

MEMORANDUM

TO: Planning Board
FROM: Chandler Van Schaack, Case Manager
DATE: August 6, 2015
SUBJECT: **Call Up Item:** Minor Amendment to an Approved Site Plan (LUR2015-00056): Request to construct a 124 square foot addition to an existing single family residence located at 3224 Wright Ave. within the Noble Park PUD in the RM-1 zone district. The proposed addition would reduce the approved setback along the eastern side of the property from 15 feet to 14 feet. The call-up period expires on **August 10, 2015**.

Background. The 4,566 square foot project site is zoned Residential – Medium 1 (RM-1), which is defined in the land use code as:

“Medium density residential areas which have been or are to be primarily used for attached residential development, where each unit generally has direct access to ground level, and where complementary uses may be permitted under certain conditions” (section 9-5-2(c)(1)(C), B.R.C. 1981).



Figure 1: Vicinity Map

The project site is located in East Boulder near the intersection of Valmont Road and Airport Road, as shown below in **Figure 1**, within the RM-1 (Residential – Medium 1) zone district. The site is located on the eastern perimeter of the Noble Park PUD, a 64-lot single family residential development originally approved in 1990. Immediately to the east of the project site is the Vista Village Mobile Home Park, which borders the Noble Park PUD along its eastern and northern boundaries. Further to the east lies the Valmont Bike Park and Boulder County Airport, with the Valmont City Park and Disc Golf Park lying across Valmont to the South.

Development within the Noble Park PUD is subject to the RM-1 open space standards, which require a minimum of 3,000 square feet of open space per dwelling unit. Per the original PUD approval, each lot is allowed to use landscaped right-of-way in front of the lot to count for up to 10 percent (300 sq. ft.) of the minimum open space requirement, so the actual required open space per lot is 2,700 sq. ft. Building envelopes within the Noble Park PUD are based on modified setbacks which allow a 10'6" front yard setback and a 15' rear yard setback where 20' is the minimum required setback for both front and rear yards under current RM-1 zone standards. The existing 1,954 sq. ft. single family home located at 3224 Wright Ave., constructed in 1991, currently meets the minimum open space standards as well as the front and side yard setbacks, but was accidentally constructed with a rear yard setback of 14'2" instead of the required 15' setback. This was not discovered until recently, when the applicant obtained an improvement survey prior to submitting a building permit application for the proposed addition. At that time, it was determined that the existing house did not meet the minimum rear yard setback required by the PUD standards, and that due to its location on the perimeter of the development, any addition which matched the existing setback was outside the scope of a Minor Modification and would thus require a Minor Amendment to the Approved Site Plan.

Proposed Project. The proposed project consists of a 124 square foot, single story addition to the northeast corner of the existing single family residence, as well as an interior remodel of the existing kitchen, dining room and bathroom. The proposed addition would replace an existing tiered garden area, and would match the existing architecture of the residence. The proposed addition would match the existing rear yard setback of 14'2" and would not alter any of the other existing setbacks. Following the proposed addition, there would be 2,804 sq. ft. of open space on the subject lot, which is consistent with the minimum PUD requirement, and the existing fence and landscaping along the eastern property boundary would remain. Refer to **Figures 2a & 2b** below for existing and proposed plans, and **Attachment C** for the Applicant's full submittal.

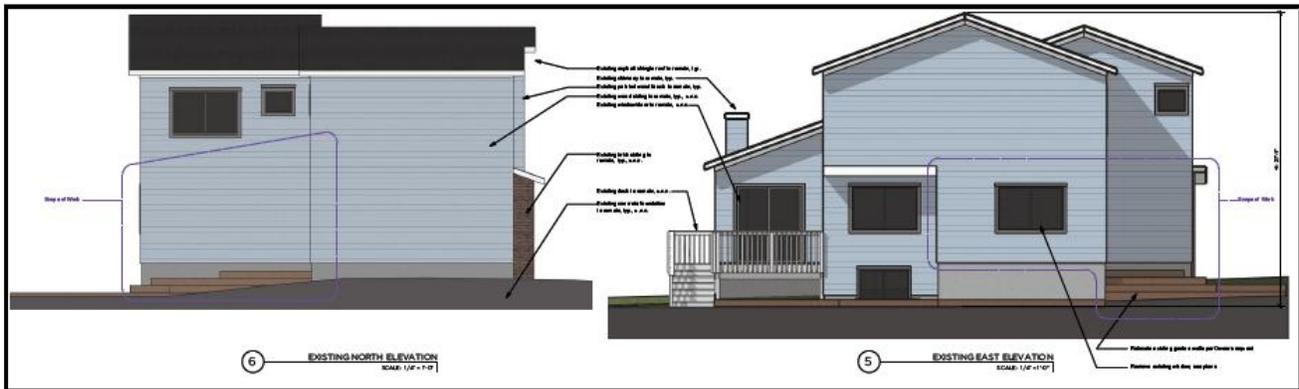


Figure 2a: Existing Conditions

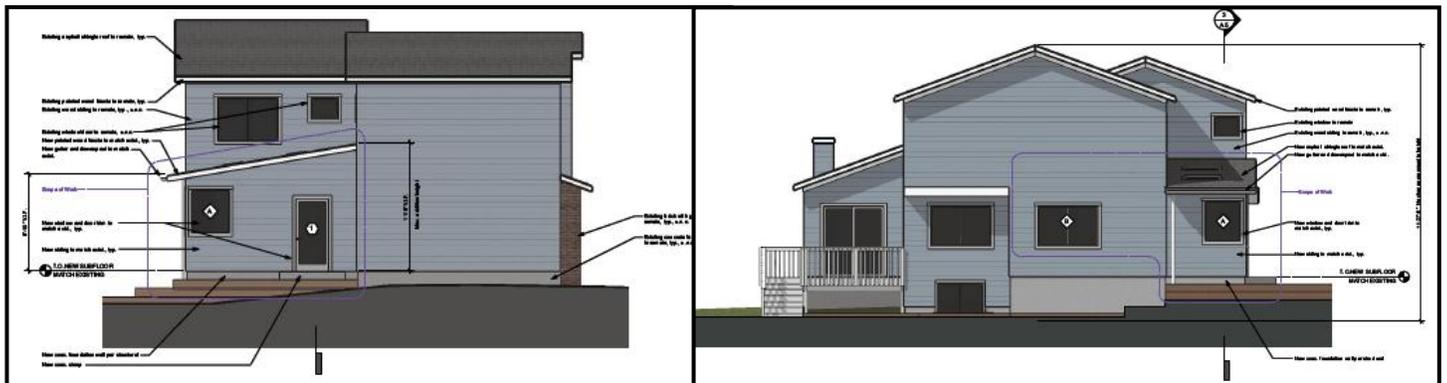


Figure 2b: Proposed Addition

Project Analysis. Overall, the proposal was found to be consistent with the criteria for Minor Amendments to Approved Site Plans found in section 9-2-14(l), B.R.C. 1981. Please refer to **Attachment B** for staff's complete analysis of the review criteria.

Public Comment. Required public notice was provided in the form of written notifications to property owners within 600 feet of the subject property. In addition, a public notice sign was posted on the property and therefore, all public notice requirements of section 9-4-3, "*Public Notice Requirements*," B.R.C. 1981 were met. Staff has not received any comments regarding the proposed project.

Conclusion. Staff finds that the proposed project meets the relevant criteria pursuant to section 9-2-14(l), Minor Amendments to Approved Site Plans," B.R.C. 1981 (please refer to **Attachment B**). This proposal was approved by Planning and Development Services staff on July 27, 2015 and the decision may be called up before Planning Board on or before **August 10, 2015**. There is one Planning Board meeting within the 14-day call up period, on **August 6, 2015**. Questions about the project or decision should be directed to Chandler Van Schaack at (303) 441-3137 or vanschaackc@bouldercolorado.gov.

Attachments

- A. Signed Disposition
- B. Analysis of Review Criteria
- C. Applicant's Proposed Plans



CITY OF BOULDER
Community Planning and Sustainability

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CITY OF BOULDER PLANNING DEPARTMENT
NOTICE OF DISPOSITION

You are hereby advised that the following action was taken by the Planning Department based on the standards and criteria of the Land Use Regulations as set forth in Chapter 9-2, B.R.C. 1981, as applied to the proposed development.

