



# City of Boulder Planning

## MEMORANDUM TO THE LANDMARKS BOARD

September 9<sup>th</sup>, 2020

### Staff

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Charles Ferro, Interim Comprehensive Planning Manager  
Lucas Markley, Assistant City Attorney  
James Hewat, Senior Historic Preservation Planner  
Marcy Cameron, Historic Preservation Planner II  
Clare Brandt, Administrative Specialist II

### Landmark Alteration Certificate Request

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Public hearing and consideration under the procedures prescribed by chapter 1-3, "Quasi-Judicial Hearing," B.R.C. 1981, of a proposal to remodel the contributing house at **2130 11<sup>th</sup> Street** in the Mapleton Hill Historic District to include the addition of a carport, replacement of windows, and construction of second-story dormers and decks, pursuant to Section 9-11-18 B.R.C. 1981

Address: 2130 11<sup>th</sup> Street.  
Owner: Kari Whitman  
Applicant: Ethan Hampton, Hampton Architecture  
Case Number: HIS2019-00374  
Case Type: Landmark Alteration Certificate  
Code Section: 9-11-18, B.R.C., 1981

### Site Information

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Historic District: Mapleton Hill Historic District (contributing)  
Zoning: RH-2 (Residential High – 2)  
Lot size: 3,314 sq. ft.  
Existing house: 3,100 sq. ft.  
Date of construction: c.1921

### Staff Recommendation

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Staff recommends the Landmarks Board deny the application.

## Recommended Motion

*I move the Landmarks Board adopts the staff memorandum dated September 9<sup>th</sup>, 2020, as the findings of the board and deny the landmark alteration certificate application to remodel the contributing house at **2130 11<sup>th</sup> Street** in the Mapleton Hill Historic District to include the addition of a carport, replacement of windows, and construction of second-story dormers and decks as shown on plans dated June 2<sup>nd</sup>, 2020, finding that the proposal does not meet the Standards for Issuance of a Landmark Alteration Certificate in Chapter 9-11-18, B.R.C. 1981 and is substantially inconsistent with the General Design Guidelines and the Mapleton Hill Historic District Design Guidelines.*

## Summary

- On July 15<sup>th</sup>, 2020, the Landmark design review committee referred the application to remodel the house at 2130 11<sup>th</sup> Street to the Landmarks Board for review in a public hearing.
- Constructed about 1921, the house is a very well-preserved example of Craftsman-Bungalow inspired architecture and constructed with the 1865-1946 period of significance for the Mapleton Hill Historic District. The house retains historic and architectural integrity and staff considers it to contribute to the historic character of the district.
- Staff finds that the proposed work including the replacement of windows, addition of new dormers and a carport to the house to not meet the standards for issuance of a Landmark Alteration Certificate per 9-11-18(a) & (b)(1)-(4) B.R.C. 1981, and to be substantially inconsistent with the *General Design Guidelines*, and the *Mapleton Hill Historic District Design Guidelines* as outlined in the memorandum and design guideline analysis (Attachment A).



Figure 1. Tax Assessor Photograph, 2130 11th Street, c.1929.  
Carnegie Library for Local History

## PROPERTY DESCRIPTION

The property is located on the east side of 11<sup>th</sup> Street between Pine and Spruce streets in the Mapleton Hill Historic District.



Figure 2. 2130 11<sup>th</sup> Street (blue arrow)

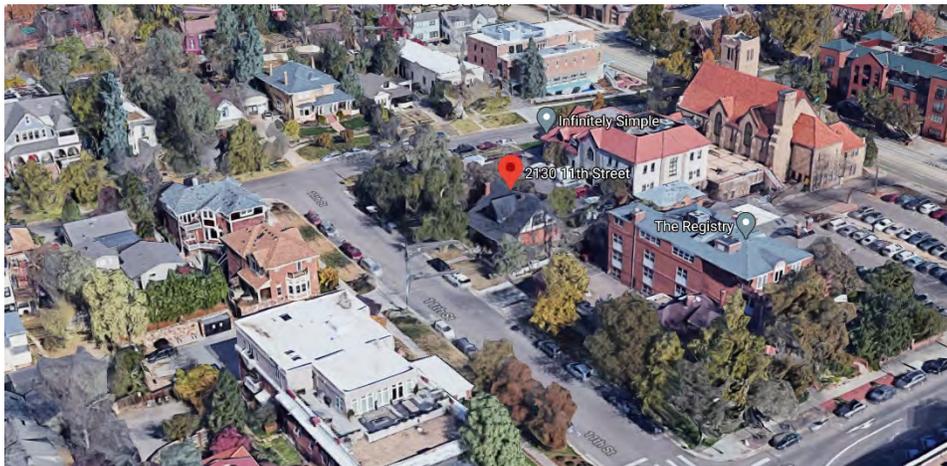


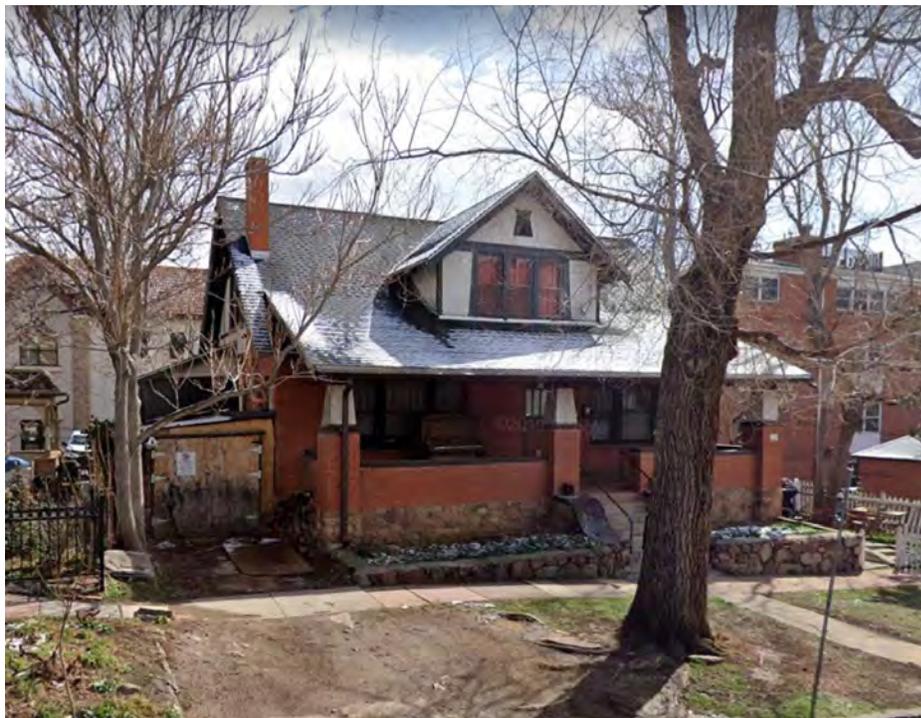
Figure 3. 2130 11<sup>th</sup> Street, Bird's Eye View



Figure 4. 2130 11<sup>th</sup> Street, 1994, Carnegie Library for Local History.

### Character Defining Features

- One and one-half story brick and stucco frame Craftsman Bungalow constructed c.1923;
- Low-pitch, side gable roof chimneys with overhanging eaves, exposed rafter tails, and dominant west (street-facing) dormer with 3/1 double-hung windows framed by Craftsman inspired tapered surrounds surmounted by slanted louvered vent;
- Full-width integrated shed-roof front porch supported by three brick and tapered stuccoed columns and three-quarter pane, three light front-door;
- 3/1, 4/1 & 5/1 double-hung window with stone lintels at ground floor;
- Solid brick porch walls with concrete trim, wood deck, stone steps with pipe rail, raised field stone foundation and retaining wall;
- Shed-roof addition at north (side) face with later lower shed roof construction with set of double doors facing onto 11<sup>th</sup> Street.



*Figure 5. 2130 11<sup>th</sup> Street, 2018.*



Figure 6. Trezise Undertaking c.1910 at 11<sup>th</sup> & Pearl Streets (left), Georgina Trezise c.1910.  
Carnegie Library for Local History

## PROPERTY HISTORY

- In 1922, the property at 1104 Pine Street was subdivided to create a relatively small (3,300 sq. ft.) lot, addressed as 2130 11<sup>th</sup> Street. The subject house was constructed soon after.
- The property was owned by Georgina Tyack Trezise from c.1913 until c.1933. Georgina was a native of Cornwall, England who came to Boulder in 1886. She was married to John Trezise, who operated a mortuary at 1147 Pine Street until his death in 1918, after which Georgina operated the business until her death in 1947.
- By 1944, the property was owned by Ed Adams.
- By 1969, the property had been divided into a four-plex and was owned by Ann Reed.
- 1994 Historic Building Inventory form for the property identifies the house as being constructed in 1921 and as contributing to the Mapleton Historic District.

