

MEMORANDUM

December 3, 2014

TO: Landmarks Board

FROM: Lesli Ellis, Comprehensive Planning Manager
James Hewat, Senior Historic Preservation Planner
Marcy Cameron, Historic Preservation Planner
Angela Smelker, Historic Preservation Intern

SUBJECT: Public hearing and consideration of a Landmark Alteration Certificate to alter windows to create an entrance at the north (primary) elevation of **1029 Broadway St.** (pending landmark), per section 9-11-18 of the Boulder Revised Code (HIS2014-00354).

STATISTICS:

1. Site: 1029 Broadway, Evans Scholars Building
2. Designation: Individual Landmark (pending)
3. Zoning: RH-5 (Residential High Density-5)
4. Lot Size: 12,596 square feet
5. Applicant: Catherine Quintero, Burkett Design
6. Owner: Evans Scholar Program

STAFF RECOMMENDATION:

Based on staff's opinion that, if the applicant complies with the conditions listed below, the alteration will be generally consistent with the conditions specified in Section 9-11-18, B.R.C. 1981, the *General Design Guidelines*, Staff recommends that the Landmarks Board adopt the following motion:

I move to adopt the staff memorandum dated December 3, 2014, as findings of the board, and approve a Landmark Alteration Certificate for the proposed alteration shown on plans dated 09/16/2014, finding that it generally meets the standards for issuance of a Landmark Alteration Certificate in Chapter 9-11-18, B.R.C. 1981, subject to the following conditions:

CONDITIONS OF APPROVAL:

1. The applicant shall be responsible for making modifications to the north face of the building in compliance with the approved plans dated 09/16/2014, except as modified by these conditions of approval.
2. Prior to submitting a building permit application and final issuance of the Landmark Alteration Certificate, the applicant shall submit a revised design that:
 - (A) Locates the entrance to the west side of the north addition;
 - (B) Revises the replacement of non-historic windows on the north addition to more closely replicate the appearance of the screened in porch visible in the 1930s photograph;
 - (C) Eliminates the proposed new windows and door at the north wall of the main building;
3. The Landmarks design review committee shall review details of the remodel, including doors and window details, moldings and proposed insets, paint colors, and any associated hardscaping to ensure that the approval is consistent with the *General Design Guidelines* and the historic preservation ordinance.

SUMMARY:

- The building was constructed for the Beta Kappa chapter of the Phi Gamma Delta fraternity in 1918 and, in 1968, purchased by the Evans Scholar program that currently owns the property.
- An application to landmark the property was received on March 20, 2014 in coordination with a Site Review application to add to the south end of the building and request a parking reduction.
- Section 2.24 of the *Boulder Valley Comprehensive Plan* states that historic architectural properties should be preserved if subject to discretionary review. In this case, the property is subject to Site Review. The landmark designation is pending and will go forward if the Site Review approval is granted by the Planning Board
- Designs for the proposed two-story addition have been reviewed and approved with conditions by the Landmarks design review committee (Ldrc). Design details and final approval of the addition are pending.

- The proposal to change window openings to doors on the north (primary) elevation of the building to create an entrance was referred for consideration to the full Landmarks Board by the Ldrc on August 5, 2014.
- Staff's recommendation to approve the proposed alteration is based upon the understanding that the stated conditions will be reviewed and approved by the Landmarks design review committee (Ldrc) prior to the issuance of a Landmark Alteration Certificate.

PROPERTY HISTORY:

The property at 1029 Broadway is located on a 12,596 square foot polygon-shaped lot at southeast corner of 15th St. and Broadway. An alley runs along the east edge of the property. It is located in the potential University Hill Historic District.



Figure 1. Location Map, 1029 Broadway

This property was originally addressed as 1500 South Broadway and first appears on Sanborn Fire Insurance Maps in 1931. The street address changed to 1029 Broadway in 1943.

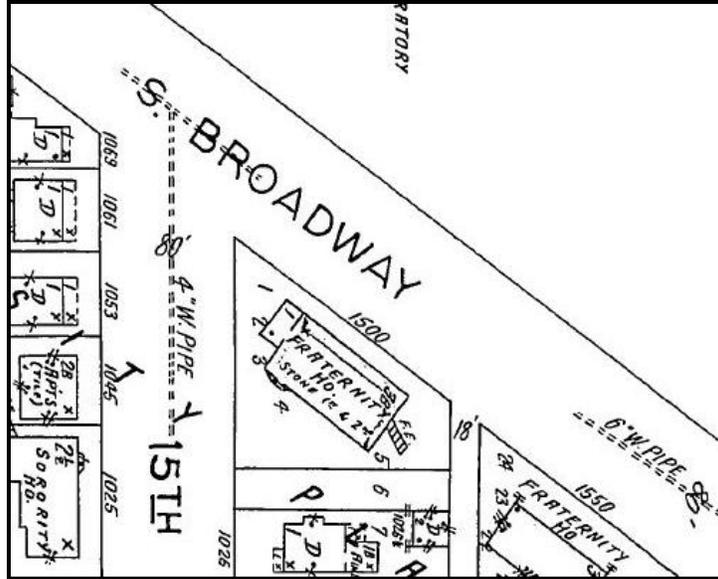


Figure 2. 1931 Sanborn map of 1500 (later 1029) S. Broadway.