DECISION: **APPROVED WITH CONDITIONS**
PROJECT NAME: **Foster Residence Addition**
DESCRIPTION: **SITE REVIEW MINOR AMENDMENT**
LOCATION: **3224 Wright Av.**
COOR: **N05W02**
LEGAL DESCRIPTION: **Lot 28, Block 1, Noble Park, County of Boulder, State of Colorado**
APPLICANT: **Paul Hunnicut**
OWNER: **Michael Patrick Foster and Camcie Danielle Foster**
APPLICATION: **Site Review Minor Amendment, LUR2015-00056**
ZONING: **RM-1**
CASE MANAGER: **Chandler Van Schaack**
VESTED PROPERTY RIGHT: **NO; the owner has waived the opportunity to create such right under Section 9-2-19, B.R.C. 1981.**

APPROVED MODIFICATIONS FROM THE LAND USE REGULATIONS:

Section 9-7-1, "Form and Bulk Standards" – Minimum rear yard setback – Request to allow for a 14'2" rear yard setback where 20' is the minimum required by the RM-1 zone district standards.

FOR CONDITIONS OF APPROVAL, SEE THE FOLLOWING PAGES OF THIS DISPOSITION.

Approved On: 7.27.15
Date

By: [Signature]
David Driskell, Executive Director of Community Planning and Sustainability

This decision may be appealed to the Planning Board by filing an appeal letter with the Planning Department within two weeks of the decision date. If no such appeal is filed, the decision shall be deemed final fourteen days after the date above mentioned.

Appeal to Planning Board expires: 8.10.15

Final Approval Date: 8.11.15

IN ORDER FOR A BUILDING PERMIT APPLICATION TO BE PROCESSED FOR THIS PROJECT, A SIGNED DEVELOPMENT AGREEMENT AND THE FINAL PLANS FOR CITY SIGNATURE MUST BE SUBMITTED TO THE PLANNING DEPARTMENT WITH DISPOSITION CONDITIONS AS APPROVED SHOWN ON THE FINAL PLANS. IF THE DEVELOPMENT AGREEMENT IS NOT SIGNED WITHIN

NINETY (90) DAYS OF THE FINAL DECISION DATE, THE PLANNING DEPARTMENT APPROVAL AUTOMATICALLY EXPIRES.

Pursuant to Section 9-2-12 of the Land Use Regulations (Boulder Revised Code, 1981), the applicant must begin and substantially complete the approved development within three years from the date of final approval. Failure to "substantially complete" (as defined in Section 9-2-12, Boulder Revised Code 1981) the development within three years shall cause this development approval to expire.

CONDITIONS OF APPROVAL

1. The Applicant shall ensure that the **development shall be in compliance with all plans prepared by the Applicant** on June 15, 2015 on file in the City of Boulder Planning Department, except to the extent that the development may be modified by the conditions of this approval.
2. The Applicant shall **comply with all previous conditions** contained in any previous approvals, except to the extent that any previous conditions may be modified by this approval, including, but not limited to, the following:
 - a. Subdivision Agreement recorded at Film No. 1648, Reception No. 01069994 on October 19, 1990; and
 - b. Development Agreement recorded at Film No. 1635, Reception No. 01053846 on July 23, 1990.

Section 9-2-14(I), Minor Amendments to Approved Site Plans

(1) Standards: Changes to approved building location or additions to existing buildings, which exceed the limits of a minor modification, may be considered through the minor amendment process if the following standards are met:

- (A) In a residential zone as set forth in Section 9-5-2, "Zoning Districts," B.R.C. 1981, all approved dwelling units within the development phase have been completed;

Standard met. All approved dwelling units within the Noble Park PUD have been completed.

- (B) In residential zones, dwelling unit type is not changed;

Standard met. The proposed addition is to an existing single family residence, which will remain as such following the proposed addition.

- (C) The required open space per dwelling unit requirement of the zone is met on the lot of the detached dwelling unit to be expanded; and

Standard met. Per section 9-8-1, "Intensity Standards," B.R.C. 1981, the minimum required open space per dwelling unit for properties within the RM-1 zone district is 3,000 sq. ft. Per the original PUD approval, as permitted through section 9-9-11(f)(4), B.R.C. 1981, the public right-of-way along the west side of the property may count toward up to 10% (300 sq. ft.) of the minimum required open space; therefore, the minimum required open space on the subject lot is 2,700 sq. ft. The subject lot is 4,566 sq. ft. in size; therefore, the maximum building coverage allowed on the subject lot is 1,866 sq. ft. Currently, there is a total building coverage of 1,638 sq. ft. Following the proposed 124 sq. ft. addition, the total building coverage on the lot will be 1,762 sq. ft., which will result in a total of 2,804 sq. ft. of open space on the lot.

- (D) The total open space per dwelling unit in the development is not reduced by more than ten percent of that required for the zone; or

Standard met. The total open space per dwelling unit on the subject lot will be reduced by 124 sq. ft., which is roughly 4.1 percent of the 3,000 sq. ft. minimum required by the RM-1 zone district standards.

- (E) If the residential open space provided within the development or an approved phase of a development cannot be determined, the detached dwelling unit is not expanded by more than ten percent and there is no variation to the required setbacks for that lot;

Not applicable, as the applicant has provided an Improvement Location Survey and site plan for the property which clearly shows the existing residential open space provided on the subject lot.

- (F) For a building in a nonresidential use module, the building coverage is not increased by more than twenty percent, the addition does not cause a reduction in required open space, and any additional required parking that is provided is substantially accommodated within the existing parking arrangement;

Not applicable, as the building is located in the Residential- Medium 1 (RM-1) zone district, which is subject to an R3 use module.

- (G) The portion of any building over the permitted height under Section 9-7-1, "Schedule of Form and Bulk Standards," B.R.C. 1981, is not increased;

Not applicable, as the existing structure is within the 35' maximum height limit for the zone, and no change to the building height is proposed.

- (H) The proposed minor amendment does not require public infrastructure improvements or other off-site improvements.

Standard met. The proposed addition is to an existing single family dwelling unit that is part of a PUD for which all required public infrastructure has already been installed, and no off-site improvements are triggered by the proposed addition.

(2) Amendments to the Site Review Approval Process: Applications for minor amendment shall be approved according to the procedures prescribed by this section for site review approval, except:

- (A) If an applicant requests approval of a minor amendment to an approved site review, the city manager will determine which properties within the development would be affected by the proposed change. The manager will provide notice pursuant to Subsection 9-4-3(b), B.R.C. 1981, of the proposed change to all property owners so determined to be affected, and to all property owners within a radius of 600 feet of the subject property.

All of the public notice requirements set forth in subsection 9-4-3(b), B.R.C. 1981 have been met.

- (B) Only the owners of the subject property shall be required to sign the application.

Standard met.

- (C) The minor amendment shall be found to comply with the review criteria of Subparagraphs (h)(2)(A), (h)(2)(C), and (h)(2)(F) of this section.

Subparagraph 9-2-14(h)(2)(A): Open Space: Open space, including, without limitation, parks, recreation areas and playgrounds:

- (i) Useable open space is arranged to be accessible and functional and incorporates quality landscaping, a mixture of sun and shade and places to gather;

The proposed project is an addition to an existing dwelling unit within the Noble Park PUD. The subject lot is already developed in accordance with the Site Review criteria, and no significant changes to the site or open space are proposed.

- (ii) Private open space is provided for each detached residential unit;

Not applicable, as this project is for an addition to an existing dwelling unit and does not include any other changes to the site or apply to the PUD as a whole.

- (iii) The project provides for the preservation of or mitigation of adverse impacts to natural features, including, without limitation, healthy long-lived trees, significant plant communities, ground and surface water, wetlands, riparian areas, drainage areas and species on the federal Endangered Species List, "Species of Special Concern in Boulder County" designated by Boulder County, or prairie dogs (*Cynomys ludovicianus*), which is a species of local concern, and their habitat;

Not applicable, as this project is for an addition to an existing dwelling unit and does not include any other changes to the site or apply to the PUD as a whole.

- (iv) The open space provides a relief to the density, both within the project and from surrounding development;

Not applicable, as this project is for an addition to an existing dwelling unit and does not include any other changes to the site or apply to the PUD as a whole.

- (v) Open space designed for active recreational purposes is of a size that it will be functionally useable and located in a safe and convenient proximity to the uses to which it is meant to serve;

Not applicable, as this project is for an addition to an existing dwelling unit and does not include any other changes to the site or apply to the PUD as a whole.

- (vi) The open space provides a buffer to protect sensitive environmental features and natural areas; and

Not applicable, as this project is for an addition to an existing dwelling unit and does not include any other changes to the site or apply to the PUD as a whole.

- (vii) If possible, open space is linked to an area- or city-wide system.

Not applicable, as this project is for an addition to an existing dwelling unit and does not include any other changes to the site or apply to the PUD as a whole.

Subparagraph 9-2-14(h)(2)(C): Landscaping:

- (i) The project provides for aesthetic enhancement and a variety of plant and hard surface materials, and the selection of materials provides for a variety of colors and contrasts and the preservation or use of local native vegetation where appropriate;

Not applicable, as this project is for an addition to an existing dwelling unit and does not include any other changes to the site or apply to the PUD as a whole.