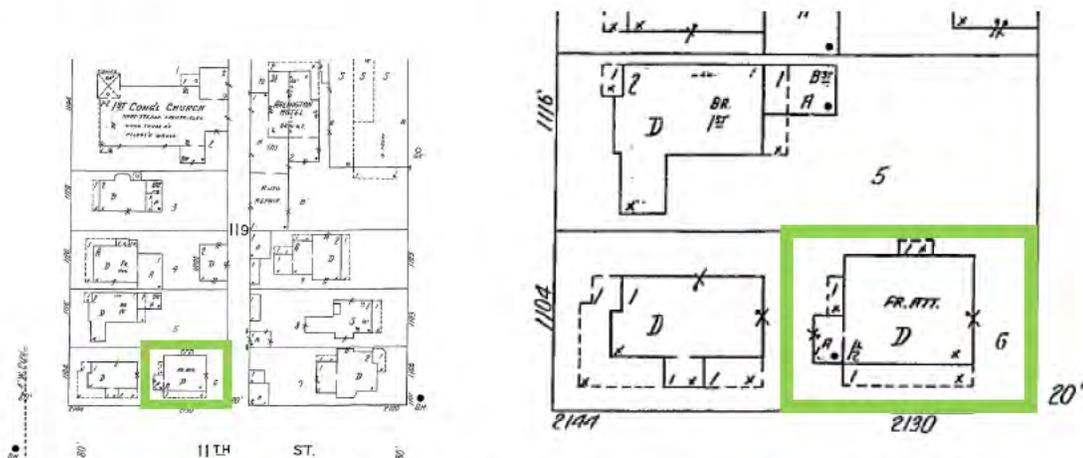


Figure 7. 1930 Sanborn Fire Insurance Map showing 2130 11<sup>th</sup> Street (green outline)  
Carnegie Library for Local History.

## Description of Proposed Work



Figure 8. Proposed Site Plan. Not to scale.

## Site Plan

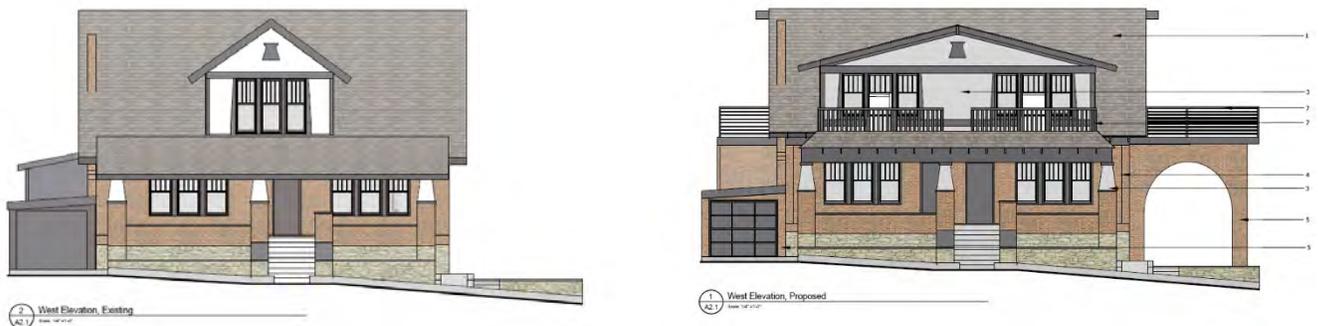


Figure 9. Existing & Proposed West Elevation (façade). Not to scale.

## West Elevation (Façade)

- Removal of front dormer and construction of wider dormer to accommodate six 3/1 double-hung sash to match existing historic windows;
- Removal of front shed roof porch and construction of hipped roof form to provide two upper-story deck area enclosed by vertical railing;
- Removal of stone garage at north and construction of brick garage, and removal of rear frame shed-roof addition with flat-roof brick addition with roof deck;
- Construction of round brick-arch carport at south side of house with roof-top deck enclosed by horizontal rail.



Figure 10. Existing and Proposed East Elevation. Not to scale.

### East Elevation

- Removal of existing shed roof dormer and construction of wider shed roof dormer with skylights and new second-level wrapping deck areas supported by brick posts and enclosed by horizontal metal railing;
- Upper-story shown to be fenestrated by two glass door and large casement windows spanning upper and main levels of house;
- Removal of shed-roof addition at north side of house and replacement of brick addition with upper-deck area;
- Removal of rear door.



Figure 11. Existing & Proposed South (Alley) Elevation. Not to scale.

### South Elevation

- Removal of portion of low-stone retaining wall and construction of brick carport with wrapping upper-deck area.
- South side of proposed west facing dormer shown to be fitted with two skylights;
- Eaves appear to be truncated.



Figure 12. Existing & Proposed North (side) Elevation. Not to scale.

**North Elevation**

- Proposed removal of stone garage to be replaced by brick garage addition of same dimension;
- Proposed removal of rear shed roof addition shown to be replaced with flat roof brick addition fenestrated by set of 4/1 double-hung windows and wrapping rooftop deck;



Figure 13. Proposed Perspectives (front).



Figure 14. Proposed Perspectives (rear and from northwest).

**Criteria for the Board's Decision - Standards for Landmark Alteration Certificates, 9-11-18, B.R.C. 1981**

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**(a) The Landmarks Board and the City Council shall not approve an application for a Landmark Alteration Certificate unless each such agency finds that the proposed work is consistent with the purposes of this chapter.**

**(b) Neither the Landmarks Board nor the City Council shall approve a Landmark Alteration Certificate unless it meets the following conditions:**

***(1) Does the proposed application preserve, enhance, or restore, and not damage or destroy the exterior architectural features of the landmark or the subject property within a historic district?***

Staff finds that the proposed alterations to the house including new dormers, deck, north additions and construction of a carport will damage essential character-defining exterior architectural features of the contributing property.

***(2) Does the proposed application adversely affect the special character or special historic, architectural, or aesthetic interest or value of the historic district?***

Staff considers the proposal will adversely affect the historic and architectural value of the Mapleton Hill Historic District as the proposed alterations and additions to the house are substantially inconsistent with the *General Design Guidelines and the Mapleton Hill Historic District Design Guidelines*.

***(3) Is the architectural style, arrangement, texture, color, arrangement of color, and materials used on existing and proposed structures compatible with the character of the historic district?***

Staff considers that the proposed architectural style, arrangement, texture, color, arrangement of color, and materials will be largely incompatible with the character of the Mapleton Hill Historic District.

***(4) With respect to a proposal to demolish a building in a historic district, the proposed new construction to replace the building meets the requirements of paragraphs (b)(2) and (b)(3) of this section.***

Does not apply to the proposed application.

**(c) In determining whether to approve a Landmark Alteration Certificate, the Landmarks Board shall consider the economic feasibility of alternatives,**

## **incorporation of energy-efficient design and enhanced access for the disabled.**

Information specific to economic feasibility of alternatives, incorporation of energy-efficient design and enhanced access for the disabled was not submitted with the application. The reuse of an existing building is inherently sustainable, and the rehabilitation of the building will need to meet the City's energy code regulations and Section 106.5 helps ensure that any alterations needed to meet the energy will not detract from the historic character of the site.

### **Design Guideline Analysis**

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The Historic Preservation Ordinance sets forth the standards the Landmarks Board must apply when reviewing a request for a Landmark Alteration Certificate. The Board has adopted the *General Design Guidelines* to help interpret the ordinance. Design guidelines are intended to be used as an aid to appropriate design and not as a checklist of items for compliance (*see attachment A for detailed Design Guideline Analysis*).

### **Summary**

#### **General Design Guidelines**

- **2.3 Alleys & Existing Accessory Buildings**

An attached carport may be appropriate. However, the mass, height, scale and arch brick construction are out of character with the property and the district. A smaller simpler carport in this location may be appropriate but would require significant redesign.

- **3.1 Roofs**

The existing gable dormer on the façade of the house is character-defining and should not be altered – the proposed new dormer and alteration to the historic shed porch roof will have a significant impact on the historic character of the house. Likewise, the proposed new rear dormer should be reduced in height and scale. Proposed flat roofs to accommodate roof decks are not found on the historic house. Modifications shortening eave depths on a historic house are inconsistent with this section.

- **3.2 Roof Decks and Balconies**

Proposed roof decks on the façade and sides of the house will adversely affect the historic character of the house. Smaller rear balcony is a possibility.

- **3.4 Porches**

Proposed front roof deck will significantly change the character of the front porch roof from shed to flat with hip skirts.

- **3.7 Windows**

Proposed windows that span the first and second stories on the east elevation is inconsistent with this section.

- **4.1 Protection of Historic Buildings and Sites**

Proposed new dormer at façade will be highly visible. Modifications to rear dormer are appropriate, though current scheme is out of scale and character of the house as a whole. Proposed removal of historic north garage and north shed roof addition to construct new additions is inconsistent with this section.

- **4.5 Key Building Elements**

Dominant roofline of west facing historic character defining dormer will be altered by proposed new dormer which is wider with significantly lower roof pitch. Likewise, shed roof form of character-defining front porch is changed to flat roof with hip skirt to accommodate deck, and will change the essential form and character of the contributing house.

- **7.2 New Accessory Buildings**

Proposed carport at south side of house may be appropriate but should be reduced in height and scale and simplified in design and materiality.

***Mapleton Hill Design Guidelines***

The analysis above also applies to sections D. Alleys, P. Garages, Carports, and Accessory Buildings; and T. Major Exterior Renovation of the *Mapleton Hill Design Guidelines*.