Robert Urquhart bought the property in 1894 from the Denver & Boulder Land Investment Co. In 1911, the property was purchased by Hattie M. Swaisgood, who worked at Turnure-Swaisgood Shoe Co., and was married to William, a Boulder Post Office employee. In 1916, Hattie sold the property to the Beta Kappa Association. The building is listed for the first time in the 1918 City Directory, which coincides with the date of construction of the building listed on the Tax Assessor Card. The building was constructed for the Beta Kappa chapter of the Phi Gamma Delta fraternity.

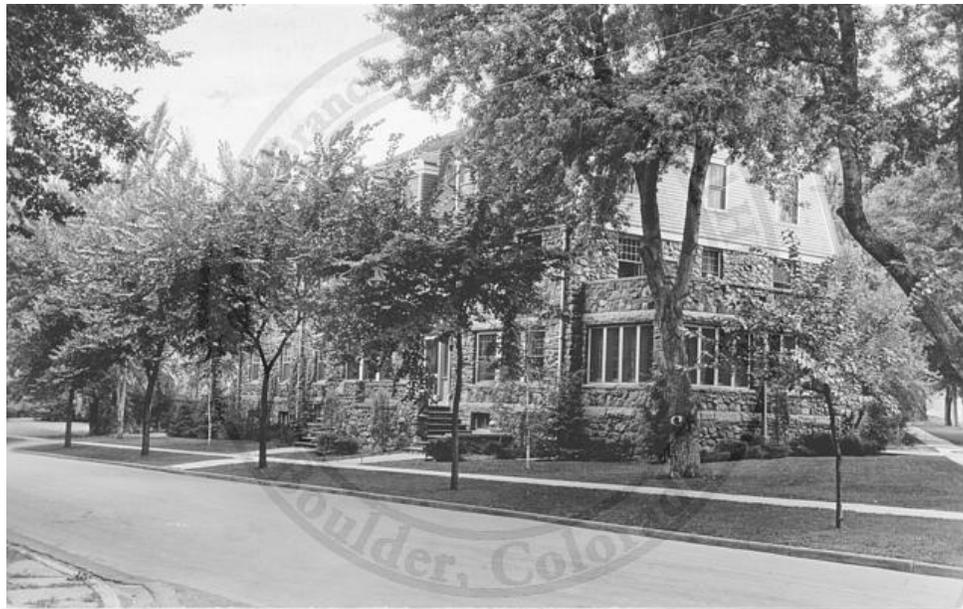


Figure 3: 1029 Broadway, Northeast corner, 1930s

The Beta Kappa society was organized at the University of Colorado in 1912, and they moved into the house in 1918. In the Fraternity's published periodical of November 12, 1930, an article describing the interior and exterior of their house references the architect of the building as "Mr. Fisher."

The Beta Kappa Association owned the house until 1968. Many members were noted for being varsity football players, and during the mid 1960s, the building quartered the Women's Reserve of the United States Naval Reserves. Sadly, the fraternity's history in the house also included a death. Norman Bessee, a freshman at the University, died when a fire broke out in the house in 1944.



Figure 4: 1029 Broadway, Tax Assessor Card photograph c.1949.

In 1968, the Evans Scholars Foundation purchased the property. Created in 1929 by legendary golfer Chick Evans, Jr., the foundation provides college scholarships to golf caddies. In 1940, the Evans Scholar foundation established its first chapter house at Northwestern University. Today, there are a total of 14 chapter houses at universities across the United States. When received, the scholarship provides full tuition and housing. The recipients are selected based on their caddie record, academic achievement, and financial need. At the Evans Scholarship Houses, the students live and work together, elect their own officers, and participate often in community service and in university programs.

The Evans Scholars Foundation continues to own the building today. They have been careful stewards of the building for over 40 years.

DESCRIPTION:

The two and a half story building was built in 1918 and is an example of Dutch Colonial Revival influenced architecture reflected in its gambrel roof, pedimented dormers, and evenly spaced windows. The building has an off-center entrance with a stone stoop and wrought iron balustrade. Two sets of three double-hung windows flank each side of the entrance. These windows share a lintel. Single double hung windows are evenly placed on the rest of the facade. All windows on the building have stone sills. Seven pedimented dormers are located on the north face of the roof and feature one-over-one light windows



along the façade.

Figure 5: Façade, 1029 Broadway, 2014.

