SF	

*** NOTE THAT THE EXISTING STRUCTURES EXCEED THE FAR REQUIREMENT OF 0.5 FAR



03 OVERALL ORIGINAL PUD AS MODIFIED
1" = 10'-0"



645 WALNUT ZONING STUDY:

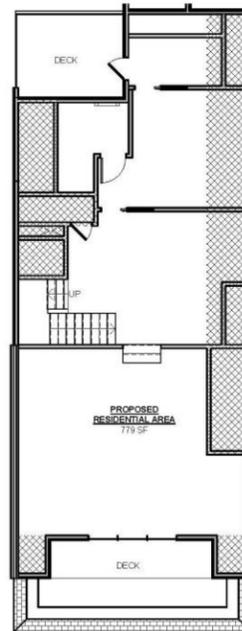
SITE:
LOT SIZE: 75' x 50' = 3,750 SF
ZONING DISTRICT: BT-2
LAND USE: TB
MAXIMUM FAR: 0.5:1
FLOOD PLAIN: 100 YEAR ZONE

MAXIMUM BUILDING COVERAGE:
BUILDING AREA: (0.5 : 1 FAR) 3,750 x .5 = 1,875 SF
MAXIMUM ALLOWABLE BUILDING COVERAGE: 1550

SITE CONSTRAINTS:
MAX. BUILDING HEIGHT: 30'-0"
SIDE YARD SET BACK: 15'-0"

AREA LEGEND:

- MECHANICAL
- OFFICE
- RESIDENTIAL
- BELOW 6' HEAD HEIGHT



02 PROPOSED AREA DIAGRAM - LEVEL 2
1/8" = 1'-0"

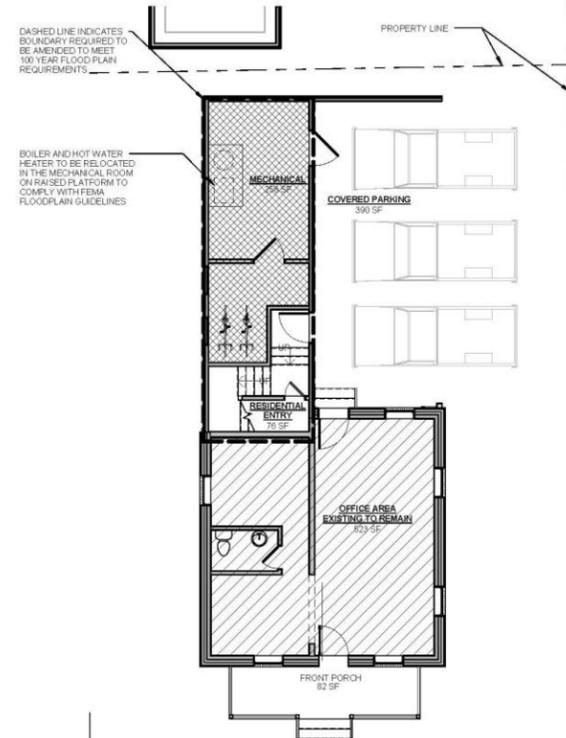
AREA AND SITE COVERAGE TABLES

FLOOR AREA	EXISTING SQUARE FEET	PROPOSED SQUARE FEET
GROUND LEVEL		
OFFICE	523 SF	523 SF
RESIDENTIAL	0 SF	76 SF
*MECHANICAL	*334 SF	*259 SF
*EXCLUDED: UNHABITABLE SPACE	*334 SF	*259 SF
GROUND LEVEL - TOTAL FLOOR AREA	523 SF	599 SF
LEVEL 2		
OFFICE (EXISTING)	855 SF	779 SF
RESIDENTIAL (REMODEL)		
SECOND LEVEL - TOTAL FLOOR AREA	855 SF	779 SF
TOTAL BUILDING FLOOR AREA INCLUDED	1378 SF	1378 SF
SITE AREA (SF)	3760 SF	
MAXIMUM FLOOR AREA RATIO (0.5 : 1)	1875 SF	
AMOUNT OF SF UNDER MAX FAR:	497 SF	497 SF

