

MEMORANDUM

December 3, 2014

TO: Landmarks Board

FROM: Lesli Ellis, Comprehensive Planning Manager
Marcy Cameron, Historic Preservation Planner
James Hewat, Senior Historic Preservation Planner
Angela Smelker, Historic Preservation Intern

SUBJECT: Public hearing and consideration of issuance of a demolition permit for the building located at **1103 6th St.**, a non-landmarked building over 50 years old, pursuant to Section 9-11-23 of the Boulder Revised Code (HIS2014-00301).

STATISTICS:

1. Site: 1103 6th St.
2. Date of Construction: c. 1900
3. Zoning: RL-1 (Residential Low)
4. Lot Size: 14,271 sq. ft.
5. Owner: Patricia Faulkner
6. Applicant: Olga DeLange

STAFF RECOMMENDATION:

The Community Planning and Sustainability Department (CP&S) recommends that the Landmarks Board adopt the following motion:

I move that the Landmarks Board approve the demolition permit application for the buildings located at 1103 6th St. finding that, due to a loss of architectural integrity, the property is not eligible for landmark designation and adopt the staff memorandum dated Dec. 3, 2014, as the findings of the board. The Landmarks Board recommends that prior to issuance of the demolition permit, staff require the applicant to submit to CP&S staff for recording with Carnegie Library:

1. *A site plan showing the location of all existing improvements on the subject property;*
2. *Measured elevation drawings of all faces of the buildings depicting existing conditions, fully annotated with architectural details and materials indicated on the plans; and*
3. *Black and white medium format archival quality photographs of all exterior elevations.*

Should the board choose to issue a stay of demolition, a 180-day stay period would expire on April 1, 2015.

EXECUTIVE SUMMARY:

On Sept. 26, 2014, the Community Planning and Sustainability Department received a demolition permit application for the house and detached shed at 1103 6th St. The buildings are not in a designated historic district or locally landmarked, but are over 50 years old and the action proposed meets the criteria for demolition defined in Section 9-16-1 of the Boulder Revised Code 1981. On Oct. 1, 2014, the Landmarks design review committee (Ldrc) referred the application to the Landmarks Board for a public hearing, finding there was “probable cause to believe that the property may be eligible for designation as an individual landmark.”

PURPOSE OF THE BOARD’S REVIEW:

Pursuant to section 9-11-23(d)(2), B.R.C. 1981, demolition requests for all buildings built prior to 1940 requires review by the Landmarks design review committee (Ldrc). The Ldrc is comprised of two members of the Landmarks Board and a staff member. If, during the course of its review, the Ldrc determines that there is “probable cause to consider the property may be eligible for designation as an individual landmark,” the issuance of the permit is stayed for up to 60 days from the date a completed application was accepted and the permit is referred to the board for a public hearing.

If the Landmarks Board finds that the buildings proposed for demolition may have significance under the criteria in subsection (f) of Section 9-11-23, B.R.C. 1981, the application shall be suspended for a period not to exceed 180 days from the date the permit application was accepted by the city manager as complete in order to provide the time necessary to consider alternatives to the building demolition. If imposed, a 180-day stay period would start when the completed application was accepted by the city manager (Oct. 3, 2014, when the Landmarks Board fee was paid) and expire on April 1, 2015. Section 9-11-23 (g) and (h), B.R.C. 1981.

DESCRIPTION:

The property at 1103 6th Street is located at the northwest corner of the intersection of 6th St. and College Ave. The lot is approximately 14,200 sq ft. in size. The exact date of construction is unclear, however, it was likely constructed in 1902, when the Vermont Addition to Boulder was platted and the lot sold to Robert and Ida Cline. The house is typical of 1900s vernacular construction. The house, garage, and accessory building have all been extensively modified from their original construction. See Attachment A: Current Photographs.

The lot features mature landscaping, including several large evergreen trees at the east and south sides of the property.



Figure 1. Location Map showing 1103 6th St.



Figure 2. East Façade, 1103 6th St., 2014

The one-and a half story frame house at 1103 6th St. is clad is horizontal clapboard siding and features a front gabled roof with flared, overhanging eaves. A front porch with post supports spans the width of the façade and wraps around to the north side. The porch can be accessed by two sets of stairs, one at the northeast corner and one at the north

elevation. The double front door is off-centered towards the south end of the façade. A 1960s chimney is located to the right of the front door. The front gable end is clad in vinyl siding and has two non-historic sliding glass doors and a louvered gable vent added in the early 1960s. A balcony above the front porch extends from the gable.



Figure 3. South Elevation, 1103 6th St., 2014

The south elevation, along College Ave., features a gable roofed dormer that is clad in vinyl and features a double hung window, and a hipped roof addition that extends the length of the first story of the south elevation. The owners note that a sleeping porch was enclosed in 1948 to create a kitchen and two bedrooms. The south elevation features a large picture window and two metal divided light casement windows. The east and south walls of the addition are clad in wooden lap siding, while a rubble stone cladding was added to the west elevation in the 1960s. The rubble stone cladding continues around a one-story flat-roofed addition with a door and metal sliding windows. Originally constructed as a garage, it was later converted to living space.



Figure 4. West (rear) and South elevations, 1103 6th St., 2014

The west elevation of the garage features wooden lap siding. The second story of the west elevation of the house features two casement windows and a louvered vent. Two brick chimneys protrude on the south slope of the roof.



Figure 5. North Elevation, 1103 6th St., 2014

The north elevation features two dormers with flared eaves and double-hung windows. The first story features a pair of double-hung windows at the east end of the elevation, and a narrow casement window on the west end. A small shed roof addition is located at the west end of the elevation and features an east-facing door and a double-hung window on the north elevation. A hatch to access a basement/crawl space is located beneath the addition.



Figure 6. South Elevation of Shed, 1103 6th St., 2014

A shed roof accessory building is located at the rear of the property and features a door at the west end, and groupings of divided light windows. The shed, like the garage, was clad with stone in the 1960s. At that time, the window openings were significantly altered. The age of the shed is unknown, other than it existed by the time of the 1947 Tax Assessor Card. It was likely constructed prior to 1930 and used for agricultural purposes. See Attachment A: Current Photographs.

ALTERATIONS

The majority of the alterations to the house at 1103 6th St. were made in the 1950s and early 1960s. Building permit records show that in 1946, the garage was converted into living space (laundry room and partition). In 1953, a permit was issued for a “general remodel” and in 1958 a permit was issued to “remodel existing shop and utility addition to create a bedroom.” In 1961, the upstairs was remodeled (“veneer walls, rewire, new plumbing, no structural work”) and in 1962 a permit was issued for the “repair of the existing front porch, installation of fireplace; replacement of existing windows and relocation of front door.” In 1965, the upstairs was remodeled again. The applicant submitted a narrative of known changes to the property that aligns with the building permit records. See Attachment C: Applicant Materials.

The National Park Service’s Standards of Preservation state that “changes to a property that have acquired historic significance in their own right will be retained and preserved.” These alterations, though over fifty years old, are not considered to have historic or architectural merit on their own. The changes reflect the evolution of the 112 year old house, but their incremental nature and resulting loss of original fabric weaken the property’s ability to convey its important, earlier history as a turn of the century vernacular house.



Figure 7. Tax Assessor Photo, 1103 6th St., c. 1949

East Elevation

The gable end of the east façade originally featured a central door flanked by double-hung windows. A louvered vent and vinyl siding has been added to this portion of the building. The second story openings have been altered to accommodate two sliding glass doors. A small porch on the second story featured a low wooden railing; today, the second story porch extends the width of the east elevation and has a solid stockade railing. The porch, with battered porch columns, originally extended the width of the east façade and did not wrap the corner. The area underneath the porch has been filled with CMU block. The front door, originally located in the center of the east façade, was relocated south and replaced with a wider double glass door. A wide chimney was constructed on the north end of the east façade, altering a portion of the original wall finish and building eave.