## **FINDINGS**

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The Landmarks Board finds that the applicant has failed to demonstrate that the project meets the standards for issuance of a Landmark Alteration Certificate set forth in Section 9-11-18, "Standards for Landmark Alteration Certificate Applications," B.R.C. 1981. In reaching this conclusion, the Board considered the information in the staff memorandum dated September 9<sup>th</sup>, 2020, and the evidence provided to the Board at its September 9<sup>th</sup>, 2020 meeting. Specifically, the Board finds that:

1. The proposed alterations to the property including the construction of new dormers, second-story decks, a carport and the removal and reconstruction of north additions will not preserve the historic character of the property and the immediate streetscape and are not consistent with the *General Design Guidelines* and the *Mapleton Hill Historic District Guidelines*.

2. The proposed work will adversely affect the special character or special historic, architectural, or aesthetic interest or value of the contributing property & the Historic District. § 9-11-18(b)(1).
3. The architectural style, arrangement, texture, color, arrangement of color, and materials used on the proposed construction will be incompatible with the character of the historic district. § 9-11-18(b)(2).

## **ATTACHMENTS**

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- A: Design Guideline Analysis
- B: Applicant Materials
- D: [Historic Building Inventory Form](#) (link)

## GENERAL DESIGN GUIDELINES

<b>2.0</b>	<b>Site Design</b>		
	<b>Guideline</b>	<b>Analysis</b>	<b>Conforms</b>
	<i>Site design includes a variety of character-defining elements of our historic districts and building. Individual buildings are located within a framework of streets and public spaces that set the context for the neighborhood. How buildings occupy their site, in terms of alignment, orientation, and spacing, creates much of the context of the neighborhood.</i>		
.1	<i>Locate buildings within the range of alignments as seen traditionally in the area, maintaining traditional setbacks at the front, side and rear of the property</i>	Addition in the form of enlarged dormer is on the façade of the house and will have a significant impact on the character of the house when viewed from the street and alley.	<b>No</b>
<b>2.3</b>	<b>Alleys &amp; Existing Accessory Buildings</b>		
	<i>Along the alleys are historic accessory building of various shapes and sizes including barns, chicken coops, sheds and small garages. This variety contributes to the general feeling of human scale in the alleys.</i>		
	<b>GUIDELINES:</b>	<b>ANALYSIS:</b>	<b>CONFORMS</b>
.1	<i>Maintain alley access for parking and retain the character of alleys as clearly secondary access to properties.</i>	Proposed carport appears to take access from the alley.	<b>Yes</b>
.5	<i>Maintain adequate spacing between accessory buildings so that the view of the main house is not obscured, and the alley does not evolve into a tunnel-like passage.</i>	Proposed carport will not significantly obscure house or negatively affect the character of the alley.	<b>Yes</b>
<b>3.1</b>	<b>Roofs</b>		
	<i>Roofs are character-defining features of a historic building, and the repetition of similar roof types creates part of the visual consistency that defines a historic area. Alterations or additions to roofs must be given careful consideration to ensure that they do not compromise the integrity of the historic structure. Typical roof shapes are gabled or hipped. Shed roofs sometimes occur on historic additions and accessory structures. Buildings within a district may have a combination of these roof types</i>		
	<b>GUIDELINES:</b>		
.1	<i>Retain and preserve the original roof form of a historic building.</i> <ul style="list-style-type: none"> <li>- <i>Maintain the roof form, slope, height, and orientation to the street.</i></li> <li>- <i>Preserve the original depth of the overhang along the eaves.</i></li> <li>- <i>Any alterations to a roof should be compatible with the form, pitch, plate height and massing of the historic roof.</i></li> </ul>	Historic forms on façade will not be preserved with proposed enlarged and lower pitch dormer and reconfigured shed roof at porch. Eaves are shown to be truncated to accommodate decks. Enlargement of rear dormer may be appropriate but should be lower and be in scale with primary roof form.	<b>No</b>

	- <i>Raising the roof to accommodate a full or partial upper story addition is inappropriate – consider the addition of a dormer instead.</i>		
<b>3.2</b>	<b>Roof Decks and Balconies</b>		
	<i>Roof decks are deck areas above the first floor that are contained completely or partially in a roof mass. Balconies are railed or balustraded platforms that project from the building. Second story roof decks or balconies are characteristic of only a few architectural styles found in Boulder. They may be compatible additions, however, if located on the rear and if they are integrated into the primary building. Second story roof decks or balconies are not appropriate for free-standing accessory buildings and garages. Any decks or balconies above the second story are inappropriate unless based on historic precedent.</i>		
	GUIDELINES:		
.1	<i>Locate roof decks or balconies on the rear, not on the front, of the building. Front roof decks or balconies are appropriate only if recreating a documented historic element.</i>	Proposed decks on the front of the house are not based upon historic documentation and decks at sides the house would likely have negative impact on the character of the property, streetscape, and alley scape. A rear deck or balcony is possible, but proposed configuration is too large.	No
.2	<i>Integrate the roof deck or balcony into the structure either by setting it into the building or by incorporating it into the roof structure.</i>	Integrating deck into historic façade of the building is inappropriate. A rear deck or balcony is possible, but proposed configuration is too large.	No
.4	<i>While current code requirements must be met, new railings should be as close as possible to historic heights. In addition, sensitive design may give the appearance of the lower railing heights found on historic structures.</i>	Horizontal rails appear out of character with historic building.	No

<b>3.4</b>	<b>Porches</b>		
	<i>Front porches are a common and important visual element of many historic building styles. The porch roof is generally supported by freestanding columns or by columns resting on a masonry wall. Wood railings are anchored with masonry or wood balustrades. A porch is generally open with the facade of the house plainly visible.</i>		
	<b>Guideline</b>	<b>Analysis</b>	<b>Meets Guideline?</b>
.1	Original porches should be preserved.	Proposed deck on front porch will have a significant impact on the character by modifying low shed to flat roof with hip skirts.	No

<b>3.5</b>	<b>Dormers</b>		
	<i>Dormers are traditional roof elements that either extend the space under the main roof or serve as decorative elements to the main roof. They generally follow the pitch and form of the main roof and are always secondary to the main roof massing. The introduction of dormers may dramatically change the building's appearance, and therefore may not be appropriate in all circumstances.</i>		
	<b>Guideline</b>	<b>Analysis</b>	<b>Meets Guideline?</b>
.1	<i>Existing dormers are important character-defining features of a building and should be preserved, particularly those that are most visible from the street.</i>	Proposed front dormer is not preserved in current scheme – proposed rear dormer is out-of-scale and inappropriate.	<b>No</b>
.3	<i>Existing dormers should not be enlarged or altered in any way that changes their secondary relationship to the main roof.</i>	Proposed alteration to dormers inappropriate – see .1 above.	<b>No</b>
.4	<i>The size, scale, and style of new dormers should be compatible with existing dormers on the structure. The form of roof dormers should be compatible with the main roof form.</i>	See .1 above.	<b>No</b>
.6	<i>New dormers must be subordinate to the main roof in terms of mass, scale and height. Notwithstanding the fact that one large dormer may give the greatest usable space within the roof form, smaller dormers are usually the most appropriate. Often two small dormers are more appropriate than one large dormer.</i>	See .1 above.	<b>No</b>
.7	<i>Dormer ridgelines must be lower than the main roof.</i>	Proposed rear dormer is shown to be raised to height of main roof.	<b>No</b>
<b>4.1</b>	<b>Protection of Historic Buildings and Sites</b>		
	<i>The primary concern of the Landmarks Board in reviewing additions to historic buildings is the protection of the existing structure and the character of the site and district.</i>		
	<b>Guideline</b>	<b>Analysis</b>	<b>Meets Guideline?</b>
.2	<i>Locate new additions on an inconspicuous elevation of the historic building, generally the rear one. Locating an addition to the front of a structure is</i>	Proposed addition of new dormer at façade will be highly visible. Modification to rear dormer appropriate, though current scheme out of scale and character of the house, as a whole. Proposed removal of historic north garage and	<b>No</b>

	<i>inappropriate because it obscures the historic facade of a building.</i>	north shed roof addition to construct new additions inconsistent with this guideline. Proposed attached carport at south will be highly visible – consider reducing height, size and simplifying materiality.	
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<b>4.5</b>	<b>Key Building Elements</b>		
	<i>Roofs, porches, dormers, windows and doors are some of the most important character-defining elements of any building. As such, they require extra attention to assure that they complement the historic architecture. In addition to the guidelines below, refer also to Section 3.0 Alterations for related suggestions.</i>		
	<b>Guideline</b>	<b>Analysis</b>	<b>Meets Guideline?</b>
.1	<i>Maintain the dominant roofline and orientation of the roof form to the street.</i>	Dominant roofline of west facing dormer will be altered by proposed new dormer which is wider with significant pitch. Likewise, shed roof form of porch is changes to flat roof area with hip skirt and will change the essential form and character of the contributing house.	<b>No</b>
.2	<i>Rooflines on additions should be lower than and secondary to the roofline of the original building.</i>	Roofline of proposed dormer is lower than main roof but inappropriate (see .1 above).	<b>No</b>
.3	<i>The existing roof form, pitch, eave depth, and materials should be used for all additions.</i>	Roof forms and pitches change (see .1 above) and character-defining overhanging eaves on house are truncated.	<b>No</b>