- (ii) Landscape design attempts to avoid, minimize or mitigate impacts on and off site to important native species, healthy, long lived trees, plant communities of special concern, threatened and endangered species and habitat by integrating the existing natural environment into the project;

Not applicable, as this project is for an addition to an existing dwelling unit and does not include any other changes to the site or apply to the PUD as a whole.

- (iii) The project provides significant amounts of plant material sized in excess of the landscaping requirements of Sections [9-9-12](#), "Landscaping and Screening Standards," and [9-9-13](#), "Streetscape Design Standards," B.R.C. 1981; and

Not applicable, as this project is for an addition to an existing dwelling unit and does not include any other changes to the site or apply to the PUD as a whole.

- (iv) The setbacks, yards and useable open space along public rights of way are landscaped to provide attractive streetscapes, to enhance architectural features and to contribute to the development of an attractive site plan.

Not applicable, as this project is for an addition to an existing dwelling unit and does not include any other changes to the site or apply to the PUD as a whole.

Subparagraph 9-2-14(h)(2)(F): Building Design, Livability and Relationship to the Existing or Proposed Surrounding Area:

- (i) The building height, mass, scale, orientation, architecture and configuration are compatible with the existing character of the area or the character established by adopted design guidelines or plans for the area;

The existing building is architecturally compatible with the surrounding area, and will remain so after the proposed addition.

- (ii) The height of buildings is in general proportion to the height of existing buildings and the proposed or projected heights of approved buildings or approved plans or design guidelines for the immediate area;

The height of the building is in general proportion to the other buildings in the PUD, and the building height will not change as part of this proposal.

- (iii) The orientation of buildings minimizes shadows on and blocking of views from adjacent properties;

Not applicable, as the building is existing and the proposed addition will not affect building configuration or shadowing.

- (iv) If the character of the area is identifiable, the project is made compatible by the appropriate use of color, materials, landscaping, signs and lighting;

The lot is already developed and has been developed in accordance with the approved Noble Park PUD.

- (v) Projects are designed to a human scale and promote a safe and vibrant pedestrian experience through the location of building frontages along

public streets, plazas, sidewalks and paths, and through the use of building elements, design details and landscape materials that include, without limitation, the location of entrances and windows, and the creation of transparency and activity at the pedestrian level;

The existing building is architecturally compatible with the surrounding area, and will remain so after the proposed addition.

- (vi) To the extent practical, the project provides public amenities and planned public facilities;

Not applicable, as all the planed public facilities are already in place.

- (vii) For residential projects, the project assists the community in producing a variety of housing types, such as multifamily, townhouses and detached single family units, as well as mixed lot sizes, number of bedrooms and sizes of units;

Not applicable, as this project is for an addition to an existing dwelling unit and does not include any other changes to the site or apply to the PUD as a whole.

- (viii) For residential projects, noise is minimized between units, between buildings and from either on-site or off-site external sources through spacing, landscaping and building materials;

Not applicable, as this project is for an addition to an existing dwelling unit and does not include any other changes to the site or apply to the PUD as a whole.

- (ix) A lighting plan is provided which augments security, energy conservation, safety and aesthetics;

Not applicable, as the single lot is already developed and the proposal does not include any new lighting.

- (x) The project incorporates the natural environment into the design and avoids, minimizes or mitigates impacts to natural systems;

Not applicable, as this project is for an addition to an existing dwelling unit and does not include any other changes to the site or apply to the PUD as a whole.

- (xi) Buildings minimize or mitigate energy use; support on-site renewable energy generation and/or energy management systems; construction wastes are minimized; the project mitigates urban heat island effects; and the project reasonably mitigates or minimizes water use and impacts on water quality;

The proposed addition will be required to meet all current Building and Energy Code standards.

- (xii) Exteriors of buildings present a sense of permanence through the use of authentic materials such as stone, brick, wood, metal or similar products and building material detailing;

The proposed addition will be of the same materials as the existing home, which consist mainly of wood lap siding and asphalt roof shingles.

- (xiii) Cut and fill are minimized on the site, the design of buildings conforms to the natural contours of the land, and the site design minimizes erosion, slope instability, landslide, mudflow or subsidence, and minimizes the potential threat to property caused by geological hazards;

Not applicable, as this project is for an addition to an existing dwelling unit and does not include any other changes to the site or apply to the PUD as a whole.

- (xiv) In the urbanizing areas along the Boulder Valley Comprehensive Plan boundaries between Area II and Area III, the building and site design provide for a well-defined urban edge; and

Not applicable.

- (xv) In the urbanizing areas located on the major streets shown on the map in Appendix A to this title near the Boulder Valley Comprehensive Plan boundaries between Area II and Area III, the buildings and site design establish a sense of entry and arrival to the City by creating a defined urban edge and a transition between rural and urban areas.

Not applicable.

- (D) The minor amendment is found to be substantially consistent with the intent of the original approval, including conditions of approval, the intended design character, and site arrangement of the development, and specific limitations on additions or total size of the building which were required to keep the building in general proportion to others in the surrounding area or minimize visual impacts.

The proposed addition is in keeping with the intent of the Noble Park PUD, which was to provide a 64-lot single family residential development subject to open space and building coverage limitations that allowed for "flexibility in the placement of the house and garage to maximize effective outdoor space for each lot." The proposed addition is within the maximum allowable coverage for the PUD, and conforms architecturally to the existing house and surrounding area.

- (E) The city manager may amend, waive, or create a development agreement.

The requirement for a Development Agreement has been waived.

GENERAL NOTES

1. Perform work in accordance with all applicable codes and ordinances as adopted by the local jurisdiction having authority. Arrange for required inspections by authorities at the proper time during progress of the work. In the event of a conflict between local, state, and national codes, the more stringent shall govern.
2. Verify existing site conditions and dimensions prior to starting construction. Notify architect of errors, discrepancies or omissions which may appear on these drawings, specifications, or other contract documents in writing prior to proceeding. Failure to give notice will cause the Contractor to be held responsible for the results of such errors, discrepancies or omissions and the cost of rectifying the same.
3. Contractor to maintain a current set of construction documents on the site during construction. The contractor shall indicate on these plans all approved changes to the work described on these drawings. This shall be turned over to the owner when the project is completed, with a copy provided to the architect.
4. These drawings and specifications are not to be altered in any way without written authorization from the architect.
5. Details and larger scale drawings take precedence over smaller scale drawings.
6. Do NOT scale the drawings. Submit questions about dimensions or discrepancies to architect before proceeding. Dimension are to face of stud, U.N.O.
7. Contractor shall maintain a clean and orderly construction site. Thoroughly clean all surfaces of dust, debris, loose construction material and equipment 24 hours prior to occupancy of any phase. Vacuum or mop, as appropriate, all floors and clean windows and glazing.
8. Perform all work and install materials in strict accordance with manufacturer's specifications and instructions and in a manner consistent with industry standards of workmanship. Shop drawings, where required, must be submitted to the architect for approval before proceeding with fabrication.
9. This sheet is part of an entire set of construction documents (refer to Drawing Index). The contractor is responsible for all coordination between subcontractors based on the entire set of documents. No extra compensation will be given to a bidder, supplier who has bid from an incomplete set of construction documents. In case of inconsistencies or discrepancies between drawings, the most stringent note or condition shall apply and the contractor shall notify the architect immediately of such discrepancies.
10. Warrant to the Owner that all materials and equipment furnished and installed under this contract shall be new, unless otherwise specified. Work shall be of good quality, complete, and free from faults and defects. Contractor shall promptly correct work found not to be in accordance with Contract Documents. Contractor shall bear all costs of corrections.
11. Owner reserves the right to occupy and to place or install equipment in completed areas of the project, providing such acts do not interfere with the completion of the work. Such acts by the Owner shall not constitute acceptance of the total work.
12. The above drawings and specifications and the ideas, designs, and arrangements represented thereby are and shall remain the property of the architect and no part thereof shall be copied, reproduced to others or used in connection with any work or project or by any other person for any purpose other than for the specific project for which they have been prepared and developed without the written consent of the architect. Visual contact with these drawings shall constitute conclusive evidence of acceptance of these restrictions.
13. The Contractor shall supervise and direct the work and shall be solely responsible for all construction means, methods, techniques, and safety precautions, and for coordinating all portions of the work. These documents do not include the necessary components for construction safety. Safety, care of adjacent properties during construction, compliance with state and federal regulations regarding safety are and shall be the Contractor's responsibility. Architect not responsible for construction safety or means and methods.

FLOOR AREA SUMMARY

Existing Basement	675
Existing First Floor	764
Existing Garage	400
Existing Second Floor	+ 790
Total Existing Finished	2,629
Proposed New First Floor Addition	+ 124
Proposed Total Finished Floor Area	2,753
Existing Basement unfinished	77
Existing First Floor Porch	43
Existing Exterior Deck	223
Existing Exterior Patio	198

GREEN BUILDING NOTES

1. Total renovation = 327 SF. Project is under 500 SF. Green Points not applicable.
2. Fill all cavities completely with insulation.

