



# City of Boulder Planning

## MEMORANDUM TO THE LANDMARKS BOARD

August 12<sup>th</sup>, 2020

### Staff

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Charles Ferro, Acting Comprehensive Planning Manager

Lucas Markley, Assistant City Attorney

James Hewat, Senior Historic Preservation Planner

Marcy Cameron, Historic Preservation Planner II

Clare Brandt, Administrative Specialist II

### Landmark Alteration Certificate Request

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Public hearing and consideration of a proposal to demolish a non-contributing house and accessory building construct a new 3,295 sq. ft. house and 400 sq. ft. two-car detached garage at **406 Pearl Street** located in the West Pearl Historic District pursuant to Section 9-11-18 B.R.C. 1981 (HIS2020-00163) and under the procedures prescribed by chapter 1-3, "Quasi-Judicial Hearing," B.R.C. 1981.

Address: 406 Pearl Street  
Owner: Andrew & Diane Fordyce  
Applicant: Sam Austin, Samuel Austin & Company Architects  
Case Number: HIS2020-00163  
Case Type: Landmark Alteration Certificate  
Code Section: 9-11-18, B.R.C., 1981

### Site Information

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|--------------------------|---------------------------------------|
| Historic District:       | West Pearl, non-contributing property |
| Zoning:                  | RMX-1 (Residential Mixed-Low 1)       |
| Lot size:                | 7,017 sq. ft.                         |
| Existing House sq. ft.:  | 1,862 sq. ft.                         |
| House constructed:       | c.1890, modifications 1982            |
| Proposed House sq. ft.:  | 3,295 sq. ft.                         |
| Existing Cottage size:   | 263 sq. ft.                           |
| Cottage constructed:     | c.1950                                |
| Proposed Garage sq. ft.: | 400 sq. ft.                           |

### Staff Recommendation

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Approve the application with conditions.

## Recommended Motion

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*The Landmarks Board adopts the staff memorandum dated August 12<sup>th</sup>, 2020, as the findings of the board and, with conditions, approves the demolition of the non-contributing main house and cottage and in their place the construction of a 3,295 sq. ft. house and a 400 sq. ft. garage as shown on plans dated May 27<sup>th</sup>, 2020, finding that the proposal generally meets the Standards for Issuance of a Landmark Alteration Certificate in Chapter 9-11-18, B.R.C. 1981.*

## Conditions of Approval

1. The applicant shall be responsible for completing the work in compliance with the approved plans dated *May 27<sup>th</sup>, 2020*, except as modified by these conditions of approval.
2. Prior to submitting a building permit application and final issuance of the Landmark Alteration Certificate, the applicant shall submit final architectural plans and specifications to the Landmarks design review committee (Ldrc), for its final review and approval to ensure that the final design of the building is consistent with the *General Design Guidelines* and the intent of this approval:
  - a. Redesign of the proposed house to significantly reduce the size and redesign of the rear porch and deck to have a more open railing system, redesign of fenestration on the south portion of the west elevation and south elevation to be more traditionally scaled and proportioned, and eliminate the west facing skylights;
  - b. Determine the appropriateness of metal roofing elements and use of stone on new garage by studying precedence in the district;
  - c. Explore locating the main entrance of the house on the north elevation (facing Pearl Street), increasing the space between the historic barn and garage and change the stone facing on the garage to wood siding;
  - d. Provide details of windows, doors, trim, siding, roofing, material colors/finishes and hardscaping.

## Background & Summary

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- Because the proposal also calls for demolition and free-standing construction of new, free-standing construction more than 340 sq. ft., review by the Landmarks Board in a public hearing is required (9-11-14(b) of the Boulder Revised Code.
- Staff considers that as a result of major non-historic changes to the house, it should be considered non-contributing; likewise the “cottage” accessory building should be considered non-contributing as constructed in 1952, and not within the identified 1874-1906 period-of-significance for the West Pearl Historic District.
- Staff considers the accessory “barn” building, located at the southwest corner of the property, to be contributing as it appears on the 1900 Sanborn Fire Insurance Map

(see figure 10), the 1929 Tax Assessment (see Attachment C) and retains a high degree of historic integrity.

- Staff finds that the proposal to construct a house on the existing foundation generally meets the Standards issuance of a Landmark Alteration Certificate pursuant to 9-11-18(a) & (b)(1)-(4) B.R.C. 1981 and is largely consistent with the *General Design Guidelines* and the *West Pearl Historic Design Guidelines*. With the stated conditions, recommends approval by the Landmarks Board.

### Existing Property Description

- 7000 sq. ft. corner lot in the West Pearl Historic District slopes gently to the southwest and is located in the one hundred-year flood plain.
- Four buildings currently on lot including main house, c.1950 cottage, c.1900 barn and small shed of undetermined age;
- Property takes access from 4<sup>th</sup> Street via mid-lot curb-cut;
- Several matures trees on the lot.



Figure 1. Location map, 406 Pearl Street, West Pearl Historic District, Boulder, CO.



Figure 2. Axiometric View from northwest, 406 Pearl Street, Boulder, CO.



*Figure 3. Tax Assessor Card photograph, c.1949  
Photograph Courtesy the Carnegie Branch Library for Local History*



*Figure 4. Historic Building Inventory Photograph  
Photograph Courtesy the Carnegie Branch Library for Local History*



*Figure 5. 406 Pearl Street, 2018*



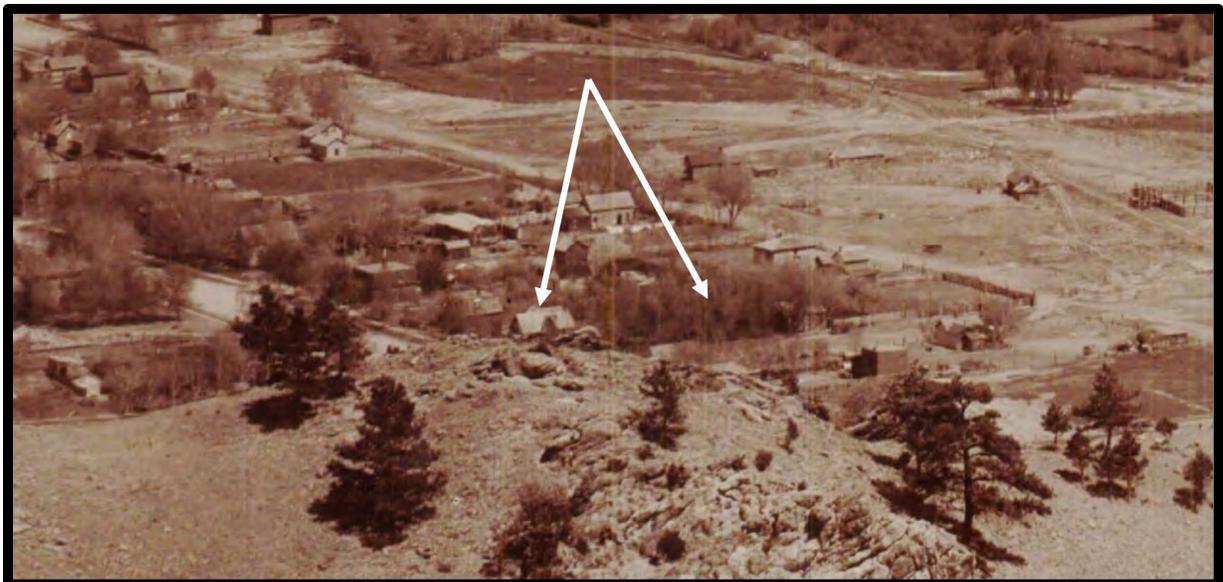
*Figure 6. 406 Pearl Street, looking east from 4<sup>th</sup> Street, 2018*



*Figure 7. view of back yard at 406 Pearl Street looking north with  
c. 1950 cottage (mid-ground) proposed for demolition, 2020*



*Figure 8. South wall of pre-1900 barn with lean-to addition (left) to be rehabilitated and non-historic (right) shed proposed for removal, 2020*



*Figure 9. c.1893 Photograph of Boulder from Red Rocks showing property at 406 Pearl Street  
Photograph Courtesy the Carnegie Branch Library for Local History*

### Property History

- Archival research indicates the one and one half-story vernacular house at 406 Pearl Street was constructed prior to 1893 and by 1900 the property was occupied by George L., his wife Alice (nee Stansbury) Harding, and their daughters Eva and Mildred.
- Born in Cork, Ireland in 1847, George emigrated to the United States with his family in 1861 and settled in Sturgis, Michigan. George graduated from the

University of Michigan in 1874 with an MA and worked for a number of years as a schoolteacher in Minnesota and Ohio.

- George and Alice Stansbury were married in Ligonier, Ohio in 1887 and in 1890 the couple relocated to Longmont, Colorado where George took a position leading the growing city's school system.
- In 1893, George was elected superintendent of Boulder County Schools, representing the Populist party and was re-elected to this position in 1897.
- George and Alice are credited with having been instrumental in securing the Texas Chautauqua's location in Boulder in 1898.<sup>1</sup>
- The house appears to have been either operated as a rooming house or divided into flats beginning around 1901 as evidenced by the number and turnover of occupants listed in the Boulder City Directories beginning in the early 1900s.
- Building permit records indicate that in June of 1953, a permit was issued for construction of a frame storage shed for \$200 (presumably the cottage), and a November 1954 note on the Tax Assessor card (see Attachment C), makes reference to construction of a "12x20 . . . "storage house" with a value of \$200.
- By 1972, the storage house was cited as having been illegally converted for use as housing.
- In 1974 a bay and bedroom addition to the main house was constructed, and in 1982 a permit was issued to "take off and rebuild the second-story".
- The 1988 Historic Building Inventory form (Attachment B) for the property identifies the house as being "masonry vernacular" and by that time it had "been remodeled beyond its historic integrity".

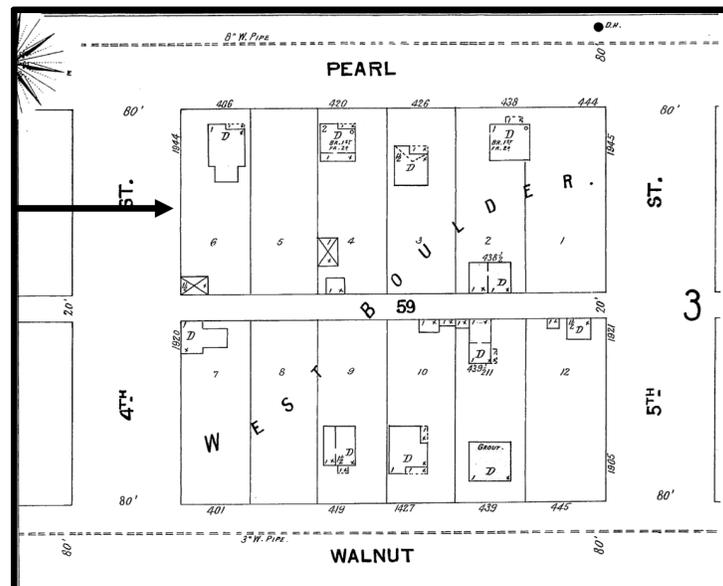


Figure 10. 1900 Sanborn Fire Insurance Map showing footprints of house and barn at 406 Pearl Street

<sup>1</sup> *Portrait and Biographical Record of the State of Colorado*, Chapman Publishing, Chicago, 1899

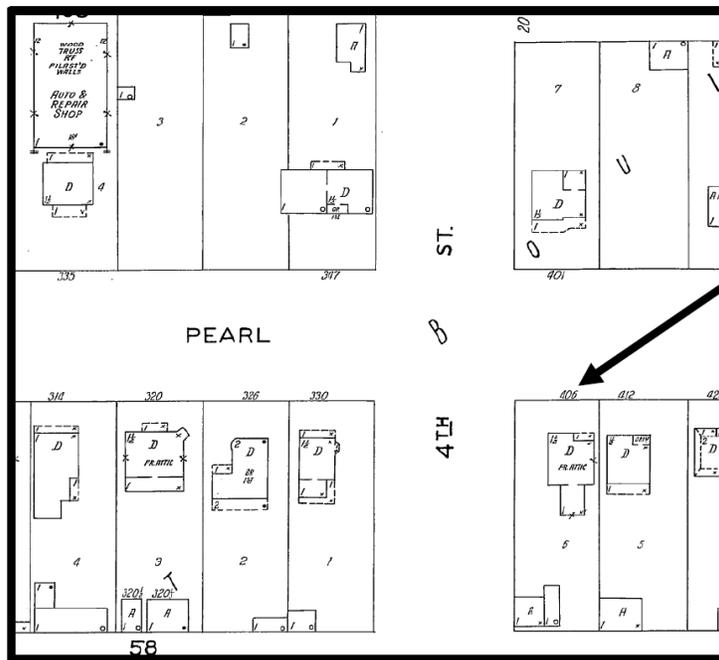


Figure 11. 1930 Sanborn Fire Insurance Map showing footprints of house and barn at 406 Pearl Street



Figure 12. 1958 Aerial Photograph showing house, cottage (center), and barn at 406 Pearl Street

## Description of Proposed Work

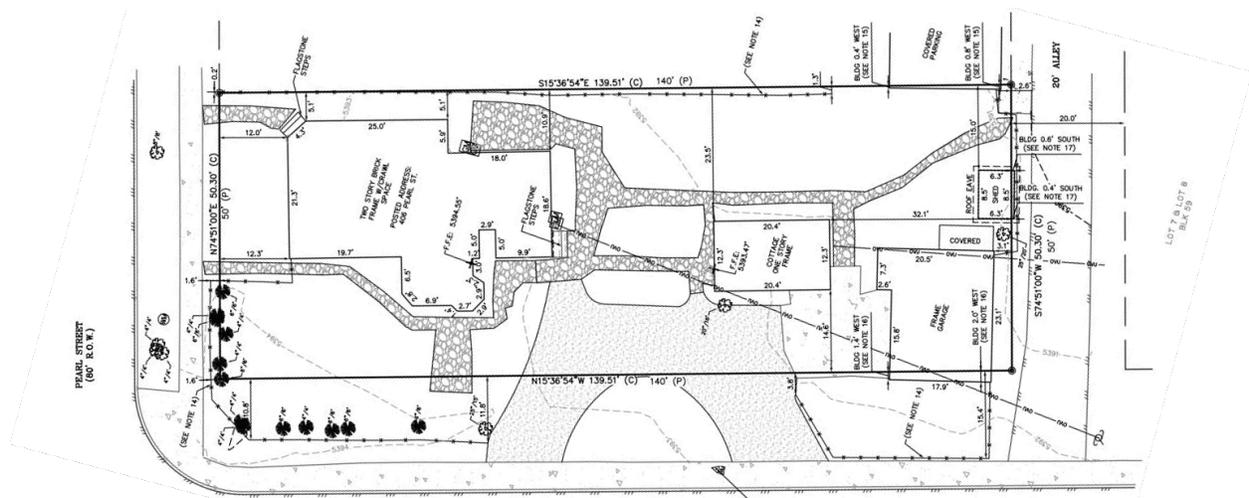


Figure 13. Existing Site Plan. Not to scale.

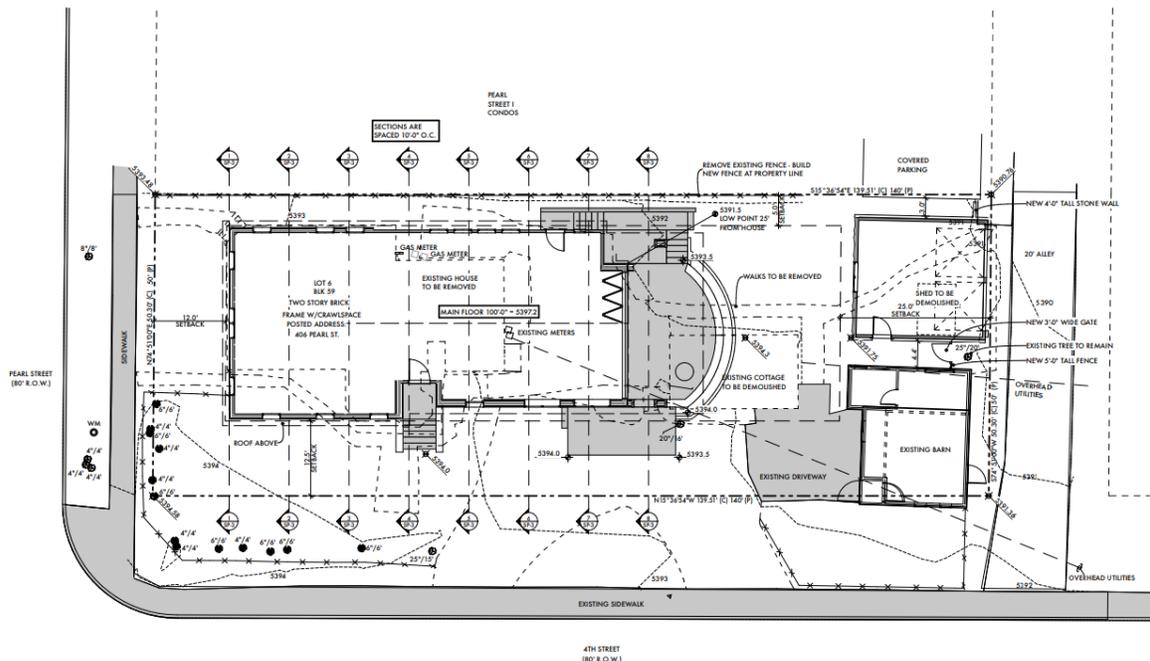


Figure 14. Proposed Site Plan. Not to scale.

## Site Plan

- Demolition of 1,862 sq. ft. existing house; construction of 3,295 sq. ft. one and one-half story house in its place;
- Demolition of 263 sq. ft. cottage;
- Demolition of small shed and construction of 400 sq. ft., two-car garage at southeast corner of property;

- Probable removal of large trees at middle of property and at south of property;
- Removal of hardscaping on property and vacation of curb cut at 4<sup>th</sup> Street.

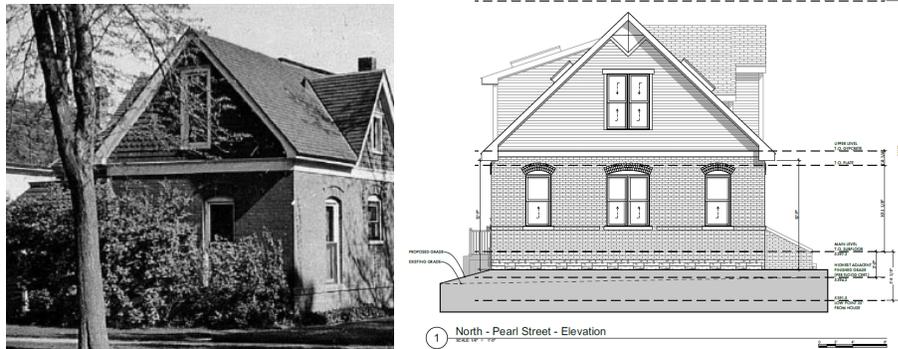


Figure 15. Detail of 1949 Photo of house (left) Proposed North (Pearl Street) Elevation (right).

### Proposed House – North (Pearl Street) Elevation

- Proposed one and one-half story neo-traditional front gable brick and frame design inspired by original house prior to 1982 remodeling (see figure 3;
- North elevation shows 33’ wide exposure along Pearl street with stone clad foundation four double-hung windows set into three segmented arched openings on first floor and pair of double-hung windows on clapboard sided gable end;
- Shown to be approximately 28’ in height when measured from finished grade at north face (first floor of building is required to be elevated above 100-year flood plain).