<b>7.2</b>	<b>New Accessory Buildings</b>		
	<i>New accessory buildings should follow the character and pattern of historic accessory buildings. While they should take design cues from the primary buildings, they must be subordinate in size, massing, and detailing. Alley buildings should maintain a scale that is pleasant to walk along and comfortable for pedestrians.</i>		
<b>Location and Orientation</b>			
.1	<i>It is inappropriate to introduce a new garage or accessory building if doing so will detract from the overall historic character of the principal building, and the site, or if it will require removal of a significant historic building element or site feature, such as a mature tree.</i>	Proposed carport at south side of house may be appropriate, but should be reduced in height, scale and simplified in design and materiality.	<b>Maybe</b>
<b>Mass and Scale</b>			
.5	<i>New accessory buildings should take design cues from the primary building on the property but be subordinate to it in terms of size and massing.</i>	See .1 above (introduction of arched element is out of character with the historic house).	<b>Maybe</b>

.7	<i>Roof form and pitch should be complementary to the primary structure.</i>	Roof form is proposed to be flat – shed roof would be more appropriate and in more in character with porch and historic side additions.	<b>No</b>
<b>Materials and Detailing</b>			
.8	<i>Accessory structures should be simpler in design and detail than the primary building.</i>	If appropriate, proposed carport should be reduced in mass & scale and simplified in terms of design and materiality (introduction of arched element is out of character with the historic house).	<b>Yes</b>
.14	<i>Carports are inappropriate in districts where their form has no historic precedent.</i>	Carport may be appropriate if it can be demonstrated that there are historic carports in this part of the Mapleton Hill Historic District.	<b>Maybe</b>

**MAPLETON HILL HISTORIC DISTRICT GUIDELINES**

<b>D.</b>	<b>ALLEYS, EASEMENTS and ACCESSWAYS</b>		
	<i>Alleys are a strong visual element of the district, and have much variety of scale and detail. They play an important role in the development patterns that give the more visible areas their character. Alleys provide access to rear parking and garages. They have a varied edge quality, with buildings both on the property lines and set back. The size and quality of these accessory buildings varies considerably. Careful consideration should be given to changes in traditional uses.</i>		
	Guidelines:	Analysis:	CONFORMS?
1.	<i>The use of alleys to provide access to the rear of properties should be preserved.</i>	Proposal encourages use of the alley with construction of a new carport.	<b>Yes</b>
2.	<i>Efforts should be made to protect the variety of shape, size and alignment of buildings along the alleys. Alleys should maintain a human scale and be sensitive to pedestrians.</i>	Alignment of buildings along the alley is maintained.	<b>Yes</b>
5.	<i>Efforts should be made to maintain the character of the alleys in the District.</i>	Construction of a carport will likely not adversely affect the character of the alley (see 7.2.14 above).	<b>Maybe</b>
<b>P.</b>	<b>GARAGES, CARPORTS AND ACCESSORY STRUCTURES</b>		
	<i>A variety of accessory buildings has been adapted for use as garages in the Mapleton Hill Historic District. Whether carriage houses or sheds, these structures have certain similarities. They are plain and utilitarian and are located at the rear of the property on the alley. Materials and building elements are varied.</i>		
	Guideline:	Consistency:	
.1	<i>If an existing structure is to be used as a garage the historic character of the building should be respected. As few changes as possible should be made.</i>	Existing garage is shown to be demolished and reconstructed – existing garage should be rehabilitated.	<b>No</b>

**MAPLETON HILL DESIGN GUIDELINES –MAJOR EXTERIOR RENOVATION, ADDITIONS AND SECOND STORIES, T.**

T.	<b>Major Exterior Renovation, Additions and Second Stories.</b>		
	<i>Large additions and additional stories to a building frequently change the character of the structure. The diversity that characterizes the historic district is a result of the variety in the sizes of buildings and the differing architectural styles. A design response that respects this diversity is most appropriate.</i>		
	<b>Guideline</b>	<b>Analysis</b>	<b>Meets Guideline?</b>
.4	<i>New additions should be designed and constructed so that the character-defining features of the historic building are not radically changed, obscured, damaged or destroyed in the process of rehabilitation.</i>	Proposed new dormers, decks and north additions will damage character defining features of the house as mentioned above.	<b>No</b>



*For Office Use Only*

Date Received	Time	Case Number
12/13/19		HIS 2019.00374

**Landmark Alteration Certificate (LAC) Application**  
*For Exterior Changes to Properties Located in a Historic District and/or Individually Landmarked*

Project Address: 2130 11<sup>th</sup> Street Date of Application: 12DEC 2019

Historic District / Landmark Name MAPLETON

- Chamberlain  
  Chautauqua  
  Downtown  
  Floral Park  
  Highland Lawn  
  Hillside  
 Mapleton Hill  
 University Place  
 West Pearl  
 16<sup>th</sup> Street

Contact Information

Applicant's Name: Ethan Hampton

Email Ethan@ZHampton.com

Phone: 720-206-4122

Owner's Name: Kari Whitman

Email Kari@KariWhitmanInteriors.com

Phone: 720-612-7660

Mailing Address:

Project Description

**Staff Level**

- Landscaping  
 Paint  
 Commercial awning, patio and/or sign (demonstrate signs meet provisions in Section 9-9-21 Signs, B.R.C., 1981)  
 Antenna or mechanical unit  
 Restoration of existing features

**Landmark Design Review Committee (LDRC)**

- Deck/Porch  
 Doors/Windows  
 Dormers/Skylights  
 Addition  
 Front Fence  
 Solar Panels  
 Accessory Building < 340 sq. ft.

**Landmarks Board**

- New free-standing construction over 340 sq. ft.  
 Demolition and new construction  
 Application Referred by LDRC

**Description (attach additional narrative for additions and free-standing new construction):**

*CONVERSION OF 4 APARTMENTS TO A DUPLEX, NEW DORMERS AND DECKS ON SECOND FLOOR, ADDITION OF A GARAGE FOR OFF STREET PARKING.*

**\*Please Note that all Landmark alteration certificate (Lac) applications must be submitted through a Project Specialist at the P&DS Services Center. Application for review by the Landmark design review committee (Ldrc) should be submitted by noon on the Friday prior to the requested meeting date.**

I agree to perform the work described herein, in accordance with the plans and/or specifications submitted and with all provisions of the Historic Preservation Code, Building Code, Zoning Ordinance and Health Regulations of the City of Boulder as enumerated in the Boulder Revised Code, 1981.

[Signature]  
 Signature of owner or authorized agent for owner

12.12.19  
 Date

**Courtesy Review – Complete for new construction, additions, dormers, porches or fences.**

**INITIAL CODE REVIEW**

This review is meant to flag potential zoning and building code issues. Please fill out to the best of your ability. The verification of this form is a customer service review and does not constitute a formal review of all applicable codes and regulations. All sections of the Boulder Revised Code must still be adhered to prior to performing any work. Property information can be found on <https://bouldercolorado.gov/planning/property-report>

Property Information – Please complete for:				Staff Use	
				Verified	Need Info
<input type="checkbox"/> New free-standing construction <input checked="" type="checkbox"/> Addition <input checked="" type="checkbox"/> Dormers <input type="checkbox"/> Porches <input type="checkbox"/> Fences					
<b>Zoning District</b>	<input type="checkbox"/> RL-1 <input type="checkbox"/> RL-2 <input type="checkbox"/> RMX-1 <input checked="" type="checkbox"/> RH-2 <input type="checkbox"/> DT-1 <input type="checkbox"/> Other: _____				
<b>Floodplain</b>	<input checked="" type="checkbox"/> None <input type="checkbox"/> 500 Year <input type="checkbox"/> 100 Year <input type="checkbox"/> Conveyance <input type="checkbox"/> High Hazard				
<b>Lot Size</b>	3314 sq. ft. <input type="checkbox"/> Interior <input type="checkbox"/> Through <input type="checkbox"/> Flag <input type="checkbox"/> Corner Source: <input type="checkbox"/> City of Boulder <input checked="" type="checkbox"/> Boulder County <input type="checkbox"/> Survey <input type="checkbox"/> Other: _____				
<b>Existing Principal Building Setbacks</b> Section 9-7-2				<input type="checkbox"/> No Change	
Front: 16.2'	Side: .7'	Side: 14.8'	Rear: 4.2'		
<b>Proposed Principal Building Setbacks</b>				<input type="checkbox"/> No Change	
Front:	Side: 1'-10 1/2".7'	Side: 1'-10 1/2"	Rear:		
<b>Existing Accessory Building Setbacks</b>				<input checked="" type="checkbox"/> No Change	
Front:	Side:	Side:	Rear:		
<b>Proposed Accessory Building Setbacks</b>				<input checked="" type="checkbox"/> No Change	
Front:	Side:	Side:	Rear:		
<b>Primary or accessory building located within 3 ft. of a property line:</b>				<input checked="" type="checkbox"/> N	
<b>Primary or accessory buildings located within 6 ft. of each other:</b>				Y / <input checked="" type="checkbox"/> N	
	<b>Existing</b>	<b>Proposed</b>	<b>Allowed Maximum</b>		
<b>Building Coverage</b>	57%	57%			
<b>Floor Area (sq. ft.)</b>	3100 ft <sup>2</sup>	3586 ft <sup>2</sup>			
<b>Height</b>	30'	30'			
<b>Past Discretionary Review:</b>				<input type="checkbox"/> Site Review <input type="checkbox"/> PUD/PRD/PD <input type="checkbox"/> None	
<b>Will your project require a variance or exemption?</b>				<b>Verified</b>	<b>Need Info</b>
<input checked="" type="checkbox"/> <b>Setback variance</b> Section 9-7-2, B.R.C., 1981					
<input checked="" type="checkbox"/> <b>Bulk plane requirements</b> Section 9-7-9, B.R.C., 1981					
<input type="checkbox"/> <b>Side yard wall articulation standards</b> Section 9-7-10, B.R.C., 1981					
<input type="checkbox"/> <b>Exemption from the maximum building coverage for accessory buildings in the rear setback</b> Section 9-7-11(d), B.R.C., 1981					
<input checked="" type="checkbox"/> <b>Solar exception</b> Section 9-9-17, B.R.C., 1981					

Form Completed by: Benjamin Ross (Applicant) Date: 12 DEC 2019  
 Initial Verification by: \_\_\_\_\_ (Staff) Date: \_\_\_\_\_

## LANDMARK ALTERATION CERTIFICATE REVIEW CHECKLISTS

Initial review is completed by **Staff (Administrative)** or the **Landmarks Design Review Committee (LDRC)** within 14 days after a complete application is received. Staff and the LDRC can either approve the application, request revisions, or refer the proposal to the **Landmarks Board** for review in a public hearing. Please call 303-441-1880 if you have questions.