PROJECT NOTES

- 1.
- 2.
- 3.
- 4.

ZONING CODE SUMMARY

ZONING	Noble Park PUD			
SETBACKS	Location	Required	Existing	Proposed
	Front (west)	10'-6"	19.7'	No Change
	Front Garage	17'-6"	19.7'	No Change
	Rear (east)	16'-0"	14.2'	14.2'
				Rear setback subject to Minor Amendment approval
	Side (north)	5'-0"	8.8'	No Change
	Side (south)	5'-0"	11.7'	No Change
BUILDING HEIGHT	No Change Proposed			
BULK PLANE	N/A			
SOLAR ACCESS	Proposed addition does not impact 12' solar fence. Proposed addition is less than 12' high. See elevation 2/A4			
FAR	N/A			
BUILDING COVERAGE	Existing Lot Area			4,566 SF
	Existing Building Coverage			
	Existing First Floor	773 SF		
	Existing First Floor Garage	401 SF		
	Existing First Floor Porch	43 SF		
	Existing Deck	223 SF		
	Existing Patio	+ 198 SF		
	Total	1,638 SF		
	Proposed New First Floor Addition	+ 124 SF		
	Proposed Building Coverage	1,762 SF		
	Allowable Building Coverage per PUD	1,866 SF		
OPEN SPACE	Existing Open Space Provided	2,928 SF		
	Proposed Addition	+ 124 SF		
	Proposed Open Space	2,804 SF		
	Required Open Space per PUD	2,700 SF		
	Note: Includes Open Space in right-of-way reduction of 300 SF			

DRAWING LIST

A1	PROJECT NOTES, INFO & SITE PLANS
A2	EXISTING FLOOR PLANS AND ELEVATIONS
A3	PROPOSED FLOOR PLANS
A4	PROPOSED ELEVATIONS
A5	PROPOSED SECTIONS
S0.1	GENERAL NOTES
S1.0	FOUNDATION PLAN
S2.0	UPPER LEVEL AND ROOF FRAMING PLANS

PROJECT INFO

PROJECT LOCATION:	3224 Wright Avenue Boulder, CO 80301
OWNER:	Camie and Michael Foster
ARCHITECT:	ASONE PLLC 2769 Iris Avenue, Suite 118 Boulder, CO 80304 303.641.3789 ph • 720.708.5864 f info@ASONEArchitecture.com Contact: Paul Hunnicutt
STRUCTURAL:	Ascend Group, Inc 4909 Pearl East Circle Boulder, CO 80301 303.499.3022 ph Contact: Lee Winkler
GEOTECHNICAL:	Scott, Cox & Associates 1530 55th Street Boulder, CO 80303 303-444-3051 ph Contact: Kevin Hinds
SURVEYING:	Flatirons Inc. 3825 Iris Avenue, Suite 395 Boulder, CO 80301 303-443-7001 ph Contact: Sterling Bennink
CONTRACTOR:	To Be Determined Street Address City, State ZIP phone email Contact:
PROJECT DESCRIPTION:	Remodel and addition to existing single family residence in the Noble Park neighborhood of Boulder. 1. New exterior one story kitchen addition to the northeast corner of the existing house. 2. Remodeled interior kitchen, dining, and powder room. 124 SF new conditioned space proposed 203 SF existing interior space to be renovated
CODE:	IRC 2012 with Boulder amendments

ASONE
PLLC

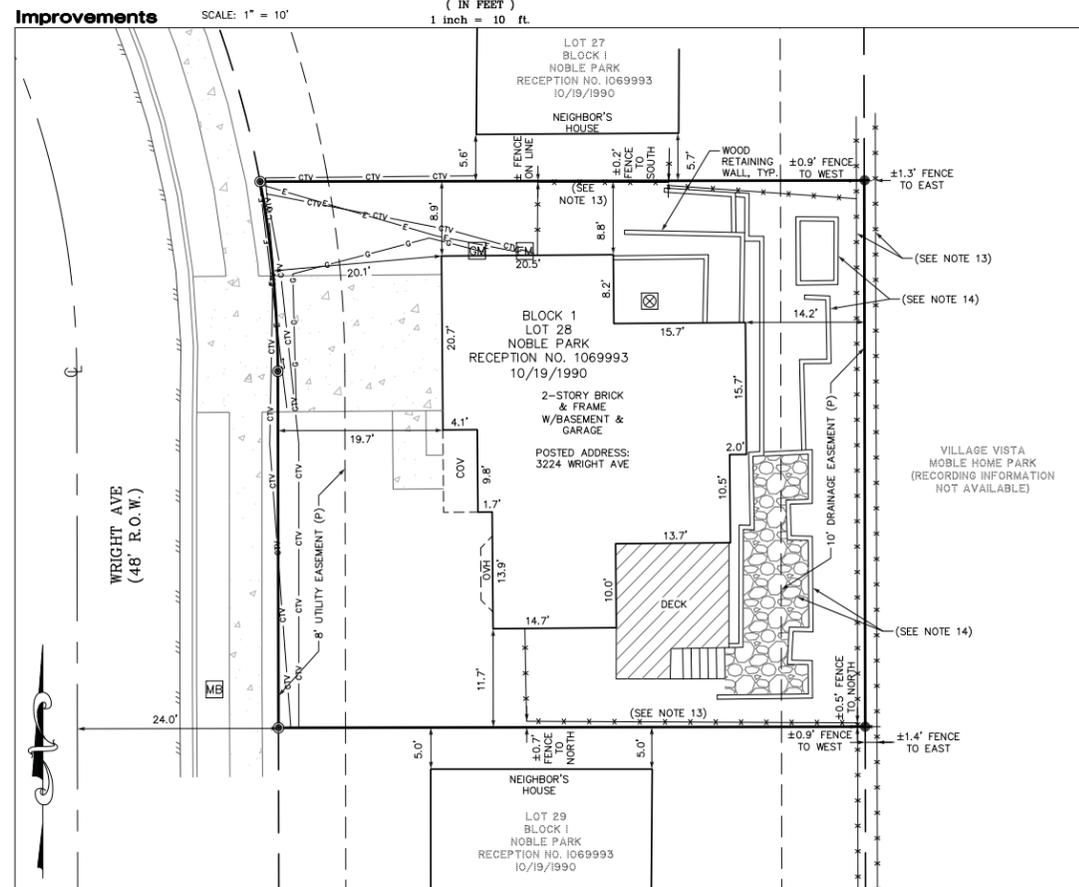
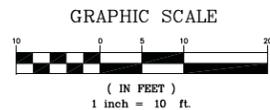
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FOSTER RESIDENCE

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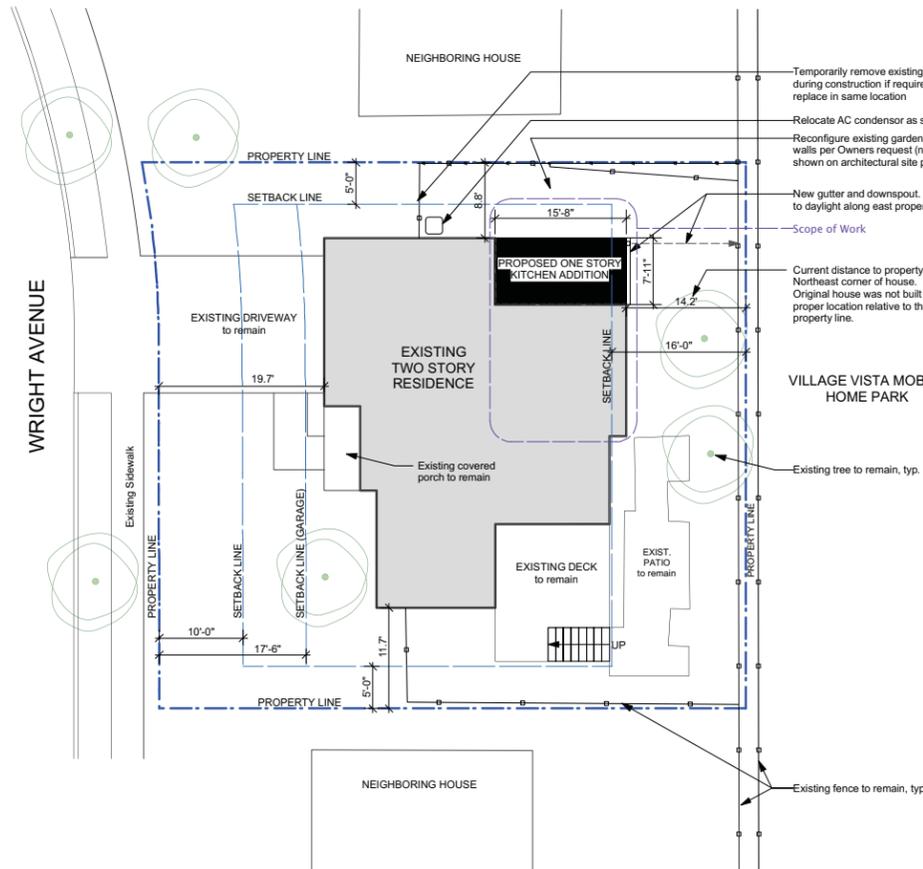
PRELIMINARY - NOT FOR CONSTRUCTION