South and West Elevations

The south elevation originally featured a sleeping porch, but was enclosed and remodeled into the current kitchen in 1948. The west wall of the addition was clad in rubble stone in the 1960s. The one-story, flat-roof attached garage was converted to living space in the 1950s. At the time of the conversion, the south elevation featured a pedestrian door and a small, double-hung window. The south wall of the garage addition was clad in rubble stone and the window was enlarged to accommodate a larger aluminum sliding window. A stone retaining wall was added along the south property line in order to cut off the driveway that was originally accessed from College Ave. The extent of alteration to the west elevation is unknown; the metal casement windows appear to be of 1950s vintage and the original fenestration pattern is unknown.

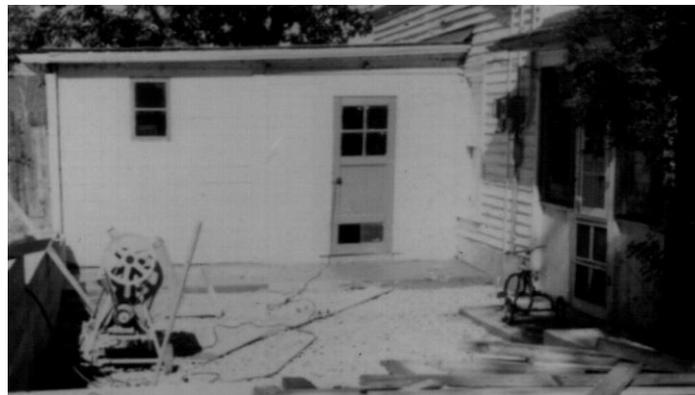


Figure 8. Garage after conversion to studio but before stone cladding, 1103 6th St., date unknown

North Elevation

The addition of the wrap-around porch on the north elevation obscures a large portion of that face of the house. Modification of the window openings is unknown and the date

of construction of the shed-roof addition is unknown, however they appear to be early alterations.

Accessory Building

The accessory building was significantly remodeled in the 1960s. The general shed-roof form remains, but the character has been dramatically modified through the application of rubble stone cladding and reconfiguration of addition of window openings. Little intact original material remains.



Figure 9. South elevation of shed before modifications, 1103 6th St., c. 1950s

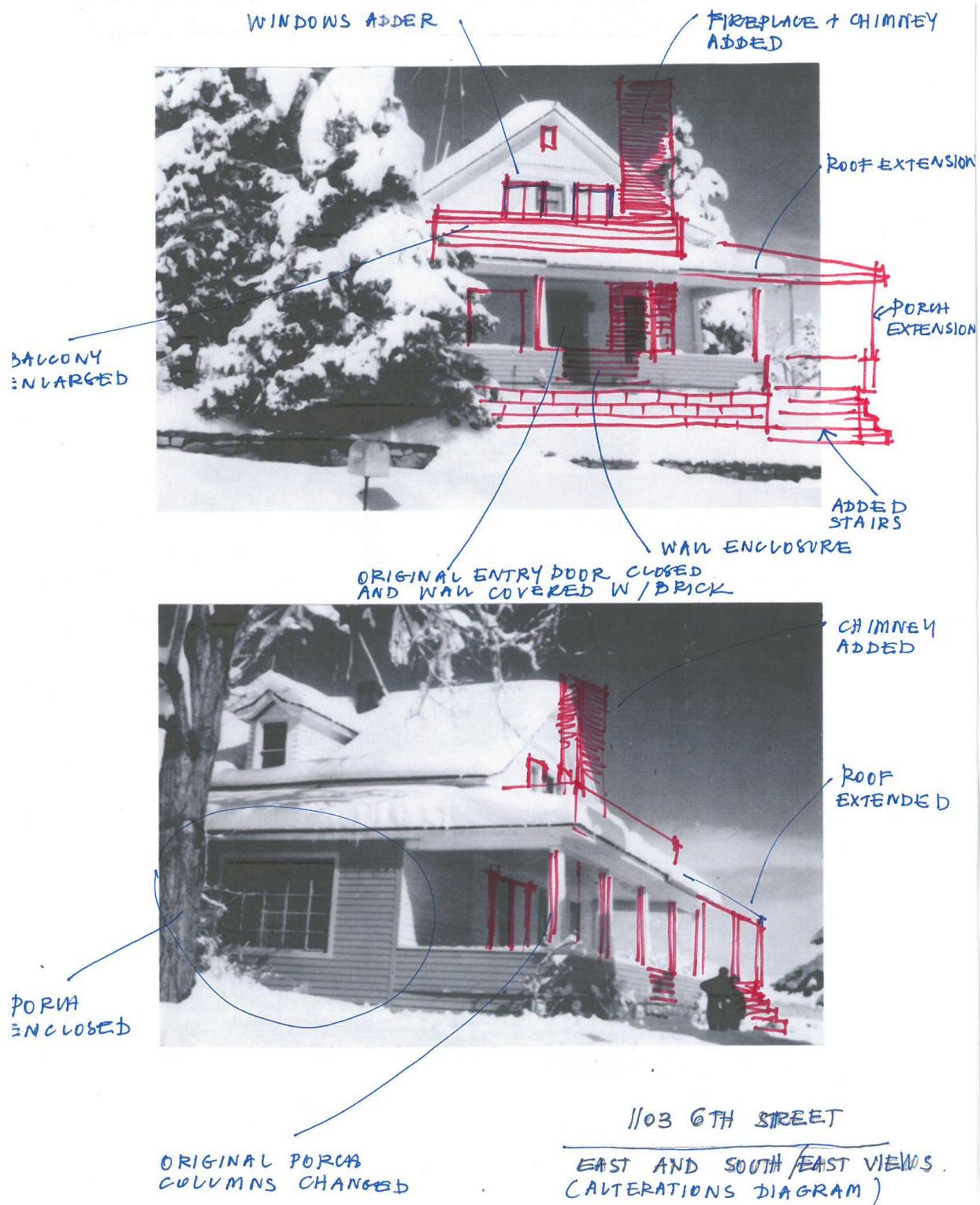


Figure 10. Applicant's diagram showing alterations to the south and east elevations

PROPERTY HISTORY

The house at 1103 6th St. is located on Lots 9 and 10 of Block 3 in the Vermont Addition of Boulder. M.J. Hapgood, from Peru, VT, platted the addition in 1902, and one of the streets the subdivision is named after him. The addition is roughly bounded by Anderson Ditch on the north, 6th Street to the east, College Avenue to the south, and the foothills to the west. The Vermont addition is located south of the Highland Lawn addition and northwest of the University Place neighborhood.