One-story additions are located on the east and west elevations. The west addition was constructed prior to 1931 and may have been a porch that was later enclosed. It is constructed of similar stone as the original building and features similar stone lintels and banding. The east extension was constructed in 1953 and incorporated a stone rubble wall that extends from the building's foundation. The east addition is clad in sandstone and features three aluminum clad windows. The building has a stone foundation and stone chimneys.

The 1991 Historic Building Inventory Form indicates that the building to have been moderately altered over the years. The entrance originally had a pedimented hood supported by columns, and the stoop has been altered. The form also indicated that a balustrade is missing on the second story balcony on the northern extension. The original divided-light windows have been replaced with double-hung windows. The Historic Building Inventory Form indicates that

Memo to the Landmarks Board
Re: Landmark Alteration Certificate for 1029 Broadway

the building may be eligible for local landmark designation. See Attachment B: 1987 Historic Building Inventory Form.



Figure 6: north elevation, from Broadway and 15th Street, 2014.



Figure 7: northwest corner from 15th Street

the most prominent elevation and will contain character defining doors and/or windows.

While the east elevation is the façade and all faces of this building have relatively high visibility, the location of the north addition on the corner of 15th Street and Broadway renders it particularly conspicuous at this busy intersection. Staff's analysis assumes that this face of the building is primary.



Figure 9: north elevation windows

Currently, the north wall of the north addition is fenestrated with two banks of double hung windows which appear to have been replaced within the last twenty years and are not historic. While the windows appear to be replacements, the openings appear to be original to the construction of this addition (*See figure 3*).



Figure 10: north elevation, from Broadway and 15th Street, 2014.

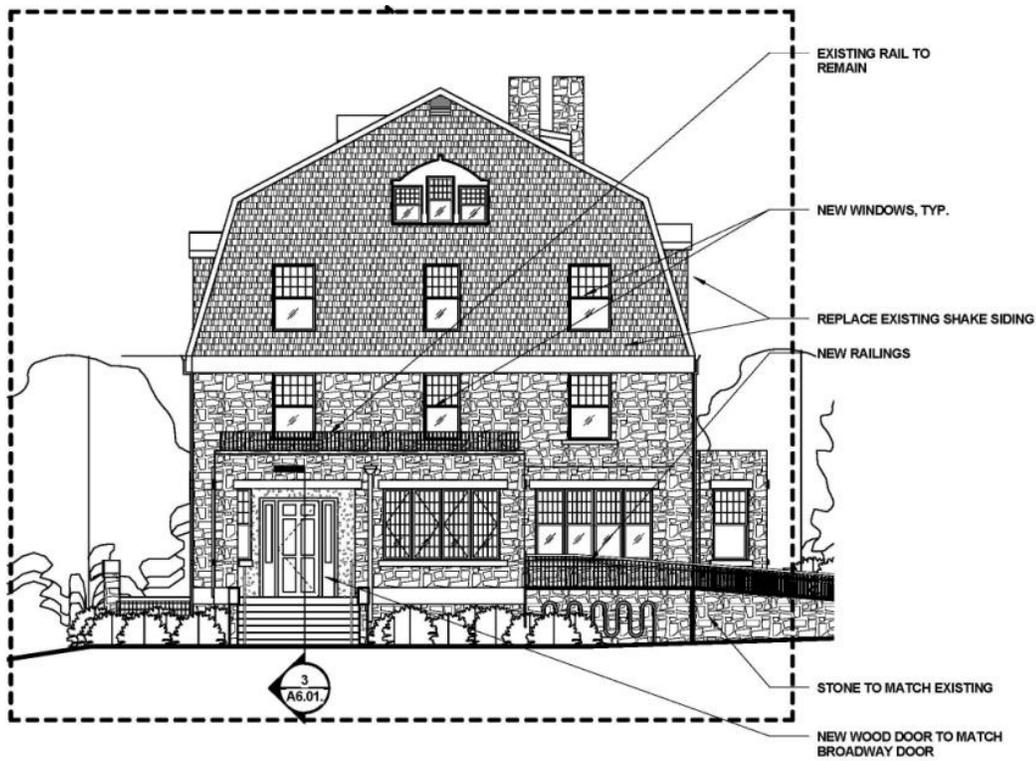


Figure 11: Proposed West elevation

Modifications to this face include remodeling the east bank of windows to provide for a single door and sidelights accessed by a 10' wide stair. Wing walls of the stair are shown to be constructed of random ashlar bisected by a stone string course marching the masonry on the north addition. The east bank of

windows on the north face are shown to be replaced with 30-light casement sash and a bank of four new window openings with 15-over-one, double hung sash to be installed at the west side of the north addition, next to the proposed ADA ramp. The area immediately north of the new stair is shown to be paved with pervious pavers.