* INDICATES DERIVATION OF "SUPPLEMENTAL FLOOR AREA" PER CHAPTER 9.16.B.R.C. 1981 "UNHABITABLE SPACE" TABLE 8-2

BUILDING COVERAGE	EXISTING SQUARE FEET	PROPOSED SQUARE FEET
BUILDING FOOT PRINT (FOUNDATION)	931 SF	931 SF
COVERED PARKING	390 SF	390 SF
FRONT PORCH	*82 SF	*82 SF
*EXCLUDED: AREA (PORCH < 30" HIGH)	82 SF	82 SF
TOTAL BUILDING COVERAGE	1321 SF	1321 SF

*EXCLUDE UNCOVERED DECK, STOODS, PATIOS, TERRACES AND STAIRWAYS ALL LESS THAN THIRTY INCHES HIGH



01 PROPOSED AREA DIAGRAM - LEVEL 1
1/8" = 1'-0"



359 DESIGN

710 W. COLFAX, DENVER, CO 80204

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KEY PLAN

No.	Description	Date
1	CITY OF BOULDER COMMENTS	07/10/2015
2	CITY OF BOULDER COMMENTS 2	07/28/2015

PROJECT NUMBER 14049
ISSUE DATE AUG 08 2015

ISSUE
MINOR SITE REVIEW AMENDMENT
SHEET TITLE
PROPERTY ZONING ANALYSIS

SHEET NO.

A0.02

OWNER
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BOULDER, CO 80302

KEY PLAN

REVISION

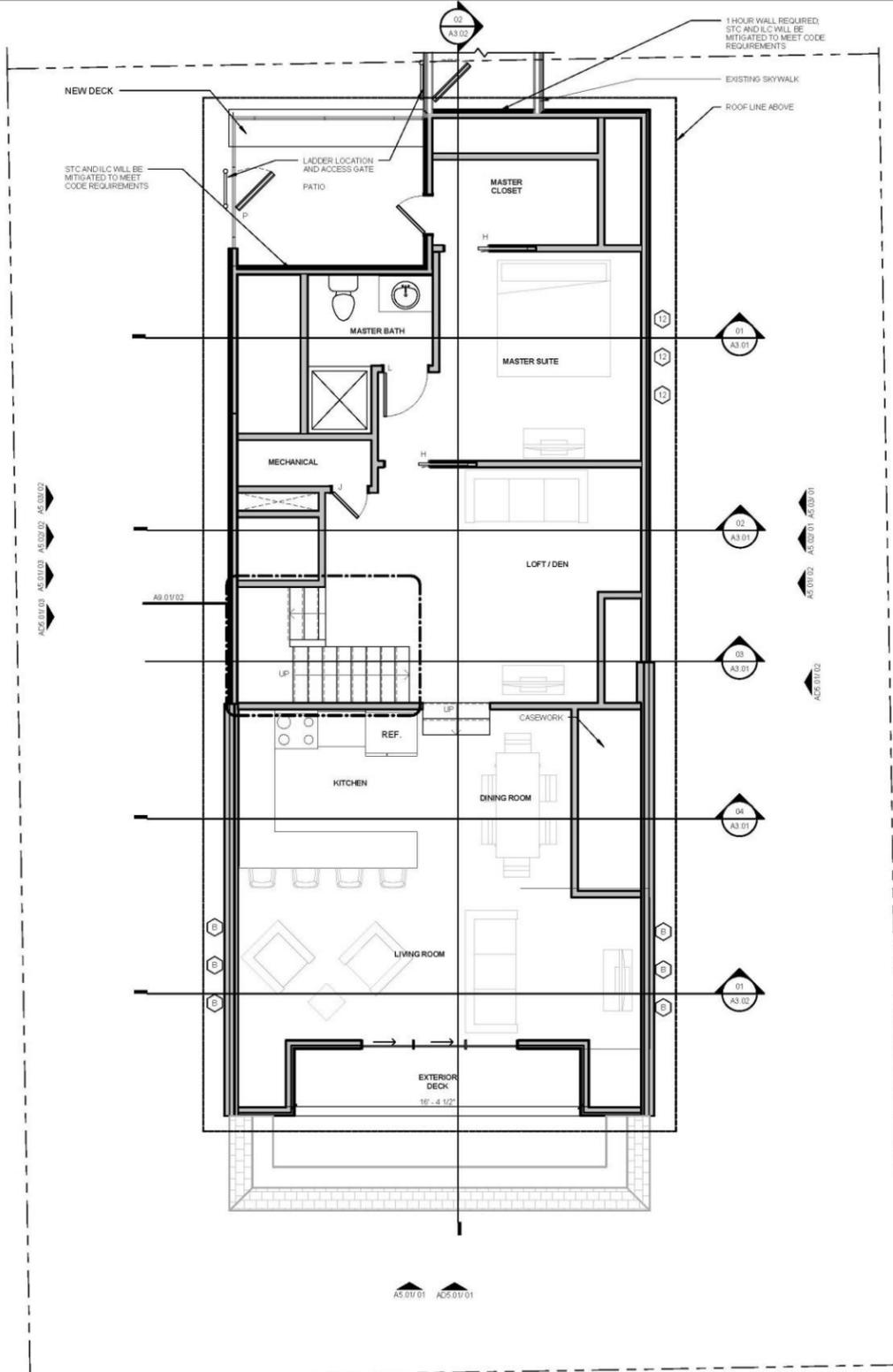
No.	Description	Date
1	CITY OF BOULDER COMMENTS	07/10/2015