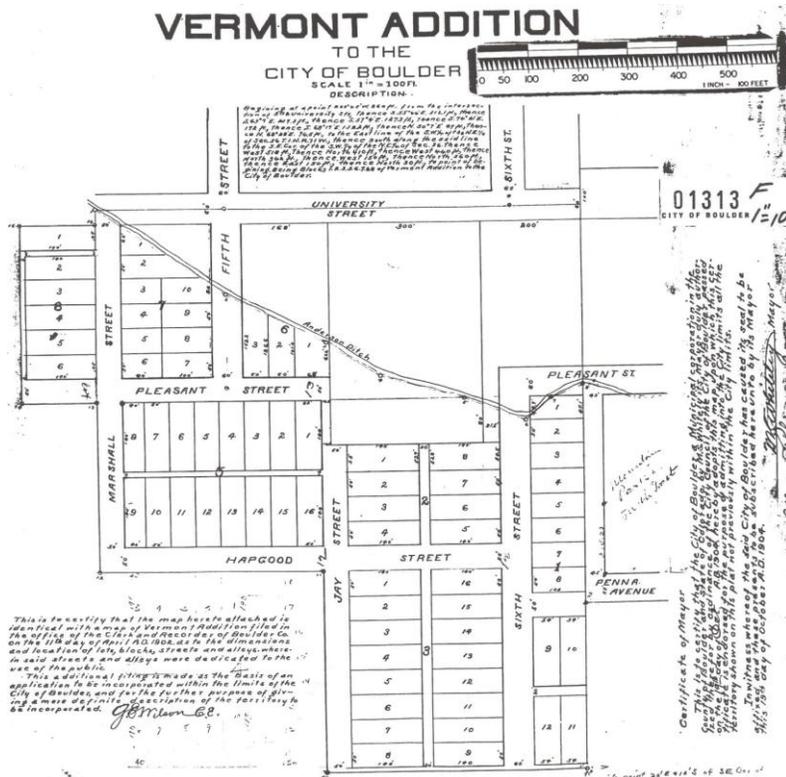


Figure 11. 1902 plat of the Vermont Addition.

The house was most likely constructed around 1902, the year the Vermont Addition was platted and this lot was sold to the first owners. In 1902, Robert and Ida Cline purchased the deed for Lot 9 from M.J. Hapgood. The Clines purchased a second deed for Lot 10 in 1905, expanding the 1103 6th St lot. Robert worked as a miller and the family lived in the house from 1902 to 1913, according to city directory research. J. Thurman Collins and his wife, Flora lived in the house for a few years after the Clines. Thurman worked as a miner and Flora was the daughter of pioneers Elmer Dunbar and Mary Ann Cady, who moved to Jamestown from New York in 1885. In 1926, Hattie A. Wing, widow of Leroy Wing, was listed as living at 1103 6th St. Hattie is listed as living at the property until 1932. After Hattie's death in 1935, the ownership passed to her daughter and son-in-law, Opal and Russell Cade. However, city directories do not indicate that they lived here,

and the property was likely rented to tenants. The house is listed as vacant during the Cade's ownership, from 1939-1946.



*Dean Faulkner, 1948.
Photo courtesy of the
Daily Camera.*

The property's longest residents and owners were the Faulkers, who have owned the property for the last 60 years. According to his obituary published in the Daily Camera on Oct. 7, 2012, Dean Faulkner was born in New Jersey in 1919. He served in World War II with the Army Air Corp from 1942-1945 in India and in China. After the war, Faulkner came to Boulder in 1946 and started a photography business called Studio F that was located above the Daily Camera Office in downtown Boulder. In 1948, at 28 years old, Dean Faulkner unsuccessfully ran for State Representative for the Colorado Legislature. Faulkner focused on his photography, winning a prize for outstanding photography at a national convention in Chicago in 1949. By the early 1950s, Faulkner began working for KOA Radio and TV in Denver as a cameraman and lighting director. By the mid-1950s, Faulkner was promoted to television promotion director, which handled all promotional and advertising materials for the station. While working for KOA, he was a two-time winner of NBC's Promotion Awards and was a member of the board of directors of the Broadcast Promotion Association. In 1961, Faulkner left his position at KOA and formed his own company called Broadcast Promotion, which catered to radio and TV stations in the Rocky Mountain area that didn't carry their own promotion departments. His obituary also notes that Faulkner spent five years in the 1970s as president of Volunteers of America of Colorado, helping the organization build low-income housing. Faulkner was also associated with several organizations, such as the Rocky Mountain Golf Course Superintendents and the Colorado Parks and Recreation.¹



*Patricia Faulkner,
date unknown.
www.legacy.com*

Patricia Faulkner was born 1921 in New Jersey and attended school in New York City and Colorado College in Colorado Springs. Dean and Patricia married in 1941. Over the course of her lifetime in Boulder, Patricia worked for a Boulder veterinarian, the Colorado Book Store, and worked for the High Altitude Observatory and at the National Center for Atmospheric Research (NCAR). According to her obituary, Patricia "developed film containing the picture of the first successful total eclipse of the sun captured in 1970. The enlarged photo was displayed for many years at the entrance to NCAR."²

¹ "Dean Faulkner," www.legacy.com/obituaries.

² "Patricia Faulkner," www.legacy.com/obituaries.

According to a 1952 newspaper article, a court case arose from a neighbor at 1155 6th St. that the Faulkners were “conducting a business and were keeping animals other than house-hold pets,” which were both prohibited in a residential zone. The Faulkners denied they were “conducting a kennel business.” They said they bred their Irish setter dogs in order to have a “male show dog with good blood lines” and they gave away the rest of the puppies.³

Dean and Patricia later divorced, but Patricia continued residing at 1103 6th St. until her death in 2013. Dean and Patricia had four children: Todd, Marc, Kimball, and Tamara Faulkner.

CRITERIA FOR THE BOARD’S DECISION:

Section 9-11-23(f), B.R.C. 1981, provides that the Landmarks Board “shall consider and base its decision upon any of the following criteria:

- (1) The eligibility of the building for designation as an individual landmark consistent with the purposes and standards in Sections 9-11-1 and 9-11-2, B.R.C. 1981;
- (2) The relationship of the building to the character of the neighborhood as an established and definable area;
- (3) The reasonable condition of the building; and
- (4) The reasonable projected cost of restoration or repair.

In considering the condition of the building and the projected cost of restoration or repair as set forth in paragraphs (f)(3) and (f)(4)..., the board may not consider deterioration caused by unreasonable neglect.

As detailed below, staff does not consider this property to be eligible for designation as an individual landmark.

CRITERION 1: INDIVIDUAL LANDMARK ELIGIBILITY

The following is a result of staff's research of the property relative to the significance criteria for individual landmarks as adopted by the Landmarks Board on Sept. 17, 1975. *See Attachment F: Individual Landmark Significance Criteria*

³ “Ruling Delayed In City Case Against Owners of Dogs,” *Daily Camera*, 4 March 1952.

HISTORIC SIGNIFICANCE:

Summary: The house located at 1103 6th St. meets historic significance under criterion 1.

1. Date of Construction: c. 1900

Elaboration: Tax Assessor records indicate that the building was constructed around 1900; it was likely constructed in 1902, the year the Vermont addition was platted and the lot was initially sold.

2. Association with Persons or Events: Dean and Patricia Faulkner

Elaboration: Dean Faulkner was a notable Boulder photographer who operated a photography studio for several years during the 1940s and 1950s. He also worked for the KOA Television station for many years and afterwards operated his own TV and radio promotions company. He was also involved in many organizations such as Colorado Parks and Recreation.

Patricia Faulkner co-owned Studio F during the 1940s and 1950s. Patricia also worked for the High Altitude Observatory and retired from NCAR. Patricia lived at 1103 6th St. until her death in 2012, making her the longest resident of the house at nearly 60 years.

3. Development of the Community: This is one of the earliest houses in the neighborhood.

4. Recognition by Authorities: Front Range Research Associates

Elaboration: The property was surveyed in 1994 and was not found to possess any architectural or historic significance. The survey notes that “alterations to this house have diminished its historic integrity.”

ARCHITECTURAL SIGNIFICANCE:

Summary: The house located at 1103 6th St. does not possess architectural significance.