Figure 12: west face of north addition

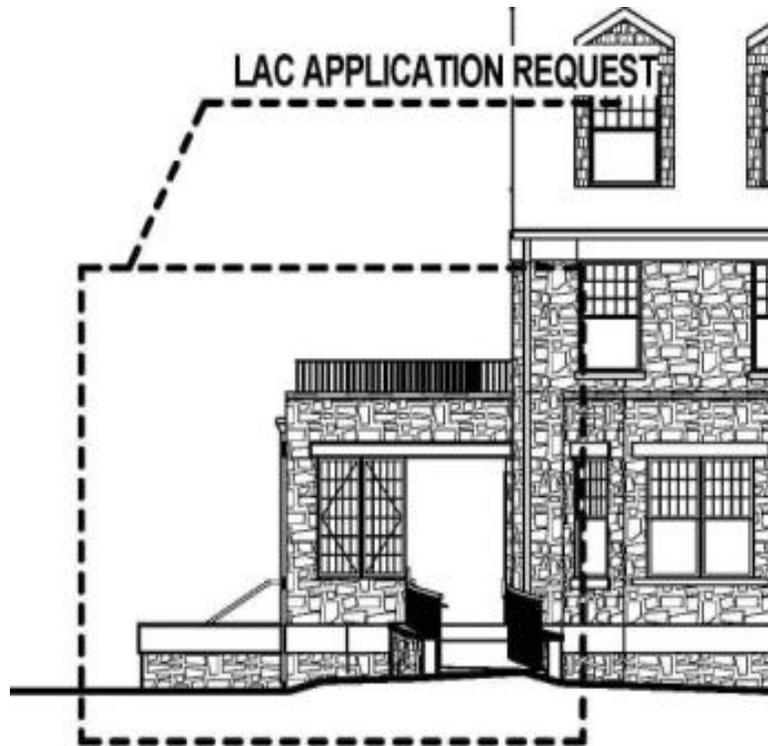


Figure 13: west face of north addition

Drawings of the west face of the north addition call for removal of windows and enlarging of the openings to provide for an accessible entrance that will be accessed via and Americans with Disabilities (ADA) compliant ramp. Given the location of this elevation at the rear of the building, but still very visible from 15th Street, Staff considers that it should be characterized as *secondary* per the *General Design Guideline* definition which reads:

Typically the side of a building that has less public visibility, and may have fewer significant character defining features than on a primary elevation. An elevation that has visibility from an alley may be considered a secondary elevation.

Staff's analysis of changes to the west face of the north addition assumes that it is *secondary*.

CRITERIA FOR THE BOARD'S DECISION

Subsection 9-11-18(b) and (c), B.R.C. 1981, sets forth the standards the Landmarks Board must apply when reviewing a request for a Landmark Alteration Certificate.

(b) Neither the Landmarks Board nor the City Council shall approve a Landmark Alteration Certificate unless it meets the following conditions:

ANALYSIS

1. Does the proposed application preserve, enhance, or restore, and not damage or destroy the exterior architectural features of the landmark or the subject property within a historic district?

Staff considers that locating a new entrance at the primary north elevation of the addition would damage the architectural character of the building, but finds that locating a new entrance at the west face of the north addition would preserve the architectural features of the landmark property (pending). The applicant's desire to increase the prominence of the north entrance could be achieved through landscape modifications and signage.

2. Does the proposed application adversely affect the special character or special historical, architectural, or aesthetic interest or value of the district?

The staff finds that, provided the listed conditions are met as outlined in 1) above, the proposed application will not adversely affect the special character or special historic, architectural, or aesthetic interest or value of the landmark property as it will be generally compatible with the *General Design Guidelines* in terms of fenestration and the American's with Disabilities Act.

3. Is the architectural style, arrangement, texture, color, arrangement of color, and materials used on existing and proposed structures compatible with the character of the historic district?

Staff finds that, provided the listed conditions are met, the proposed modifications will be generally compatible with the landmark property (see Design Guidelines Analysis section).

4. Does the proposal to demolish the building within the Mapleton Hill Historic District and the proposed new construction to replace the proposed demolished building meet the requirements of paragraphs 9-11-18(b)(2), 9-11-18(b)(3) and 9-11-18(b)(4) of this section?

Not applicable.

ANALYSIS:

The Historic Preservation Ordinance sets forth the standards the Landmarks Board must apply when reviewing a request for a Landmark Alteration Certificate. The Board has adopted the *General Design Guidelines* to help interpret the historic preservation ordinance. The following is an analysis of the proposed new construction with respect to relevant guidelines. Design guidelines are intended to be used as an aid to appropriate design and not as a checklist of items for compliance.

The following is an analysis of the proposal’s compliance with the appropriate sections of the *General Design Guidelines*.