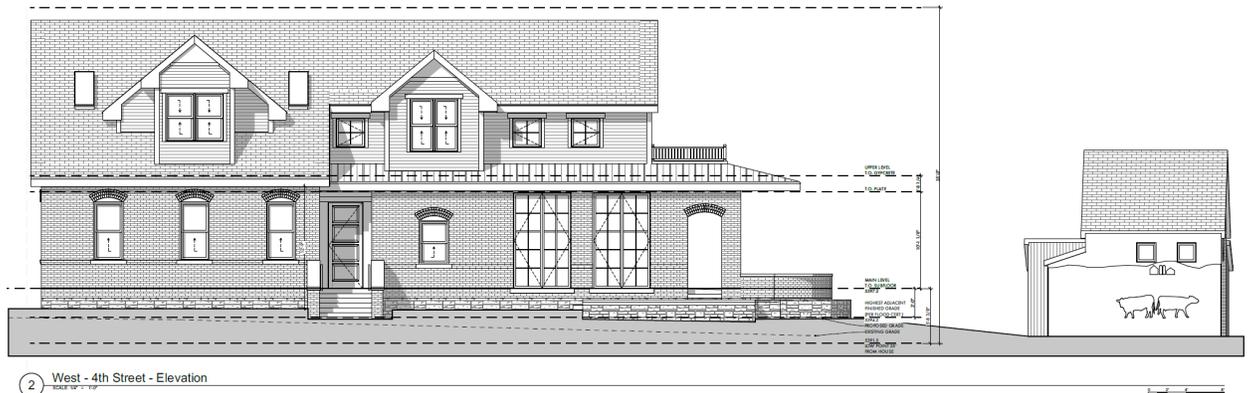


Figure 16. Proposed West (4<sup>th</sup> Street) Elevation.

### House – West (4<sup>th</sup> Street) Elevation

- West elevation features side gable roof punctuated by two gable-roof dormers each with pair of double-hung windows; rear half of house set back several feet east to create second-story knee wall with four-light casement windows;
- North portion of first-floor shown to fenestrated by three punched segmental arch openings each with one-over double-hung sash;

- Main entrance to house at center of west face via steps accessing small portico covering four-light door;
- South portion of wall also shown to feature double-hung window and two pairs floor to ceiling casement windows;
- 10' deep porch (with deck above) shown to be located south end of west wall.



Figure 17. Proposed East (side) Elevation.

### House – East Elevation

- Features a side gable roof punctuated by large shed-roof frame, clapboard sided wall dormer spanning the 1<sup>st</sup> and 2<sup>nd</sup> levels of the house and is fenestrated by set of ten-light casement windows, two sets of mullioned double-hung sash on 2<sup>nd</sup> level, a single door accessing the first level via a small portico and four clerestory casement windows and a small double-hung window.

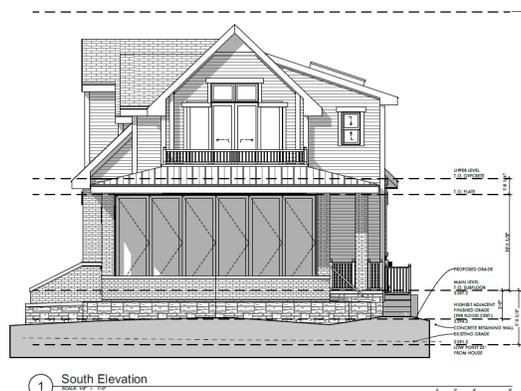


Figure 18. Proposed South (rear) Elevation.

## House – South (rear) Elevation

- Features a large curving deck with brick rail, standing seam roofed porch supported by a brick column (east) and brick wall (west) opening into house by way of set of six floor-to-ceiling nana-doors;
- Upper level features gable with set of French-doors and flanking side lights with transom light opening onto an 8' x 12' deck with railing.

## Proposed Garage

- Proposed free-standing two-car garage located at southeast corner of property, adjacent to the contributing barn and taking access from the alley;
- Bottom four feet of building and east elevation shown to be faced with stone with remain wall area sheathed with clapboard;
- Garage door opening proposed at south and to feature two overhead doors (materials not specified);
- West elevation shown to feature a man door and north face a set of casement windows.

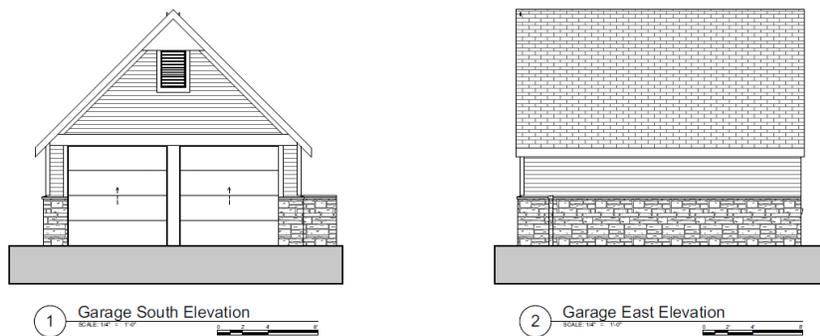


Figure 19. Proposed Garage South (alley) and East (side) Elevations.

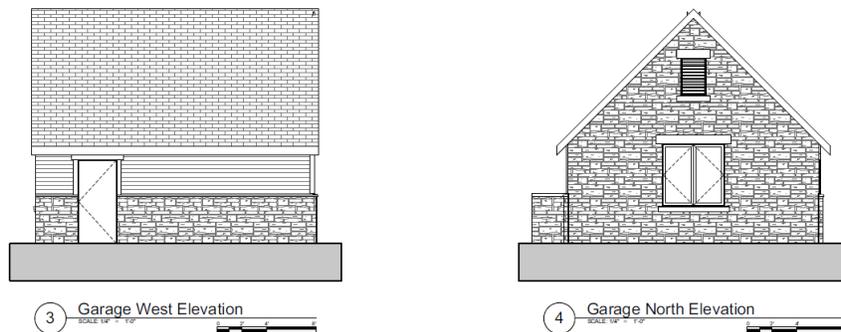


Figure 20. Proposed Garage West (side) and East (yard) Elevations.

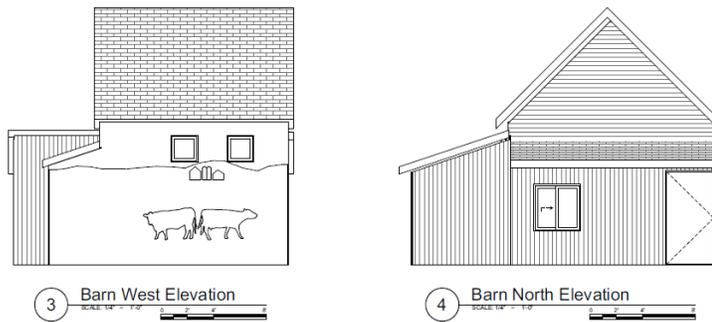
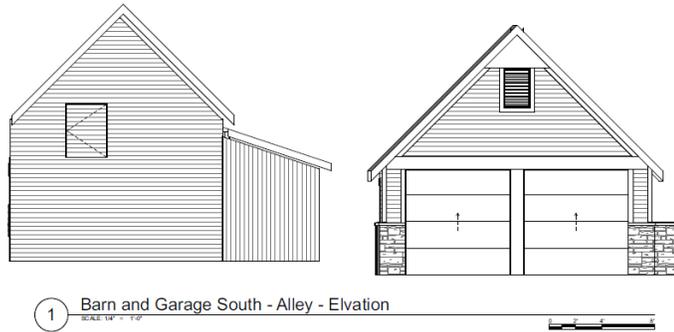


Figure 21. Proposed garage relative to contributing barn

**Public Visibility**

- Located on the southeast corner of Pearl and 4<sup>th</sup> Streets, the property has high public visibility in the West Pearl Historic District.

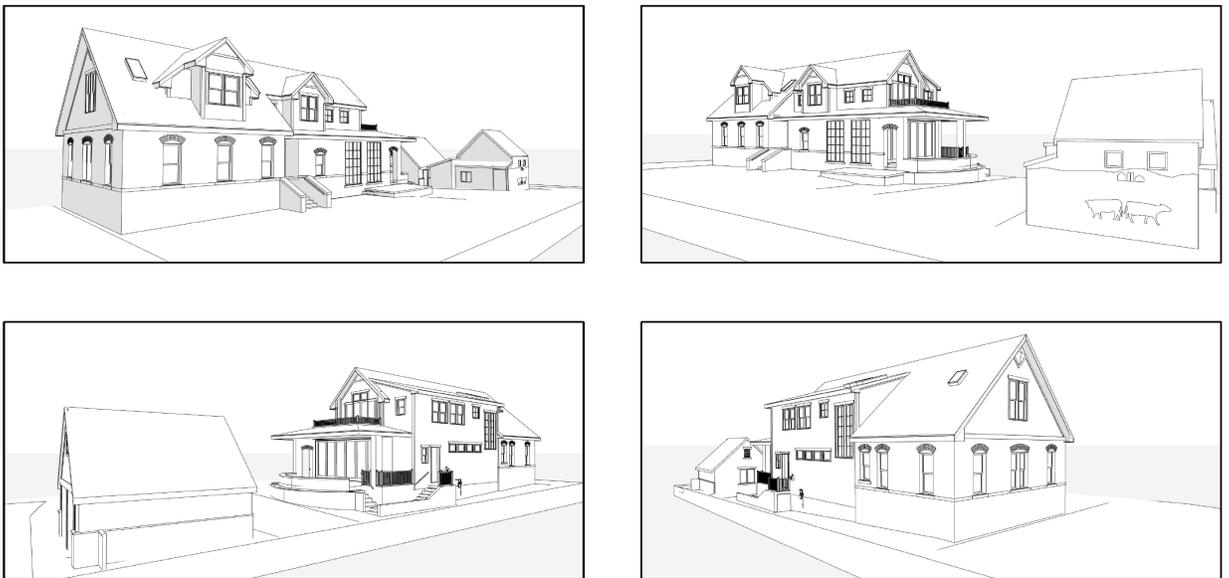


Figure 22. Architectural renderings showing proposed redevelopment of the property

**Criteria for the Board's Decision  
Standards for Landmark Alteration Certificates, 9-11-18, B.R.C., 1981**

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**(a) The Landmarks Board and the City Council shall not approve an application for a Landmark Alteration Certificate unless each such agency finds that the proposed work is consistent with the purposes of this chapter.**

**(b) Neither the Landmarks Board nor the City Council shall approve a Landmark Alteration Certificate unless it meets the following conditions:**

***1. Does the proposed application preserve, enhance, or restore, and not damage or destroy the exterior architectural features of the landmark or the subject property within a historic district?***

Staff finds that if the stated conditions of approval are met, the proposal will be consistent with the purposes of this chapter, in that the new construction will not damage the exterior architectural features of property in the West Pearl Historic District.

***2. Does the proposed application adversely affect the special character or special historic, architectural, or aesthetic interest or value of the district?***

Staff finds that, if the conditions of approval are met, the proposal will not damage or destroy the historic character, interest, or value of the property or district as it will be generally compatible with the *General Design Guidelines* and the *West Pearl Historic District Design Guidelines*.

***3. Is the architectural style, arrangement, texture, color, arrangement of color, and materials used on existing and proposed structures compatible with the character of the historic district?***

Staff finds that, if the conditions of approval are met, the architectural style, arrangement, texture, color, arrangement of color, and materials used in the construction of the proposed additions will be compatible with the character of the landmarked site.

***4. With respect to a proposal to demolish a building in a historic district, the proposed new construction to replace the building meets the requirements of paragraphs (b)(2) and (b)(3) of this section.***

Staff considers that as a result of major remodeling that occurred in 1978 and 1982, including the reconstruction of the second floor, that the main house is historically non-contributing to the West Pearl Historic District. Likewise, staff considers that the 1953 "cottage" was constructed well outside the 1874-1906 period-of-significance for the district. As such, providing the recommended conditions of approval are met, the

demolition of these buildings and proposed new construction will be consistent with 9-11-18 (b)(2) & (3).

**(c) In determining whether to approve a Landmark Alteration Certificate, the Landmarks Board shall consider the economic feasibility of alternatives, incorporation of energy-efficient design and enhanced access for the disabled.**

Information specific to economic feasibility of alternatives, incorporation or energy-efficiency design and enhance access for the disabled was not submitted with the application. The new construction will need to meet the City of Boulder's Energy Conservation Code.

### **Design Guideline Analysis**

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The Historic Preservation Ordinance sets forth the standards the Landmarks Board must apply when reviewing a request for a Landmark Alteration Certificate (LAC). The Board has adopted the *West Pearl District Design Guidelines* and the *General Design Guidelines* to help interpret the ordinance. Design guidelines are intended to be used as an aid to appropriate design and not as a checklist of items for compliance.

### **Summary**

Staff finds that if the following changes are made, the proposed new house, garage and associated hardscaping on the property will be generally compatible and consistent with the standards set forth in Section 9-11-18 of the Boulder Revised Code, the [General Design Guidelines for Boulder's Historic Districts and Individual Landmarks](#) and the [West Pearl Historic District Guidelines](#).

**See Attachment A for a complete analysis of the proposal's compliance with the design guidelines.**

### **General Design Guidelines (Summary)**

- **2.0 Site Design**
  - Staff considers the location of existing and proposed buildings is generally consistent with this section, but recommends the applicant explore relocation the main entrance to Pearl Street. This may be achieved by way of a small inset portico similar to that on the existing house.
  - Staff considers that the curving rear deck/porch be reconfigured and significantly reduced in depth to provide for more garden area between the house and accessory buildings.
  - Staff considers that consideration be given to maintaining the mature tree in the middle of the yard. This may be possible if the deck/porch is reduced as recommended.
  
- **2.1 Building Location, Orientation & Spacing**
  - Proposed house location appropriate, but that main entrance should be from the front (Pearl Street) of the house as suggested above.

- Distance between rear porch/deck significantly increased to provide more rear garden space as suggested above.
  - Distance between the contributing barn and proposed garage should be increased to extent possible.
- **6.1 Distinction from Historic Buildings**
    - The design of the house is a contemporary interpretation of traditional Edwardian Vernacular in terms of mass, scale and, materials. Review fenestration to reduce scale of windows and doors (especially at south end of west face and south elevation).
- **6.2 Site and Setting**
    - The Neo-Traditional design of the building is compatible in terms of setback and orientation.
    - Proposed garage is shown to be located mid-lot adjacent to new curb cut location recommended by the City of Boulder transportation.
- **6.3 Mass & Scale**
    - The proposed scale of main house is somewhat larger than historically found in the historic district, but is generally compatible with surrounding buildings. Staff considers that the rear porch/balcony should be significantly reduced (including redesign of the brick wall with arched opening to be more open) to minimize the mass and scale of the building when viewed from the west and southwest.
    - Proposed two-car garage is appropriate and mass and scale, but efforts should be made to increase space between it and adjacent historic garage.
- **6.4 Materials**
    - Proposed materials including stone, brick, and clapboard all traditionally found in the historic district, though staff considers that use of stone on garage inappropriate.
    - Use of metal roofing elements on house should be analyzed to ensure appropriateness to context of the historic district.
    - Provide detailed information on all materials including proposed siding, wood railings, windows, doors, pathways, driveway, porch for review by the Ldrc.
- **6.5 Key Building Elements**
    - Fenestration on front portion of proposed house generally reflects traditional window patterns though over-scaled windows and doors especially at west and south elevations should be revised.
    - Skylights may not be appropriate on publicly visible areas of roof.

## 7.0 New Accessory Buildings (Summary)

- Proposed garage is shown to be located at rear of lot and is smaller and simpler in design than the main house and historic barn but should not be sided in stone.
- Staff considers that space between barn and new garage should be increased to extent possible. Resolve at Ldrc.

## West Pearl Historic District Design Guidelines

### • F. New Construction

- Proposed design of house incorporates elements of historic house in form and detail, though revisions should be made to fenestration at south portion of west elevation and south face to better integrate design into historic context including more appropriate scaling of windows and doors, significant reduction of rear porch and deck, and fine-tuning of materials.
- Staff considers that large wall dormer at east elevation will have limited (if any public visibility) and that the form and details of this element is generally appropriate.

### • C. Storage Buildings and Garages

- Proposed garage is shown subordinate to and compatible with proposed main house, but consideration should be given to increasing distance between it and historic barn.

## 6.Porches

- Reduction to rear porch/deck size and configuration should also include revisions from brick to lighter wood railing Details of upper porch railing not submitted – resolve at the Ldrc.

## Public Comment

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Staff has received no public comment on this case.

## Findings

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Staff finds that if the stated conditions are met, the proposed demolition of the non-contributing house and cottage and construction of new house and garage at 406 Pine Street will be consistent with purposes of the Historic Preservation Ordinance and meets the standards specified in Section 9-11-18 (b), B.R.C. 1981. The proposed work is also be substantially consistent with the *General Design Guidelines* and the *West Pearl Historic District Design Guidelines*.

Staff recommends the Landmarks Board adopt the following findings:

The Landmarks Board finds that the project meets the standards for issuance of a Landmark Alteration Certificate set forth in Section 9-11-18, "Standards for Landmark Alteration Certificate Applications," B.R.C. 1981. In reaching this conclusion, the Board considers the information in the staff memorandum dated August 12<sup>th</sup>, 2020, and the

evidence provided to the Board at its August 12<sup>th</sup>, 2020 meeting. Specifically, the Board finds, if the stated conditions are met, that:

1. The proposed new house and garage will not damage the historic character of the contributing barn on the property or the immediate streetscape in the historic district and are generally consistent with the *General Design Guidelines* and the *West Pearl Historic District Guidelines*.
2. The proposed work will not adversely affect the historic, architectural, or aesthetic value of the contributing garage and associated hardscaping features on the property or affect the special historic character of the West Pearl Historic District. § 9-11-18(b)(1).
3. The proposed demolition of the main house and cottage on the property as they are not historically contributing to the West Pearl Historic District and the proposed plans for the construction of a new house and garage to replace these buildings meets the requirements of paragraphs (b)(2) and (b)(3) of this section.
4. The architectural style, arrangement, texture, color, arrangement of color, and materials used on the proposed construction will be compatible with the character of the historic district. § 9-11-18(b)(2).

## Attachments

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Attachment A: Design Guideline Analysis

Attachment B: [Historic Building Inventory Form](#) (link)

Attachment C: Tax Assessor Card

Attachment D: Applicant Materials

## General Design Guidelines for Boulder's Historic Districts and Individual Landmarks

### DESIGN GUIDELINES

The Historic Preservation Ordinance sets forth the standards the Landmarks Board must apply when reviewing a request for a Landmark Alteration Certificate and the board has adopted the *General Design Guidelines* to help interpret the ordinance. The following is an analysis of the submitted proposal with respect to relevant guidelines. It is important to emphasize that design guidelines are intended to be used as an aid to appropriate design, and not as a checklist of items for compliance.