PROJECT NUMBER 14049
ISSUE DATE AUG 08 2015

ISSUE
MINOR SITE REVIEW AMENDMENT
SHEET TITLE
FLOOR PLAN

SHEET NO.

A2.01

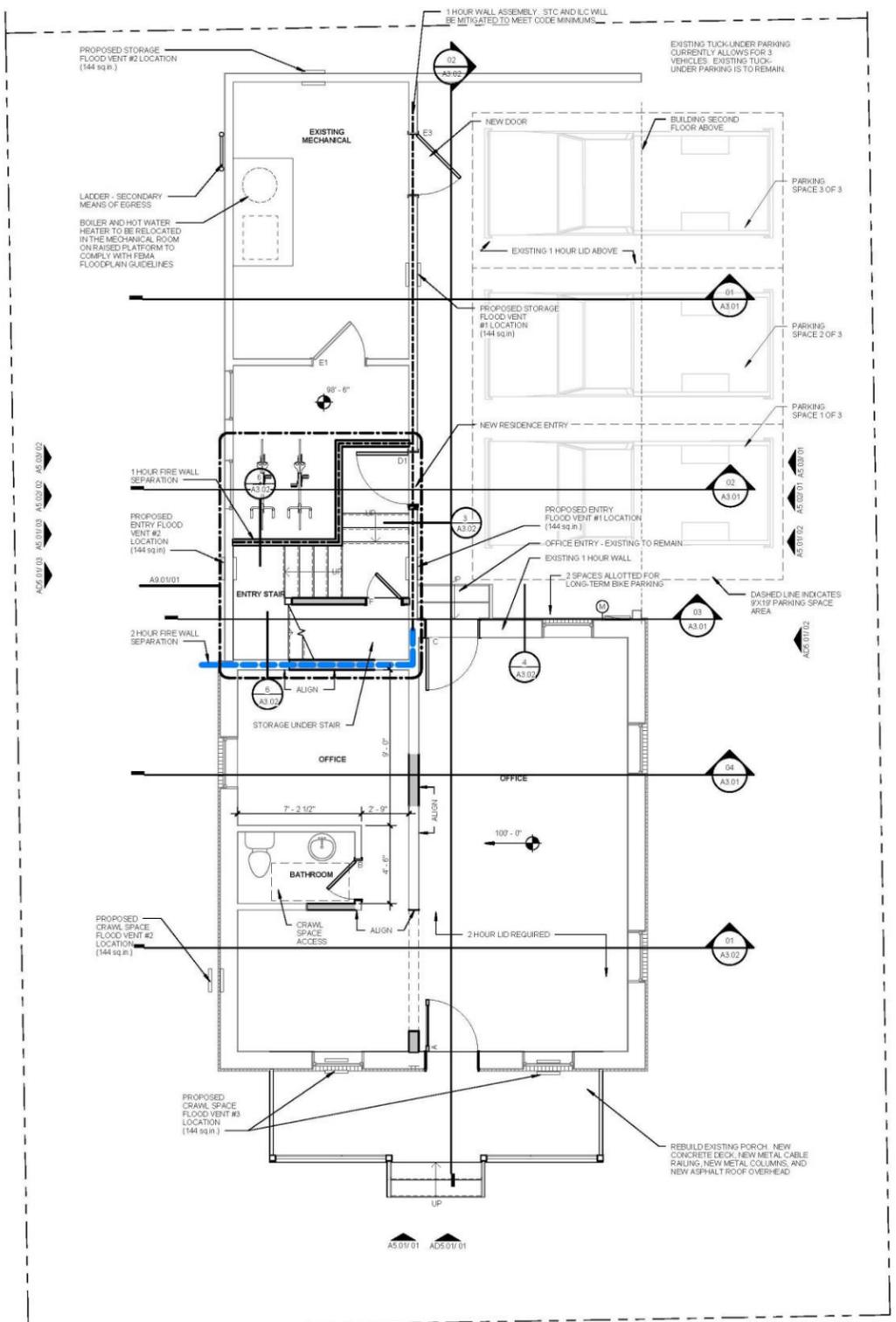


02 LEVEL 2 FLOOR PLAN
1/4" = 1'-0"
PLAN NORTH



SCALE: 1/4" = 1'-0"

PLAN NORTH



01 LEVEL 1 FLOOR PLAN