GENERAL DESIGN GUIDELINES:

3.7	Windows		
	<i>Windows, the elements that surround them, and their relationship to one another are one of the most important character-defining elements of a historic building and should be preserved. Improper or insensitive treatment of the windows on a historic structure can seriously detract from its architectural character. Windows on facades visible from public streets, particularly the front façade, are especially important.</i>		
.1	<i>Retain and preserve existing historic windows including their functional decorative features . . . In some cases, it might be appropriate to use window elements from the side or rear elevations to repair those on the front.</i>	The windows on the north face are relatively recent replacements. While the design guidelines are not explicit on this matter, the changing of historic openings or introduction of new openings have been assessed using the window matrix in 3.7.5 of the <i>General Design Guidelines</i> .	Maybe
.2	<i>Preserve original window (and door) locations; do not move from their historic placement.</i>	Proposed change of windows to door and new windows and openings on highly visible north face of building is inconsistent with this guideline. Consider locating new entrance next to proposed ADA entrance at less visible west side and revising plan to eliminate new window openings at north face of main building. Doing so will preserve the historic fenestration on this	No

		face of the building. Review at Ldrc	
.6	<i>Location of windows (and doors) is important in assessing their significance to a historic building. In general, the more important the elevation is located the less likely it is changes will be appropriate. Elevations will be categorized as primary, secondary, or primary.</i>	Proposed change of openings at north face of addition and new windows and window openings should be considered given their high visibility. Consider replacing non-historic windows at north addition with sash in character with single-light windows to more closely replicate the historic condition which in historic photographs appears to have been a screened in porch area. Eliminate new window openings at north face of main building. Review at Ldrc.	No
3.8	Doors		
	<i>Front doors and primary entrances are among the most important elements of historic buildings. The original size and proportion of a front door, the details of the door, the door surround, and the placement of the door all contribute to the character of the entrance.</i>		
.2	<i>Retain and preserve the functional, proportional and decorative features of a primary entrance. These features include the door and its frame, sill, head, jamb, moldings, and any flanking windows.</i>	Main entrance on Broadway will be retained, but will not function. Locating new entrance at north addition will visually compete with historic entrance to building. Consider locating new entrance to building at west face of north addition next to proposed ADA ramp. Review at Ldrc.	No
.10	<i>Windows in additions and new buildings should reflect window patterns and proportions of the existing . . . for elevations visible from public streets, relationship of voids to solid should also be compatible.</i>	Proposed replacement windows in north addition should more closely match appearance of screened in porch. Proposed 30-light windows do not approach this appearance. Consider replacing windows with single light casement sash visible in 1930s view of the building. Review at Ldrc.	No
.13	<i>Symmetry or asymmetry of openings should be maintained.</i>	Symmetry of fenestration of fenestration on north face of north	No

		addition will be changed by proposal.	
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8.8 Americans with Disabilities Act.		Meets Guidelines?	
<i>Places of public accommodation are required to provide access under provisions of the ADA. In the case of historic buildings, provisions for using alternative measures exist if the property is historically or architecturally significant. When changes are necessary, careful consideration must be given to how changes can be incorporated without compromising the integrity of the historic building.</i>			
.1	<i>Provide barrier free access that promotes independence for the disabled to the highest degree practicable, while preserving significant historic features.</i>	Proposed location of ADA ramp and entrance at west (secondary) elevation of north addition appropriate in providing barrier-free access without negatively affecting historic character of the property.	Yes
.2	<i>The appearance of ramps should not significantly detract from the historic character of the building.</i>	Location of ramp at west face of north addition will not detract from the historic character of the property.	Yes
.3	<i>If the addition of accessibility improvements negatively impacts significant historic elements, these improvements should be designed to be reversible.</i>	Proposed ramp appears relatively reversible.	Yes

Staff considers the proposed location of a new entrance at the north elevation of the north addition inappropriate given the high visibility of this face of the building. Likewise the introduction of new window openings at the north wall of the main portion of the building is also inappropriate and would change the essential character of this highly visible face of the building. The replacement of the non-historic windows with 30 light casement sash on this face of the building is also inappropriate give that this portion of the building appears to have been a screened in porch area accessible only from the interior.

Staff recommends that the applicant consider location the new entrance at the west (secondary) elevation of the addition next to the proposed ADA entrance. While this will result in a visual change to the building, it will be much less impactful. The remaining non-historic windows on the north addition should be replaced with single light casement sash which more closely mimic the

appearance of the screened in porch visible in the 1930 photograph of the building. Staff considers that these modifications to the design including details of the new stair and ramp construction, new doors and windows and associated hardscaping should be reviewed and approved by the Landmarks design review committee.

PUBLIC COMMENT

Staff has received no public comment regarding this case.

FINDINGS:

Provided the conditions outlined in the staff recommendation are met, staff recommends that the Landmarks Board approve the application and adopt the following findings:

1. The proposed new construction meets the standards in 9-11-18 of the Boulder Revised Code.
2. The proposed modifications to the property will not have an adverse effect on the value of the landmark property, as it will be generally compatible with the character of the landmark (pending).
3. In terms of fenestration and detailing the modifications to the north addition of the building will be generally consistent with Section 9-11-18 B.R.C., Sections 3.7, 3.8, and 8.8 of the *General Design Guidelines*.