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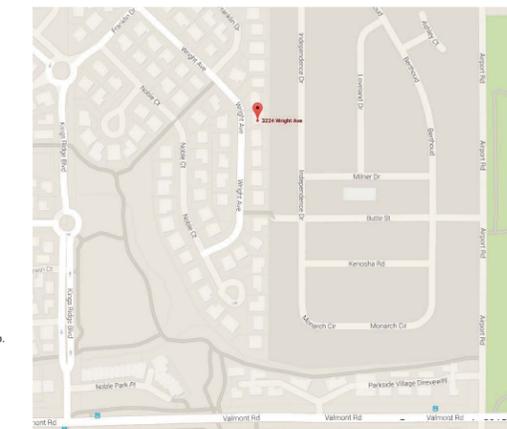
SITE SURVEY
SCALE: 1" = 10'

NOTE: SEE FULL SURVEY SHEET FOR FURTHER INFORMATION AND SURVEY NOTES



2

SITE DEVELOPMENT PLAN
SCALE: 1" = 10'



1

LOCATION PLAN
SCALE: 1" = 10'

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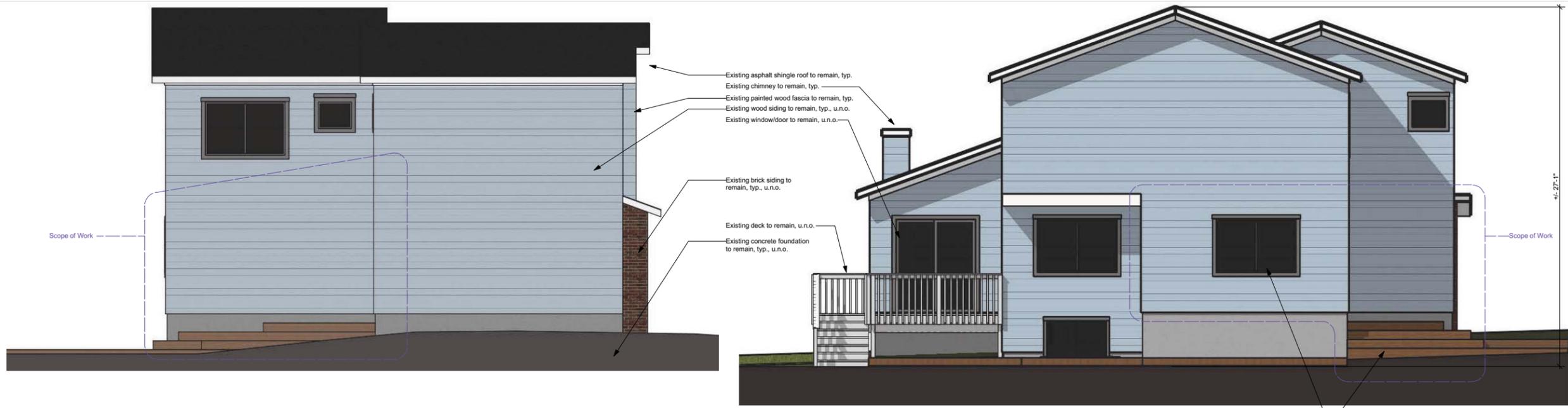
PRELIMINARY NOT FOR CONSTRUCTION

DATE ISSUED
6/15/15 Minor Amendment

Drawn by: PTH
ASONE project: 1502

PROJECT NOTES, INFO & SITE PLANS

PRELIMINARY - NOT FOR CONSTRUCTION



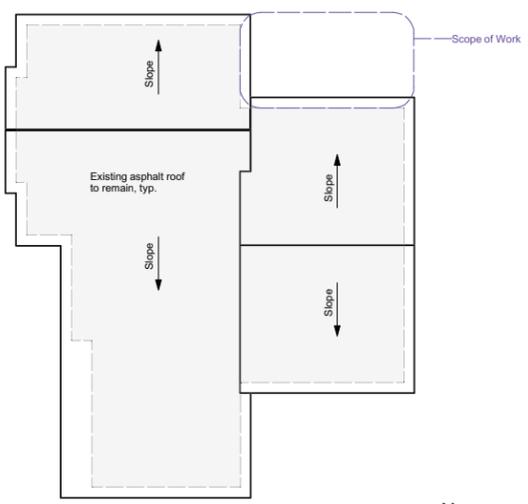
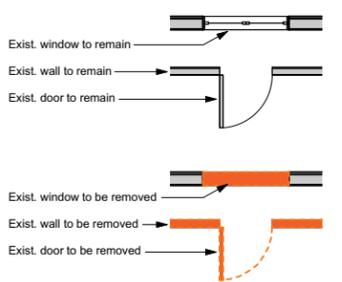
6 EXISTING NORTH ELEVATION
SCALE: 1/4" = 1'-0"

5 EXISTING EAST ELEVATION
SCALE: 1/4" = 1'-0"

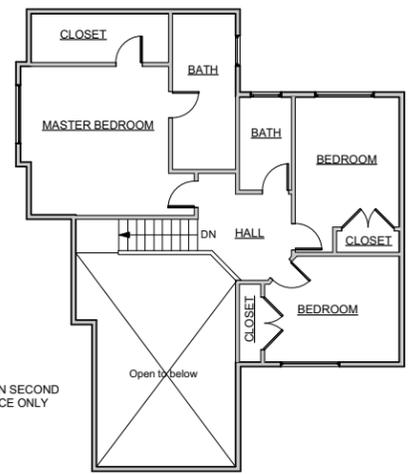
PLAN NOTES

- Contractor to provide shoring of existing walls during construction.
- Verify reuse of existing appliances, cabinets, and counters with Owner prior to demo.

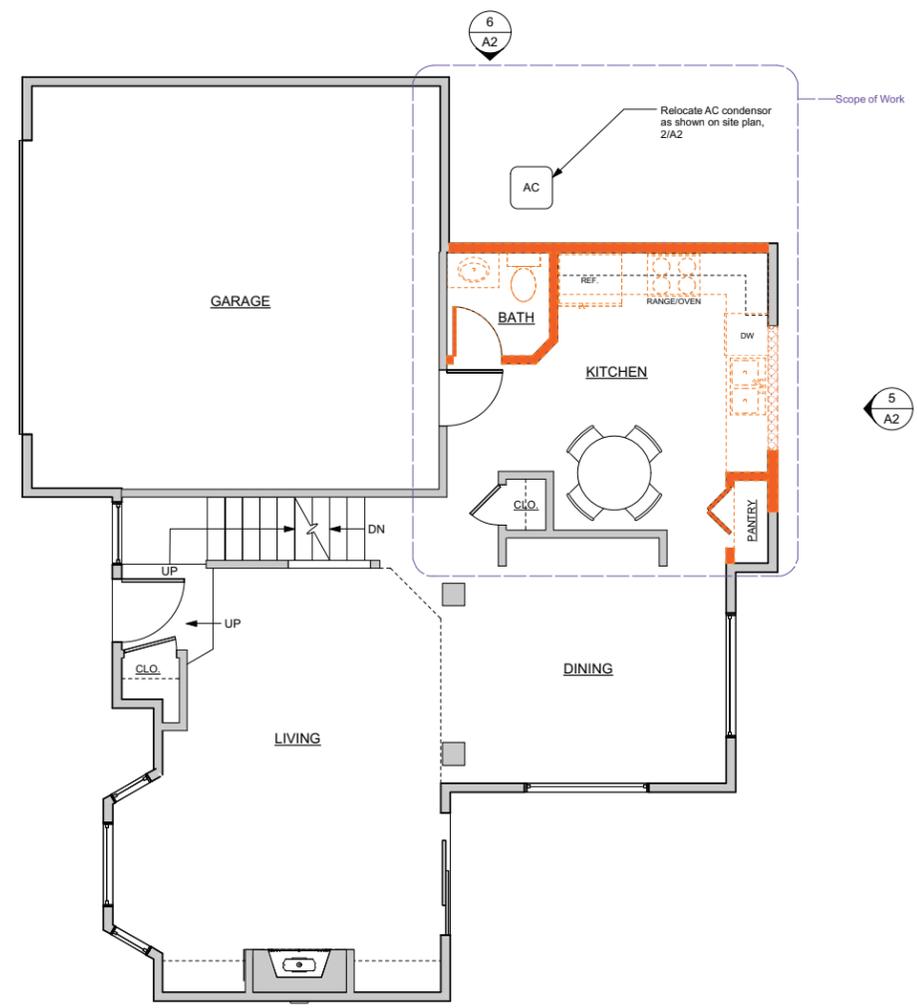
PLAN LEGEND



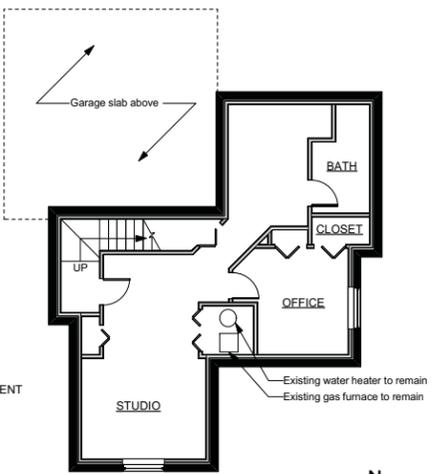
4 EXISTING ROOF PLAN
SCALE: 1/8" = 1'-0"