1. Recognized Period or Style: Vernacular

Elaboration: The house is an example of vernacular house construction common during the early twentieth century, as typified by relative lack of architectural detailing its front gable roof, flared eaves, horizontal lap siding, casement windows, and porch. The house and the garage have been extensively modified from their original construction and are not considered to be exceptional or intact examples of this building type. The modifications to the house and accessory building, including the construction of the wrap-around porch and brick chimney, replacement and reconfiguration and enlargement of the original windows and doors, enclosing of a sleeping porch and garage, and cladding a portion of the walls in rubble stone, are not considered to have architectural or historic merit. The changes reflect the evolution of the 112 year old

house, however, their incremental nature and resulting loss of original fabric weaken the property's ability to convey its important, earlier history as a turn of the century vernacular house.

2. **Architect or Builder of Prominence:** None observed.

3. **Artistic Merit:** None observed.

4. **Example of the Uncommon:** None observed.

5. **Indigenous Qualities:** None observed.

ENVIRONMENTAL SIGNIFICANCE:

Summary: The house located at 1103 6th St. meets environmental significance under criteria 1.

1. **Site Characteristics:** The house sits on a large, corner lot with mature landscaping, including large pine trees.

2. **Compatibility with Site:** The building retains its residential character.

3. **Geographic Importance:** None observed.

4. **Environmental Appropriateness:** None observed.

5. **Area Integrity:** The residential lots in the Vermont Addition were developed over the course of many decades and in a variety of architectural styles. The area retains its residential character, but is not stylistically cohesive.

CRITERION 2: RELATIONSHIP TO THE CHARACTER OF THE NEIGHBORHOOD:

The Vermont Addition in which the house is located was first platted in 1902 by M.J. Hapgood and was developed primarily from the 1900s through the 1940s. The area is not identified as a potential local historic district in the Boulder Valley Comprehensive Plan. Stylistically, the house is related to the early-20th century development of the addition, but alterations have diminished its architectural integrity and it is no longer an intact representative example of architecture from that period.

CRITERION 3: CONDITION OF THE BUILDING

The applicant notes that the building has structural issues, specifically in the foundation and second floor joists. See Attachment C: Applicant Materials.

CRITERION 4: PROJECTED COST OF RESTORATION OR REPAIR:

No information about the projected cost of restoration or repair was received as part of this application.

NEIGHBORHOOD COMMENT:

Staff has received no comment to date from the public on this matter.

THE BOARD'S DECISION:

If the Landmarks Board finds that the building to be demolished does not have significance under the criteria set forth in section 9-11-23(f), B.R.C. 1981, the city manager shall issue a demolition permit.

If the Landmarks Board finds that the buildings to be demolished may have significance under the criteria set forth above, the application shall be suspended for a period not to exceed 180 days from the date the permit application was accepted by the city manager as complete in order to provide the time necessary to consider alternatives to the demolition of the buildings (section 9-11-23(h), B.R.C. 1981). A 180-day stay period would expire on April 1, 2015.

FINDINGS:

Staff recommends that the Landmarks Board adopt the following findings:

Issuance of a demolition permit for the house at 1103 6th St. is appropriate based on the criteria set forth in section 9-11-23(f) B.R.C, in that the identified building:

1. Has been modified to an extent that has resulted in the loss of its architectural integrity;
2. Does not possess strong historic, architectural or environmental significance;
3. Will be thoroughly documented through Historic American Building Survey Level II recordation.

ATTACHMENTS:

- Attachment A: Current Photographs
- Attachment B: Historic Photographs submitted by Owner/Applicant
- Attachment C: Applicant Materials - Narrative and Diagrams Showing Alterations
- Attachment D: Historic Building Inventory Form
- Attachment E: Tax Assessor Card, c.1947
- Attachment F: Significance Criteria for Individual Landmarks

Attachment A: Current Photographs



1103 6th St., East façade, 2014.



1103 6th St., view of northeast corner, 2014.



1103 6th St., North elevation, 2014.



1103 6th St., Northeast corner of house, 2014.



1103 6th St., West elevation (rear), 2014.



1103 6th St., Close up view of west elevation (rear), 2014.



1103 6th St., South elevation, 2014.



1103 6th St. South elevation and garage, 2014.



1103 6th St., view of northwest corner and garage, 2014.



1103 6th St., South elevation of shed, 2014.



1103 6th St., View of alley, 2014.

Attachment B: Historic Photos submitted by Owner/Applicant



1103 6th St., View of Southeast corner before modifications, date unknown.



1103 6th St., Close up view of façade before modifications, date unknown.



1103 6th St., View of sleeping porch on south side before it was enclosed, before 1964.



1103 6th St., rear entrance on west (rear) elevation before modifications, before 1964.



1103 6th St., View of shed (left) and garage (right) before stone cladding, date unknown.

Attachment D: Applicant Materials – Narrative and Diagrams Showing Alterations

1103 6th street, Boulder CO 80302

Brief history and description of alterations, based on family recollections and study of existing and old photography obtained from the family.

1103 6th street property was purchased by Faulkner family about 70+ years ago. At the time of purchase the property consisted of existing structure which was a duplex at the time (up and down configuration) sitting on a single lot. Later, family purchased second adjacent lot and used it as a leach field. (there, they build an accessory structure which was used as a dog kennel, originally wood frame with lap siding, later clad with stone to match the house cladding)

Based on site visits and photography studies, following major alterations have been made to the structure.

1. **South Porch**, has been enclosed to accommodate additional sleeping quarters and new kitchen. (based on visual inspection and per Todd's recollection, the original porch foundation was never reinforced to accommodate for additional loads of bedrooms, bathroom and kitchen) . IF the porch were to be restored to its original shape , it would require relocation of the existing kitchen and main level bathroom.
2. **Original garage** (facing College street) was enclosed by Faulkner family to accommodate dad's photography studio. At the time it was enclosed, it was clad with wood lap siding. Later, the family added stone to the face of the old garage and portion of the West elevation. There were some additional modifications made to the original window configuration. If the garage was to be restored to its original function, it would require a new curb cut on College (this would not be in conformance with current codes requiring usage of the existing alley way for a car access)
3. **East wall** of the house has been modified significantly from its original shape, following items were added and changed:
 - **Original front door** has been moved to the South and replaced with larger double glass door
 - **A large brick fireplace** was added to the main level and a brick chimney was added along the East wall and the majority of the wall was further clad with brick for fire proofing purposes. There are visible signs of brick cracking and separating from the walls.
 - **The East porch** was enlarged to the North by adding a wrap around portion to the North side.
 - **A new concrete masonry unit wall** was added all around the extended porch to support the addition.
 - **A new roof** was added on the North side of the house to cover the added on porch.