ATTACHMENTS:

- A: Tax Assessors Card
- B: Photographs
- C: Plans

Memo to the Landmarks Board
Re: Landmark Alteration Certificate for 1029 Broadway



1029 Broadway Tax Assessor Card photograph, c. 1949

Attachment B: Photographs



1029 Broadway, northeast corner, 2014.



1029 Broadway, close up of front entrance, 2014.

Memo to the Landmarks Board
Re: Landmark Alteration Certificate for 1029 Broadway



1029 Broadway, east elevation, 2014.



1029 Broadway, close up of east elevation, 2014.

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Re: Landmark Alteration Certificate for 1029 Broadway



1029 Broadway, south (rear) elevation, 2014.



1029 Broadway, east elevation, 2014.

Memo to the Landmarks Board
Re: Landmark Alteration Certificate for 1029 Broadway



1029 Broadway, south elevation of 1953 addition, 2014.



1029 Broadway, basketball court on south side of property, 2014.

Memo to the Landmarks Board
Re: Landmark Alteration Certificate for 1029 Broadway

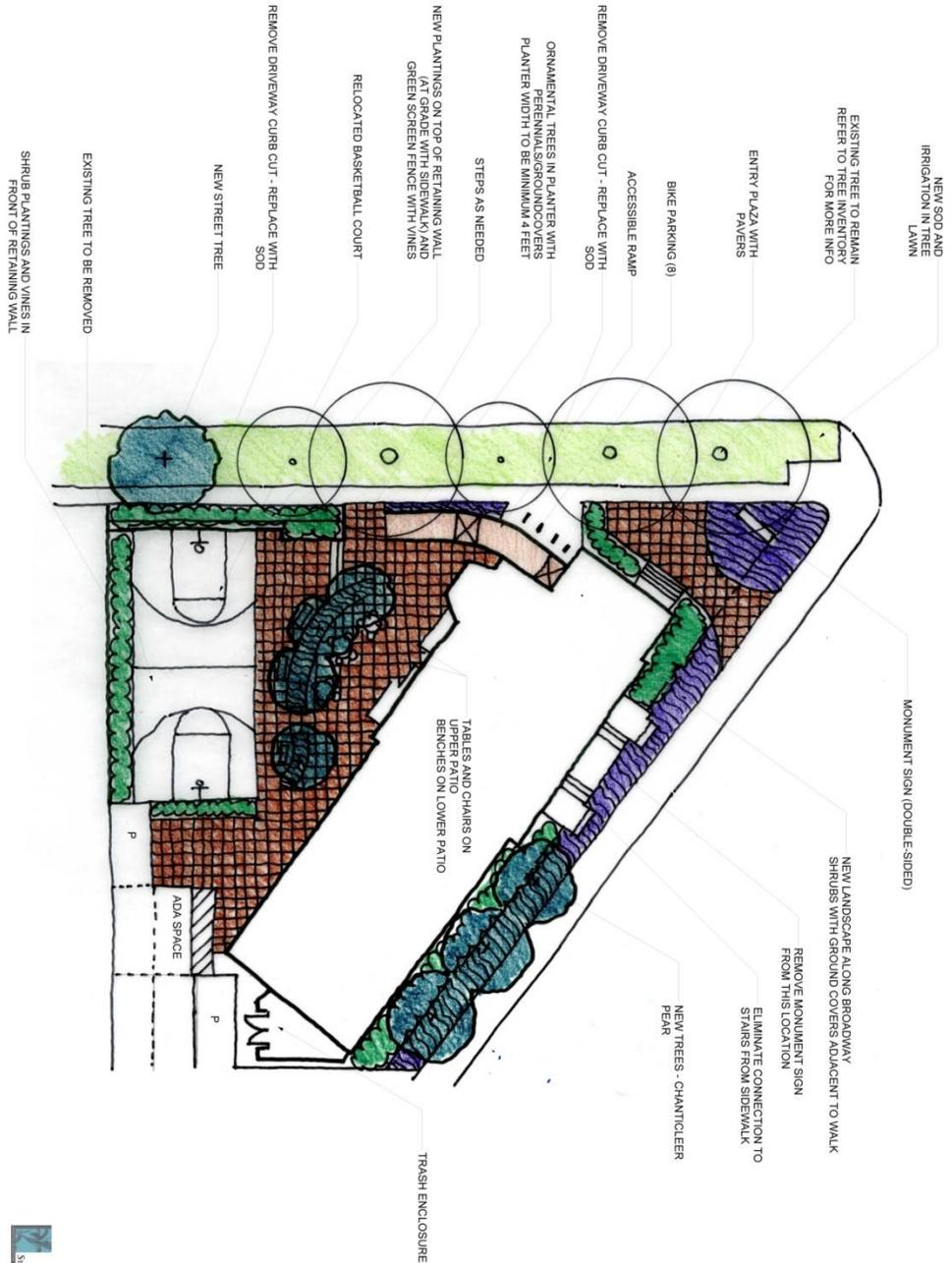


1029 Broadway, northeast view of property. Broadway on left, 15th St. on right, 2014.



1029 Broadway, looking east down 15th St. 1029 Broadway on right, 2014.

Attachment C: Plans



CONCEPTUAL SITE PLAN
 10 SCALE
 9-24-14



EVANS SCHOLARS HOUSE

1029 BROADWAY
 BOULDER, CO 80302

BURNETT	DESIGN
ARCHITECT	ARCHITECT
1029 BROADWAY	1029 BROADWAY
BOULDER, CO 80302	BOULDER, CO 80302
PH: 303.440.1100	PH: 303.440.1100
WWW.BURNETTDESIGN.COM	WWW.BURNETTDESIGN.COM

BURNETT	DESIGN
ARCHITECT	ARCHITECT
1029 BROADWAY	1029 BROADWAY
BOULDER, CO 80302	BOULDER, CO 80302
PH: 303.440.1100	PH: 303.440.1100
WWW.BURNETTDESIGN.COM	WWW.BURNETTDESIGN.COM
CONTENTS	
JOB NO.	
ISSUE	DATE
SHEET NO.	
L 1.0	

Conceptual Site Plan



D ELEVATION PHOTO - ALLEY



B ELEVATION PHOTO - BROADWAY



C ELEVATION PHOTO - 10TH STREET

LAC APPLICATION REQUEST



A ELEVATION PHOTO - REAR

EXISTING BUILDING PHOTOS

BURKETT DESIGN
 ARCHITECTURAL
 1000 W. 10TH AVENUE, SUITE 100
 BOULDER, CO 80502
 TEL: 303.440.1234
 WWW.BURKETTDESIGN.COM

These photos were taken on the date indicated below. The photos are the property of Burkett Design and are not to be used for any other purpose without the written consent of Burkett Design.

**LANDMARK ALTERATION
 CERTIFICATE APPLICATION
 EVANS SCHOLARS HOUSE**
 1029 BROADWAY
 BOULDER, CO 80302

BURKETT DESIGN	
ISSUE	DATE
CONTRACT NO.	PROJECT NO.

CONTENTS
 EXISTING ELEVATION PHOTOS
 JOB NO.
 SHEET NO.
A6.00.



1.1 PERSPECTIVE - OPTION B ENTRANCE

BURKETTDESIGN
 ARCHITECTURE INTERIOR DESIGN
 1000 17TH AVENUE
 BOULDER, CO 80302
 TEL: 303.440.1000