2 EXISTING SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

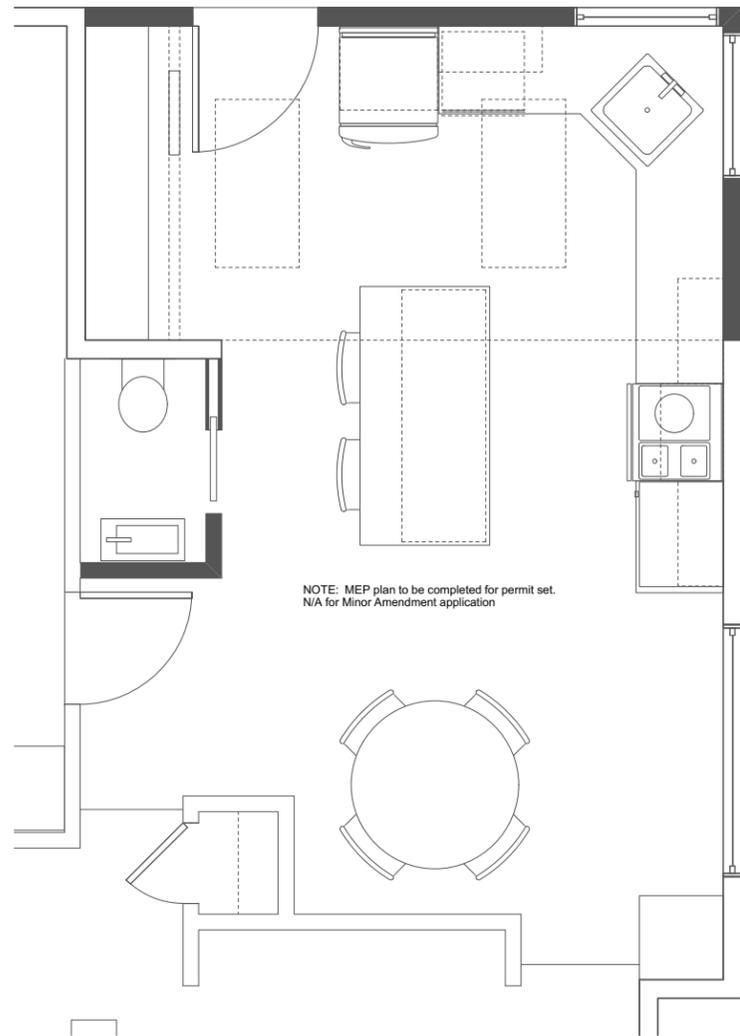


1 EXISTING FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



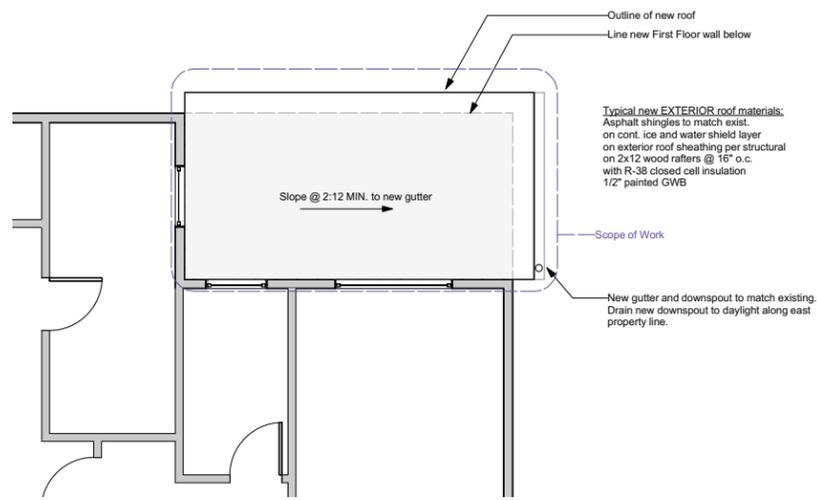
3 EXISTING BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"

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NOTE: MEP plan to be completed for permit set.
N/A for Minor Amendment application

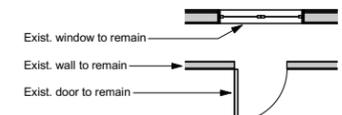
3 PROPOSED MEP PLAN
SCALE: 1/4" = 1'-0"



Typical new EXTERIOR roof materials:
Asphalt shingles to match exist.
on cont. ice and water shield layer
on exterior roof sheathing per structural
on 2x12 wood rafters @ 16" o.c.
with R-38 closed cell insulation
1/2" painted GWB

2 PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"

PLAN LEGEND



Exist. window to remain
Exist. wall to remain
Exist. door to remain

New window
New wall
New door

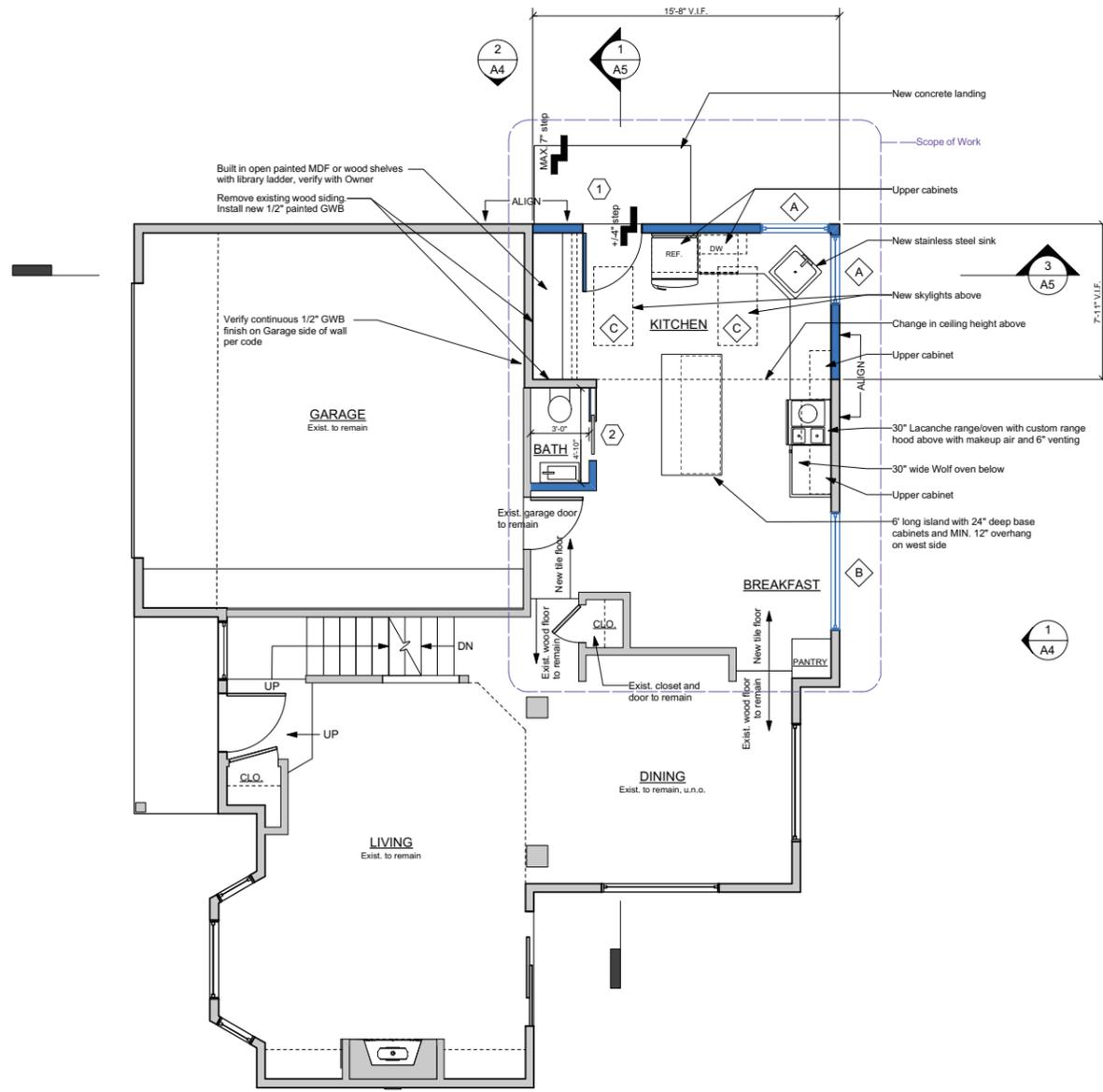
Typical new EXTERIOR wall materials:
Wood lap siding to match exist.
on exterior sheathing per structural
on 2x4 wood studs @ 16" o.c.
with R-20 closed cell insulation
1/2" painted GWB