1/4" = 1'-0"
PLAN NORTH

359 DESIGN

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PARENT RESIDENCE 645 WALNUT STREET BOULDER, CO 80302

KEY PLAN

REVISION

No.	Description	Date

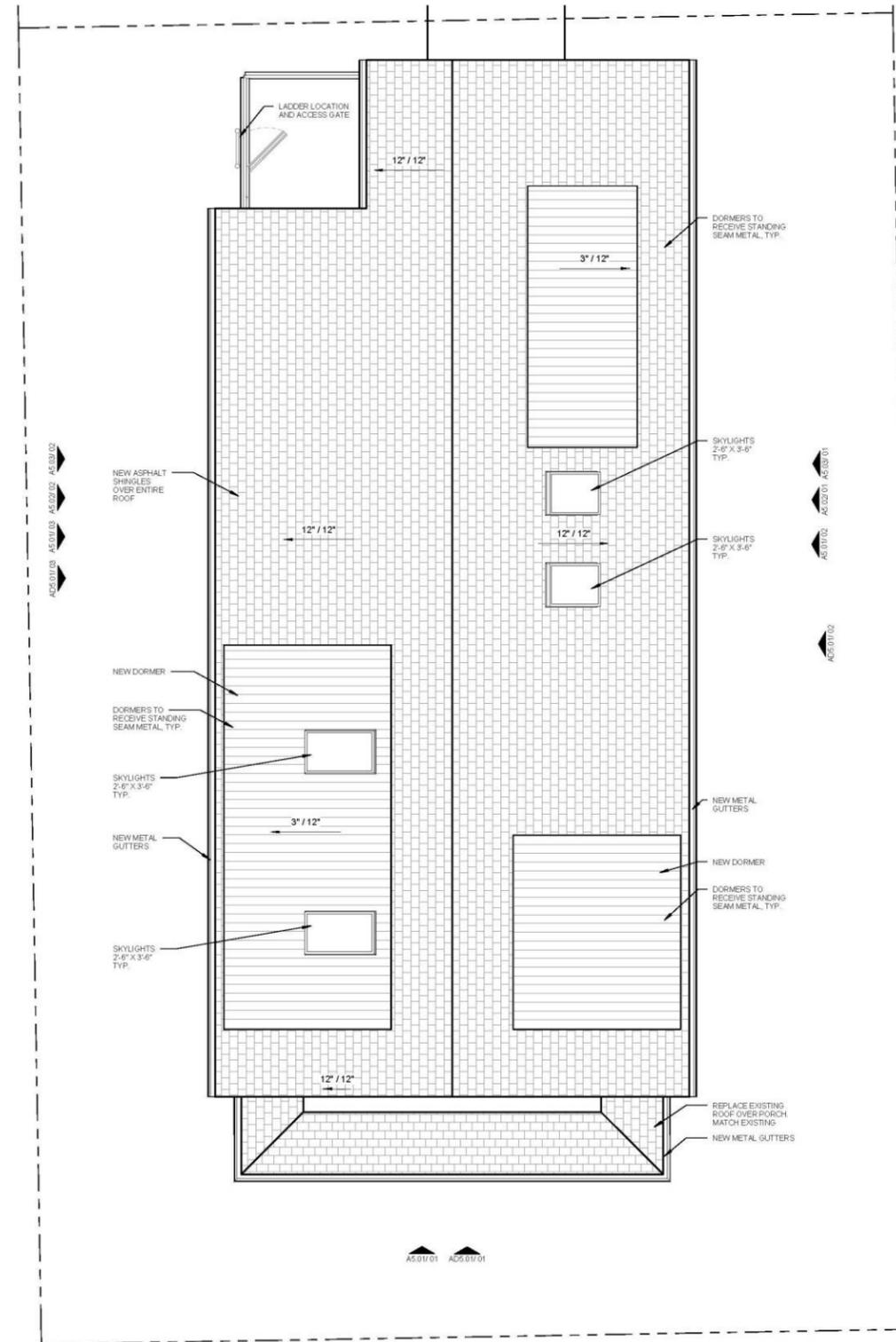
PROJECT NUMBER 14049
ISSUE DATE AUG 08 2015