- **A new partial roof** was build on the East side front to cover the new porch
- **Original decorative Porch columns** were removed and replaced with simple 4x4 posts
- **Second level balcony** was enlarged on the East side and original window was replace by two new windows to accommodate creation of two bedrooms upstairs .
- **Support beams** were added on the main level to reinforce the existing ceiling which was caving due to heavy use of upstairs bedrooms (there were 4 children in the Faulkner family)

General conditions of the home:

- Non-conforming second story, almost no inhabitable space due to steep roof pitch.
- Insufficient insulation, damp/ moist / moldy smell inside the home, signs of water leakage on the main level in the section of the old/ original south porch.
- Very old and unstable foundation (rubble foundation/ old porch post foundation/ exposed compacted earth in the basement, lack of needed taper – no longer a safe building method, most likely there would be a need for radon mitigation due to exposed earth work below the house)
- Unsafe and non conforming staircase to the upstairs (staircase is too narrow and steep, this would require reconfiguration that would most likely involve modification of some interior walls and ceiling/ floor structure)

Wednesday, October 1, 2014 10:54:12 AM Mountain Daylight Time

Subject: FW: case# HIS2014-00301 _ 1103 6th Street - Historic Preservation review
Date: Wednesday, October 1, 2014 10:54:09 AM Mountain Daylight Time
From: OLGA DE LANGE
To: claymaner@verizon.net

Olga -

The house was built around 1900
1946 - house purchased by Patricia and Dean Faulkner (it was a duplex at the time).
1948 - building permit obtained to enclose two south facing sleeping porches in order to move the kitchen to it's existing location - facing south.
1964 - building permit obtained to remodel existing east facing porch, extending it to wrap around to the north (current configuration); enlarge the upper level east facing porch; reconfigure entire second floor and main level including addition of east wall fireplace and replacing original east facing wall with brick and cinder block.

Additionally -

In March of 2014, I reviewed various resources at the Boulder 's Carnage Branch Library relating to 1103 6th Street.

The Boulder County City Directory began in 1903. Streets and house numbers in the 6th and College location did not exist until several years after the Directory began recording.

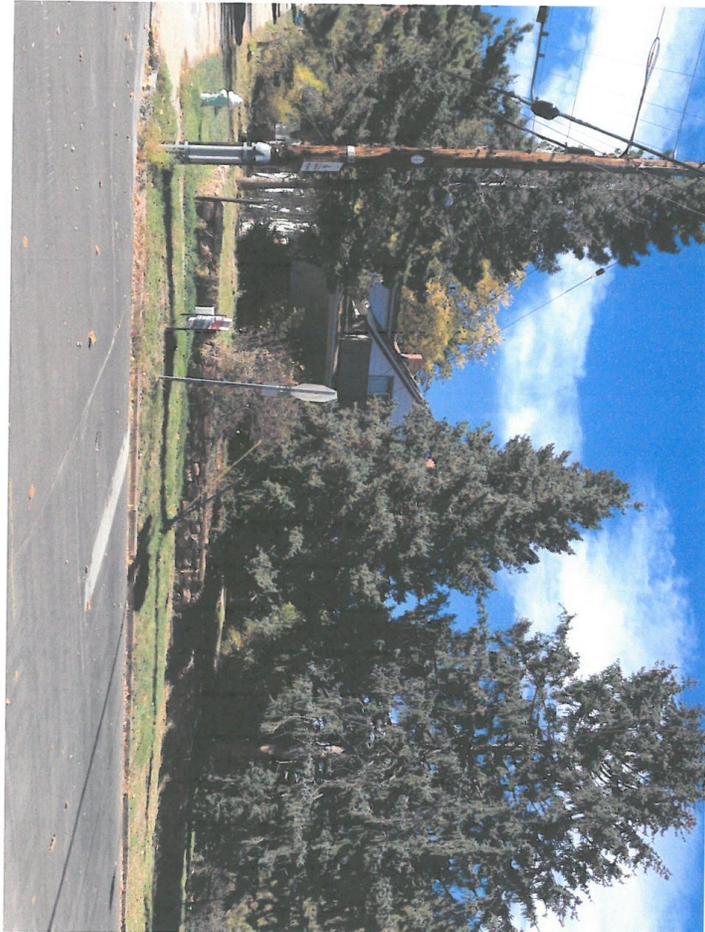
Per City Directory previous owners/occupants include:

1904 - first mention of 6th and College - occupants of that location included Robert W. Cline; another was Roose (Annie, Arthur, Frank, Jennie, Mary) - none of these individuals has additional documentation that would qualify them as historic figures per Landmark requirements.
1911 - 1916 - Thurman J. Collins
1917 - City Directory missing
1918 - Little B.H.
1921 - M.P. Eliff
1923 - J.D. Davis
1926 - Mrs. H.A. Wing
1943 - Vacant
1946 - Theo E. Blakely
1947 - City Directory missing
1948 - City Directory missing
1949 - Faulkner

I researched each of these occupants/owners in the Library's cross-references books. None of them appeared to be of historical significance, per Landmark criteria.

Hope this helps.

Tamara



EXISTING EVERGREEN
COVER MOST OF THE
EAST FACADE;

1103 6TH ST,
EAST VIEW



PORCH ENCLOSURE

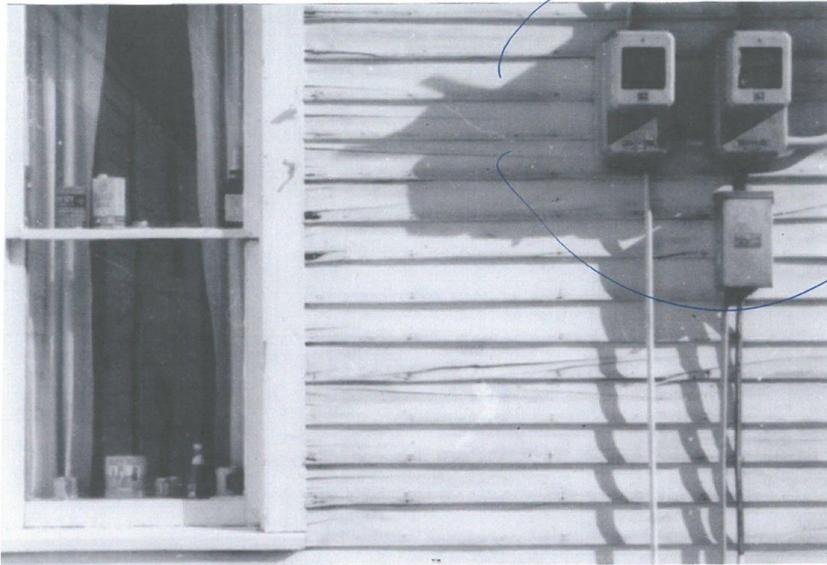
TOP WINDOWS WERE ALTERED

FIRE CHIMNEY
NOT ORIGINAL

EVERGREEN TREES
BLOCK MOST OF THE VIEW
OF THE HOUSE

— PORCH COLUMNS NOT ORIGINAL
— PORCH WAS EXTENDED TO THE NORTH
— PORCH ROOF WAS EXTENDED/ADDED ON TO THE NORTH

1103 6TH ST.
VIEW FROM SOUTH/EAST CORNER

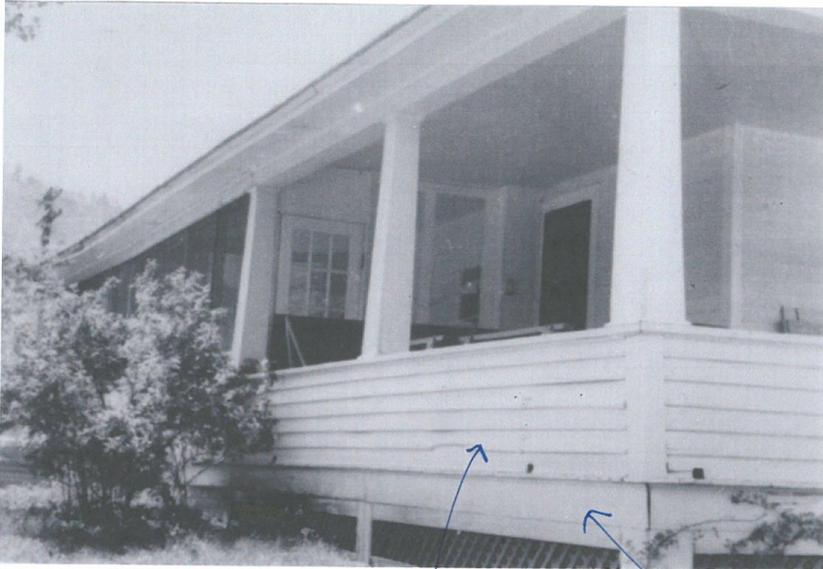


← DOUBLE
ELECTRIC
METER
(THIS WAS A DUPLEX,
IF RESTORED
WOULD NOT
CONFORM WITH
CURRENT ZONING)