The following is an analysis of the proposal's compliance with the applicable design guidelines:

### ***General Design Guidelines for Boulder's Historic Districts and Individual Landmarks***

| <b><i>General Design Guidelines</i></b>                                                                                                                                                                                                                                                                                                                                |                                                                                                                                                                        |                                                                                                                                                                                                                                                                                                                    |                  |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------|
| <b>2.0 Site Design</b>                                                                                                                                                                                                                                                                                                                                                 |                                                                                                                                                                        |                                                                                                                                                                                                                                                                                                                    |                  |
| Site design includes a variety of character-defining elements of our historic districts and building. Individual structures are located within a framework of streets and public spaces that set the context for the neighborhood. How structures occupy their site, in terms of alignment, orientation, and spacing, creates much of the context of the neighborhood. |                                                                                                                                                                        |                                                                                                                                                                                                                                                                                                                    |                  |
|                                                                                                                                                                                                                                                                                                                                                                        | <i>Guideline</i>                                                                                                                                                       | <i>Analysis</i>                                                                                                                                                                                                                                                                                                    | <i>Conforms?</i> |
| .1                                                                                                                                                                                                                                                                                                                                                                     | <i>Locate buildings within the range of alignments as seen traditionally in the area, maintaining traditional setbacks at the front, side and rear of the property</i> | Staff considers that proposed location of house and proposed generally maintains traditional patterns in the area.                                                                                                                                                                                                 | Yes              |
| .2                                                                                                                                                                                                                                                                                                                                                                     | <i>Building proportions should respect traditional patterns in the district</i>                                                                                        | The proposed one and one-half house and garage generally reflect the traditional gable-roofed forms in the district in terms of scale, form, and massing.                                                                                                                                                          | Yes              |
| .3                                                                                                                                                                                                                                                                                                                                                                     | <i>Orient the primary building entrance to the street</i>                                                                                                              | Primary entrance is oriented to 4 <sup>th</sup> Street, where original entrance was at east side of house and accessing to Pearl Street. Consider location the primary entrance onto Pearl Street (possibly at northeast corner of house?) consistent with pattern in the historic district – resolve at the Ldrc. | Maybe            |

|            |                                                                                                                                                                                  |                                                                                                                                                                                                                                                                                       |       |
|------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------|
| .5         | <i>A new porch may encroach into the existing alignment only if it is designed according to the guidelines and if it is appropriate to the architectural style of the house.</i> | Small porch or portico at the front of the proposed house would encroach into the setback, but would be consistent with the historic character of the property and of those contributing to the district – resolve at the Ldrc.                                                       | Maybe |
| .7         | <i>Preserve a backyard area between the house and the garage, maintaining the general proportion of built mass to open space found within the area</i>                           | Removal of non-contributing cottage will provide space between main house and accessory building(s), but the proposed rear deck should be reduced in size to maintain general proportion of backyard space to buildings on contributing properties in the district - resolve at Ldrc. | Maybe |
| 2.2.2      | <i>Preserve street trees whenever possible</i>                                                                                                                                   | At least one mature tree (along 4 <sup>th</sup> Street) is shown to be removed.                                                                                                                                                                                                       | Maybe |
| <b>2.1</b> | <b>Building Alignment, Orientation, and Spacing</b>                                                                                                                              |                                                                                                                                                                                                                                                                                       |       |
| 1.         | <i>Locate Buildings within the range of alignments seen traditionally in the area maintaining traditional setbacks at the front, side and rear of the property.</i>              | Proposed house and new garage are shown to be located within range of alignments seen on contributing properties in the district.                                                                                                                                                     | Yes   |
| .6         | <i>... garages should be located at the rear of of the lot and accessed from the alley.</i>                                                                                      | Proposed garage is shown to be located at the back of the property.                                                                                                                                                                                                                   | Yes   |

|            |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |                                                                                                  |                  |
|------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------|------------------|
| <b>2.3</b> | <b>Site Design: Alleys</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |                                                                                                  |                  |
|            | <p>The alleys in historic districts were traditionally used for secondary access to the houses, for deliveries, and as storage places for horses and buggies, and later, for cars. A view of the backyards from the alleys was maintained. While today's alleys have evolved into use as pedestrian paths for jogging, bicycling and dog walking, they still contribute to the historic character of the neighborhood. They are typically minimally paved.</p> <p>Along the alleys are historic accessory buildings of various shapes and sizes including barns, chicken coops, sheds and small garages. This variety contributes to the general feeling of human scale in the alleys.</p> |                                                                                                  |                  |
|            | <b>Guidelines</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          | <b>Analysis</b>                                                                                  | <b>Conforms?</b> |
| .1         | <i>Maintain alley access for parking and retain the character of alleys as clearly secondary access to properties.</i>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | Proposed new garage takes access from alley – curb cut appears to be vacated as facet of design. | Yes              |

|    |                                                                                                                                                                           |                                                                                                                                                                                                                                                                               |       |
|----|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------|
| .5 | <i>Maintain adequate spacing between accessory building so that the view of the main house is not obscured, and the alley does not evolve into a tunnel-like passage.</i> | The proposed new garage is shown to be approximately 4' east of existing barn. Consider options to increase space between existing and proposed buildings (i.e. locating proposed building at east lot line) to create more permeability into the property – resolve at Ldrc. | Maybe |
|----|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------|

### 6.0 New Primary Buildings

New construction within a historic district can enhance the existing district character if the proposed design and its siting reflect an understanding of and a compatibility with the distinctive character of the district. While new construction should fit into the historic character of the district or site, it should not replicate historic styles. Instead, new buildings should relate to the fundamental characteristics of the historic district or landmark site while also conveying a contemporary style. New buildings should not overshadow existing historic structures. Fundamental characteristics to be considered in designing compatible new buildings include: site and setting, building size and proportions, materials, and the placement and style of doors and windows.

The primary focus in reviewing new structures will be on aspects that are visible from public streets. The guidelines will be applied most stringently to these publicly visible areas. More flexibility will be allowed for rear elevations and other areas largely screened from public view.

### 6.1 Distinction from Historic Buildings

The replication of historic architecture in new construction is inappropriate, as it can create a false historic context and blur the distinction between old and new buildings. While new structures must be compatible with the historic context, they must also be recognizable as new construction.

|    | <i>Guideline</i>                                                                        | <i>Analysis</i>                                                                                                                                                                                                       | <i>Conforms?</i> |
|----|-----------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------|
| .1 | <i>Create compatible contemporary interpretations of historic elements.</i>             | The design of the proposed house is a contemporary interpretation of traditional Edwardian Vernacular in terms of mass, scale and, materials. Review exterior materials, fenestration and design details at the Ldrc. | Yes              |
| .2 | <i>Interpretations of historic styles may be appropriate if distinguishable as new.</i> | Proposed design of the house contemporary interpretation of the Edwardian Vernacular. Review exterior materials, fenestration and design details at the Ldrc.                                                         | Yes              |

### 6.2 Site and Setting

New buildings should be designed and located so that significant site features, including mature trees, are not lost or obscured. The size of the new structures should not overpower the site or dramatically alter its historic character. Buildings within historic districts generally display a consistency in setback, orientation, spacing and distance

|  | <i>Guideline</i> | <i>Analysis</i> | <i>Conforms?</i> |
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|    |                                                                                                                      |                                                                                                                                                                                                                                           |                         |
|----|----------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------|
| .1 | <i>Conform to Section 2.0 Site Design.</i>                                                                           | See above for analysis.                                                                                                                                                                                                                   | See above for analysis. |
| .2 | <i>Overall character of site is retained.</i>                                                                        | Residential character will be retained, with similar setbacks.                                                                                                                                                                            | Yes                     |
| .3 | <i>Compatible with surrounding buildings in setback, orientation, spacing, and distance from adjacent buildings.</i> | The Neo-Traditional design of the building is compatible in terms of setback, orientation, spacing and distance from adjacent buildings – see 2.3.5 above for recommendation regarding spacing between accessory buildings.               | Yes                     |
| .4 | <i>Proportion of built mass to open space not significantly different from contributing buildings.</i>               | While proposed site design appears to preserve general proportion of built mass to open space, staff considers that large rear porch/deck area should be significantly reduced in depth to provide more back yard area – resolve at Ldrc. | Maybe                   |

### 6.3 Mass and Scale

In considering the overall compatibility of new construction, its height, form, massing, size and scale will all be reviewed. The overall proportion of the building's front façade is especially important to consider since it will have the most impact on the streetscape. While new construction tends to be larger than historic buildings, reflecting the needs and desires of the modern homeowner, new structures should not be so out-of-scale with the surrounding buildings as to loom over them.

|    | <i>Guideline</i>                                                                                         | <i>Analysis</i>                                                                                                                                                                                                                                                             | <i>Conforms?</i> |
|----|----------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------|
| .1 | <i>Compatible with surrounding buildings in terms of height, size, scale, massing, and proportions.</i>  | While the proposed mass and scale of main house is larger than contributing houses in the district given its immediate context, staff considers it will be compatible with surrounding buildings. Proposed two-car garage is in scale with accessory buildings in the area. | Maybe            |
| .2 | <i>Mass and scale of new construction should respect neighboring buildings and streetscape.</i>          | Proposed massing of the new house generally respects the neighboring buildings and streetscape.                                                                                                                                                                             | Yes              |
| .3 | <i>Historic heights and widths as well as their ratios maintained, especially proportions of façade.</i> | General proportions of the façade elements are generally consistent with those found in the district.                                                                                                                                                                       | Yes              |

### 6.4 Materials

|  | <i>Guideline</i> | <i>Analysis</i> | <i>Conforms?</i> |
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|                                                                                                                                                                                                                                                                                                                                                                           |                                                                                                                                                                                                                                                                                    |                                                                                                                                                                                                                                                                                                                                                |                  |
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| .1                                                                                                                                                                                                                                                                                                                                                                        | <i>Materials should be similar in scale, proportion, texture, finish, and color to those found on nearby historic structures.</i>                                                                                                                                                  | Proposed materials include stone, brick, clapboard, and asphalt shingles, are all traditionally found in the historic district. Staff considers that use of stone (especially on garage), may not be appropriate and that utilization of standing seam metal roofing elements on house may not be appropriate - resolve at Ldrc.               | Maybe            |
| .2                                                                                                                                                                                                                                                                                                                                                                        | <i>Maintain a human scale by avoiding large, featureless surfaces and by using traditionally sized building components and materials.</i>                                                                                                                                          | Some window and door openings at sides and rear of proposed house appear to be over-scaled in comparison with historic properties in the district – resolve at the Ldrc.                                                                                                                                                                       | Maybe            |
| <p><b>6.5 Key Building Elements</b></p> <p>Roofs, porches, dormers, windows and doors are some of the most important character-defining elements of any building. As such, they require extra attention to assure that they complement the historic architecture. In addition to the guidelines below, refer also to Section 3.0 Alterations for related suggestions.</p> |                                                                                                                                                                                                                                                                                    |                                                                                                                                                                                                                                                                                                                                                |                  |
|                                                                                                                                                                                                                                                                                                                                                                           | <i>Guideline</i>                                                                                                                                                                                                                                                                   | <i>Analysis</i>                                                                                                                                                                                                                                                                                                                                | <i>Conforms?</i> |
| .1                                                                                                                                                                                                                                                                                                                                                                        | <i>Design the spacing, placement, scale, orientation, proportion, and size of window and door openings in new structures to be compatible with the surrounding buildings that contribute to the historic district, while reflecting the underlying design of the new building.</i> | Fenestration generally reflects traditional window patterns on northern portion of proposed house, though fenestration of southern portion of house (especially on highly visible 4 <sup>th</sup> Street and south elevations) may be inconsistent with window and door patterns found on historic buildings in the district. Resolve at Ldrc. | Maybe            |
| .2                                                                                                                                                                                                                                                                                                                                                                        | <i>Select windows and doors for new structures that are compatible in material, subdivision, proportion, pattern and detail with the windows and doors of surrounding buildings that contribute to the historic district</i>                                                       | See .1 above.                                                                                                                                                                                                                                                                                                                                  | Maybe            |
| .3                                                                                                                                                                                                                                                                                                                                                                        | <i>New buildings should use a roof form found in the district or on the landmark site</i>                                                                                                                                                                                          | One and one-half front gable roof form of the house generally references the Edwardian Vernacular, a prevalent form in the district.                                                                                                                                                                                                           | Yes              |

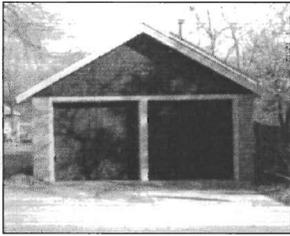
|            |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |                                                                                                                                                                                                                                                                               |       |
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| .4         | <i>Porches should be compatible in massing and details to historic porches in the district and should be appropriate to the style of the house.</i>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           | No front porch proposed (see 2.2 & 2.3 above) in consideration main entrance and possible portico facing Pearl Street consistent with historic condition. Resolve at the Ldrc.                                                                                                | Maybe |
| <b>7.0</b> | <b>Garages &amp; Other Accessory Structures</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |                                                                                                                                                                                                                                                                               |       |
|            | <p><i>Accessory buildings include barns, sheds, garages and outbuildings. Originally accessory buildings were used for storage of equipment, animals, or carriages. Generally, these buildings have been adapted for the storage of cars. In most cases, accessory buildings were located to the rear of the lot and accessed by alleys. They were subordinate in size and detailing to the primary house. Over time they have emerged as important elements of many lots and alleys in the district. Efforts should be made to protect the eclectic character of alleys.</i></p> <p><i>Both additions to existing accessory buildings and new accessory buildings will be evaluated in terms of how they affect the historic character of the individual site and the district as a whole. In the past, larger accessory structures have been allowed than may be appropriate today.</i></p> |                                                                                                                                                                                                                                                                               |       |
| <b>7.2</b> | <b>New Accessory Buildings</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |                                                                                                                                                                                                                                                                               |       |
|            | <p><i>New accessory buildings should follow the character and pattern of historic accessory buildings. While they should take design cues from the primary buildings, they must be subordinate in size, massing, and detailing. Alley buildings should maintain a scale that is pleasant to walk along and comfortable for pedestrians.</i></p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |                                                                                                                                                                                                                                                                               |       |
|            | <b>Location and Orientation</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |                                                                                                                                                                                                                                                                               |       |
| .1         | <i>It is inappropriate to introduce a new garage or accessory building if doing so will detract from the overall historic character of the principal building, and the site, or if it will require removal of a significant historic building element or site feature, such as a mature tree.</i>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             | At least one mature tree appears to be removed as part of development. Consider ways to preserve trees (including significant reduction of rear deck) to preserve tree(s). Resolve at the Ldrc.                                                                               | Maybe |
| .2         | <i>New garages and accessory buildings should generally be located at the rear of the lot, respecting the traditional relationship of such buildings to the primary structure and the site.</i>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | Staff considers that the proposed location of the proposed new garage at the rear of the lot is appropriate.                                                                                                                                                                  | Yes   |
| .3         | <i>Maintain adequate spacing between accessory buildings so alleys do not evolve into tunnel-like passageways.</i>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            | The proposed new garage is shown to be approximately 4' east of existing barn. Consider options to increase space between existing and proposed buildings (i.e. locating proposed building at east lot line) to create more permeability into the property – Resolve at Ldrc. | Maybe |
| .4         | <i>Preserve a backyard area between the house and the accessory buildings, maintaining the general proportion of built mass to open space found within the area.</i>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          | While proposed site design appears to preserve general proportion of built mass to open space, staff considers that large rear porch/deck area should be                                                                                                                      | Maybe |

|                                |                                                                                                                                                                                                                              |                                                                                                                                                                                                                                                                        |       |
|--------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------|
|                                |                                                                                                                                                                                                                              | significantly reduced in depth to provide more back yard area – resolve at Ldrc.                                                                                                                                                                                       |       |
| <b>Mass and Scale</b>          |                                                                                                                                                                                                                              |                                                                                                                                                                                                                                                                        |       |
| .5                             | <i>New accessory buildings should take design cues from the primary building on the property, but be subordinate to it in terms of size and massing.</i>                                                                     | Proposed 400 sq. ft. garage subordinate to proposed primary house, and generally compatible with it in terms of form and proportion. Resolve at Ldrc.                                                                                                                  | Yes   |
| .6                             | <i>New garages for single-family residences should generally be one story tall and shelter no more than two cars. In some cases, a two-car garage may be inappropriate.</i>                                                  | See .5 Above                                                                                                                                                                                                                                                           | Yes   |
| .7                             | <i>Roof form and pitch should be complementary to the primary structure.</i>                                                                                                                                                 | Roof pitch of proposed garage is complementary to main house and historic barn.                                                                                                                                                                                        | Yes   |
| <b>Materials and Detailing</b> |                                                                                                                                                                                                                              |                                                                                                                                                                                                                                                                        |       |
| .8                             | <i>Accessory structures should be simpler in design and detail than the primary building.</i>                                                                                                                                | Proposed garage is smaller and simpler in design than the main house and generally compatible with the character of the adjacent contributing barn. Consider eliminating stone siding and increasing space between these buildings - see 2.3.5 above. Resolve at Ldrc. | Maybe |
| .9                             | <i>Materials for new garages and accessory structures should be compatible with those found on the primary structure and in the district. Vinyl siding and prefabricated structures are inappropriate.</i>                   | Use of stone on proposed garage is inconsistent with frame/clapboard construction of historic barn. Revise to use wood siding to ensure that new accessory building is subordinate to barn. Resolve at Ldrc.                                                           | Maybe |
| .10                            | <i>Windows, like all elements of accessory structures, should be simpler in detailing and smaller in scale than similar elements on primary structures.</i>                                                                  | Windows are shown to be simple in design.                                                                                                                                                                                                                              | Yes   |
| .12                            | <i>Garage doors should be consistent with the historic scale and materials of traditional accessory structures. Wood is the most appropriate material and two smaller doors may be more appropriate than one large door.</i> | Overhead garage doors shown – details not provided. Resolve at the Ldrc.                                                                                                                                                                                               | Maybe |
| .13                            | <i>It is inappropriate to introduce features or details to a garage or an accessory building in an attempt to create a false historical appearance.</i>                                                                      | Building design is of its own time and will not create a false sense of history.                                                                                                                                                                                       | Yes   |

**West Pearl Historic District Guidelines**

The following section is an analysis of the proposal relative to the [West Pearl Historic District Design Guidelines](#). Only those guidelines that further the analysis of the proposed project are included and those that reflect what has been evaluated in the previous section are not repeated.

|                                                          |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |                                                                                                                                                                                                                                                  |                  |
|----------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------|
| <p><i>Site Planning</i></p> <p><b>1. Streetscape</b></p> |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |                                                                                                                                                                                                                                                  |                  |
| <b>A.</b>                                                | <p>When Town of West Boulder was platted in 1874, lots were consistent in size with those in other parts of town (50' x 140'). Rights-of-way were 80 feet wide with alleys running parallel at intervals of 140 feet. The alleys cut through the blocks from west to east. There were sweeping views towards the mountains through the alleys and down Pearl Street and Canyon Boulevard.</p>                                                                                                                                                                                                                                              |                                                                                                                                                                                                                                                  |                  |
|                                                          | <b>Guideline</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           | <b>Analysis</b>                                                                                                                                                                                                                                  | <b>Conforms?</b> |
| a.                                                       | <p><b>Alignment (Setbacks):</b> The houses are set back at varying though similar distances from the street. The general impression is that the setback from the street is relatively uniform, and that the houses are quite close to the street.</p>                                                                                                                                                                                                                                                                                                                                                                                      | <p>Proposed setback and location of house is generally consistent with historic properties in the district.</p>                                                                                                                                  | Yes              |
| b.                                                       | <p><b>Spacing:</b> The distance between the houses vary, with some quite close to one another. Generally, however, each house is set off from its neighbor and appears to be a unique structure.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                       | <p>Proposed spacing between proposed house and large non-contributing property to the east is consistent with historic condition on property and in the district.</p>                                                                            | Yes              |
| c.                                                       | <p><b>Openness:</b> Lawns and low plantings define open spaces between the street and the houses. There are few front yard fences or landscaping which obscures the view of the building from the street.</p>                                                                                                                                                                                                                                                                                                                                                                                                                              | <p>Little information provided about proposed landscaping and hardscaping. Review at Ldrc.</p>                                                                                                                                                   | Maybe            |
| d.                                                       | <p><b>Site:</b> Traditional settlement patterns placed the house at the front of the lot, with the entrance oriented to the street. Accessory buildings such as barns, chicken coops, sheds and, later, garages were located at the rear of the lot with access from the alleys. Historically, there were no curb cuts from the front of the lot. Sidewalks paralleled streets with a planting strip between the sidewalk and the street. Generally, individual sidewalks approaching the houses were perpendicular to the main sidewalk. Originally, the sidewalks were made of local red flag stone of which only a few exist today.</p> | <p>While proposed site design appears to preserve general proportion of built mass to open space, staff considers that large rear porch/deck area should be significantly reduced in depth to provide more back yard area – resolve at Ldrc.</p> | Maybe            |
| <b>C.</b>                                                | <p><i>Storage Buildings, Garages and Carports</i></p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |                                                                                                                                                                                                                                                  |                  |

|    |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |                                                                                                                                                                                                                        |                  |
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|    | <p>Historic accessory buildings help define the special character of the West Pearl Historic District. Various historic accessory buildings are for storage, and some have been adapted as garages. These barns, sheds, or early garages are small in scale, secondary to the main building, and located at the rear of the lot. They are one story, and where they hold more than one car, they have individual doors for each bay. If a historic accessory building is to be altered, changes should respect the historic character of the building.</p> <p>There are a few larger garages with large garage doors, and some carports, but they are newer and do not contribute to the historic character of the district.</p> |                                                                                                                                                                                                                        |                  |
|    | <b>Guideline</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | <b>Analysis</b>                                                                                                                                                                                                        | <b>Conforms?</b> |
| 2. | <p>If a new accessory structure is to be constructed, design ideas might be found in existing historic accessory buildings located nearby. The new building should be secondary to the main house and smaller in scale and mass.</p>  <p>The scale of this garage respects the character of the alley.</p>                                                                                                                                                                                                                                                                                                                                      | <p>Proposed garage is shown subordinate to and compatible with proposed main house but consideration should be given to increasing distance between it and historic barn – see 7.2.8 above.</p>                        | Maybe            |
| 3. | <p>New garages should generally be one story tall and shelter no more than two cars. They should be simpler in design and detail than the main building.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | <p>Proposed garage is one-story and simpler in than house, though use of stone should be reconsidered to ensure it is subordinate to proposed brick &amp; frame house and contributing wood barn. Resolve at Ldrc.</p> | Maybe            |
| 4. | <p>Garage doors should be painted or stained wood. The use of two smaller garage doors rather than one large door is encouraged because it is in keeping with the existing small scale of the neighborhood.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  | <p>Overhead garage doors shown – details not provided. Resolve at the Ldrc.</p>                                                                                                                                        | Maybe            |
| 8. | <p>Strongly horizontal or vertical facades should be avoided unless they are compatible with the character of the structures in the immediate area.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          | <p>Massing of proposed garage is compatible with historic accessory buildings in the district.</p>                                                                                                                     | Yes              |