 WWW.BURKETTDESIGN.COM

**LANDMARK ALTERATION
 CERTIFICATE APPLICATION
 EVANS SCHOLARS HOUSE**
 1029 BROADWAY
 BOULDER, CO 80302

BURKETTDESIGN
 ARCHITECTURE
 PROJECT: EVANS SCHOLARS HOUSE
 SHEET NO. **A9.01.**

Perspective- Option B Entrance

Attachment D: Project Description Letter from Applicant



**Western Golf Association
Evans Scholars Foundation**

September 24, 2014

Landmark Review Board
CITY OF BOULDER
Department of Community Planning and Sustainability
1739 Broadway, Third Floor
Boulder CO 80306-0791

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President & CEO
John M. Kaczowski

RE: Evans Scholars House Landmark Alterations Certificate Application
Case # HIS2014-00073

Dear Sirs and Madams,

The Evans Scholar Foundation a non-profit fraternity house has operated a coed student housing for scholarship recipients at 1029 Broadway in Boulder, Colorado and for over fifty years. Sponsored by the Western Golf Association, the Evans Scholars Foundation has helped more than 10,000 students attend college since it's creation in 1930. The Evans Scholars House at CU Boulder offers a four - year scholarship and housing to student golf caddies who can prove financial need and academic achievement.

The house was originally built in 1918 for the Beta Kappa chapter of the Phi Gamma Delta chapter. The Evans Scholars Foundation purchased the building in 1968.

One-story additions are located on the east and west elevations. The west addition was constructed prior to 1931 and appears to have been a porch that was later enclosed. It is constructed of similar stone as the original building and features similar stone lintels and banding. The east extension was constructed in 1953 and incorporated a stone rubble wall above the existing stone rubble wall which previously enclosed the exterior yard. The house is an example of Dutch Colonial Revival with the exception of the addition on the east side of the house , and has remained essentially unaltered since that time.

With the growth of the Evans Scholars program, we have more female scholars than in the past. This change along with operational upgrades has caused us to require some modifications to the house to increase safety, accessibility and livability.

In order to construct these improvements, we have submitted applications for both Site Review and Use Review. In addition, we voluntarily submitted an application for local historic landmark designation with the City of Boulder in March 2014. The landmark's board recommended approval of the designation at the hearing on August 6,2014.