ORIGINAL WINDOW, CHANGED LATER TO
CURRENT HORIZONTAL WINDOW

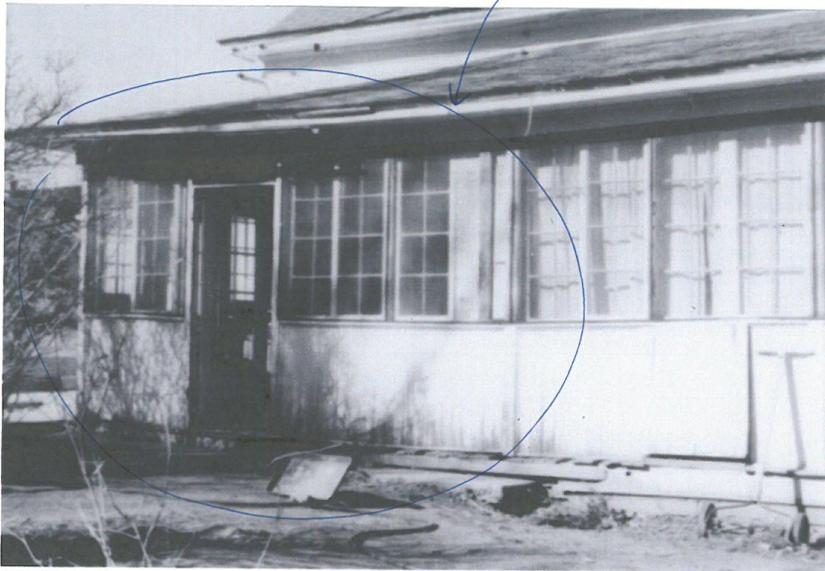
THIS WAS
HAS BEEN
CHANGED 100%.



WHEN PORCH WAS
ENCLOSED THE
ORIGINAL PORCH
FOUNDATION WAS
NOT REINFORCED.

SOUTH/EAST PORCH AND
"SLEEPING" PORCH BEFORE
IT WAS ENCLOSED.

1103 6TH ST.
SOUTH/EAST CORNER



CURRENT KITCHEN HAS BEEN MOVED
TO THIS LOCATION



SOUTH PORCH
BEFORE IT GOT
ENCLOSED

1103 6TH ST.
SOUTH ELEVATION



WINDOW BEFORE IT WAS
CHANGED TO HORIZONTAL
WINDOW

DOUBLE
POWER METERS
(FROM DUPLEX)

ORIGINAL ~~ENTR~~
ENTRY DOOR

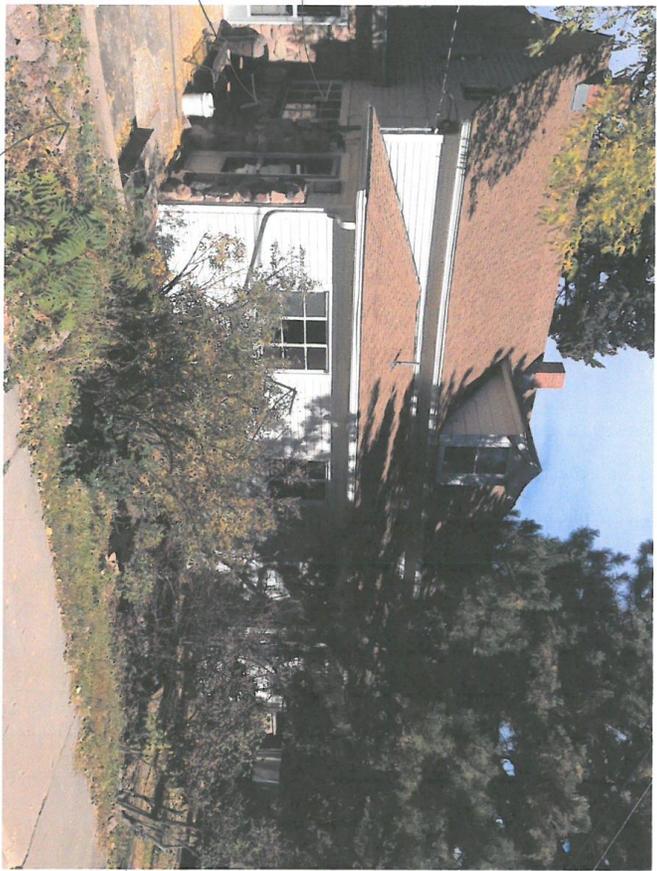
VIEW OF GARAGE ~~BE~~ BEING
CONVERTED INTO PHOTO STUDIO.
SIDING: LAP SIDING (WOOD)
LATER IT WAS CLAD WITH STONE

1103 6TH ST.
SOUTH ELEVATION

→ ORIGINALLY, THIS WAS A DUPLEX. (UP AND DOWN CONFIGURATION), CURRENT ZONING DOES NOT ALLOW FOR A DUPLEX)

NEW WINDOW
ADDED AFTER FRONT
ENCLOSURE

STONE NOT
ORIGINAL
(ADDED IN THE
60'S)



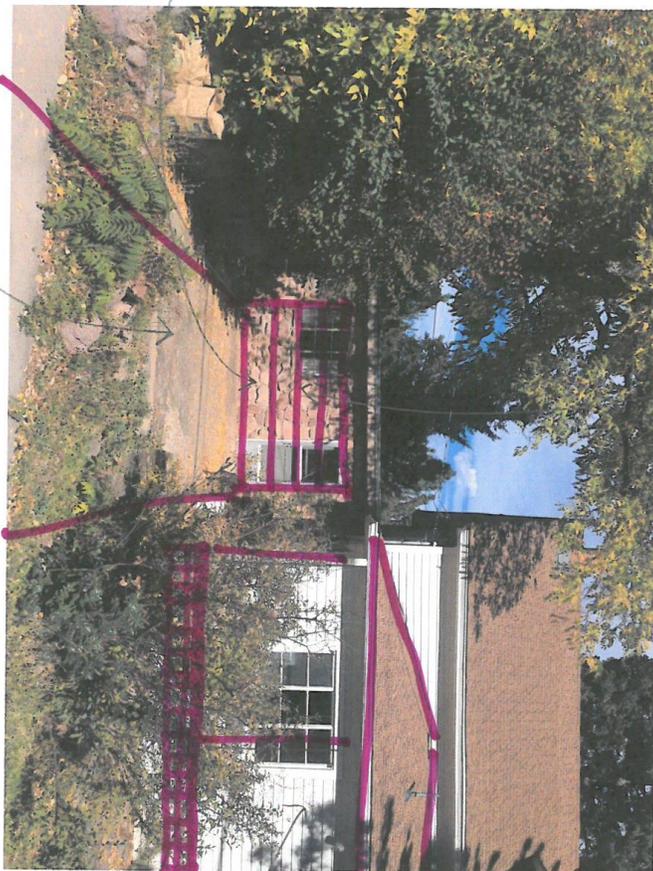
RETAINING WALL ADDED
TO CUT OFF EXISTING
DRIVEWAY TO THE GARAGE

1103 6TH STREET
SOUTH ELEVATION (VIEW FROM
COURTNEY AVE.)