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|  | <p><b>F. New Construction</b></p> <p>The historic character of the West Pearl Historic District is derived from the small scale of the buildings, the spacing and site layout, and the general openness of the neighborhood. Designing new in-fill projects presents a challenging opportunity to maintain the historic character of the district.</p> |
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|           | Guideline                                                                                                                                                                                                                                                    | Analysis                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             | Conforms? |
|-----------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------|
| 2.        | New construction should respect the historic character of the district and incorporate the elements which contribute to this character such as mass, rooflines, windows, doors, bays and porches. Modern expressions of traditional elements are encouraged. | Proposed design of house incorporates elements of historic house in form and detail. Staff considers that revisions should be made to fenestration at south portion of west elevation and south face to better integrate design into historic context. This should include more appropriate scaling of windows and doors, significant reduction of rear porch and deck, and fine-tuning of materials. Staff considers that large wall dormer at east elevation will have limited (if any public visibility) and that the form and details of this element is generally appropriate. Resolve at Ldrc. | Maybe     |
| 4.        | New construction should be compatible with the traditional elements of existing historic buildings, respect the traditional spacing and massing of the existing buildings in the district, and be sensitive to their surroundings.                           | See. 2 Above.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        | Maybe     |
| 7.        | The use of building materials that have traditional dimensions is encouraged, such as standard sized brick, lap siding with a traditional dimension facing the weather, and appropriately sized roofing materials.                                           | Use of metal roofing may be inappropriate and use of stone on house should be minimized. Proposed garage should be redesigned with wood siding to ensure subordinate to historic barn.                                                                                                                                                                                                                                                                                                                                                                                                               | Maybe     |
| 8.        | Strongly horizontal or vertical facades should be avoided unless they are compatible with the character of the structures in the immediate area.                                                                                                             | Large vertical openings (especially on west and south faces of house) should be revised. Review at the Ldrc.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         | Maybe     |
| <b>H.</b> | <b>Architectural Features</b>                                                                                                                                                                                                                                |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |           |

| <p><b>1. Rooflines, Skylights, and Dormers</b></p> <p>The historic roof forms in the West Pearl Historic District are generally simple. There are examples of gable-end roofs, hipped roofs and a mansard roof. Skylights have no historic precedence in the district. Dormers were used historically to increase usable space of the upper floor of houses in the district.</p> |                                                                                                                                                                                                                                                                                           |                                                                                                                                                                                                                                       |           |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------|
|                                                                                                                                                                                                                                                                                                                                                                                  | Guideline                                                                                                                                                                                                                                                                                 | Analysis                                                                                                                                                                                                                              | Conforms? |
| 2.                                                                                                                                                                                                                                                                                                                                                                               | New construction should use historic roof forms found in the district.                                                                                                                                                                                                                    | One and one-half story gable roof form is generally consistent with forms in the historic district.                                                                                                                                   | Yes       |
| 3.                                                                                                                                                                                                                                                                                                                                                                               | Roof decks are appropriate only when they are an integral part of the roof design.                                                                                                                                                                                                        | Proposed roof deck over rear balcony appears integral to the roof design and appropriately scaled.                                                                                                                                    | Yes       |
| 5.                                                                                                                                                                                                                                                                                                                                                                               | Skylights which are installed on the historic portion of a building should be as unobtrusive as possible and not visible from a public street. Flat skylights that blend with the roof are most appropriate. Sculptural skylights or bubble type skylights are inappropriate.             | Skylights facing 4 <sup>th</sup> Street may be inconsistent with this guideline. Resolve at the Ldrc.                                                                                                                                 | Maybe     |
| 7.                                                                                                                                                                                                                                                                                                                                                                               | Dormer styles should be appropriate to the style of the building, and compatible to the main roof form. Dormer ridge lines should be lower than the main roof ridge.                                                                                                                      | Staff considers that in general publicly visible dormers consistent and that large wall dormer at east elevation will have limited (if any public visibility) and that the form and details of this element is generally appropriate. | Yes       |
| 3.                                                                                                                                                                                                                                                                                                                                                                               | <p><b>Windows are character-defining features of historic buildings. Generally, fenestration patterns found in the district are regularly spaced and punched into the exterior walls. Windows are vertical in proportion, double hung and generally one-over-one or two-over-two.</b></p> |                                                                                                                                                                                                                                       |           |
|                                                                                                                                                                                                                                                                                                                                                                                  | Guideline                                                                                                                                                                                                                                                                                 | Analysis                                                                                                                                                                                                                              | Conforms? |
| e.                                                                                                                                                                                                                                                                                                                                                                               | Metal window frames are generally inappropriate. If they are used, they should not be left bright, but should be anodized in a dark finish or painted as recommended by the manufacturer.                                                                                                 | Side wall of the contributing garage faces onto alley; garage is accessed by 9 <sup>th</sup> Street curb cut that is proposed for removal. Garage access from alley not possible.                                                     | Yes       |

|    |                                                                                                                                                                                                                                                                                                                                                                                                                                                                |                                                                                                                                                                                             |                         |
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| g. | Windows in a new building or an addition should reflect the fenestration patterns of the district.                                                                                                                                                                                                                                                                                                                                                             | Existing contributing garage on alley will be preserved.                                                                                                                                    | Yes                     |
| i. | Window openings should relate to floor levels and, except at stairways, should not occur between floors.                                                                                                                                                                                                                                                                                                                                                       | Existing contributing garage on alley will be preserved.                                                                                                                                    | Yes                     |
| j. | Picture windows, large walls of glass, snap-in mullions, and pre-fabricated bay windows are generally inappropriate.                                                                                                                                                                                                                                                                                                                                           | Floor-to-ceiling windows and nana doors should be scaled more appropriately – material details of windows and doors not submitted – review at Ldrc.                                         | Maybe                   |
| 6. | <p><b>Porches</b></p> <p>Porches are important character-defining features, both for individual structures and for the entire West Pearl Historic District. Porches were generally small and shallow, extending no more than 5 to 6 feet into the yard. Traditionally columns were often turned and round or built-up and square. Balusters were usually turned or simple square members. Wrap-around porches were not historically found in the district.</p> |                                                                                                                                                                                             |                         |
|    | <b>Guideline</b>                                                                                                                                                                                                                                                                                                                                                                                                                                               | <b>Analysis</b>                                                                                                                                                                             | <b>Meets Guideline?</b> |
| e. | Porch railings and balusters should be wood. Wrought iron porch elements are inappropriate in the district.                                                                                                                                                                                                                                                                                                                                                    | Reduction to rear porch/deck size and configuration should also include revisions from brick to lighter wood railing<br>Details of upper porch railing not submitted – resolve at the Ldrc. | Maybe                   |
| f. | Open areas below a porch floor should be enclosed with wood lattice or perimeter shrubbery.                                                                                                                                                                                                                                                                                                                                                                    | See e. above                                                                                                                                                                                | Maybe                   |
| g. | New porches should incorporate traditional massing and updated details in the design.                                                                                                                                                                                                                                                                                                                                                                          | See e above.                                                                                                                                                                                | Yes                     |

**7. Decks and Balconies**

Balconies are elements which were found on historic buildings. Only one building in the West Pearl Historic District has an original balcony. Decks are a modern expression of porches. Decks do not contribute to the historic character of the district; therefore, great care must be used to ensure that they will not have a negative effect on the character of the district. Elements which need to be carefully considered are size, railing design and height, height off the ground, placement on the site, materials and finishes. Roof decks are not found historically in the district and are inappropriate.

|    | <i>Guideline</i>                                                                                                                                                                                                | <i>Analysis</i>                                                                                  | <i>Conforms?</i> |
|----|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------|------------------|
| .a | First floor decks should be unobtrusive and low to the ground. Railings should continue the traditional line and spacing of existing balustrades.                                                               | See 6e. above                                                                                    | Maybe            |
| .c | Second story balconies and decks should not be cantilevered and should have appropriately scaled supports. Whenever possible, second story decks should be incorporated into the roof and mass of the building. | Proposed second-story rear balcony appears integral to the roof design and appropriately scaled. | Yes              |

Undiv 1/2 Int Anthony J & Vera C Amiano *Reps 1949*  
 Undiv 1/2 Int F.A. Julius & Kathleen F Cleaver  
 Re-Appraised 1934

**BOULDER COUNTY REAL ESTATE APPRAISAL**

OWNER *Essie M. Cowles*

HOUSE No. *406* STREET *Pearl* CITY

LOTS *6* BLOCK *59* ADDITION

Year Constructed *1940* Est. Life in Years

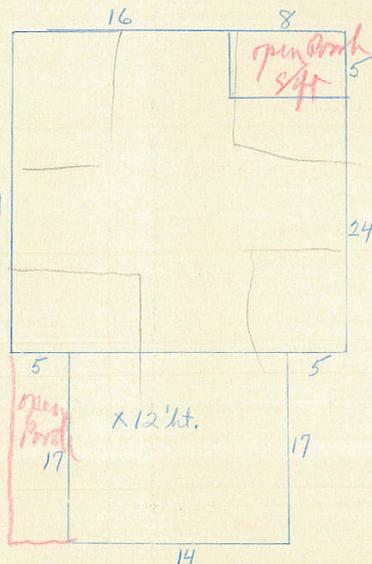


**ESTIMATE OF VALUATION**

|                                  | BLDG. PART A   | BLDG. PART B   | GARAGE        |
|----------------------------------|----------------|----------------|---------------|
| No. Cubic Feet                   | <i>12600</i>   | <i>12600</i>   |               |
| Cost per cu. ft. <i>20</i>       | <i>18</i>      | <i>20</i>      |               |
| Total Cost                       | \$ <i>2268</i> | \$ <i>2520</i> | \$            |
| Porches                          |                |                |               |
| Garage                           |                |                |               |
| Extras                           |                |                |               |
| <b>TOTAL</b>                     | \$ <i>2268</i> | \$ <i>2520</i> | \$            |
| % Obsolescence                   |                |                |               |
| <i>60%</i> % Physical Dep.       | <i>1360</i>    | <i>1510</i>    |               |
| Net After Deducting Depreciation | \$ <i>908</i>  | \$ <i>1010</i> | \$ <i>200</i> |
| <i>30%</i> % Utility Dep.        | \$ <i>268</i>  |                |               |
| <b>PRESENT VALUE</b>             | \$ <i>640</i>  |                | \$            |

*20x16  
20x12*

**BUILDING PLAN**



*24x29x14 = 9744  
14x17x12 = 2856  
12600 cu. ft.*

*Have old priv porch + about 12x17 storage house + 200*

| DESCRIPTION     |                |                |                 |
|-----------------|----------------|----------------|-----------------|
| Class of Bldg.  | <i>D</i>       | Basement       | <i>No</i>       |
| Construction    | <i>Brick</i>   | Roof           | <i>Shingle</i>  |
| Char. of Const. | <i>Med.</i>    | Heating        | <i>Stove</i>    |
| Exterior        | <i>Brick</i>   | Plumbing       | <i>Med. Mod</i> |
| Interior Finish | <i>Plaster</i> | Light          | <i>Elec.</i>    |
| Floors          | <i>Soft</i>    | Priv. Garage   | <i>No Value</i> |
| Stories         | <i>1 1/2</i>   | Barns or Sheds | <i>—</i>        |
| Fire Resisting  | <i>No</i>      | State of Reps. | <i>Fair</i>     |
| Foundation      | <i>Stone</i>   | Local Imps.    | <i>Part</i>     |

**4/14/52 Repairs SUMMARY**

| DESCRIPTION                       | AMOUNT |
|-----------------------------------|--------|
| Building Permit                   | \$     |
| Original Cost, Improvements Only  | \$     |
| Additions and Betterments         | \$     |
| Owner's Estimate of Present Value | \$     |
| Private Appraisal                 | \$     |
| Insurance                         | \$     |
| Mortgage                          | \$     |
| Monthly Rental                    | \$     |
| Advertised for Sale               | \$     |
| Transferred in 19 <i>47</i>       | \$     |

**ANNUAL ASSESSMENT**

| YEAR | LAND          | IMPROVEMENTS  | TOTAL |
|------|---------------|---------------|-------|
| 1938 | \$ <i>210</i> | \$ <i>690</i> | \$    |
| 1939 |               |               |       |
| 1940 |               |               |       |
| 1941 |               |               |       |
| 1942 | <i>210</i>    | <i>690</i>    |       |
| 1943 |               |               |       |
| 1944 |               |               |       |
| 1945 |               |               |       |
| 1946 |               |               |       |
| 1947 |               |               |       |

*1961 320 1200*





| For Office Use Only |               |             |
|---------------------|---------------|-------------|
| Date Received       | Time Received | Case Number |
|                     |               | HIS         |

### Landmark Alteration Certificate (LAC) Application

For Exterior Changes to Properties Located in a Historic District and/or Individually Landmarked

Project Address: 406 Pearl Date of Application: 5.27.2020

Historic District / Landmark Name: N/A  
 Chamberlain  Chautauqua  Downtown  Floral Park  Highland Lawn  Hillside  Mapleton Hill  
 University Place  West Pearl  16<sup>th</sup> Street

#### CONTACT INFO

Applicant's Name: SAMUEL AUSTIN  
 Email: Samuel.Austin.Architect@gmail.com Phone: 303.304.0868

Owner's Name: ANDREW & DIANA FORDYCE  
 Email: \_\_\_\_\_ Phone: \_\_\_\_\_

Mailing address (if different from project address): 1701 15<sup>th</sup> Street  
UNIT A.  
Boulder, CO. 80302

#### PROJECT DESCRIPTION

##### Staff Level

- Landscaping
- Paint
- Roofing
- Commercial awning, patio and/or sign (demonstrate signs meet provisions in Section 9-9-21 Signs, B.R.C., 1981)
- Antenna or mechanical unit
- Restoration of existing features

##### Landmark Design Review Committee (LDRC)

- Deck and/or porch
- Doors and/or windows
- Dormers and/or skylights
- Solar panels
- Front fence or fence taller than 5ft.
- Addition
- New free standing/accessory building smaller than 340sq. ft.

##### Landmarks Board

- New free-standing construction 340sq. ft. or larger
- Demolition and new construction
- Application Referred by LDRC

Description (attach additional narrative for additions and free-standing new construction):

SEE NARRATIVE

*\*Please Note that all Landmark alteration certificate (LAC) applications must be submitted through a Project Specialist at the P&DS Services Center. Application for review by the Landmark design review committee (Ldrc) should be submitted by noon on the Friday prior to the requested meeting date.*

I agree to perform the work described herein, in accordance with the plans and/or specifications submitted and with all provisions of the Historic Preservation Code, Building Code, Zoning Ordinance and Health Regulations of the City of Boulder as enumerated in the Boulder Revised Code, 1981.

Signature of owner or authorized agent for owner: Samuel J. Austin Date: 5.27.2020

### INITIAL CODE REVIEW

This review is intended to identify potential zoning and building code issues. Please fill out to the best of your ability. The verification of this form is a customer service review and does not constitute a formal review of all applicable codes and regulations. All sections of the Boulder Revised Code must still be adhered to prior to performing any work. Property information can be found on <https://bouldercolorado.gov/planning/property-report>

| Property Information – Please complete for:                                                                                                                                                 |                                                                                                                                                                                                                                                                                                                                                                   |                                                      |                 | Staff Use                                     |           |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------|-----------------|-----------------------------------------------|-----------|
| <input type="checkbox"/> New free-standing construction <input type="checkbox"/> Addition <input type="checkbox"/> Dormers <input type="checkbox"/> Porches <input type="checkbox"/> Fences |                                                                                                                                                                                                                                                                                                                                                                   |                                                      |                 | Verified                                      | Need Info |
| Zoning District                                                                                                                                                                             | <input type="checkbox"/> RL-1 <input type="checkbox"/> RL-2 <input checked="" type="checkbox"/> RMX-1 <input type="checkbox"/> RH-2 <input type="checkbox"/> DT-1 <input type="checkbox"/> Other: _____                                                                                                                                                           |                                                      |                 |                                               |           |
| Floodplain                                                                                                                                                                                  | <input type="checkbox"/> None <input type="checkbox"/> 500 Year <input checked="" type="checkbox"/> 100 Year <input type="checkbox"/> Conveyance <input type="checkbox"/> High Hazard                                                                                                                                                                             |                                                      |                 |                                               |           |
| Lot Size                                                                                                                                                                                    | 7017 sq. ft. <input type="checkbox"/> Interior <input type="checkbox"/> Through <input type="checkbox"/> Flag <input checked="" type="checkbox"/> Corner<br>Source: <input type="checkbox"/> City of Boulder <input type="checkbox"/> Boulder County <input checked="" type="checkbox"/> Survey <input checked="" type="checkbox"/> Other: <u>CAK from survey</u> |                                                      |                 |                                               |           |
| Existing Principal Building Setbacks Section 9-7-2                                                                                                                                          |                                                                                                                                                                                                                                                                                                                                                                   |                                                      |                 | <input type="checkbox"/> No Change            |           |
| Front: 12'                                                                                                                                                                                  | Side: 5.1'                                                                                                                                                                                                                                                                                                                                                        | Side: 11.1'                                          | Rear: 80' ±     |                                               |           |
| Proposed Principal Building Setbacks                                                                                                                                                        |                                                                                                                                                                                                                                                                                                                                                                   |                                                      |                 | <input type="checkbox"/> No Change            |           |
| Front: 12'                                                                                                                                                                                  | Side: 5'                                                                                                                                                                                                                                                                                                                                                          | Side: 13'                                            | Rear: 61'-6"    |                                               |           |
| Existing Accessory Building Setbacks (HISTORIC BARN)                                                                                                                                        |                                                                                                                                                                                                                                                                                                                                                                   |                                                      |                 | <input checked="" type="checkbox"/> No Change |           |
| Front: 3.1'                                                                                                                                                                                 | Side: ENCROACHMENT (EXISTING)                                                                                                                                                                                                                                                                                                                                     | Side: 28.9'                                          | Rear: 117'      |                                               |           |
| Proposed Accessory Building Setbacks                                                                                                                                                        |                                                                                                                                                                                                                                                                                                                                                                   |                                                      |                 | <input type="checkbox"/> No Change            |           |
| Front: 6"                                                                                                                                                                                   | Side: 26' ±                                                                                                                                                                                                                                                                                                                                                       | Side: 4'                                             | Rear: 114.5'    |                                               |           |
| Primary or accessory building located within 3 ft. of a property line: <input checked="" type="checkbox"/> Y / N                                                                            |                                                                                                                                                                                                                                                                                                                                                                   |                                                      |                 |                                               |           |
| Primary or accessory buildings located within 6 ft. of each other: <input checked="" type="checkbox"/> Y / N                                                                                |                                                                                                                                                                                                                                                                                                                                                                   |                                                      |                 |                                               |           |
|                                                                                                                                                                                             | Existing                                                                                                                                                                                                                                                                                                                                                          | Proposed                                             | Allowed Maximum |                                               |           |
| Building Coverage                                                                                                                                                                           | 1866 #                                                                                                                                                                                                                                                                                                                                                            | 2430'                                                | 2453            |                                               |           |
| Floor Area (sq. ft.)                                                                                                                                                                        | 2610 #                                                                                                                                                                                                                                                                                                                                                            | 3735'                                                | 3818            |                                               |           |
| Height                                                                                                                                                                                      | 29'-0"                                                                                                                                                                                                                                                                                                                                                            | 33'-8" (building raised out of Flood PLANE PER FEMA) |                 |                                               |           |
| Past Discretionary Review: <input type="checkbox"/> Site Review <input type="checkbox"/> PUD/PRD/PD <input checked="" type="checkbox"/> None                                                |                                                                                                                                                                                                                                                                                                                                                                   |                                                      |                 | 35' Allowance                                 |           |

| Will your project require a variance or exemption?                                                                                                                                    | Verified | Need Info |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------|-----------|
| <input type="checkbox"/> Setback variance Section 9-7-2, B.R.C., 1981 SETBACK AVERAGING Applied to New                                                                                |          |           |
| <input type="checkbox"/> Bulk plane requirements Section 9-7-9, B.R.C., 1981 meets                                                                                                    |          |           |
| <input checked="" type="checkbox"/> Side yard wall articulation standards Section 9-7-10, B.R.C., 1981 meets Standard w/EXEMPTION #3                                                  |          |           |
| <input checked="" type="checkbox"/> Exemption from the maximum building coverage for accessory buildings in the rear setback Section 9-7-11(d), B.R.C., 1981 HISTORIC BARN IS EXEMPT. |          |           |
| <input type="checkbox"/> Solar exception Section 9-9-17, B.R.C., 1981                                                                                                                 |          |           |

Form Completed by: Samuel Austin (Applicant) Date: 5.27.2020  
 Initial Verification by: \_\_\_\_\_ (Staff) Date: \_\_\_\_\_

## LANDMARK ALTERATION CERTIFICATE REVIEW CHECKLISTS

Initial review is completed by **Staff (Administrative)** or the **Landmarks Design Review Committee (LDRC)** within 14 days after a complete application is received. Staff and the LDRC can either approve the application, request revisions, or refer the proposal to the **Landmarks Board** for review in a public hearing. Please call 303-441-1994 if you have questions.