ISSUE
**MINOR SITE REVIEW
AMENDMENT**

SHEET TITLE
ROOF PLAN

SHEET NO.

A2.02



01 ROOF PLAN
1/4" = 1'-0"



359 DESIGN

710 W. COLFAX, DENVER, CO 80204

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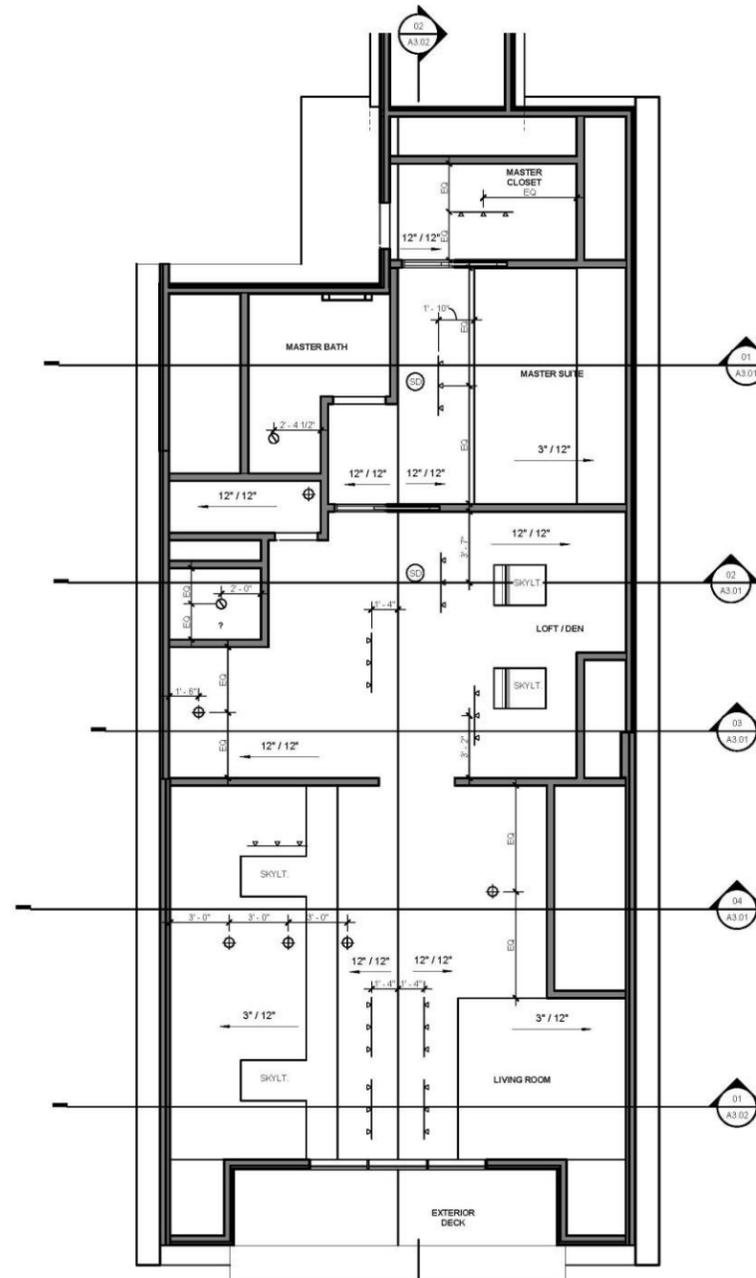
PARENT RESIDENCE
645 WALNUT STREET
BOULDER, CO 80302