PORCH WAS
ENCLOSED, WINDOWS
ADDED
(IF DECONSTRUCTED-
CURRENT KITCHEN
WOULD NEED TO MOVE)

ORIGINAL GARAGE
ENCLOSED BY
FAUVENBER FAMILY
TO CREATE
PHOTOGRAPHY
STUDIO FOR DAD.

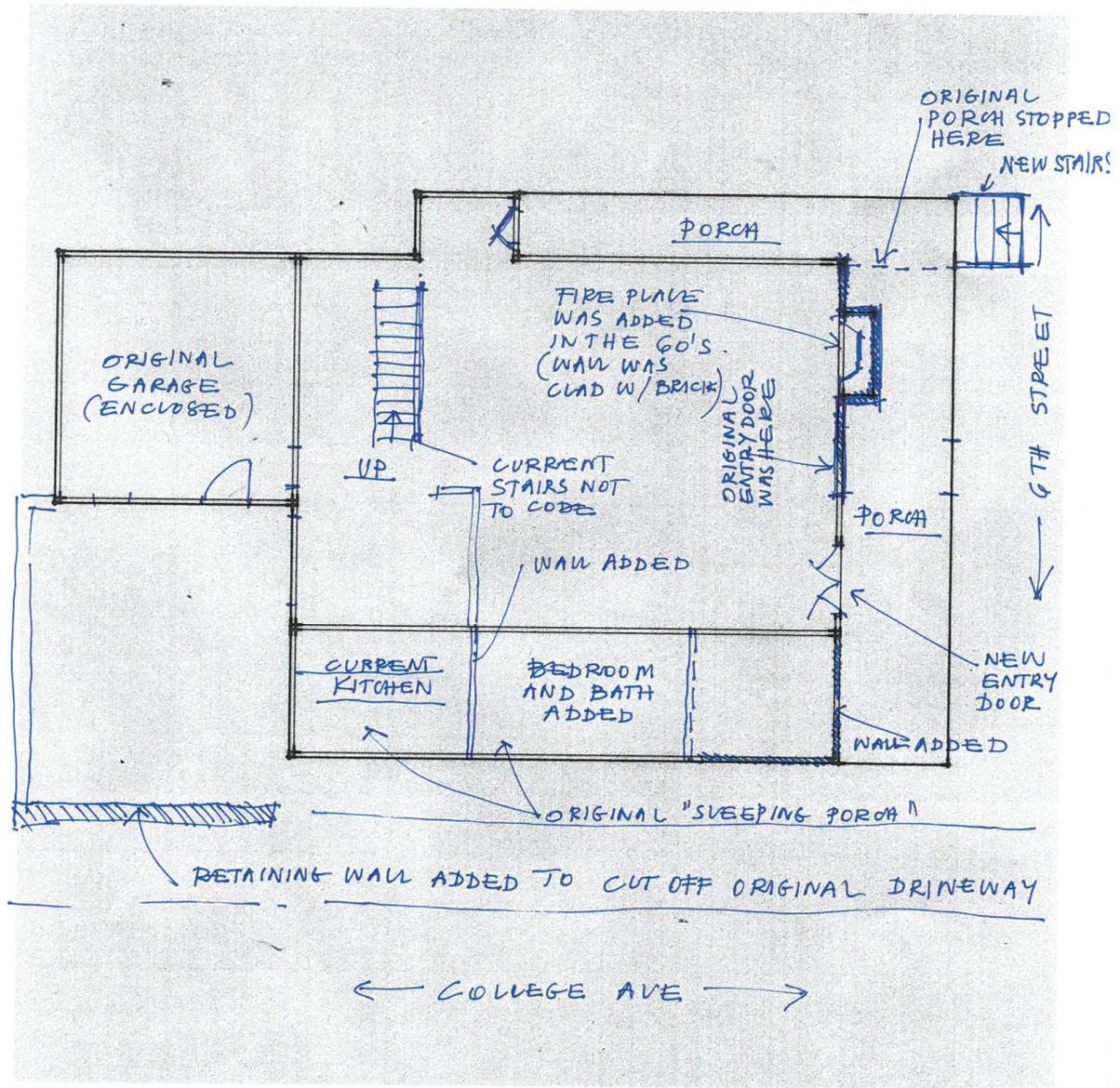
STONE IS NOT ORIGINAL
(IT WAS
ADDED IN THE 60'S)



ORIGINAL DRIVEWAY TO GARAGE
(IF RESTORED BACK TO GARAGE
WOULD REQUIRE CURB CUT ON COURSE (?))

1103 6TH STREET
SOUTH ELEVATION (VIEW FROM
COURSE)

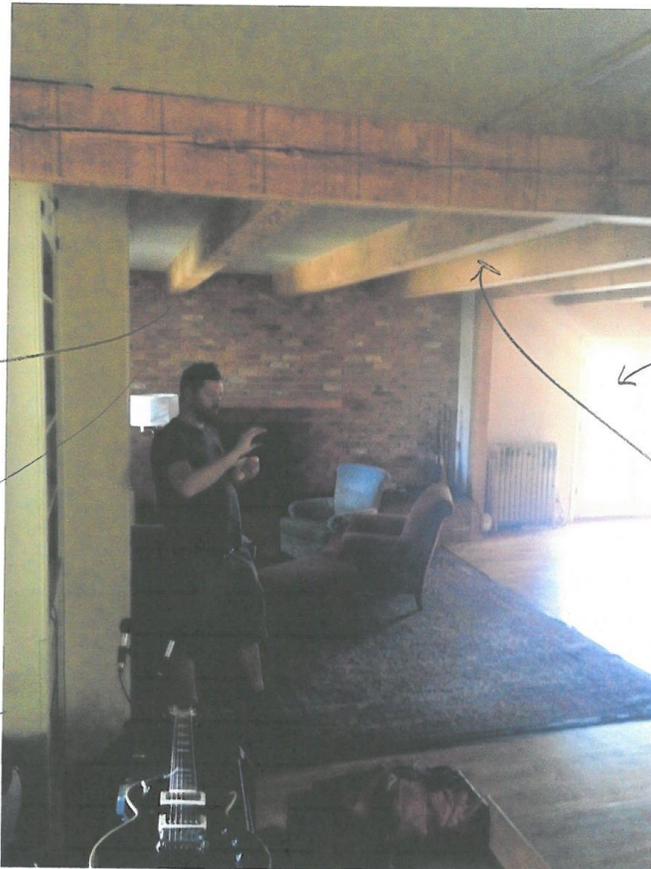
ORIGINALLY THIS
WAS A PORCH
(IF BROUGHT BACK
TO ORIGINAL STATE
WALL WOULD NEED
TO BE REMOVED
AND KATIE N
WOULD NEED TO
BE RELOCATED)



1103 6TH ST.
MAIN LEVEL PLAN, NOT TO SCALE

FIREPLACE
WAS ADDED
BY FAULKNER
FAMILY

PORTION OF
EAST WALL
WAS CLAD
WITH BRICK
FOR FIRE PROOFING
(BRICK IS
CRACKED AND
THERE ARE
SIGNS OF
BRICK SEPARATING
FROM WOOD FRAMING)