### ADMINISTRATIVE REVIEW

**Typical Projects:**

Landscaping

Paint

Roofing

Mechanical Unit

Fences and Hardscaping

(rear / side yard fence only if maximum 5ft. tall with minimum 1" spacing between pickets)

Restoration of Existing Features

**DOWNTOWN ONLY:** Commercial awnings, patios and signs

City staff review of minor alterations typically has a quick review turn-around provided that application is complete and the proposed alterations are consistent with the applicable **design guidelines**.

**A complete application submittal includes:**

- This application:** Completely filled out
- Photographs:** Color photos of existing conditions and details.
- Samples:** Color chips of paint and printed samples of roofing types are helpful.
- Fences and Hardscaping:** Elevations and site plans should be clearly detailed and scaled, preferably at an 1/8" or 1/4" scale on 11"x17" paper. Show existing conditions and proposed changes side-by-side. For fences, show dimensions and spacing between pickets and a site plan showing existing and proposed locations.

### LANDMARKS DESIGN REVIEW COMMITTEE (LDRC)

**Typical Projects:**

Deck / porch

Doors / windows

Dormers / skylights

Additions

New accessory building  
(smaller than 340 sq. ft.)

Fence (front yard or rear / side yard if taller than 5ft. or less than 1" spacing between pickets)

Solar Panels

A staff member and two members of the Landmarks Board meet weekly to review applications for exterior alterations to designated properties. Large projects often require more than one meeting and may be referred by the committee to the full Landmarks Board for review.

**A complete application submittal includes:**

- This application:** Completely filled out, including zoning review sheet.
- Photographs:** Photographs of existing building and surrounding context
- One set of scaled elevations and site plans:** All drawings should be clearly detailed and scaled, preferably at an 1/8" or 1/4" scale on 11"x17" paper. Show *existing* conditions and *proposed* changes side-by-side.
- Fences:** A scaled drawing showing dimensions and spacing between pickets and a site plan showing existing and proposed locations. *EXISTING TO REMAIN*
- Survey:** A land survey may be required if the proposed project is within 20% of the maximum permitted lot coverage, floor area or floor area ratio.

**The following documentation is required for final review and approval:**

- Final Details:** Specific materials should be noted on plans; include color chips and printed samples of roofing types, manufacturers/catalogue "cut" sheets for windows/skylights.

**Completed applications for LDRC review must be turned in by noon on the Friday prior to the requested meeting date and must be submitted through a Project Specialist.**

*Please note that LDRC meeting requests are processed in the order in which they are received and that a first request may not be available due to scheduling. The LDRC meets each Wednesday morning (except holidays) at the P&DS Service Center offices on the third floor of the Park Central Building, 1739 Broadway.*

## LANDMARKS BOARD REVIEW (LB)

### Typical Projects:

**New free-standing construction**  
340 sq. ft. and larger

**Demolition**  
Includes primary and/or accessory buildings designated as individual landmarks or within an Historic District.

**Application referred from LDRC**

The Landmarks Board reviews new free-standing construction 340 square feet and larger, the demolition or moving of buildings, and applications referred from the LDRC.

Public hearings take place within 60 days of the receipt of a complete LAC application and are conducted as quasi-judicial proceedings. Following the public hearing for the LAC, a Notice of Disposition is sent to the City Council outlining the Board's recommendation. City Council has 14 days to call-up a decision of approval made by the Landmarks Board. If the Board votes to deny a Landmark Alteration Certificate application, the City Council has 30 days to call-up the decision.

**Tip:** Projects that require full Landmarks Board review should be presented to staff early in the planning process, before detailed drawings are initiated. Please contact staff prior to submitting an application for full Board review; these reviews are often complex.

### A complete application submittal includes:

LDRC requirements (listed on the previous page)

Written project description

7 copies of project drawings, including side-by-side existing and proposed conditions (preferably 11"x17" or 12"x18") plans, including:

- Electronic distribution*
- Scaled site plan (existing and proposed)
  - Scaled elevations for all sides of the building at 1/8" or 1/4" scale
  - Sketches, as needed

1 copy of any color renderings or photographs, color samples, etc. (preferably no larger than 11"x17") *NO COLOR SAMPLES YET*

1 digital copy of all materials submitted in a PDF file format

At the request of staff or the Board, the following may also be required:

- Building sections     Methods of restoration     3-D modeling

### 2019 Landmark Board Meeting Dates and Application Submittal Deadlines

Landmarks Board meetings are generally held the first Wednesday of each month at 6 p.m. in the Municipal Building, Council Chambers, located at 1777 Broadway. Applications scheduled for a public hearing before the full Landmarks Board are due by 4 p.m. at least 28 days prior to the meeting date. All applications must be submitted through a Project Specialist.

More information, including deadlines and agendas can be found online:

[www.boulderhistoricpreservation.net](http://www.boulderhistoricpreservation.net)

## 406 Pearl Boulder CO: Architect, Samuel Austin

Diana and Andy Fordyce purchased 406 Pearl and are requesting permission to adapt the property to serve as their family home as they are returning to Colorado after an extended work expatriation. Andy is a Colorado native and CU graduate and Diana was a postdoctoral researcher at CU Boulder. As a young married couple in the 1990s, Diana and Andy started their careers together in Boulder area. Both retain strong family ties to Colorado. Diana and Andy have a strong fondness for the Boulder community and its beautiful surroundings. By investing in the West Pearl district Andy and Diana want to enhance the historical value of the 406 Pearl property and establish a family home in the community they feel a strong affinity toward.

### 406 Pearl Background and Proposal

The property at 406 Pearl is comprised of a main house, a cottage, and a barn/shed. The main house and cottage ADU are designated as Non-Contributing by the West Pearl Historic Design guidelines. The existing main house has had a number of additions over the years, including a duplex addition, which have undermined the historic value of the structure to the extent that it is considered Non-Contributing. Additionally, the main structure is in the flood plain with the ground floor 12" below the flood plain elevation. The building also has numerous structural defects. The West Pearl Historic Guidelines indicate the following supporting elements that should be preserved as they add character to the neighborhood:

- The original brick first floor with pressed brick segmental arches and cut stone sills.
- On the southwest corner of the property is a barn with shed considered an important historic accessory building.

We are proposing to remove the existing main structure and the detached non conforming cottage ADU and build a new single-family home that preserves the historic supporting elements. In addition, a detached garage consistent with the neighborhood would be added as well as preserving the historic barn while converting it into a legal ADU.

Our strategy has been to acknowledge the original home by using historic cues found in old photographs along with a survey of original details still in existence. It is worth noting that not all of the brick work or even the massing on the first floor is still original.

Our design approach has been informed by traditional massing and detailing and deliberately incorporates a more contemporary glass to wall ratio (South of the entry), while being sensitive to the historic character of both Pearl Street and 4th Street.

### **New construction guidelines :** **(in bold) copied from the Westend Historic District Design Guidelines, for New Construction:**

**1. While respecting the historic character of the district, new construction should be an expression of its own time period and is not encouraged to replicate stylistic detailing of buildings found in the district.**

This has been fore front in the design process.

406 Pearl Boulder CO: Architect, Samuel Austin

**2. New construction should respect the historic character of the district and incorporate the elements which contribute to the mass, rooflines, windows, doors, bays and porches. Modern expressions of traditional elements are encouraged.**

This design has undergone several iterations. Working back and forth with James Hewatt, We have arrived at a simplified roof structure and massing which reinforces the historic character of the district.

**3. New construction should respect the traditional alignment, site layout, orientation and spacing found in the historic district. Generally, a new building should be located at the front of the lot, while accessory buildings should be at the rear along the alley.**

Our proposed siting of the structure respects the traditional alignment of the neighborhood and our block.

**4. New construction should be compatible with traditional elements of existing historic buildings, respect traditional spacing and massing of the existing buildings in the district, and be sensitive to their surroundings.**

As mentioned above.

**5. New accessory buildings should be secondary in nature to the main house and smaller in scale and mass.**

The two-car garage is secondary and smaller than the house. It incorporates the roof pitch used on the Barn and has two garage doors which are in line with the scale of other garage doors found in the alley. (photos supplied)

Currently the property has a substantial curb-cut half-circle driveway off of 4th street and open parking on the property which is in non-conformance to the West Pearl Historical Guidance recommendations. The proposed garage will effectively remove this non-conformance as well the prefabricated shed and be in keeping with other garages off of the rear of the property (Lawry Lane) while preserving the look of the alley/ Lawry Lane.

**6. New porches are an important historical visual element and are encouraged in new construction. They should be an appropriate scale for the house.**

The new porch/entry roof is a contemporary expression which incorporates metal roof detailing found on the historic porch. The west entry/porch and southwest configuration returns the feel/elements of the property from Pearl and 4th street from the historic photos. The historic porch is included in the photographs."

**7. The use of building materials that have traditional dimensions is**

406 Pearl Boulder CO: Architect, Samuel Austin

**encouraged, such as standard sized brick, lap siding with a traditional dimension facing the weather and appropriately sized roofing materials.**

Building materials with traditional dimensional elements have been used in the design. Brick, Lap Siding with traditional exposure, Asphalt dimensional Shingles and Standing Seam metal.

**8. Strongly horizontal or vertical facades should be avoided unless they are compatible with the character of the structures in the immediate area.**

We have avoided strongly horizontal or vertical facades.













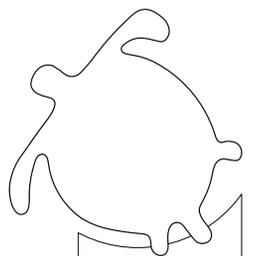




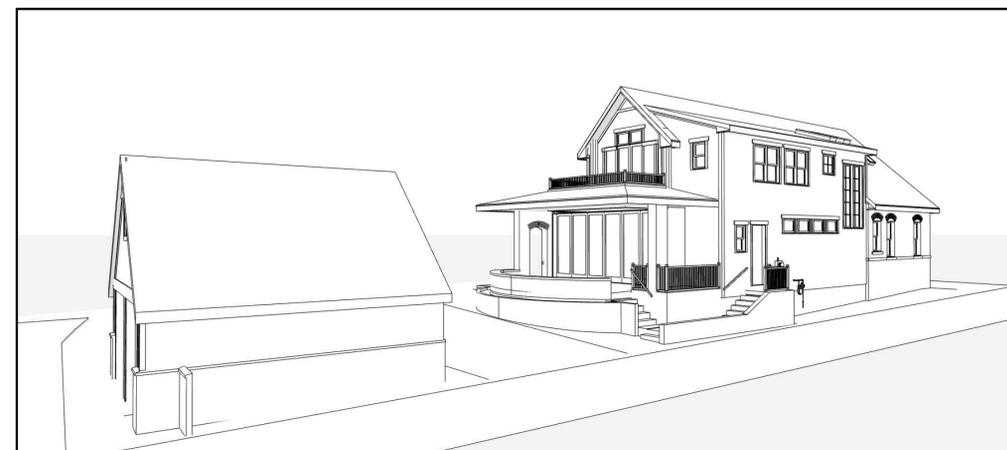
# 406 Pearl Street

## 406 Pearl Street, Boulder, CO #Site Postcode

| SHEET INDEX |                                  |
|-------------|----------------------------------|
| TITLE       | COVER SHEET                      |
| SP-1        | SURVEY                           |
| SP-2        | SITE PLAN                        |
| SP-3        | BULK PLANE SECTIONS              |
| A-1         | MAIN AND UPPER LEVEL FLOOR PLAN  |
| A-2         | BUILDING ELEVATIONS              |
| A-3         | BUILDING ELEVATIONS              |
| A-4         | BARN FLOOR PLAN AND ELEVATIONS   |
| A-5         | GARAGE FLOOR PLAN AND ELEVATIONS |



NOTICE: DUTY OF COOPERATION  
Release of these plans constitutes further cooperation among the owner, the contractor and the architect. Design and construction are complex. Although the architect and his consultants have performed their services with due care and diligence, they cannot guarantee perfection. Construction is a complex and many contingencies cannot be anticipated. Any irregularity or discrepancy discovered in the use of these plans shall be reported immediately to the architect. Failure to notify the architect compounds misunderstanding and increases construction costs. A failure to cooperate by a single trade or the architect shall release the architect from responsibility for all consequences. Changes made from the plans without the consent of the architect are unauthorized and shall release the architect of responsibility for all consequences arising out of such changes.



Samuel Austin & Company  
Architects, Inc.  
1701 15th Street, Unit A  
Boulder, CO 80302  
(303) 499-2099

**406 Pearl Street**  
406 Pearl Street  
Boulder, CO #Site Postcode

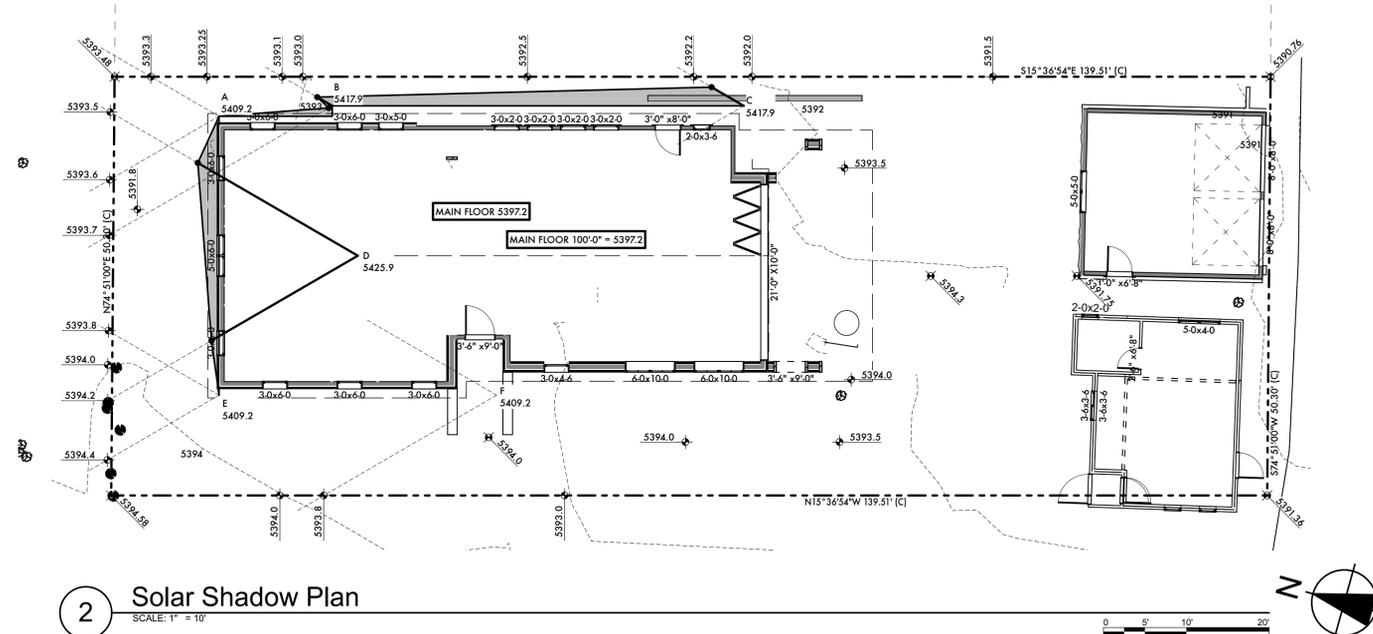
JOB# 2011

COVER SHEET  
drawn by: CADDesigns  
issued: 5/27/2020  
revised:

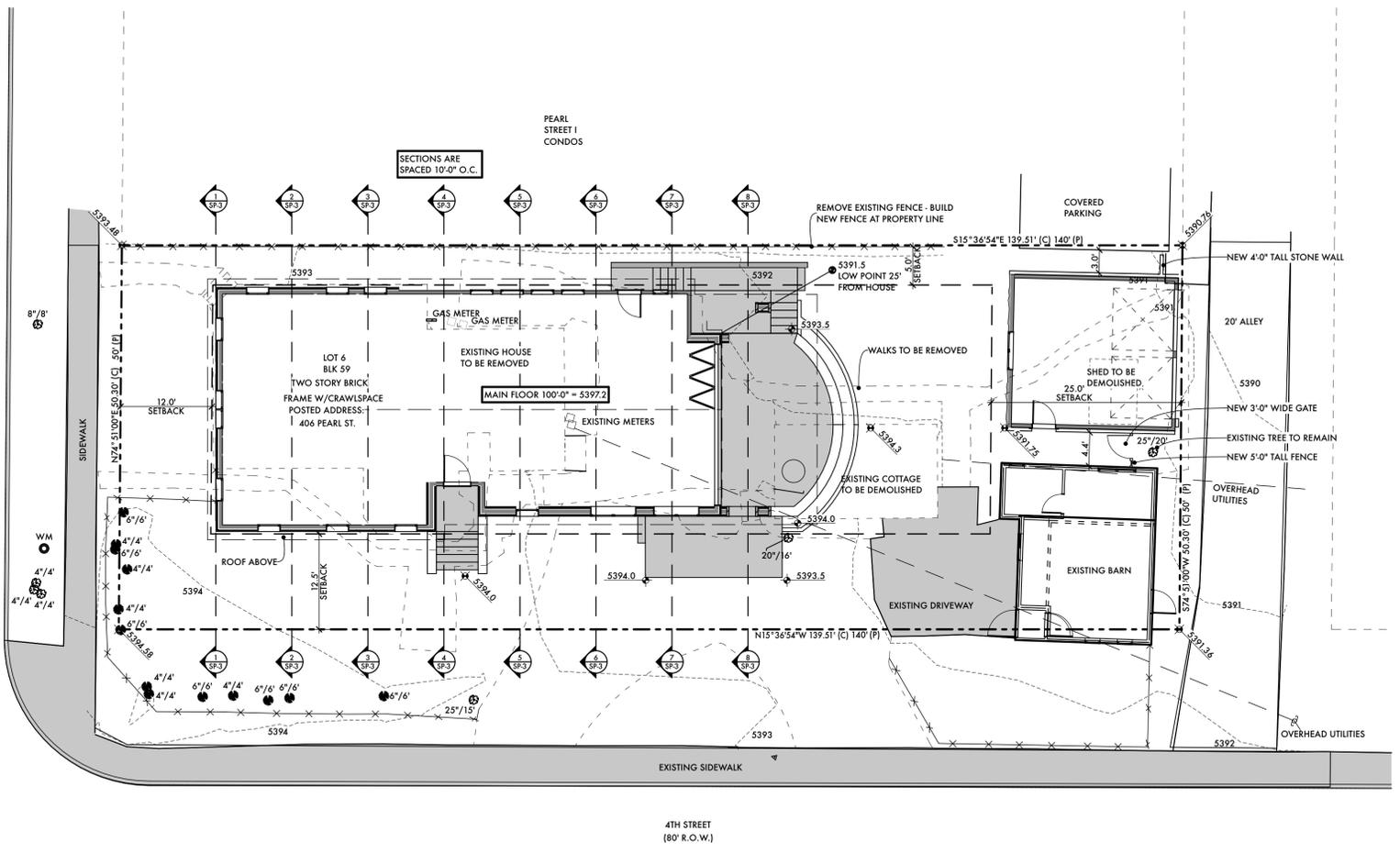
sheet  
**TITLE**  
2 of ####

| SOLAR ANALYSIS WORKSHEET |                               |                                          |         |                                       |         |                         |         |
|--------------------------|-------------------------------|------------------------------------------|---------|---------------------------------------|---------|-------------------------|---------|
| Property Zone District:  |                               | Solar Fence Height                       |         |                                       | 24      |                         |         |
| Roof Element             | Step 1                        | Step 2                                   |         | Step 3                                |         | Step 4                  |         |
|                          | Elevation of Roof Element (y) | Elevation of Grade at Property Line (x)* |         | Relative Height of Roof Element (h)** |         | Length of Shadow (L)*** |         |
|                          |                               | 10:00 AM                                 | 2:00 PM | 10:00 AM                              | 2:00 PM | 10:00 AM                | 2:00 PM |
| A                        | 5,409.2                       | 5,393.6                                  | 5,393.3 | 15.6                                  | 15.9    |                         |         |
| B                        | 5,417.9                       | 5,393.7                                  | 5,393.1 | 24.2                                  | 24.8    | 0.5                     | 2.1     |
| C                        | 5,417.9                       | 5,392.2                                  | 5,392.2 | 25.7                                  | 25.7    | 4.5                     | 4.5     |
| D                        | 5,425.9                       | 5,394.2                                  | 5,393.5 | 31.7                                  | 32.4    | 20.4                    | 22.3    |
| E                        | 5,409.2                       | 5,394.4                                  | 5,393.8 | 14.8                                  | 15.4    |                         |         |
| F                        | 5,409.2                       | 5,393.8                                  | 5,393.8 | 15.4                                  | 15.4    |                         |         |

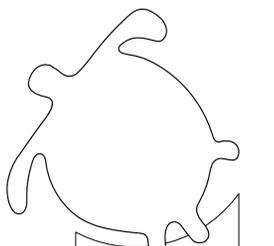
\* Elevation in USGS or relative to survey datum where the building element's shadow would cross the property line.  
 \*\* The relative height of the building element is the elevation of the building element (step 1), minus the elevation of grade at the property line  
 \*\*\* The length of the shadow is determined by using the "Adjusted Solar Shadow Lengths" of Table 1, for Solar Access Area 1, of the Solar Act



2 Solar Shadow Plan  
SCALE: 1" = 10'



1 Site Plan  
SCALE: 1" = 10'



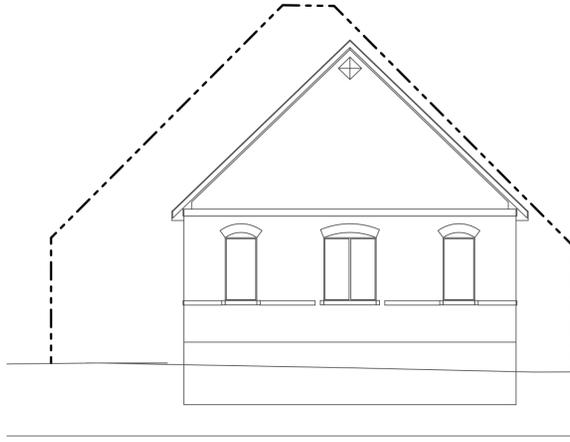
NOTICE: DUTY OF COOPERATION  
 Release of these plans constitutes further cooperation among the owner, his contractor and the architect. Design and construction are complex. Although the architect will coordinate, design and perform their services with due care and diligence, they cannot guarantee perfection. Communication is required and every contingency cannot be anticipated. Any anomaly or discrepancy discovered by the use of these plans shall be reported immediately to the architect. Failure to notify the architect compounds misunderstandings and increases construction costs. A failure to cooperate by the contractor or owner shall release the architect from responsibility for all consequences. Changes made from the plans without the consent of the architect are unauthorized and shall release the architect of responsibility for all consequences arising out of such changes.

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 Architects, Inc.  
 1701 15th Street, Unit A  
 Boulder, CO 80302  
 (303) 499-2099

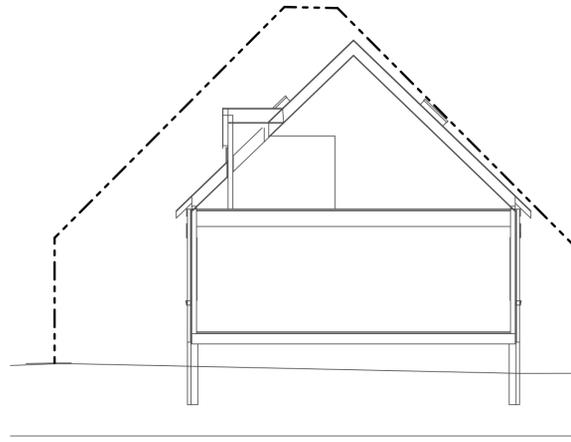
406 Pearl Street  
 406 Pearl Street  
 Boulder, CO #Site Postcode

JOB# 2011  
 SITE PLAN  
 drawn by: CADDesigns  
 issued: 5/27/2020  
 revised:

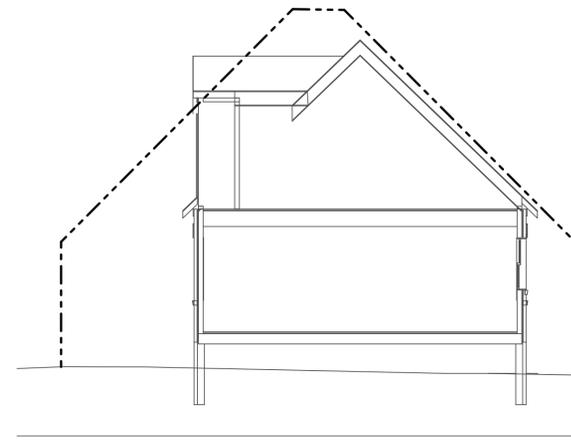
sheet  
**SP-2**  
 4 of ####



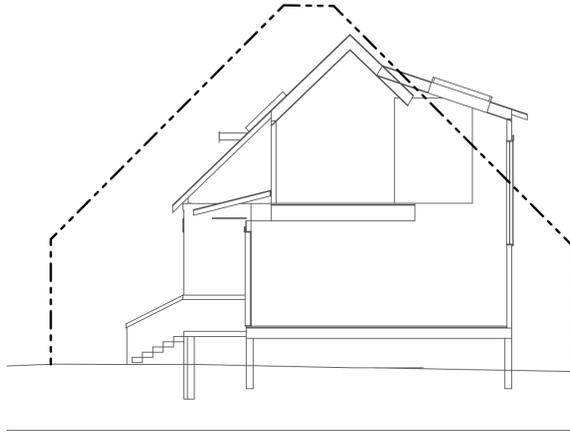
1 Bulk Plane Section 1  
SCALE: 1/8" = 1'-0"  
0 4' 8' 16'



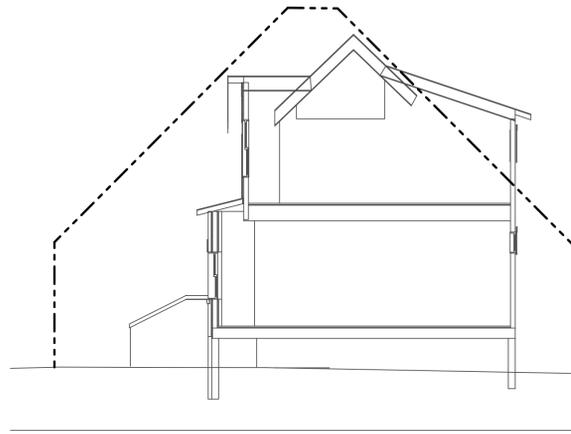
2 Bulk Plane Section 2  
SCALE: 1/8" = 1'-0"  
0 4' 8' 16'



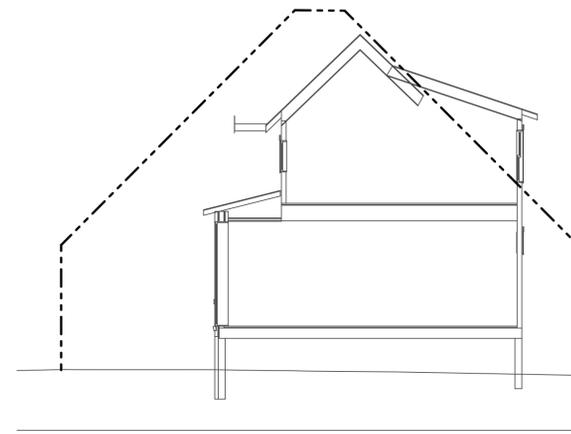
3 Bulk Plane Section 3  
SCALE: 1/8" = 1'-0"  
0 4' 8' 16'



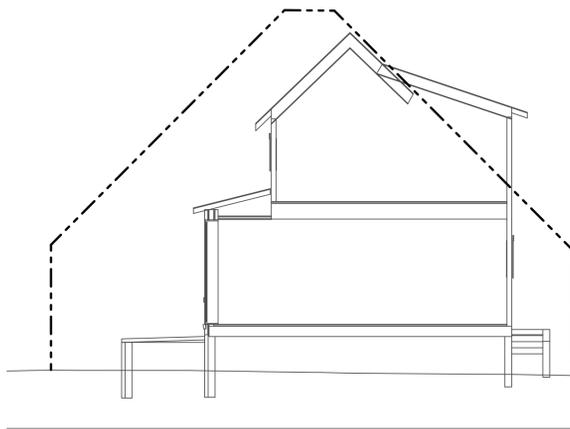
4 Bulk Plane Section 4  
SCALE: 1/8" = 1'-0"  
0 4' 8' 16'



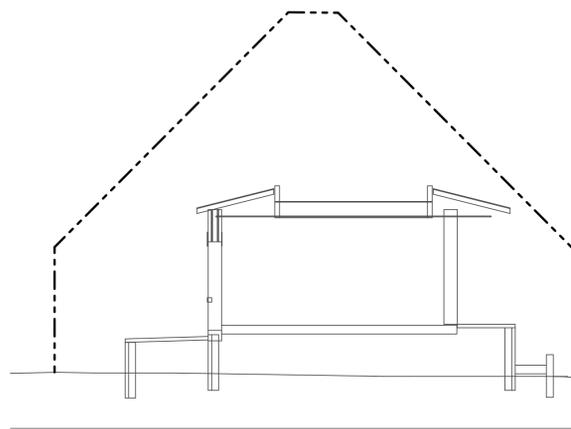
5 Bulk Plane Section 5  
SCALE: 1/8" = 1'-0"  
0 4' 8' 16'



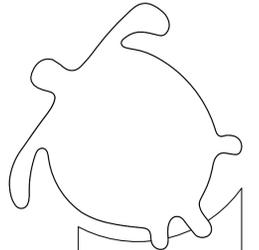
6 Bulk Plane Section 6  
SCALE: 1/8" = 1'-0"  
0 4' 8' 16'



7 Bulk Plane Section 7  
SCALE: 1/8" = 1'-0"  
0 4' 8' 16'



8 Bulk Plane Section 8  
SCALE: 1/8" = 1'-0"  
0 4' 8' 16'



**NOTICE: DUTY OF COOPERATION**  
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**406 Pearl Street**  
406 Pearl Street  
Boulder, CO #Site Postcode

JOB# 2011

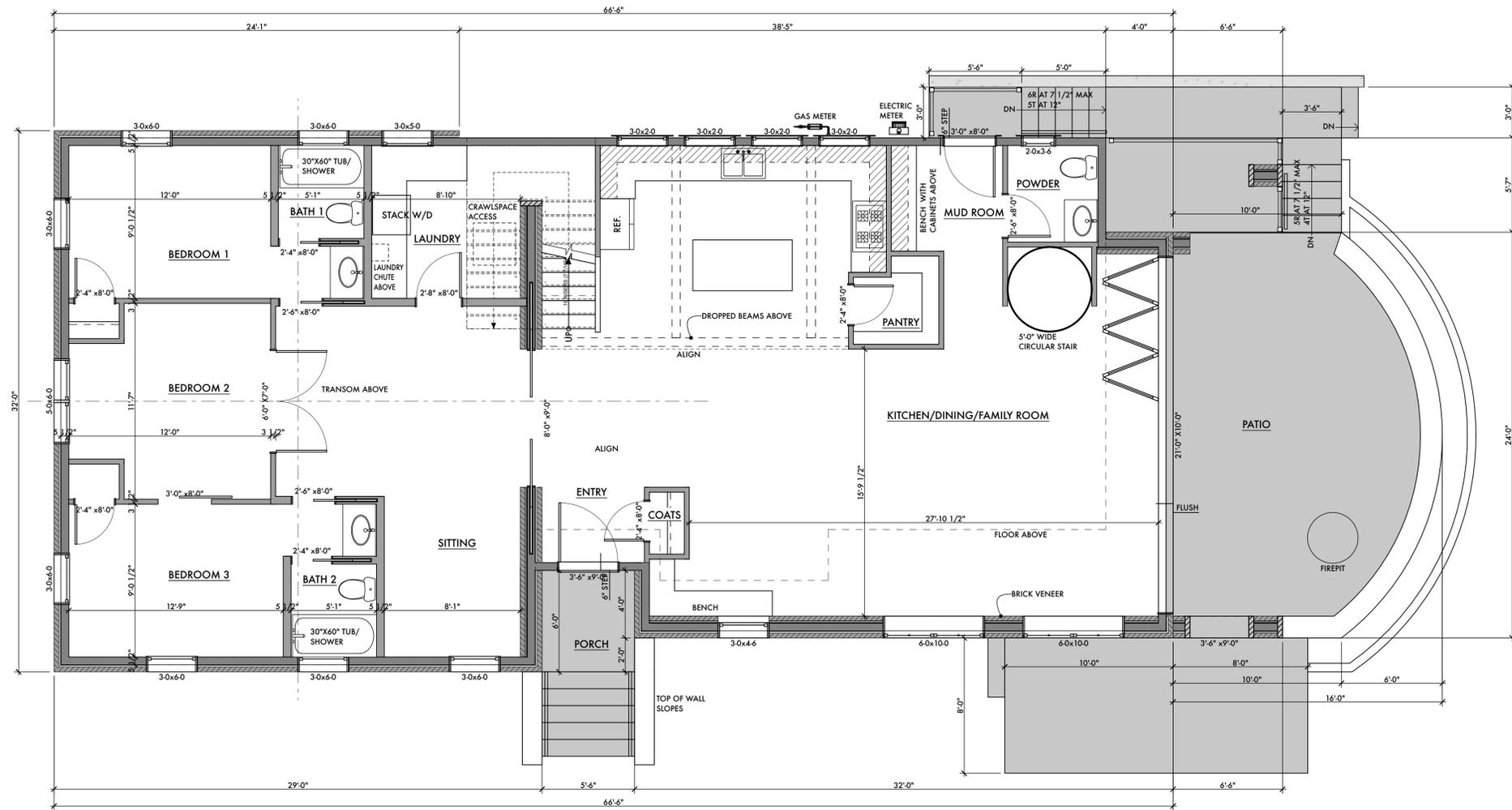
BULK PLANE SECTIONS

drawn by: CADDesigns

issued: 5/27/2020

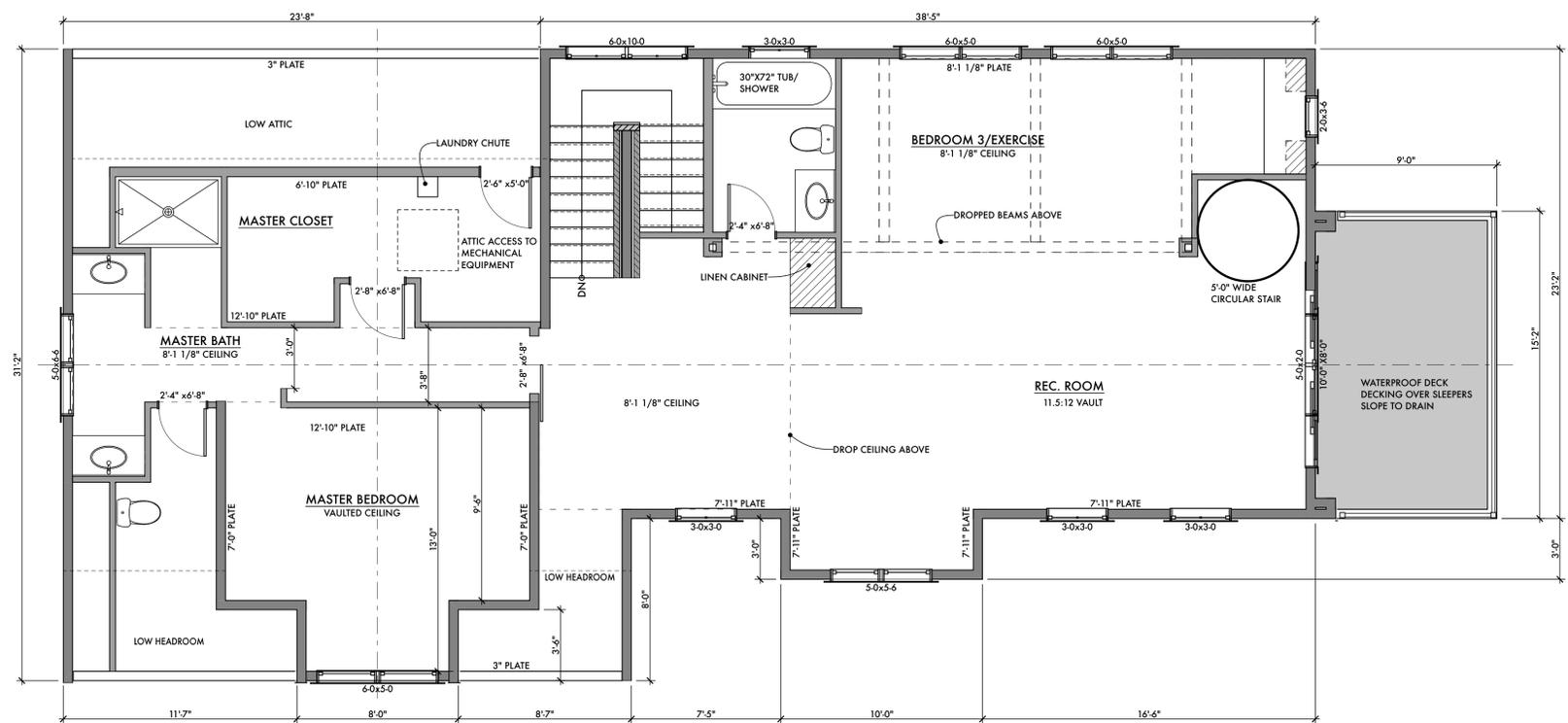
revised:

sheet  
**SP-3**  
5 of #####



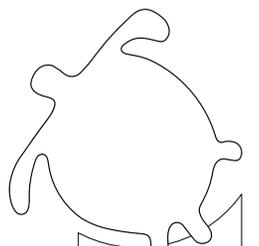
1 Main Level Floor Plan  
SCALE: 1/4" = 1'-0"

|                                            |            |
|--------------------------------------------|------------|
| SITE AREA = 7,017.44 S.F.                  |            |
| REQUIRED                                   |            |
| MAX. FAR = 3,818 S.F.                      |            |
| MAX. SITE COVERAGE = 2,453 INCLUDES GARAGE |            |
| MAX. HEIGHT = 35'-0"                       |            |
| SITE COVERAGE = 2,430 S.F.                 |            |
| MAIN = 1,927 S.F.                          |            |
| UPPER = 1,368 S.F.                         |            |
| GARAGE = 440 S.F.                          |            |
|                                            | 3,735 S.F. |



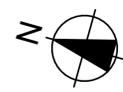
2 Upper Level Floor Plan  
SCALE: 1/4" = 1'-0"

4 Bulk Plane Section 3A  
SCALE: 1" = 10'



NOTICE: DUTY OF COOPERATION  
Release of these plans constitutes further cooperation among the owner, the contractor and the architect. Design and construction are complex. Although the architect and his consultants have performed their services with due care and diligence, they cannot guarantee perfection. Construction is complicated and many contingencies cannot be anticipated. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to the architect. Failure to notify the architect compounds misunderstanding and increases construction costs. A failure to cooperate by a single trade or the architect shall release the architect from responsibility for all consequences. Changes made from the plans without the consent of the architect are unauthorized and shall release the architect of responsibility for all consequences arising out of such changes.