### ADMINISTRATIVE REVIEW

**Typical Projects:**

- Landscaping
- Paint
- Roofing
- Mechanical Unit
- Fences and Hardscaping  
(rear / side yard fence only if maximum 5' tall with minimum 1" spacing between pickets)
- Restoration of Existing Features
- DOWNTOWN ONLY:**  
Commercial awnings, patios and signs

City staff review of minor alterations typically has a quick review turn-around provided that application is complete and the proposed alterations are consistent with the applicable design guidelines.

**A complete application submittal includes:**

- This application:** Completely filled out
- Photographs:** Color photos of existing conditions and details.
- Samples:** Color chips of paint and printed samples of roofing types are helpful.
- Fences and Hardscaping:** Elevations and site plans should be clearly detailed and scaled, preferably at an 1/8" or 1/4" scale on 11"x17" or 12"x18" paper. **Show existing conditions and proposed changes side-by-side.** For fences, show dimensions and spacing between pickets and a site plan showing existing and proposed locations.

### LANDMARKS DESIGN REVIEW COMMITTEE (LDRC)

**Typical Projects:**

- Deck / porch
- Doors / windows
- Dormers / skylights
- Additions
- Fence (front yard or rear / side yard if over 5' tall or less than 1" spacing between pickets)
- Solar Panels
- New garage/accessory building (340 sq. ft. and under)
- Other \_\_\_\_\_

A staff member and two members of the Landmarks Board meet weekly to review applications for exterior alterations to designated properties. Large projects often require more than one meeting and may be referred by the committee to the full Landmarks Board for review.

**A complete application submittal includes:**

- This application:** Completely filled out, including zoning review sheet.
- Photographs:** Photographs of existing building and surrounding context
- One set of scaled elevations and site plans:** All drawings should be clearly detailed and scaled, preferably at an 1/8" or 1/4" scale on 11"x17" or 12"x18" paper. **Show existing conditions and proposed changes side-by-side.**
- Fences:** A scaled drawing showing dimensions and spacing between pickets and a site plan showing existing and proposed locations.
- Survey:** A land survey may be required if the proposed project is within 20% of the maximum permitted lot coverage, floor area or floor area ratio.

**The following documentation is required for final review and approval:**

- Final Details:** Specific materials should be noted on plans; include color chips and printed samples of roofing types, manufacturers/catalogue "cut" sheets for windows/skylights.

**Completed applications for LDRC review must be turned in by noon on the Friday prior to the requested meeting date and must be submitted through a Project Specialist.**

*Please note that LDRC meeting requests are processed in the order in which they are received and that a first request may not be available due to scheduling. The LDRC meets each Wednesday morning (except holidays) at the P&DS Service Center offices on the third floor of the Park Central Building, 1739 Broadway.*

## LANDMARKS BOARD REVIEW (LB)

**Typical Projects:**

**New free-standing construction**  
(over 340 sq. ft.)

**Demolition**  
(includes primary and/or accessory buildings designated as individual landmarks or within a district)

**Application referred from LDRC**

The Landmarks Board reviews new free-standing construction greater than 340 square feet, the demolition or moving of buildings, and applications referred from the LDRC.

Public hearings take place within 60 days of the receipt of a complete LAC application and are conducted as quasi-judicial proceedings. Following the public hearing for the LAC, a Notice of Disposition is sent to City Council outlining the Board's recommendation. City Council has 14 days to call-up a decision of approval made by the Landmarks Board. If the Board votes to deny a Landmark Alteration Certificate application, the City Council has 30 days to call-up the decision.

**Tip:** Projects that require full Board review should be presented to staff early in the planning process, before detailed drawings are initiated. Please contact staff prior to submitting an application for full Board review; these reviews are often complex.

**A complete application submittal includes:**

- LDRC requirements (listed on the previous page)
- Written project description
- 7 copies of project drawings, including side-by-side existing and proposed conditions (preferably 11"x17" or 12"x18") plans, including:
  - Scaled site plan (existing and proposed)
  - Scaled elevations for all sides of the building at 1/8" or 1/4" scale
  - Sketches, as needed
- 1 copy of any color renderings or photographs, color samples, etc. (preferably no larger than 11"x17")
- 1 digital copy of all materials submitted in a PDF file format

At the request of staff or the Board, the following may also be required:

- Building sections
- Methods of restoration
- 3-D modeling

**2019 Landmark Board Meeting Dates and Application Submittal Deadlines**

Landmarks Board meetings are generally held the first Wednesday of each month at 6 p.m. in the Municipal Building, Council Chambers, located at 1777 Broadway. Applications scheduled for a public hearing before the full Landmarks Board are due by 4 p.m. at least 28 days prior to the meeting date. All applications must be submitted through a Project Specialist.

Deadline	Landmarks Board Meeting Date
<del>December 5</del>	<del>January 2, 2019</del> <i>Cancelled</i>
January 9	February 4
February 6	March 6
March 6	April 3
April 3	May 1
May 8	June 5

Deadline	Landmarks Board Meeting Date
<del>June 5</del>	<del>July 3</del> <i>Cancelled</i>
July 10	August 7
August 7	September 4
September 4	October 2
October 9	November 6
November 6	December 4



Hampton Architecture

Written Statement  
2130 11th St., Boulder, CO 80301

Date: 08/013/2020

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### **Written Statement**

The Property at 2130 11th Street is a bungalow style building, located within the Mapleton Hill Historic District in Boulder Colorado.

### **Brief Project Description**

- Remodel and improve the efficiency of the existing interior space to fit two dwelling units which is a reduction down from four dwelling units.
- Provide off-street parking from the alley in accordance with the Historic preservation guidelines aligning with "Site" (B-1).
- Build a minimal carport and deck which has minimal structural impact to the existing facade and keeps the integrity of the existing structure (design guideline P-3). This design is based on owner/designer Kari Whitman's input and the feedback from the March 4th meeting with LDRC. The reduced scale also aligns with the design guidelines (B-2) in having a simply detailed mass and secondary to the primary structure. It also aligns with the guidelines that access to parking should be from the alley (guideline P-2)
- Enlarge the back of the house dormer to house stair cases for upper/lower level access for each individual dwelling unit, and also provide windows for more natural light into each space. This design is based on the feedback from the March 4th meeting with LDRC.
- Provide deck on the North side over existing structure not originally thought to be constructed with the contributing building. The railings are thin horizontally oriented steel to preserve transparency and remain simple in design aligning with design guidelines L porches and railings.
- Improve energy efficiency
- Repair and improve existing deteriorated conditions of the building

Note: A Variance for Bulk plane as well as the South set back boundary will require approval. Our proposed improvements to 2130 11th Street fit within the guidelines for the historical district and have been carefully designed and discussed with the LDRC to protect the historical significance of this property.

Boulder native (and alumna of Mapleton Hill Elementary School Kari Whitman) is the owner of the property. Ms. Whitman, a world famous interior designer in LA, New York, and Colorado, is keenly interested in maintaining the integrity of Boulder, but wants to improve the accessibility of the Flatirons in her work on the property. Kari has had projects on the cover of Modern in Denver, Denver Life, and Colorado Homes and Gardens in the last six months.

Below please find a more detailed Project Narrative.

### **Executive Summary**

This is an application for a Landmark Alteration Certificate ("LAC") to allow the sensitive rehabilitation of 2130 11th Street. Because of the new construction proposed, Boulder Revised Code ("B.R.C.") 9-11-14(b) requires Landmarks Board review.

The house is located in the Mapleton Hill Historic District. Based on our communication with Historic Preservation Planning staff, it was not included as a contributing structure in the original survey or the Historic District.

The alterations proposed, in majority part, involve the construction of a carport on the alley (south) side of the property, and the construction of new decks and dormers on the east and west sides of the house. These alterations conform to the General Design Guidelines (the "Guidelines") and the Mapleton Hill Design Historic District Design Guidelines (the "Mapleton Hill Guidelines"), are precedented in the neighborhood, and complement the design of the house.

The house is currently configured as a rental supporting the occupancy of four tenants. Pursuant to B.R.C 9-8-5 Occupancy of Dwelling Units, four unrelated individuals may be permitted to occupy a house in the subject zoning district, RH-2. The proposal is to create a duplex, which is an allowed use in the RH-2 pursuant to B.R.C. 9-6-1 Schedule of Permitted Land Uses. Staff has voiced a preference for this change.