REFLECTED CEILING PLAN GENERAL NOTES

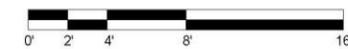
1. ALL CEILINGS SHALL BE 9'-0" ABOVE FINISH FLOOR, UNLESS INDICATED OTHERWISE WITH OWNER-FURNISHED VENDOR BRANNINGS AND EQUIPMENT.
2. IN THE CASE OF MINOR DISCREPANCIES BETWEEN MEP AND ARCHITECTURAL DOCUMENTS IN THE LOCATION OF CEILING MOUNTED COMPONENTS, THE ARCHITECTURAL REFLECTED CEILING PLAN SHALL GOVERN. IN THE CASE OF MAJOR DISCREPANCIES, THE ARCHITECT SHALL BE NOTIFIED AS SOON AS THE DISCREPANCY IS DISCOVERED PRIOR TO PROCEEDING WITH THE WORK.
3. REFERENCE MECHANICAL AND ELECTRICAL DRAWINGS FOR MOUNTING LOCATIONS OF ITEMS WHERE NO CEILING IS REQUIRED OR INDICATED.
4. ALL CORRIDOR SPRINKLER HEADS SHALL BE ALIGNED IN THE SAME LOCATION PARALLEL TO THE WALL WITHIN EACH SPECIFIC CEILING CONSTRUCTION. SPRINKLER HEADS SHOWN ON THIS SHEET ARE WHERE ARCHITECTURALLY SIGNIFICANT AND FOR DESIGN INTENT ONLY.
5. ACCESS DOOR LOCATIONS IN GYP/SUM BOARD CEILINGS ARE INDICATED ON RCP'S ONLY WHERE ARCHITECTURALLY SIGNIFICANT. REFERENCE SPECIFICATIONS AND MEP DRAWINGS FOR OTHER ACCESS DOOR LOCATIONS.
6. REFLECTED CEILING LIGHTING FIXTURES WILL BE DESIGN-BUILD AND SELECTED BY THE S.G.C. COORDINATING WITH THE OWNER.

RCP SYMBOLS

- ⊙ RECESSED CANNELED LIGHT
- ⊕ PENDANT LIGHT
- A — TRACK LIGHTING



01 LEVEL 2 RCP
1/4" = 1'-0"
PLAN NORTH



SCALE: 1/4" = 1'-0"

KEY PLAN

REVISION

No.	Description	Date

PROJECT NUMBER 14049
ISSUE DATE AUG 08 2015

ISSUE

**MINOR SITE REVIEW
AMENDMENT**

SHEET TITLE

REFLECTED CEILING PLAN

SHEET NO.

A4.01

359 DESIGN

710 W. COLFAX, DENVER, CO 80204

OWNER

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645 WALNUT STREET, BOULDER, CO 80304