Typical new INTERIOR wall materials:
2x4 wood studs @ 16" o.c.
1/2" painted GWB both sides

Typical new floor materials:
Tile, type and material TBD, verify w/ Owner
on 3/4" plywood floor sheathing
on 2x10 wood joists @ 16" o.c.
Insulated, vented crawl space with 8" conc.
foundation wall
on conc. footing per structural

PLAN NOTES

1.



1 PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



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WINDOW SCHEDULE

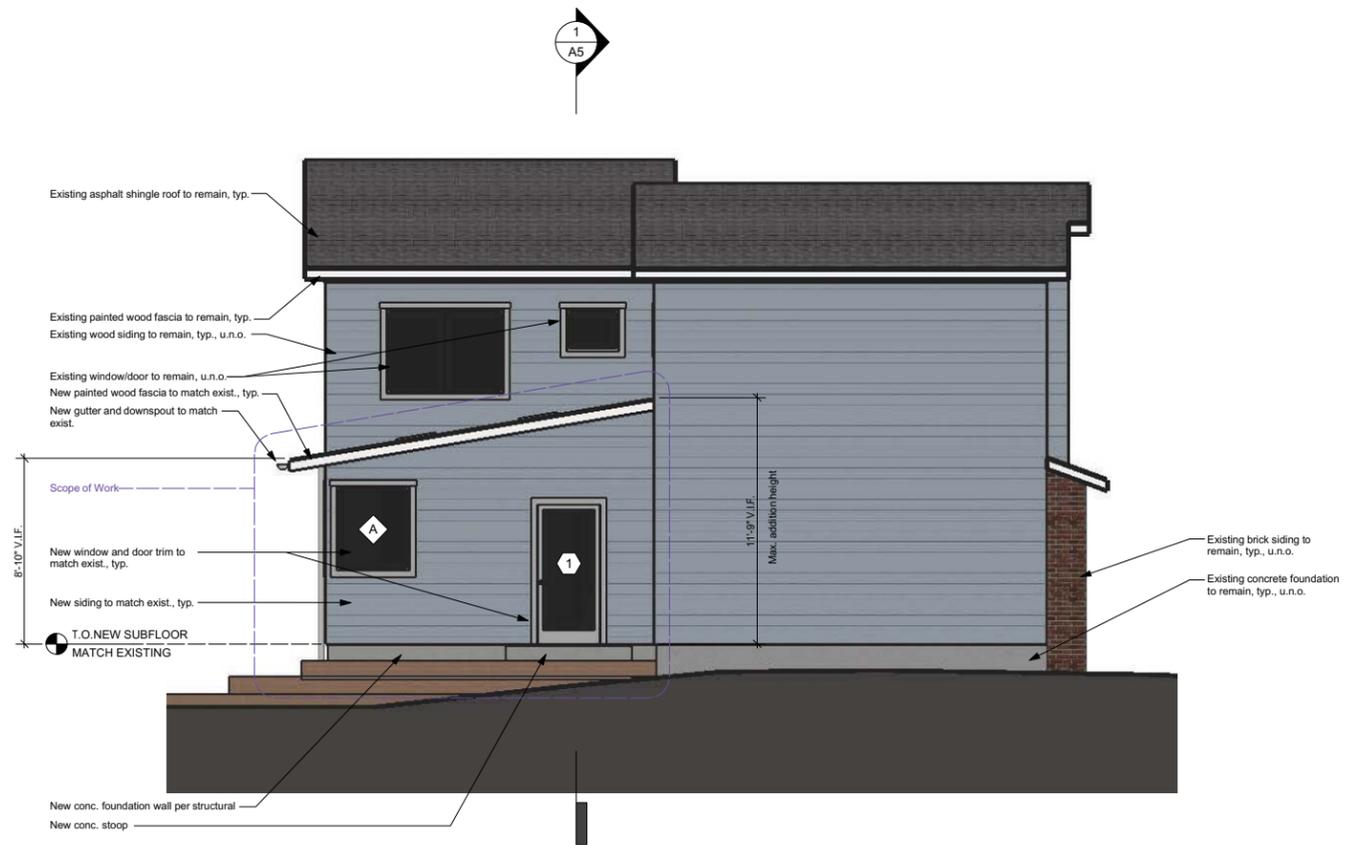
NUMBER	TYPE	MAKE	MODEL #	FINISH	Rough Opening (WxH)	HEAD HEIGHT	SILL HEIGHT	EGRESS	U-VALUE	NOTES
A	Gliding pair	Pella		Match existing		8'-1" V.I.F.	Finish sill 44" above fin. fr. MAX.	No	.32 or less	Install tight to corner
B	Sliding	Pella	Match existing dining room, V.I.F.	Match existing			Match existing dining room, V.I.F.	No	.32 or less	
C	Skylight	Velux		Match existing				No	.55 or less	

Double glazed, insulated glass typical in all windows
 Verify hardware, finish, and operable direction with Owner prior to ordering
 interior and exterior trim to match existing