We have been working with the Landmark Design Review Committee over the past 6 months to designate the building and have incorporated their recommendations into the majority of the improvements to the building in order to maintain the integrity of the historical aspect of the house.

Requested Modification: We are requesting approval of the following modification to the building:

15th Street Entrance

For the safety of the Scholars, we would like to create one point of entry to the house that is easily identifiable and can be monitored from inside. The historic entrance off Broadway is no longer functional as the widening of Broadway has encroached into sidewalk area which makes it very tight.

We would like to create an entrance on the west side of the building /15th Street side where the pre-1931 addition was added (enclosed porch). The construction of this entrance would ensure

Memo to the Landmarks Board
Re: Landmark Alteration Certificate for 1029 Broadway

that there is one entry into the building that is ADA compliant and is accessible from both Broadway, the back patio and parking area.

We are requesting acceptance of a new entrance on the 15th street face of the house for several reasons. The proposed entrance keeps with the character of the original house, as it replaces existing window openings with an opening/entrance. We originally proposed the opening in the center, however have moved it to align with the existing windows. We believe this provides a good balance between the past and the present needs of the house. We understand that there are ADA exceptions to landmarked buildings, however want one entry point for all guests and scholars.

The windows on the 15th street side of the building will be replaced with factory finished steel windows with 15 lites over 1 to match the original windows. One section of windows on the west side would be removed for the addition of the new entrance to the porch. The existing lintel above the opening will be maintained. New steps and guardrails will be designed to blend with the existing building but will demark the old and the new per the LRC. The entry doors will be located in the existing wall beyond the existing stone exterior wall. The new door will be made of wood and will match the existing Broadway street entrance.

The current entrance off Broadway doesn't support the goals of the Evans Scholars Foundation to create a safe, secure, accessible and an inviting home environment. The 15th street entrance will give prominence to the building and create a safe and functional entrance which it is currently lacking.

(See the attached site plan and elevations for reference).

Approved Modifications : We have worked closely with the LDRC to design and modify the following changes to the building in response to comments received to date:

1.Addition on East Side of House

Remove the portion of the building which was built in 1953 from the east side of the house and re-build a structure in its place which will provide more useful spaces for the Scholars. The addition will house study spaces, an ADA compliant restroom and an ADA compliant sleeping quarter for the occasional guest or scholar who may be temporarily disabled.

Our original goal for the addition was to make it blend in with the original construction by matching the materials and details. After review with the LDRC we have come to an agreement on the materials and forms of the addition which will clearly delineate the existing from the new. We are required to retain the existing stone water table portion of the addition since it was a partial wall from the original house. The new construction above the stone wall will be constructed of either stucco in a light neutral color or a smooth flat finish limestone tile in segments of approximately 24" x 36".

Broadway Entrance

Due to the widening of Broadway St. and reduction of the front lawn of our property on Broadway over the years, the Broadway entrance no longer has the prominence of a primary entrance. ADA access to this entrance would require a ramp of approximately 48'- 50' in length and is too far from the ADA parking.

We would like to eliminate the steps at this entrance, however after review with the LDRC and per their request we agreed to keep the steps at this former entrance and provide an iron gate around the steps with signage to identify that it isn't an entrance and the new entrance is on 15th street.

Window replacement on the original house

The existing windows were installed 35 years ago. The windows are bronze aluminum double hung style, are not energy efficient, and are not consistent with the original windows. We plan to replace the windows with energy efficient windows and understand

Memo to the Landmarks Board
Re: Landmark Alteration Certificate for 1029 Broadway

the importance of improving the historic character of the building through this modification.

After meeting with the LDRC they requested that the new windows match the 15 lite over 1 double hung windows which are shown in a historical photo presumed to be the original windows in either steel or wood.

We have agreed to upgrade these windows and will have them custom made from Hope's or equal.

Windows on the east side addition

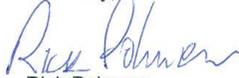
The windows on the new addition will be plain double hung windows without divided lites so they are different from the existing house per the LDRC. The finish of the frames will be consistent with the replacement windows on the existing house and will have the same jamb profile.

Our team of architects and designers at BurkettDesign and Studio Terra have been working collaboratively and diligently with Staff and the LDRC to arrive at a design which will preserve the historic qualities of the house as well as provide functional, operational and safety improvements for our scholars. We appreciate your consideration of this request and are confident that all of the changes will keep with the historic intent of the building as well as provide much needed safety, accessibility, energy efficiency and operational improvements to ensure a safe and beautiful place for our scholars to reside during their time at CU.

The Foundation understands the benefits of an historic landmark designation and is excited to move forward in partnership with the City.

Please don't hesitate to contact me if you have any questions. 303-910-3725

Sincerely,



Rick Polmear
Director
Evans Scholars Foundation

Cc: Rick Burkett – **BURKETTDESIGN, INC.**
Catherine Quintero – **BURKETTDESIGN, INC.**
Danica Powell – Trestle Strategy Group