In addition, the city recognizes a grandfathered right for the parking needs of the subject property to be met within the front landscaped setback and the public right-of-way. The purpose of the carport is to provide off-street parking sufficient to satisfy the parking needs of the property and allow the discontinuation of the existing configuration, which change is also supported by staff.

### **Project Description and Compliance with Code and the Guidelines**

The subject property sits mid-block on the east side of 11<sup>th</sup> Street between Pine and Spruce. To the north is the house on the southeast corner of 11<sup>th</sup> and Pine. To the south is the alley.

The carport on the alley would provide for off-street parking and do so in a way that conforms to the Guidelines. The design of the carport not only is precedented in the neighborhood and represented in the styles of the 1920s (the era of construction of the subject property). In addition, the carport is largely transparent when viewed from the street and does not represent a significant visual alteration of the existing façade.

The proposed change to the west elevation, which faces the street, is the addition of a larger dormer atop a new deck. The proposed dormer aligns with the Mapleton Hill Guidelines in that it is low and rectangular, where the existing dormer is taller and almost square. In addition, please note that we have provided alternative styles for the west dormer, one with a pedimented roof and the other with a shed roof. We believe that the shed dormer fits better with the bungalow style, but that either design meets the Guidelines.

The deck on the west façade is low and rectilinear. Its visual impact is mitigated by the design and materials of the railings, which are made of thin metal rails presented in a muted, neutral color.

The proposed change to the east elevation, which is invisible from the street, is the addition of a larger dormer atop a new deck, which deck is split by a pair of tall windows that center the façade and relieve the deck width. The proposed dormer aligns with the Mapleton Hill Guidelines in that it is low and rectangular, where the existing dormer is almost square. This dormer represents the largest change to the design of the second floor, and therefore it is the one which is located in the rear of the property.

The decks on the east façade are low and rectilinear. Their visual impact is mitigated by the design and materials of the railings, which are made of thin metal rails presented in a muted, neutral color.

### **Code Criteria to Support Approval of the LAC**

The Standards for Landmark Alteration Certificates are found in B.R.C. 9-11-18, 1981 as follows:

(a) The Landmarks Board and the City Council shall not approve an application for a Landmark Alteration Certificate unless each such agency finds that the proposed work is consistent with the purposes of this chapter.

(b) Neither the Landmarks Board nor the City Council shall approve a Landmark Alteration Certificate unless it meets the following conditions:

1. Does the proposed application preserve, enhance, or restore, and not damage or destroy the exterior architectural features of the landmark or the subject property within a historic district?

Applicant's response: The proposal comports with the Guidelines and the Mapleton Hill Guidelines. For example, the proposed additions "preserve the existing symmetry or asymmetry" of the house (Mapleton Hill Guidelines, F.1.).

2. Does the proposed application adversely affect the special character or special historic, architectural, or aesthetic interest or value of the district?

Applicant's response: To the extent that the proposal affects the special character, architecture, and aesthetics of the historic district, it improves them. The proposed carport would result in a compliant parking regime that would take cars out of the landscaped setback and the public right-of-way while adding a feature that is predated in the neighborhood and very much in line with the style of houses built in the early automobile era. The dormers better meet the character and aesthetic imperatives of the Mapleton Hill Guidelines, and the decks do not dominate the façade or greatly alter the appearance of the east and west building elevations. Overall, the proposal does not damage or destroy the historic character, interest, or value of the property or district and is compatible with the Guidelines and the Mapleton Hill Guidelines.

3. Is the architectural style, arrangement, texture, color, arrangement of color, and materials used on existing and proposed structures compatible with the character of the historic district?

Applicant's response: The architectural style, arrangement, texture, color, arrangement of color, and materials proposed would be compatible with the character of the Mapleton Hill Design Historic District.

4. With respect to a proposal to demolish a building in a historic district, the proposed new construction to replace the building meets the requirements of paragraphs (b)(2) and (b)(3) of this section.

Applicant's response: Not applicable.

(c) In determining whether to approve a Landmark Alteration Certificate, the Landmarks Board shall consider the economic feasibility of alternatives, incorporation of energy-efficient design and enhanced access for the disabled.

Applicant's response: The alternative to the proposed project is to maintain the existing use as a rental property with four tenants and grandfathered parking in the front landscaped setback and the public right-of-way. The proposed project would allow the reconfiguration of the subject property to a permitted duplex with compliant off-street parking and attractive new features that nonetheless do not destroy or diminish the architectural and historic character of the property. The proposal also includes the replacement, with period-correct window designs, of certain existing windows which are in some cases dangerous or inoperable, and which in all cases are energy-inefficient.

Based on the foregoing, we request that Landmarks Board approve the application as presented. Thank you for your consideration,

Ethan Hampton, AIA  
720.206.4122  
[ethan@2hampton.com](mailto:ethan@2hampton.com)