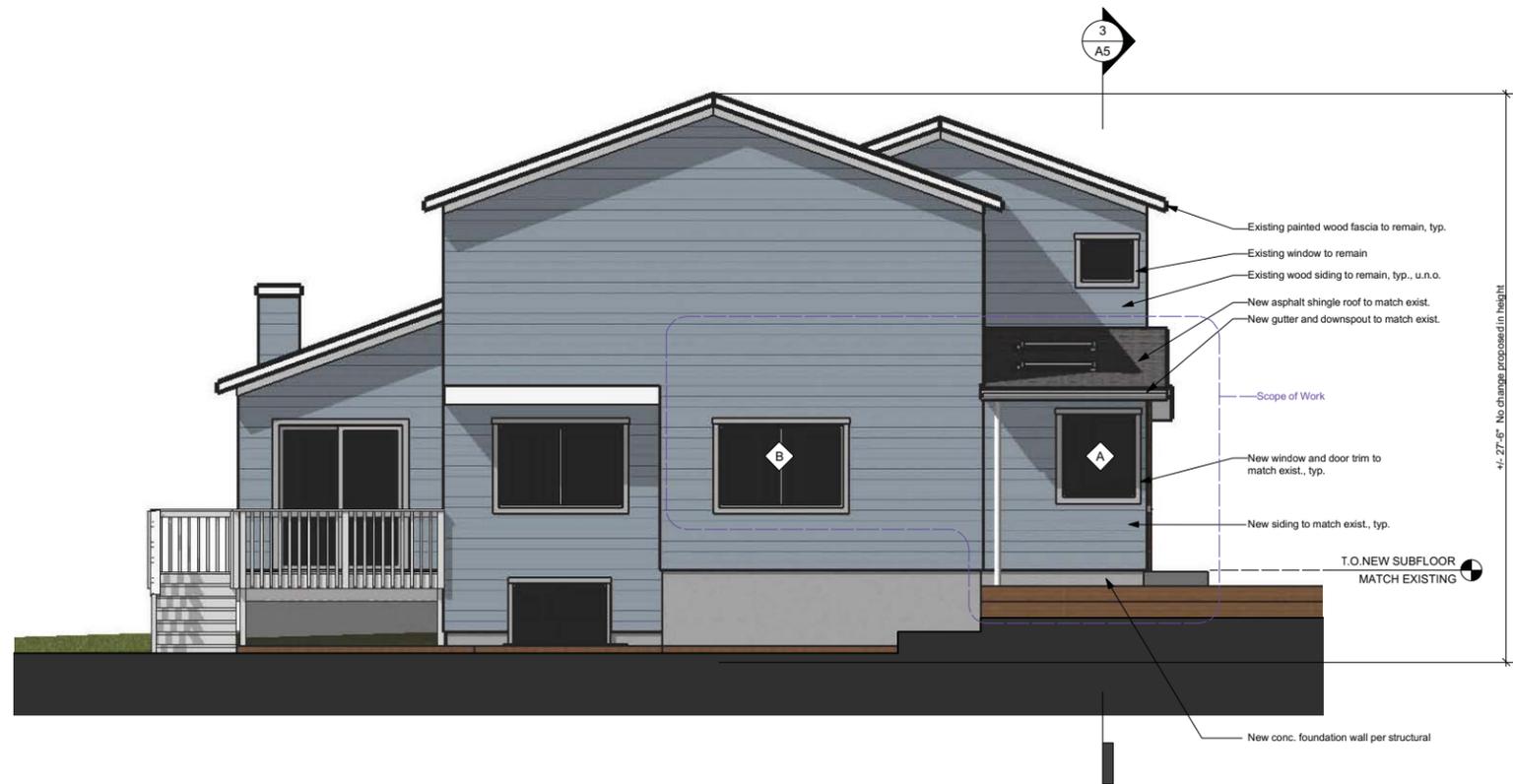
DOOR SCHEDULE

NUMBER	TYPE	MAKE	SIZE - WxH	MATERIAL, STYLE, & FINISH	HARDWARE	JAMB	NOTES
1	Swinging	TBD	3'-0" x 6'-8"	Verify with Owner	Deadbolt	4 9/16"	Verify exterior screen door with Owner
2	Pocket	TBD	2'-6" x 6'-8"	Match Existing	Privacy, V.I.F.	4 9/16"	Verify possible reuse of existing door with Owner

Swing doors in direction according to floor plan
 Match existing trim, typical. Verify with Owner
 Verify door material, hardware, panel type, and finish, with Owner prior to ordering
 Maintain space on either side of door jambs for min. 3 1/2" wide finished jamb trim. Verify Architect of discrepancies upon notice of clearance issues.
 All glass doors to be tempered or laminated safety glass per IRC 2012

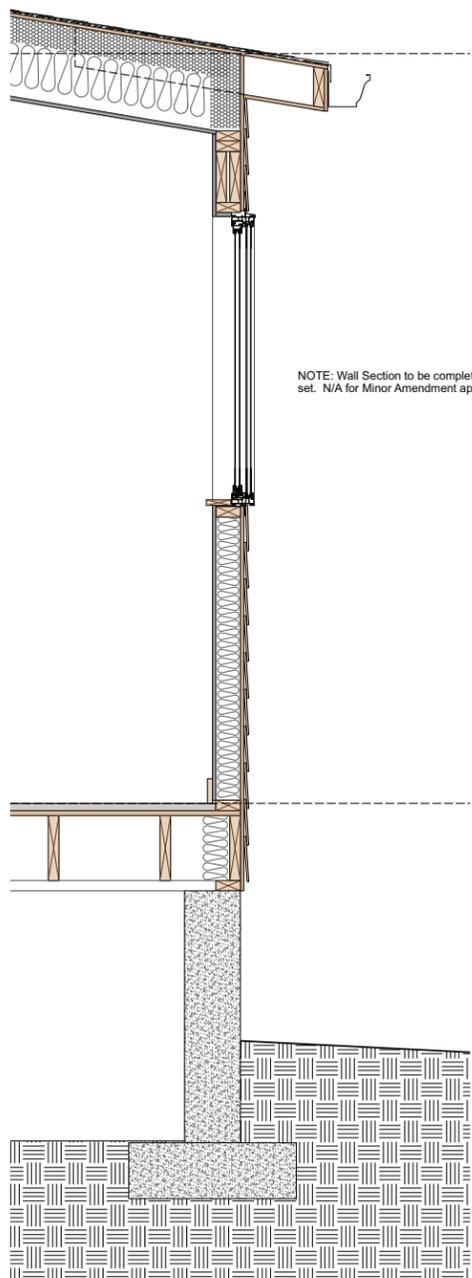


2 PROPOSED NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

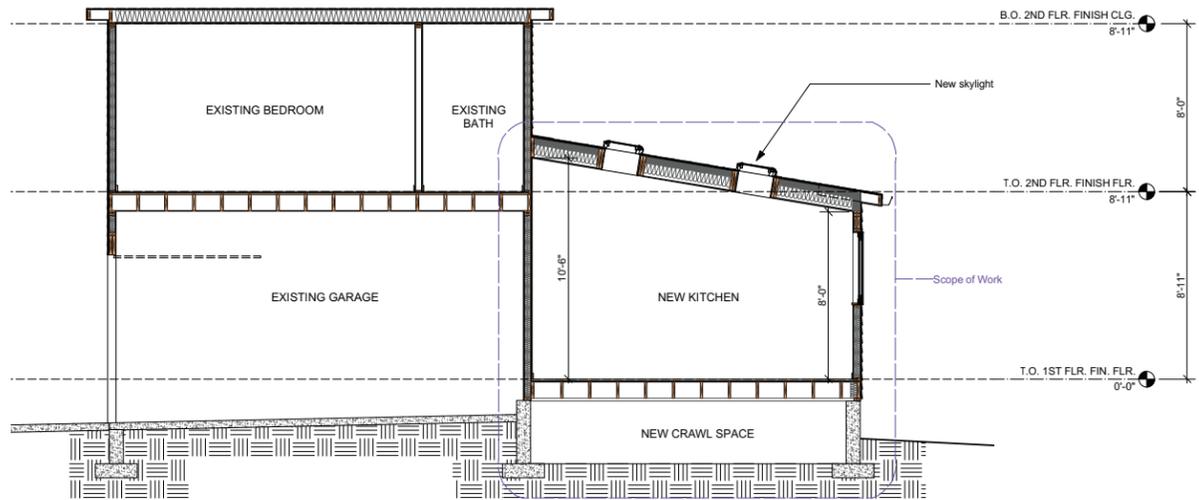


1 PROPOSED EAST ELEVATION
 SCALE: 1/4" = 1'-0"

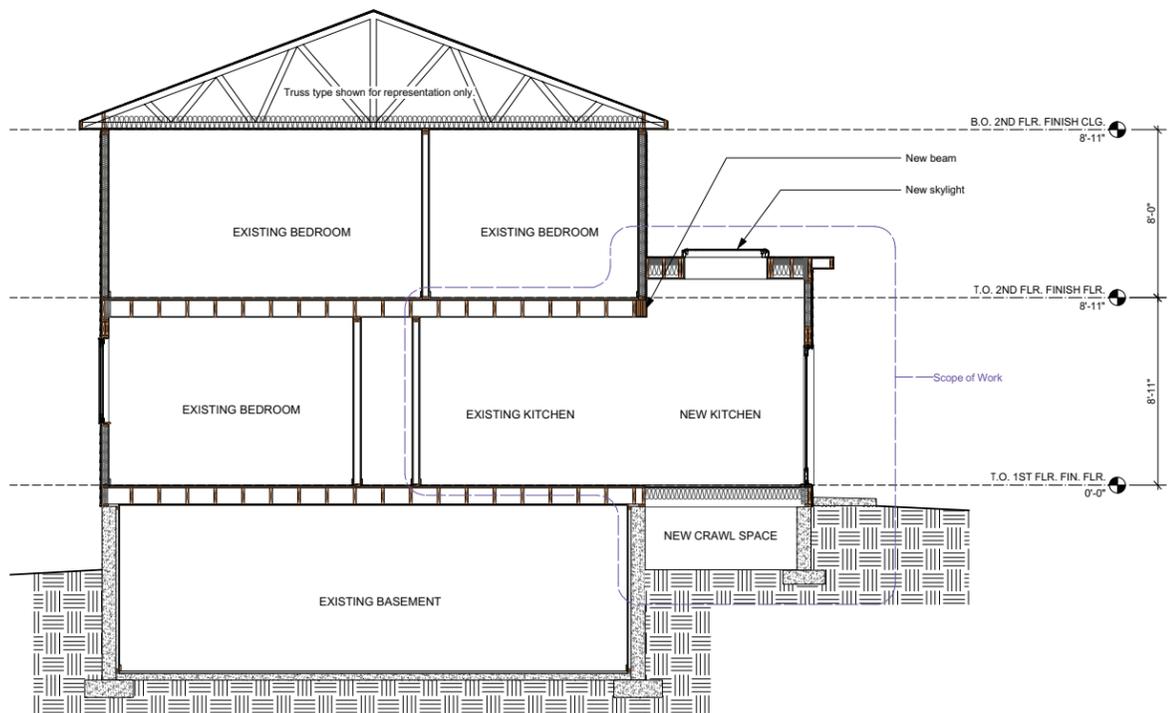
PRELIMINARY - NOT FOR CONSTRUCTION



2 PROPOSED WALL SECTION
SCALE: 1/4" = 1'-0"



3 PROPOSED EAST-WEST BUILDING SECTION
SCALE: 1/4" = 1'-0"



1 PROPOSED NORTH-SOUTH BUILDING SECTION
SCALE: 1/4" = 1'-0"