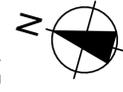
Samuel Austin & Company  
Architects, Inc.  
1701 15th Street, Unit A  
Boulder, CO 80302  
(303) 498-2099



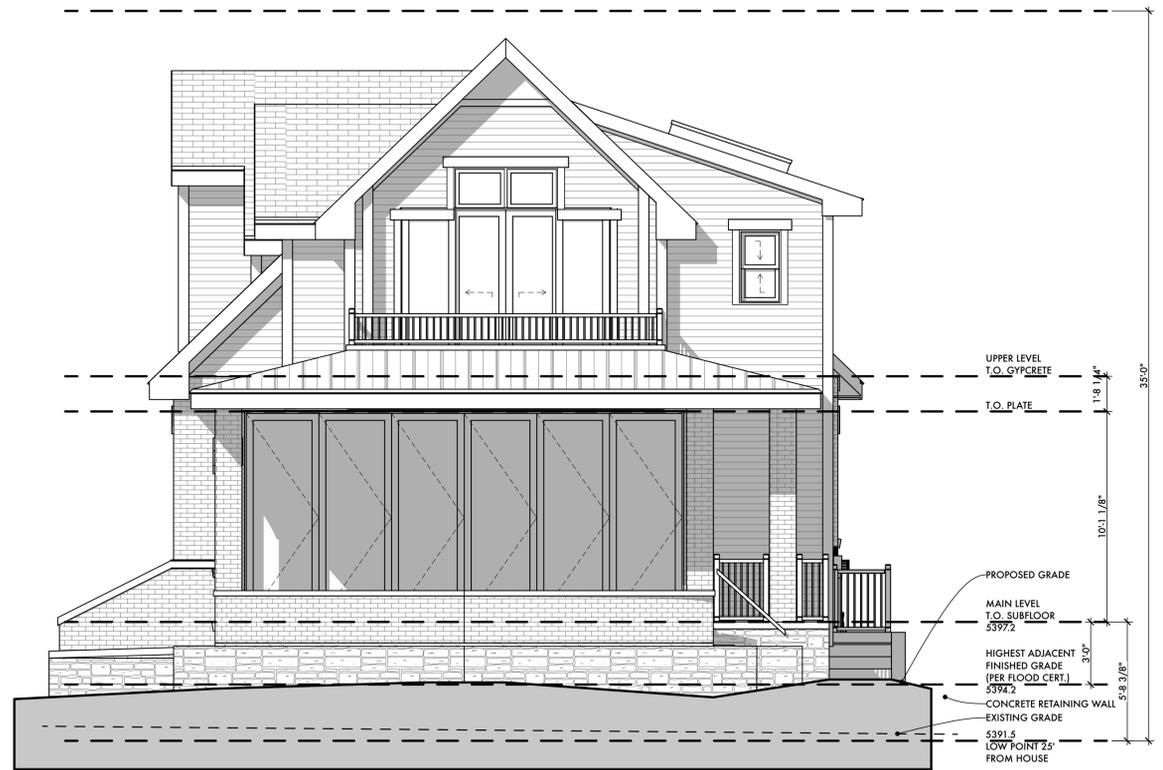
406 Pearl Street  
406 Pearl Street  
Boulder, CO #Site Postcode

JOB# 2011  
MAIN AND UPPER LEVEL FLOOR PLAN  
drawn by: CADDesigns  
issued: 5/27/2020  
revised:

sheet  
**A-1**  
6 of ###







1 South Elevation  
SCALE: 1/4" = 1'-0"



SITE AREA = 7,017.44 S.F.

REQUIRED  
MAX. FAR = 3,918 S.F.  
MAX. SITE COVERAGE = 2,453 INCLUDES GARAGE  
MAX. HEIGHT = 35'-0"

SITE COVERAGE = 2,430 S.F.

MAIN = 1,927 S.F.  
UPPER = 1,368 S.F.  
3,295 S.F.  
GARAGE = 440 S.F.  
3,735 S.F.

NOTICE: DUTY OF COOPERATION  
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406 Pearl Street  
406 Pearl Street  
Boulder, CO #Site Postcode

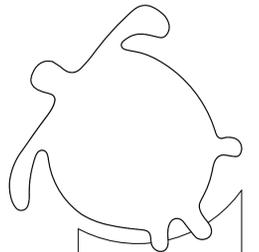
JOB# 2011  
BUILDING ELEVATIONS  
drawn by: CADDesigns  
issued: 5/27/2020  
revised:

sheet  
A-3  
8 of #####

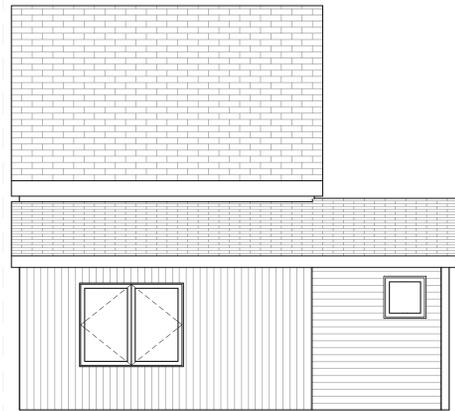


2 West - 4th Street - Elevation  
SCALE: 1/4" = 1'-0"





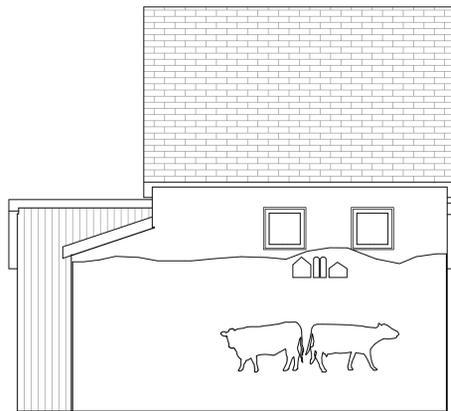
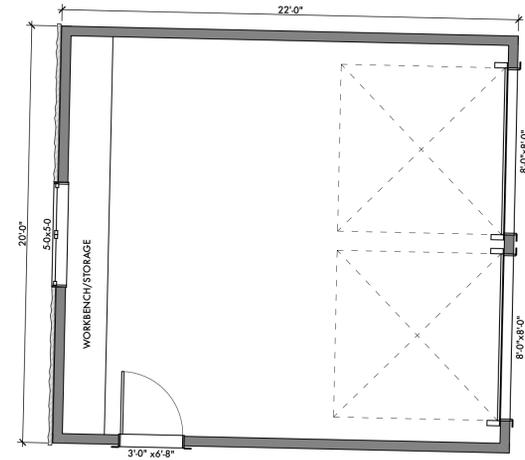
**NOTICE: DUTY OF COOPERATION**  
 Release of these plans constitutes further cooperation among the owner, his contractor and the architect. Design and construction are complex. Although the architect and his consultants have performed their services with due care and diligence, they cannot guarantee perfection. Construction is a high-risk activity and many contingencies cannot be anticipated. Any ambiguity or discrepancy discovered in the use of these plans shall be reported immediately to the architect. Failure to notify the architect compounds misunderstanding and increases construction costs. A failure to cooperate by a single trade to the architect shall release the architect from responsibility for all consequences. Changes made from the plans without the consent of the architect are unauthorized and shall release the architect of responsibility for all consequences arising out of such changes.



**2** Barn East Elevation  
 SCALE: 1/4" = 1'-0"  
 0 2' 4' 8'



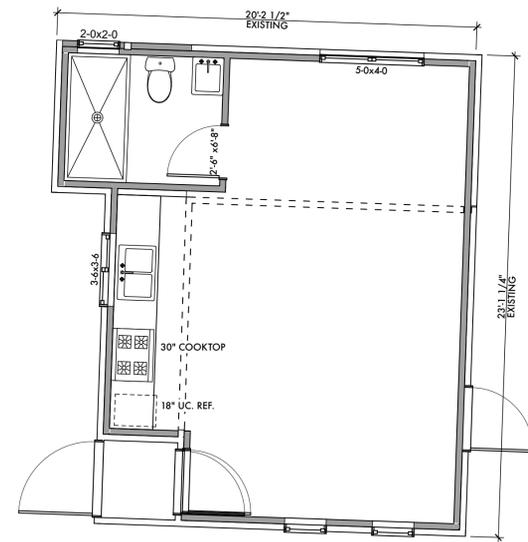
**1** Barn and Garage South - Alley - Elevation  
 SCALE: 1/4" = 1'-0"  
 0 2' 4' 8'



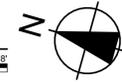
**3** Barn West Elevation  
 SCALE: 1/4" = 1'-0"  
 0 2' 4' 8'



**4** Barn North Elevation  
 SCALE: 1/4" = 1'-0"  
 0 2' 4' 8'



**5** Main Level Floor Plan  
 SCALE: 1/4" = 1'-0"  
 0 2' 4' 8'

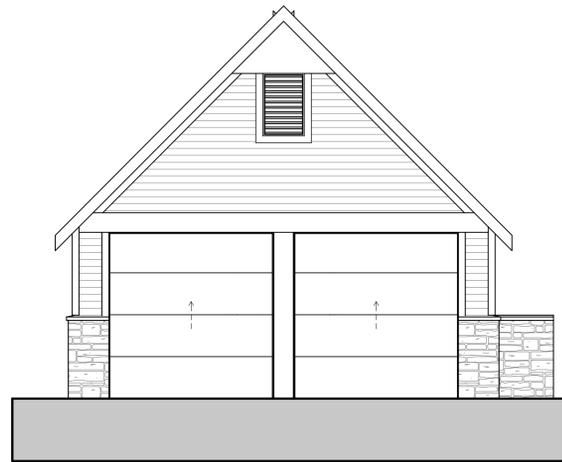


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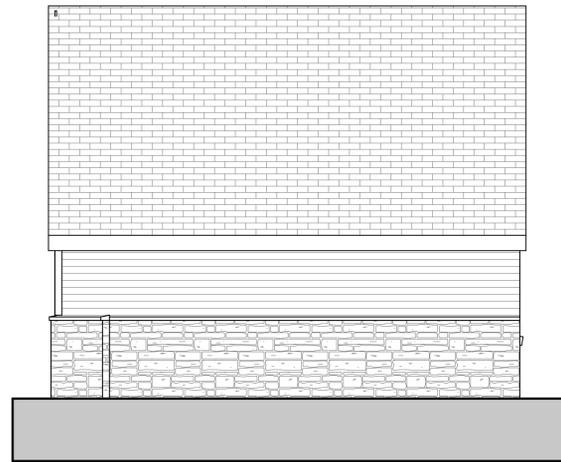
**406 Pearl Street**  
 406 Pearl Street  
 Boulder, CO #Site Postcode

JOB# 2011  
**BARN FLOOR PLAN AND ELEVATIONS**  
 drawn by: CADDesigns  
 issued: 5/27/2020  
 revised:

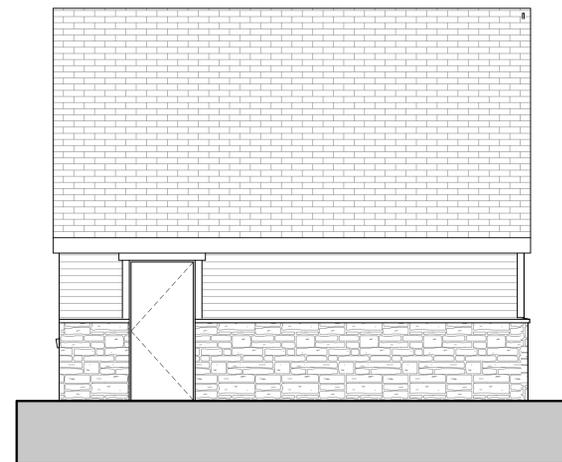
sheet  
**A-4**  
 9 of ####



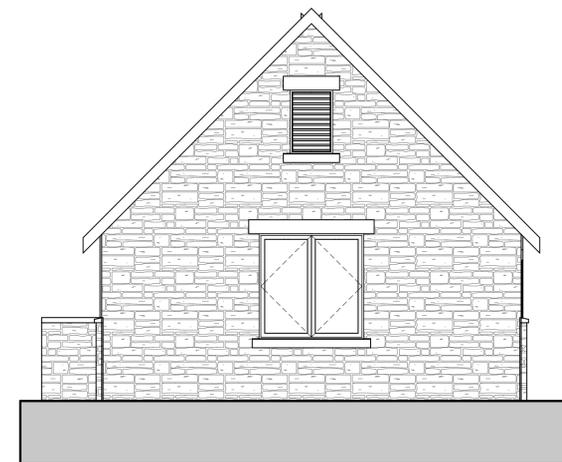
1 Garage South Elevation  
SCALE: 1/4" = 1'-0"  
0 2' 4' 8'



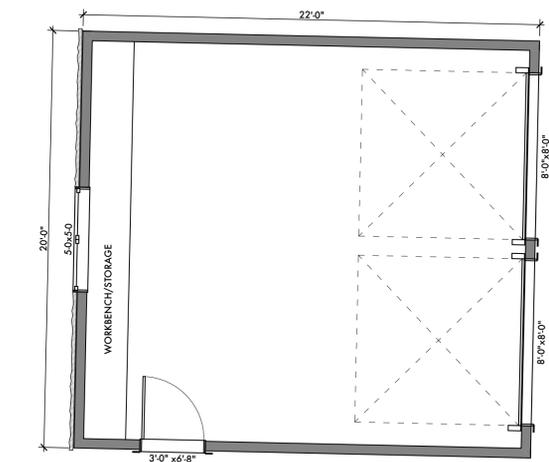
2 Garage East Elevation  
SCALE: 1/4" = 1'-0"  
0 2' 4' 8'



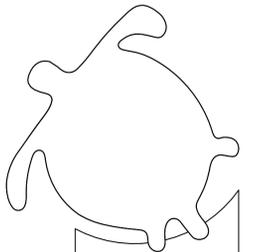
3 Garage West Elevation  
SCALE: 1/4" = 1'-0"  
0 2' 4' 8'



4 Garage North Elevation  
SCALE: 1/4" = 1'-0"  
0 2' 4' 8'



5 Main Level Floor Plan  
SCALE: 1/4" = 1'-0"  
0 2' 4' 8'



**NOTICE: DUTY OF COOPERATION**  
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(303) 499-2099

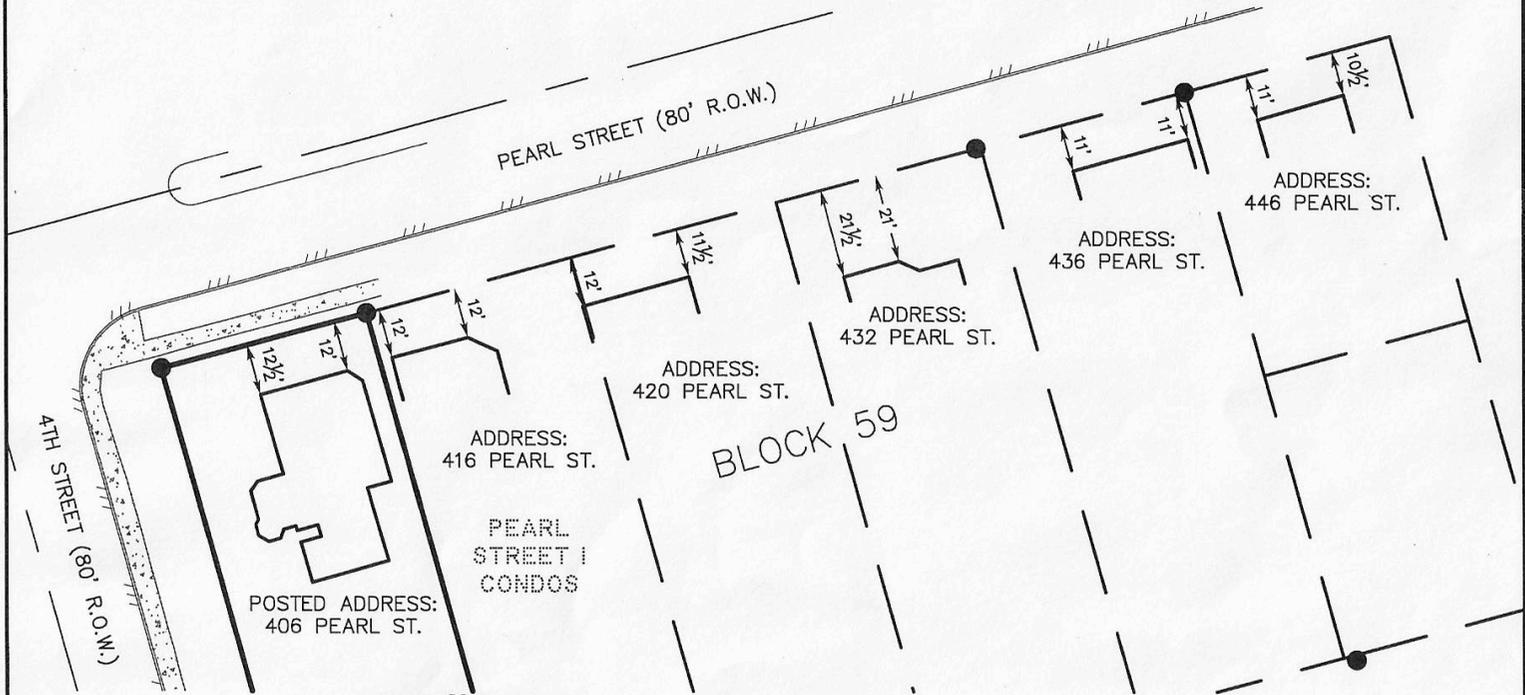
**406 Pearl Street**  
406 Pearl Street  
Boulder, CO #Site Postcode

JOB# 2011  
GARAGE FLOOR PLAN AND ELEVATIONS  
drawn by: CADDesigns  
issued: 5/27/2020  
revised:

sheet  
**A-5**  
10 of ####

# SETBACK AVERAGE EXHIBIT

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 25, TOWNSHIP 1 NORTH,  
RANGE 71 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
CITY OF BOULDER, COUNTY OF BOULDER, STATE OF COLORADO

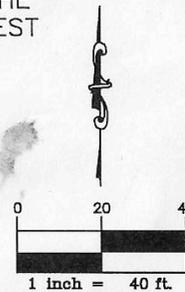


AVERAGE SETBACK FOR THE  
NORTH HALF BLOCK 59 WEST  
BOULDER IS 13.2 FEET



JOB NUMBER: 20-74,206  
DRAWN BY: D. VILLACRESIS  
DATE: MARCH 12, 2020

THIS IS NOT A "LAND SURVEY PLAT" OR "ASSESSMENT SURVEY PLAT" AND THIS EXHIBIT IS NOT INTENDED FOR PURPOSES OF TRANSFER OF TITLE OR SUBDIVISIONS OF LAND. RECORD INFORMATION SHOWN HEREON IS BASED ON INFORMATION PROVIDED BY CLIENT.