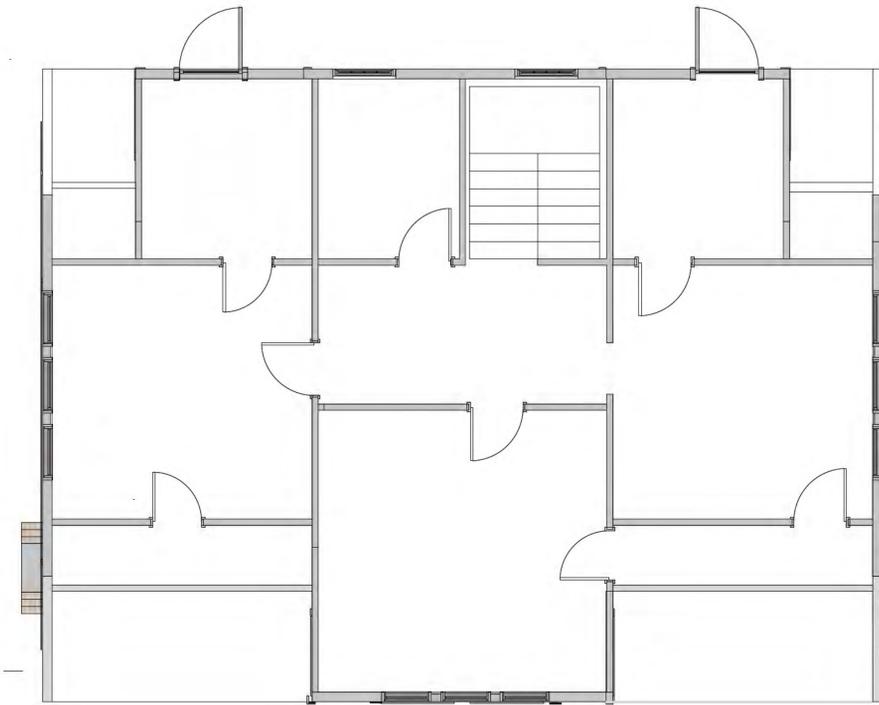




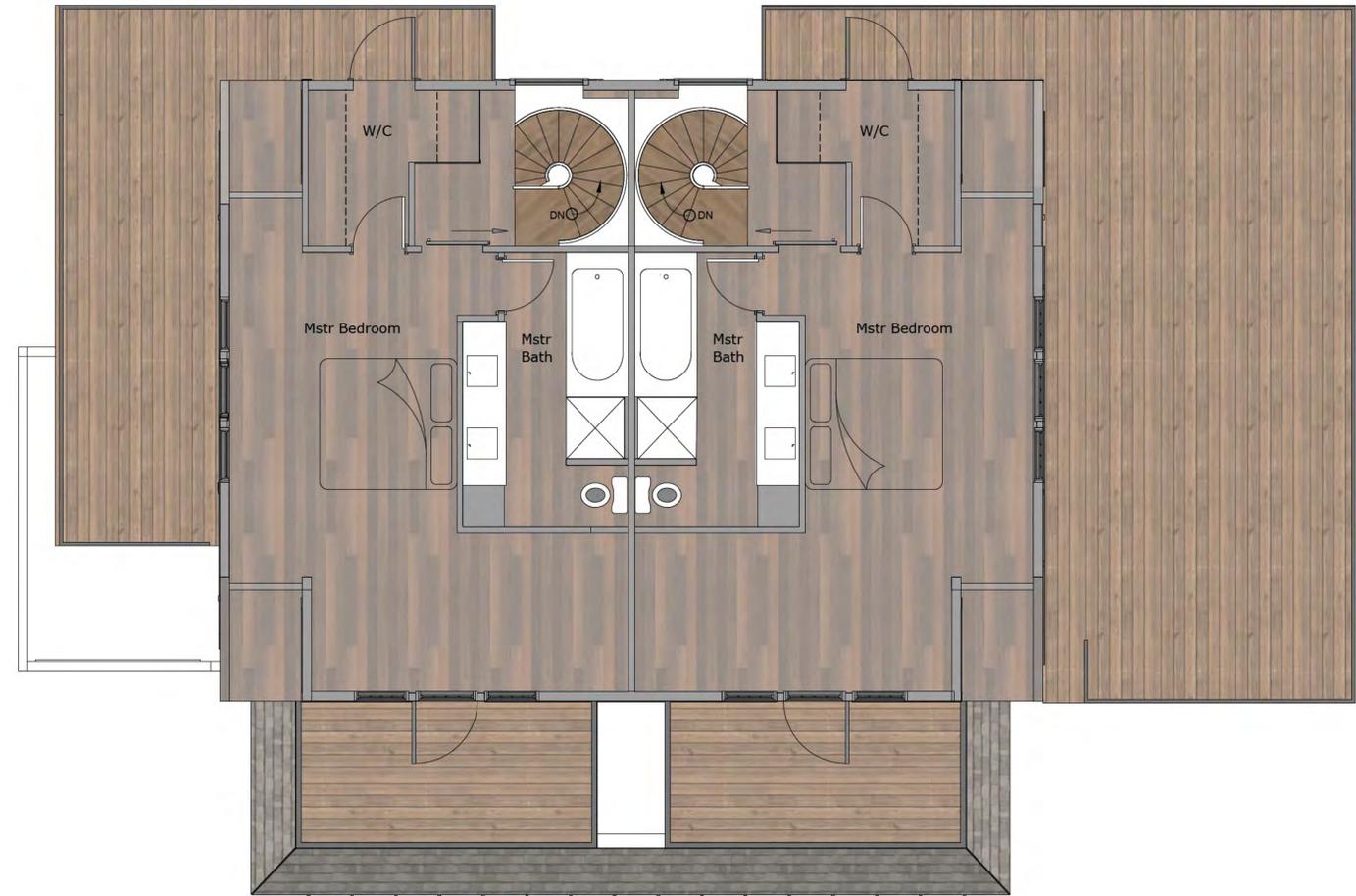




711 Walnut St.  
Boulder, CO 80302  
Tel: 720.206.4122  
email: ethan@zhampton.com



1 Upper Level\_Existing  
A1.0 Scale: 1/4" = 1'-0"



2 Upper Level\_Proposed  
A1.0 Scale: 1/4" = 1'-0"

11th and Spruce  
Residential Remodel

Boulder, CO 80302

NOT FOR  
CONSTRUCTION

Issue / Revision	Phase	Date	#
Landmark Review		06/02/2020	1

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PROPOSED FLOOR PLAN

DRAWN BY: BR  
SHEET FILE:

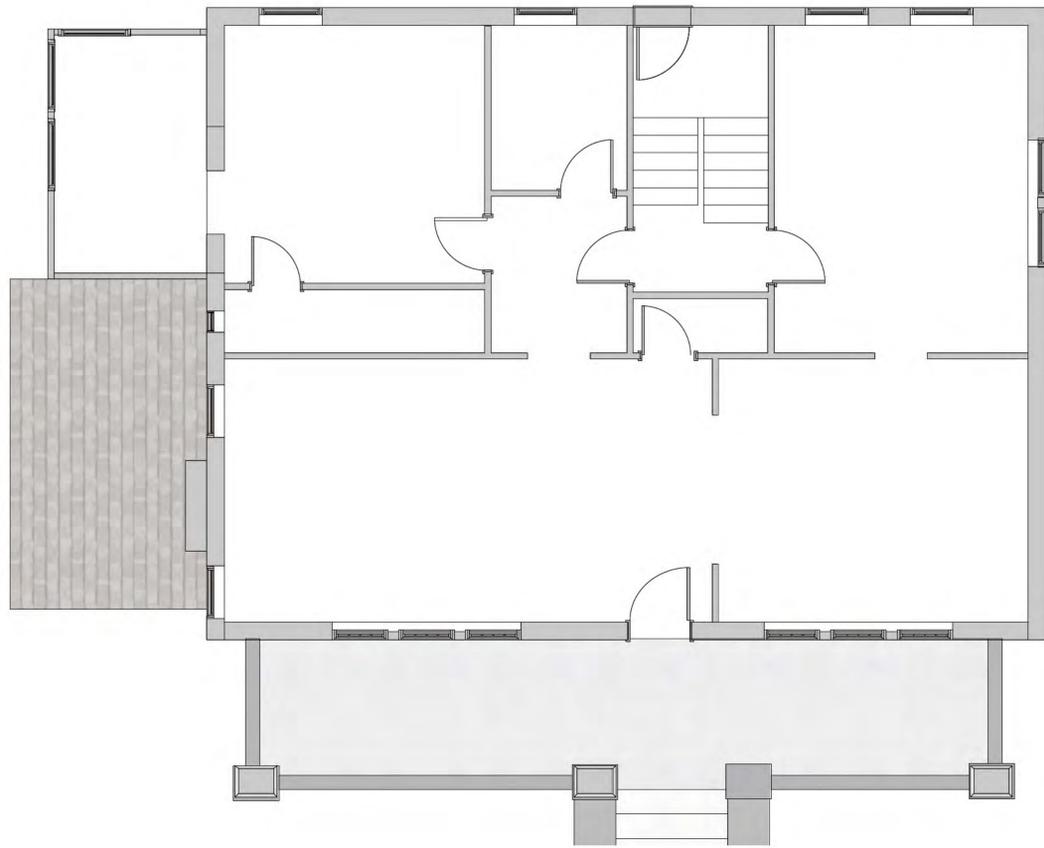
Copyright 2020, Hampton Architecture Inc.  
SHEET NUMBER:

A1.0

PROJECT #20000000  
Page 29 of 44



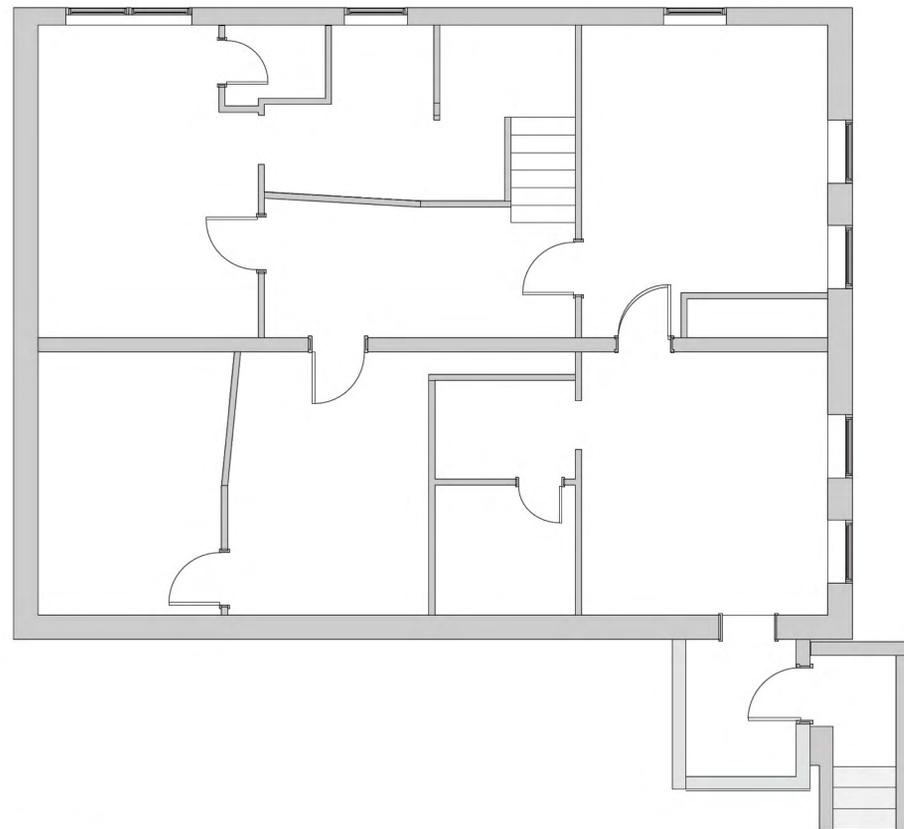
711 Walnut St.  
Boulder, CO 80302  
Tel: 720.206.4122  
email: ethan@zhampton.com