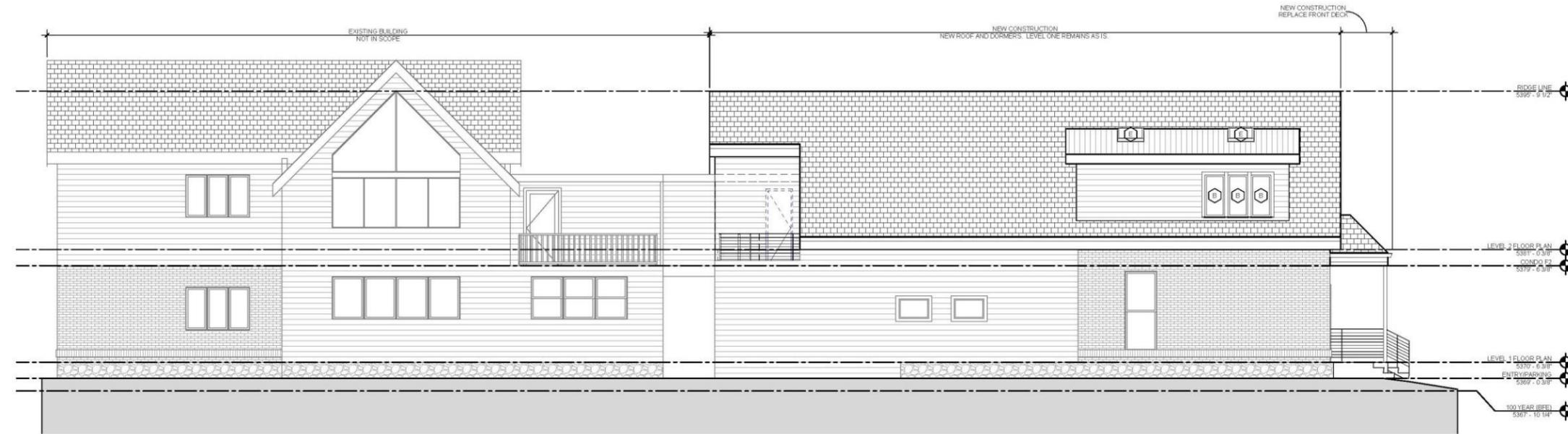
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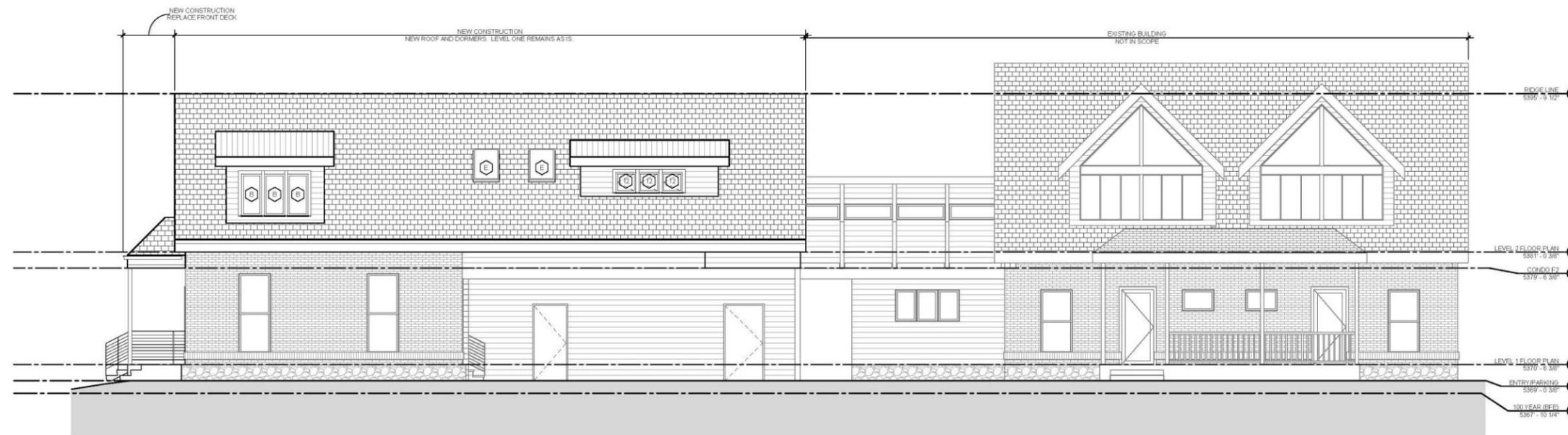
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PARENT RESIDENCE
645 WALNUT STREET
BOULDER, CO 80302



02 OVERALL WEST ELEVATION
3/16" = 1'-0"



01 OVERALL EAST ELEVATION
3/16" = 1'-0"



KEY PLAN

REVISION

No.	Description	Date

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ISSUE DATE AUG 08 2015

ISSUE

**MINOR SITE REVIEW
AMENDMENT**

SHEET TITLE

**OVERALL EXTERIOR
ELEVATIONS**

SHEET NO.

A5.02

359 DESIGN

710 W. COLFAX, DENVER, CO 80204

OWNER

ED PARENT
645 WALNUT STREET, BOULDER, CO 80304

GENERAL CONTRACTOR

ROB LUCKETT BUILDERS
2807 6TH STREET, BOULDER, CO 80304
www.robluckettbuilders.com

STRUCTURAL ENGINEER

GEBAU, INC.
1121 BROADWAY, SUITE 201, BOULDER, CO 80302
www.gebau.com
JOEL AMBROSINO - 303.444.8545

PARENT RESIDENCE
645 WALNUT STREET
BOULDER, CO 80302



02 OVERALL WEST ELEVATION - COLOR
3/16" = 1'-0"



01 OVERALL EAST ELEVATION - COLOR
3/16" = 1'-0"



KEY PLAN

REVISION

No.	Description	Date

PROJECT NUMBER 14049
ISSUE DATE AUG 08 2015

ISSUE

**MINOR SITE REVIEW
AMENDMENT**

SHEET TITLE
**OVERALL BUILDING
ELEVATIONS - COLOR**

SHEET NO.

A5.03