**Flatirons, Inc.**  
*Surveying, Engineering & Geomatics*



3825 IRIS AVE, STE 395  
 BOULDER, CO 80301  
 PH: (303) 443-7001  
 FAX: (303) 443-9830  
[www.FlatironsInc.com](http://www.FlatironsInc.com)

BY:BBECKETT FILE:74206-SETBACK AVG EXHIBIT.DWG DATE:3/12/2020 10:12 AM

**Parcel Description**

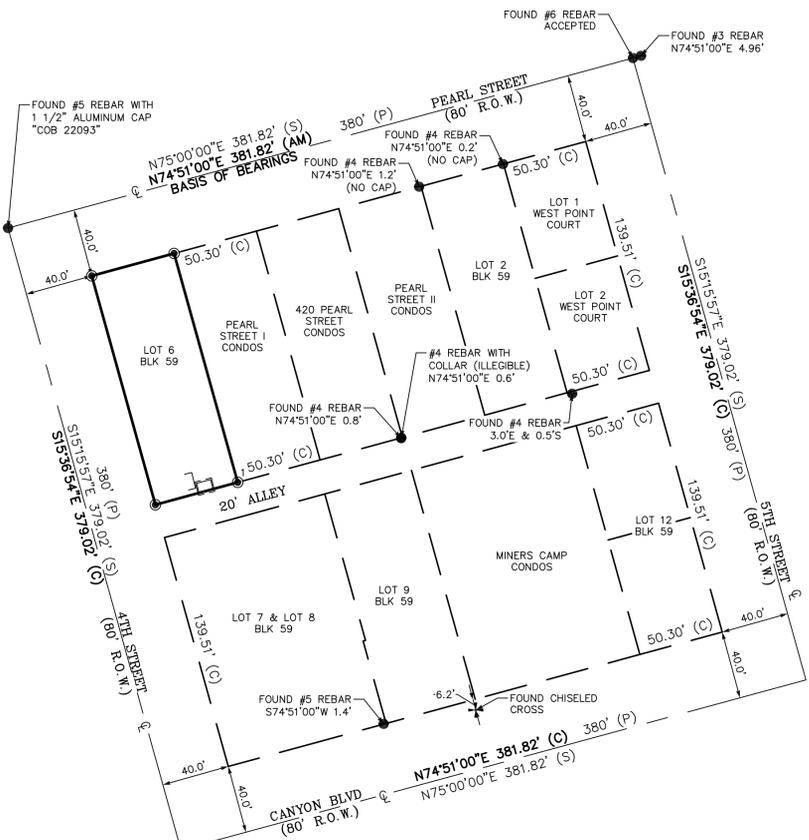
(PROVIDED BY AMERICAN LAND TITLE ASSOCIATION)  
DEED RECORDED ON 02/28/1874 AT BOOK 2 PAGE 48  
LOT 6, BLOCK 59, WEST BOULDER,

COUNTY OF BOULDER  
STATE OF COLORADO

# IMPROVEMENT SURVEY PLAT

LOT 6, BLOCK 59, WEST BOULDER, LOCATED IN THE SOUTHEAST QUARTER OF SECTION 25, TOWNSHIP 1 NORTH, RANGE 71 WEST OF THE 6TH P.M., CITY OF BOULDER, COUNTY OF BOULDER, STATE OF COLORADO

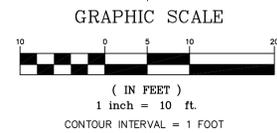
SHEET 1 OF 1



**CONTROL DIAGRAM**  
SCALE: 1"=50'

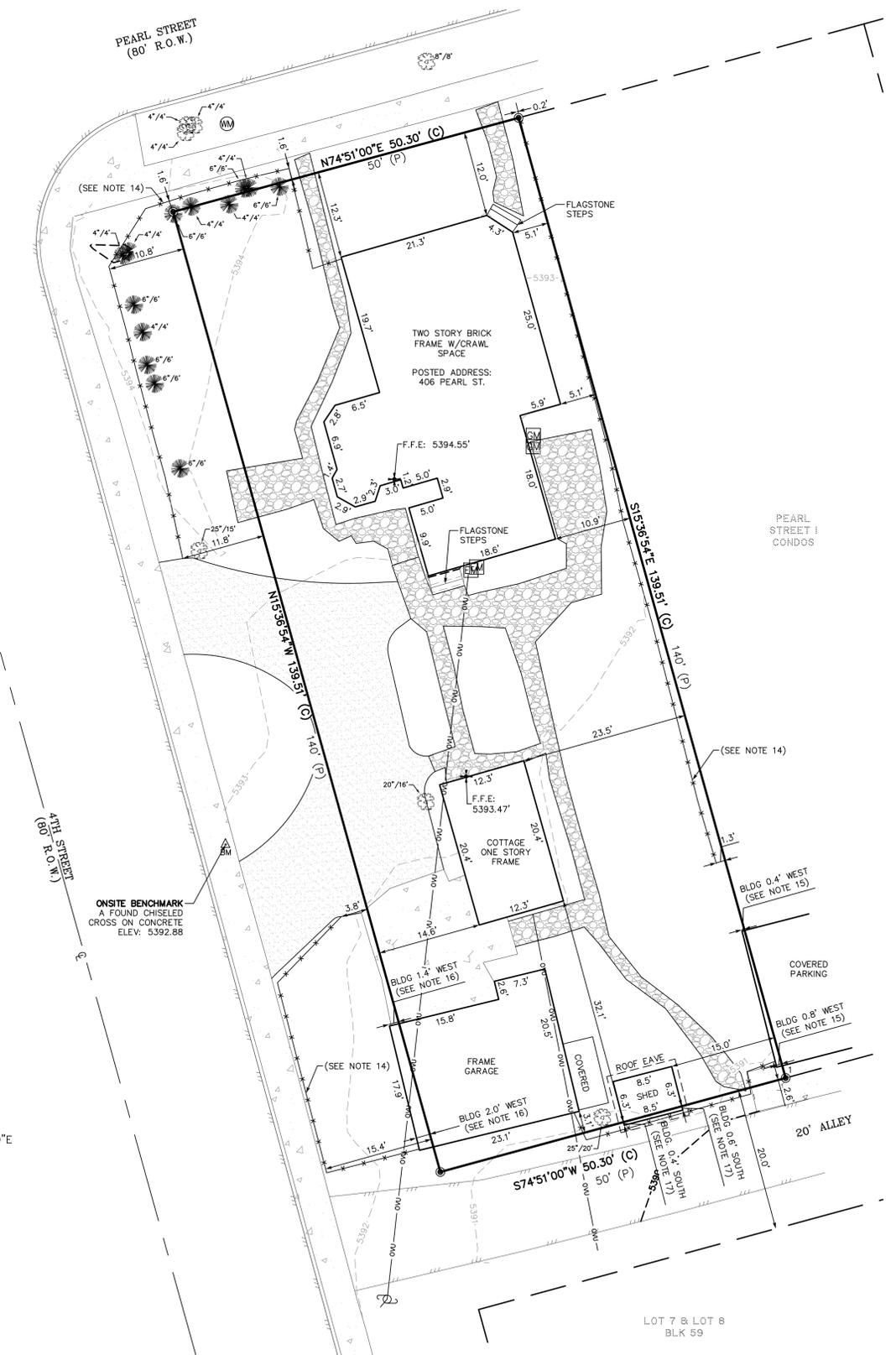
**Legend**

- FOUND MONUMENT AS DESCRIBED
- BM FOUND BENCHMARK AS DESCRIBED
- SET 18" #5 REBAR WITH 1 1/2" ALUMINUM CAP "FLATIRONS SURV 16406"
- SET 1" BRASS TAG "FSI 16406"
- (AM) AS MEASURED AT TIME OF SURVEY
- (C) CALCULATED FROM RECORD AND AS MEASURED INFORMATION
- (P) AS PER THE PLAT OF WEST BOULDER BOOK 2 PG 48
- (S) AS PER SURVEY LOT LINE ADJUSTMENT REC. NO. 2201907
- ▭ CONCRETE
- ▨ EDGE OF ASPHALT
- ▩ GRAVEL
- ▧ FLAGSTONE
- FENCE
- x"/x' DECIDUOUS TREE (TRUNK DIAMETER/DRIP LINE RADIUS)
- \*"/x' CONIFEROUS TREE (TRUNK DIAMETER/DRIP LINE RADIUS)
- Ⓜ WATER METER
- EM ELECTRIC METER
- OVERHEAD UTILITY LINE
- UTILITY POLE
- GM GAS METER
- + LOCATION OF BUILDING FINISHED FLOOR
- ℄ CENTERLINE
- FFE FINISHED FLOOR ELEVATION
- ELEV ELEVATION



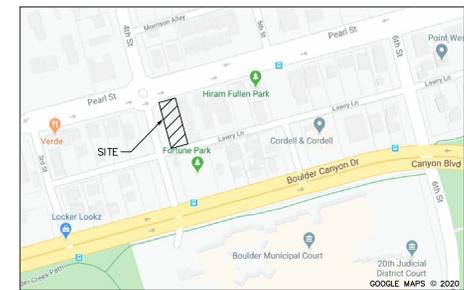
**Boundary Closure Report**

COURSE: N74°51'00"E LENGTH: 50.30'  
 COURSE: S15°36'54"E LENGTH: 139.51'  
 COURSE: S74°51'00"W LENGTH: 50.30'  
 COURSE: N15°36'54"W LENGTH: 139.51'  
 ERROR CLOSURE: 0.00 COURSE: N00°00'00"E  
 ERROR NORTH: 0.000 EAST: 0.000  
 PRECISION 1: 379620000



**Notes**

1. AMERICAN LAND TITLE ASSOCIATION TITLE COMMITMENT NUMBER F0657924-170-TB7, DATED JANUARY 15, 2020, WAS ENTIRELY RELIED UPON FOR RECORDED INFORMATION REGARDING RIGHTS-OF-WAY, EASEMENTS AND ENCUMBRANCES IN THE PREPARATION OF THIS SURVEY. THE PROPERTY SHOWN AND DESCRIBED HEREON IS ALL OF THE PROPERTY DESCRIBED IN SAID TITLE TITLE COMMITMENT.
2. ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
3. THIS IMPROVEMENT SURVEY PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF ANDREW & DIANA FORDYCE, NAMED IN THE STATEMENT HEREON. SAID STATEMENT DOES NOT EXTEND TO ANY UNNAMED PERSON WITHOUT AN EXPRESS STATEMENT BY THE SURVEYOR NAMING SAID PERSON.
4. THIS SURVEY IS VALID ONLY IF PRINT HAS SEAL AND SIGNATURE OF SURVEYOR.
5. BASIS OF BEARINGS: GPS DERIVED BEARINGS BASED ON A BEARING OF N74°51'00"E ALONG THE CENTER LINE OF PEARL STREET, BETWEEN A FOUND #5 REBAR WITH 1 1/2" ALUMINUM CAP "COB 22093" AT THE INTERSECTION OF PEARL STREET AND 4TH STREET, AND A FOUND #6 REBAR (NO CAP) AT THE INTERSECTION OF PEARL STREET AND 5TH AVENUE (BY PLAT) AS SHOWN HEREON. COLORADO STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NORTH AMERICAN DATUM 1983 (NAD83). ALL BEARINGS SHOWN HEREON ARE RELATIVE THERETO.
6. ONLY SURFACE EVIDENCE OF UTILITIES VISIBLE AT THE TIME OF THE FIELDWORK IS SHOWN HEREON. ALL UNDERGROUND UTILITIES MUST BE FIELD LOCATED BY THE APPROPRIATE AGENCY OR UTILITY COMPANY PRIOR TO ANY EXCAVATION, PURSUANT TO C.R.S. SEC. 9-1.5-103.
7. ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT AND/OR BOUNDARY MONUMENT OR ACCESSORY, COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE C.R.S. SEC 18-4-508.
8. THE DISTANCE MEASUREMENTS SHOWN HEREON ARE U.S. SURVEY FOOT.
9. THE CONTOURS REPRESENTED HEREON WERE INTERPOLATED BY AUTOCAD CIVIL 3D (DIGITAL TERRAIN MODELING) SOFTWARE BETWEEN ACTUAL MEASURED SPOT ELEVATIONS. DEPENDING ON THE DISTANCE FROM A MEASURED SPOT ELEVATION AND LOCAL VARIATIONS IN TOPOGRAPHY, THE CONTOUR SHOWN MAY NOT BE AN EXACT REPRESENTATION OF THE SITE TOPOGRAPHY. THE PURPOSE OF THIS TOPOGRAPHIC MAP IS FOR SITE EVALUATION AND TO SHOW SURFACE DRAINAGE FEATURES. ADDITIONAL TOPOGRAPHIC OBSERVATIONS MAY BE NECESSARY IN SPECIFIC AREAS OF DESIGN. TOPOGRAPHY SHOWN HEREON COMPLIES WITH NATIONAL MAP ACCURACY STANDARDS.
10. BENCHMARK INFORMATION: A GPS DERIVED ELEVATION WAS ESTABLISHED AT AN ONSITE BENCHMARK IN THE SIDEWALK ON THE EAST SIDE OF 4TH STREET, BEING A CHISELED X WITH AN ELEVATION OF 5392.88 FEET. A CHECK SHOT, 0.2' WAS TAKEN ON CITY OF BOULDER POINT X7, BEING AN ALUMINUM CAP LOCATED 0.4 MILES FROM SITE, WITH A PUBLISHED ELEVATION OF 5443.99 FEET (NAVD88). NO DIFFERENTIAL LEVELING WAS PERFORMED TO ESTABLISH THIS ELEVATION.
11. SUBSURFACE BUILDINGS, IMPROVEMENTS OR STRUCTURES ARE NOT NECESSARILY SHOWN. BUILDINGS AND OTHER IMPROVEMENTS OR STRUCTURES ON ADJACENT PROPERTIES THAT ARE MORE THAN FIVE (5) FEET FROM ANY OF THE PROPERTY LINES OF THE SUBJECT PROPERTY ARE NOT NECESSARILY SHOWN.
12. DATES OF FIELDWORK: JANUARY 20 & FEBRUARY 24, 2020 (C. GAMET).
13. THE FOLLOWING DOCUMENTS ARE MENTIONED IN THE ABOVE REFERENCED TITLE DOCUMENT AND APPEAR TO AFFECT THE SUBJECT PROPERTY BUT CANNOT BE SHOWN GRAPHICALLY. THE FOLLOWING LIST CONTAINS THE TITLE DOCUMENT EXCEPTION NUMBER, DATE RECORDED, RECEPTION NUMBER AND/OR BOOK AND PAGE. #9 MAY. 14, 1982 REC. NO. 494535 STREET IMPROVEMENT AGREEMENT #10 MAY. 31, 1994 REC. NO. 1432094 DESIGNATION OF HISTORIC DISTRICT
14. THE FENCES ARE NOT COINCIDENT WITH PARCEL LINES AS SHOWN HEREON.
15. THE NEIGHBORS COVERED PARKING EXTENDS INTO LOT 6 PROPERTY WITHOUT THE APPARENT BENEFIT OF A RECORDED EASEMENT.
16. THE GARAGE EXTENDS INTO 4TH STREET R.O.W. AS SHOWN HEREON.
17. THE SHED AND ROOF EAVE EXTENDS OVER THE SOUTHERLY LOT LINE AS SHOWN HEREON.



**Vicinity Map**  
NOT TO SCALE

**Surveyor's Statement**

I, JOHN B. GUYTON, A LAND SURVEYOR LICENSED IN THE STATE OF COLORADO, HEREBY STATE FOR AND ON BEHALF OF FLATIRONS, INC., TO ANDREW & DIANA FORDYCE, THAT A SURVEY OF THE ABOVE DESCRIBED PREMISES WAS CONDUCTED BY ME OR UNDER MY RESPONSIBLE CHARGE ON FEBRUARY 28, 2020; THAT SAID SURVEY AND THE ATTACHED PRINT HEREON WERE MADE IN SUBSTANTIAL ACCORDANCE WITH C.R.S. 38-51-102 (9) "IMPROVEMENT SURVEY PLAT", IS ACCURATE TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, IS IN ACCORDANCE WITH APPLICABLE STANDARDS OF PRACTICE AND IS NOT A GUARANTY OR WARRANTY, EITHER EXPRESSED OR IMPLIED.

JOHN B. GUYTON COLORADO P.L.S. #16406  
CHAIRMAN & CEO, FLATIRONS, INC.

| NO. | REVISION                       | DATE    |
|-----|--------------------------------|---------|
| 1   | MOVED SHED TO CORRECT LOCATION | 4/24/20 |
| 2   |                                |         |
| 3   |                                |         |
| 4   |                                |         |
| 5   |                                |         |
| 6   |                                |         |
| 7   |                                |         |
| 8   |                                |         |
| 9   |                                |         |

IMPROVEMENT SURVEY PLAT  
PREPARED FOR  
**ANDREW AND DIANA FORDYCE**  
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**Flatirons, Inc.**  
Surveying, Engineering & Geomatics  
www.flatironsinc.com  
3825 IRLS AVE. STE. 395  
BOULDER, CO 80501  
PH: (303) 443-7001 PH: (303) 936-6997  
PH: (303) 776-1233 PH: (303) 443-9830  
FAX: (303) 443-9830 FAX: (303) 923-3180



JOB NUMBER:  
20-74,206  
DATE:  
03-04-2020  
DRAWN BY:  
D. VILLACRESIS  
CHECKED BY:  
EP/JK/ZG

SHEET 1 OF 1

# SAMUEL AUSTIN & COMPANY ARCHITECTS, INC.

07-21-2020

## 406 Pearl: Existing Coverage and Existing FAR

Revised Coverage and Total existing Floor Area:

**Revised Existing Coverage = 1866 Square Feet**

### Calculation:

House foot print: 1,118

Cottage: 263

Shed: 53

Barn: 432

Total coverage: 1866

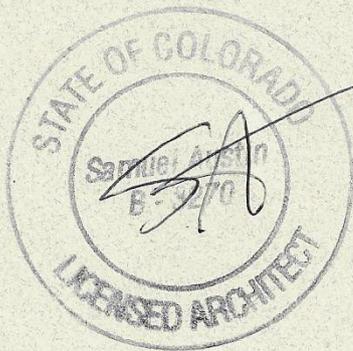
**Revised Existing FAR = 2610 Square Feet**

### Calculation:

Total Coverage 1866

Existing Second Floor: 744

Total FAR = 2610



1701 15th Street, Unit A • Boulder, Colorado 80302 • 303/499-2099  
E-mail: sam@samuelaustin.com • Portfolio: www.samuelaustin.com