1 Main Level Existing  
A1.1 Scale: 1/4" = 1'-0"



2 Main Level Proposed  
A1.1 Scale: 1/4" = 1'-0"



3 Lower Level Existing  
A1.0 Scale: 1/4" = 1'-0"



4 Lower Level Proposed  
A1.1 Scale: 1/4" = 1'-0"

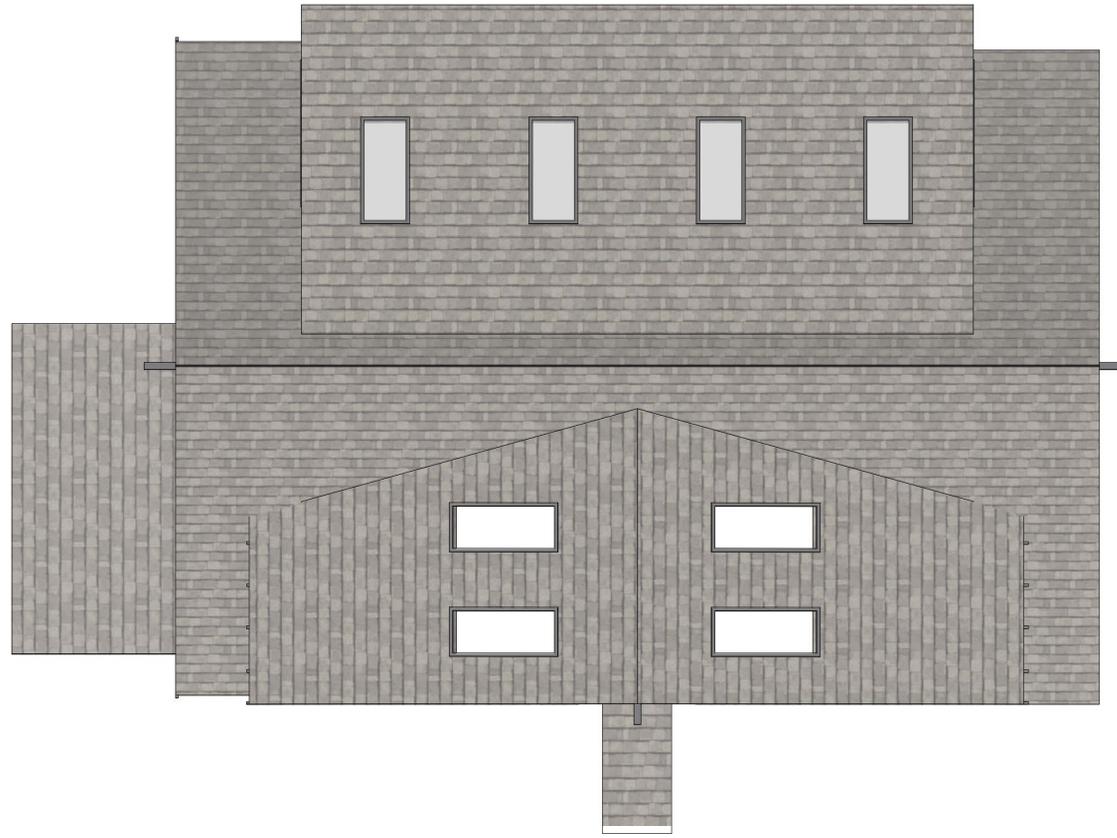
11th and Spruce  
Residential Remodel  
Boulder, CO 80302

NOT FOR  
CONSTRUCTION

Issue / Revision	Date	#
Landmark Review	06/02/2020	1

SHEET DESCRIPTION  
PROPOSED FLOOR PLAN  
DRAWN BY BR  
SHEET FILE  
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SHEET NUMBER

A1.1



1 Roof Plan  
 A1.2 Scale: 1/4" = 1'-0"



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11th and Spruce  
 Residential Remodel  
 Boulder, CO 80302

**NOT FOR  
 CONSTRUCTION**

Issue / Revision	Date	#
Landmark Review	06/02/2020	1

SHEET DESCRIPTION:  
 ROOF PLAN  
 DRAWN BY: BR  
 SHEET FILE:  
 Copyright ©2020 Hampton Architecture Inc.  
 SHEET NUMBER:

**A1.2**  
 :: PROJECT #20xxxx::



711 Walnut St.  
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email: ethan@2hampton.com



1 North Elevation, Proposed  
A2.0 Scale: 1/4" = 1'-0"



2 North Elevation, Existing  
A2.0 Scale: 1/4" = 1'-0"

**MATERIAL KEY**

1. Asphalt Shingles, Match existing.
2. Skylight, Match existing wood trim color.
3. Stucco, Painted
4. Existing Standard Brick, Repair as Needed
5. New Standard Brick, Match Existing
6. Gravel Driveway, Replenish Existing
7. Painted Metal Railing, Match Existing Trim Color.



3 South Elevation, Proposed  
A2.0 Scale: 1/4" = 1'-0"



4 South Elevation, Existing  
A2.0 Scale: 1/4" = 1'-0"

11th and Spruce  
Residential Remodel  
Boulder, CO 80302

NOT FOR  
CONSTRUCTION

Issue / Revision	Phase	Date	#
Landmark Review		06/02/2020	1

SHEET DESCRIPTION  
ELEVATION

DRAWN BY: BR  
SHEET FILE:  
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SHEET NUMBER:

**A2.0**



- MATERIAL KEY**
1. Asphalt Shingles, Match existing.
  2. Skylight, Match existing wood trim color.
  3. Stucco, Painted
  4. Existing Standard Brick, Repair as Needed
  5. New Standard Brick, Match Existing
  6. Gravel Driveway, Replenish Existing
  7. Painted Metal Railing, Match Existing Trim Color.



1 West Elevation, Proposed  
A2.1 Scale: 1/4" = 1'-0"



2 West Elevation, Existing  
A2.1 Scale: 1/4" = 1'-0"

11th and Spruce  
Residential Remodel  
Boulder, CO 80302

NOT FOR  
CONSTRUCTION

Issue / Revision	Date	#
Phase		
Landmark Review	06/02/2020	1

SHEET DESCRIPTION:  
ELEVATION  
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SHEET FILE:  
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SHEET NUMBER:

**A2.1**  
PROJECT #20xxx



















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Boulder, CO 80302  
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**MATERIAL KEY**

- 1. Asphalt Shingles, Match existing.
- 2. Stucco, Painted
- 3. Existing Standard Brick, Repair as Needed
- 4. New Standard Brick, Match Existing
- 5. Gravel Driveway, Replenish Existing
- 6. Painted Metal Railing, Black.



1 West Elevation, Proposed  
A2.1 Scale: 1/4" = 1'-0"



2 West Elevation, Existing  
A2.1 Scale: 1/4" = 1'-0"

11th and Spruce  
Residential Remodel and Improvement

Boulder, CO 80302

**NOT FOR  
CONSTRUCTION**

Issue / Revision	Date	#
Design Development	06/01/2020	1

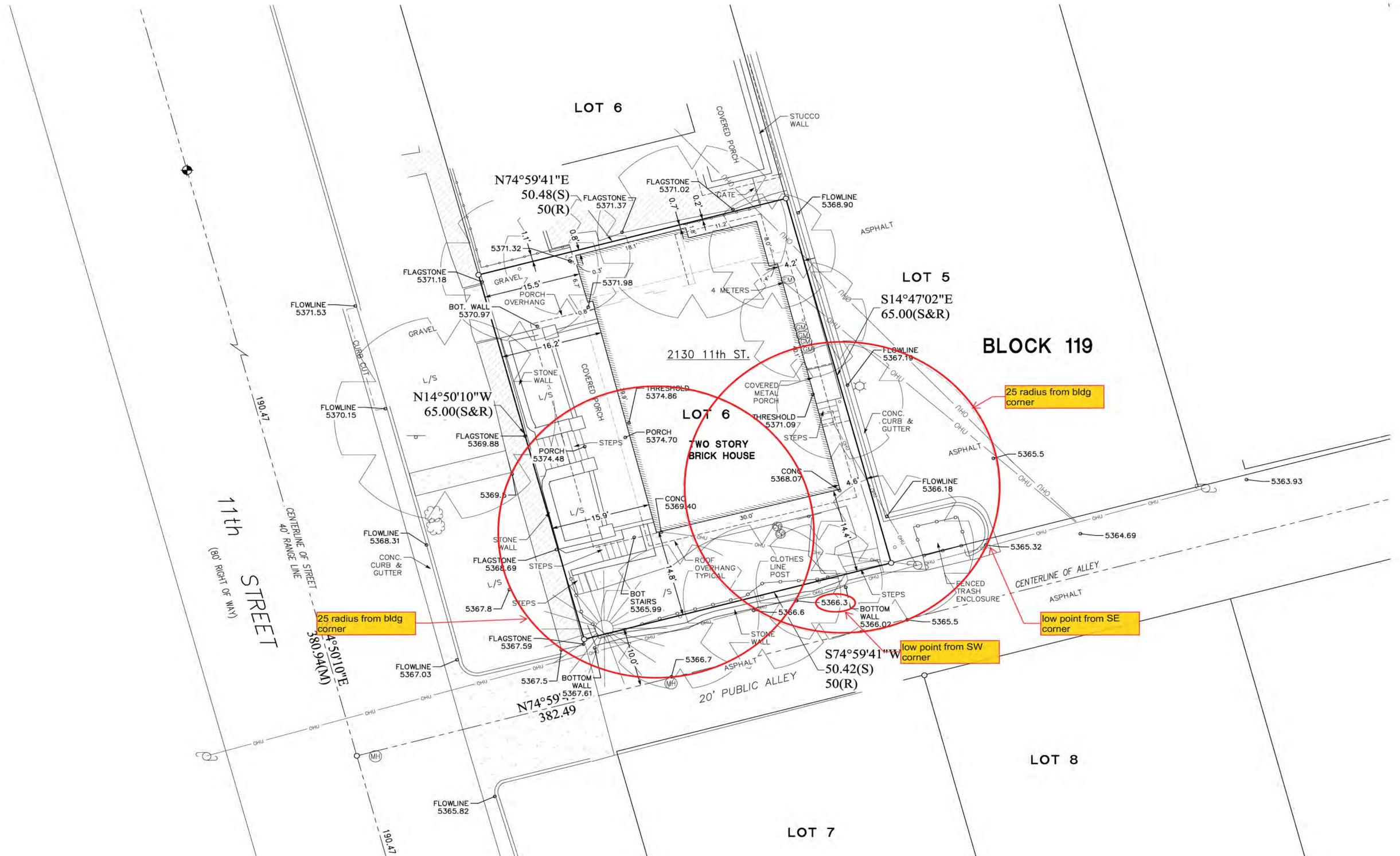
City of Boulder USE ONLY

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DRAWN BY: BR  
SHEET FILE:  
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SHEET NUMBER:

**A2.1**

PROJECT #19xxx





2130 11th Street  
Scale: N.T.S.