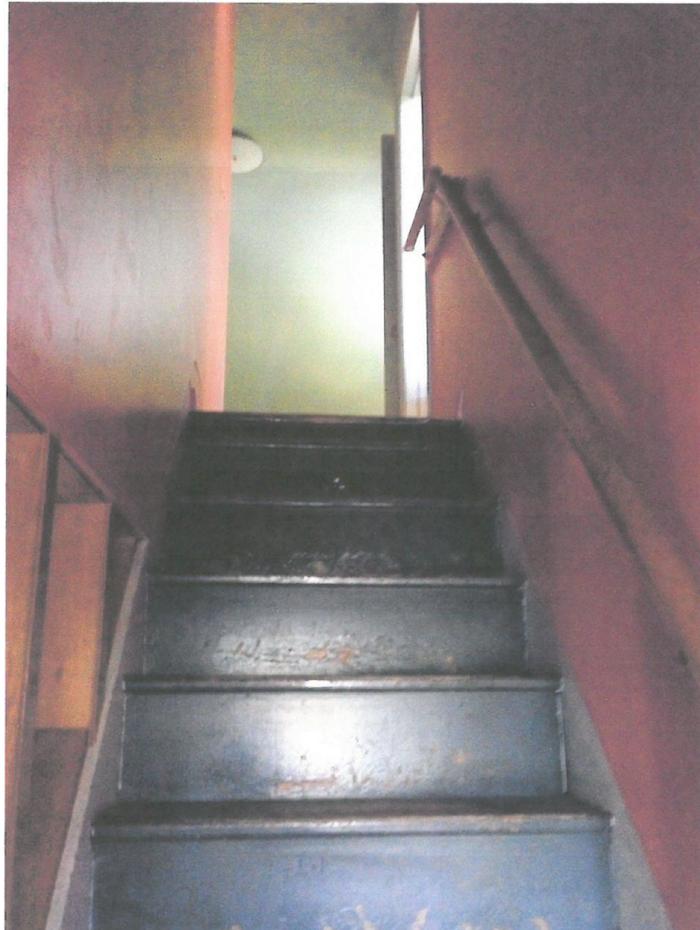


NOT ORIGINAL
ENTRY DOOR

WOOD BEAMS
WERE ADDED
TO REINFORCE
SECOND LEVEL
FLOOR WHICH
IS UNDER-
ENGINEERED
FOR CURRENT
USE.

* THERE WERE ADDITIONAL
ALTERATIONS MADE (IN FLOOR
LEVELS) TO ACCOMMODATE
MRS. FAULKNER'S LIMITED
MOBILITY DURING HER LAST YEARS.

1103 6TH ST.
INTERIOR VIEW OF
MAIN LEVEL



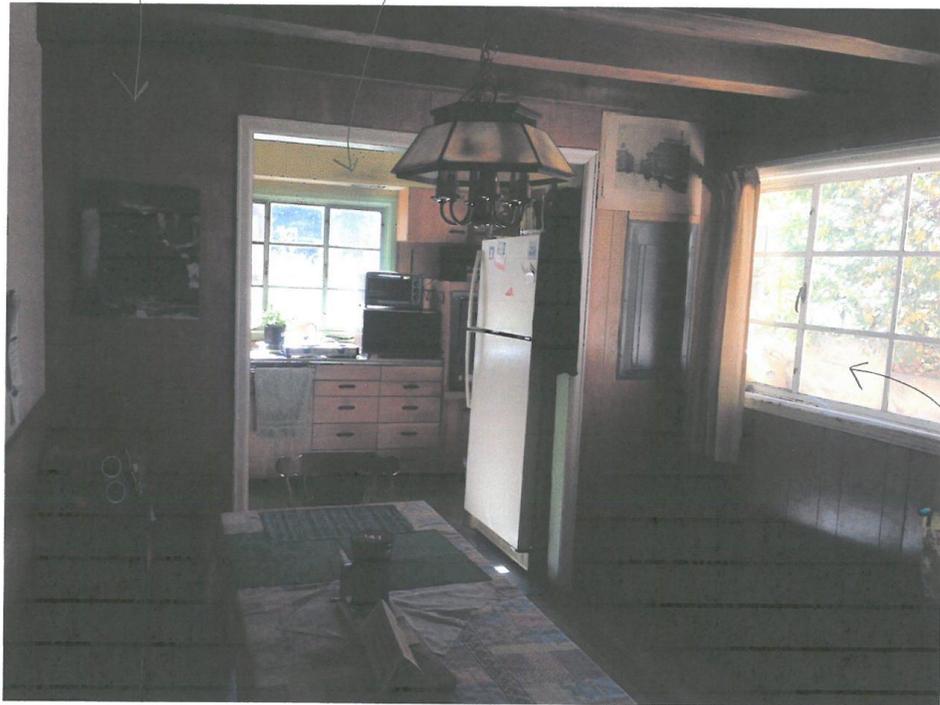
1103 6TH ST.

INTERIOR VIEW.

CURRENT INTERIOR STAIRS TO
SECOND LEVEL, NON-CONFORMING
(GIVEN LARGE SCOPE OF PROPOSED
DECONSTRUCTION/RESTORATION, WOULD NEED TO BE RE-BUILD)

ORIGINAL EXTERIOR WALL (SOUTH SIDE)

ORIGINAL "SLEEPING" PORCH
CURRENT KITCHEN WOULD NEED
TO BE RELOCATED



NOT AN
ORIGINAL
WINDOW
(WEST
SIDE)

1103 6TH ST.

INTERIOR VIEW OF
KITCHEN AND DINING



VIEW INTO ORIGINAL "SLEEPING PORCH" WHICH BECAME CURRENT KITCHEN. (NON CONFORMING FOUNDATION, ORIGINAL PORCH FOUNDATION)

FOODING TRANSITION FROM ORIGINAL HOUSE TO ENCLOSED PORCH.

1103 6TH ST.
VIEW INTO CURRENT KITCHEN

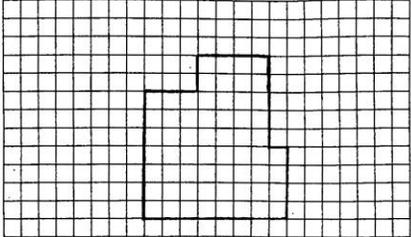
Attachment D: Historic Building Inventory Record

COLORADO HISTORICAL SOCIETY
Office of Archaeology and Historic Preservation
1300 Broadway, Denver, Colorado 80203

HISTORIC BUILDING INVENTORY RECORD

NOT FOR FIELD USE	
<input type="checkbox"/> Eligible	<input type="checkbox"/> Nominated
<input type="checkbox"/> Det. Not Eligible	<input type="checkbox"/> Certified Rehab.
Date _____	

PROJECT NAME: Boulder Survey of Historic Places, 1994		COUNTY: Boulder	CITY: Boulder	STATE ID NO.: 5BL4618
		TEMPORARY NO.: 1461-36-1-36-008		
CURRENT BUILDING NAME:		OWNER: FAULKNER PATRICIA P		
ADDRESS: 1103 6TH ST BOULDER, CO 80302		1103 6TH ST BOULDER CO 80302		
		TOWNSHIP 1N	RANGE 71W	SECTION 36 NE 1/4 SW 1/4
HISTORIC NAME:		U.S.G.S. QUAD NAME: Boulder, Colo. YEAR: 1966 (PR1979) X 7.5' 15'		
DISTRICT NAME:		BLOCK: 3	LOT(S): 9-10	
		ADDITION: Vermont YR. OF ADDITION: 1902		
FILM ROLL NO.: 94-15 BY: R. Whitacre	NEGATIVE NO.: 10	LOCATION OF NEGATIVES: Boulder City Plng.		DATE OF CONSTRUCTION: ESTIMATE: 1900 ACTUAL: SOURCE: Boulder County Assessor
ATTACH PHOTOGRAPH HERE				USE: PRESENT: Residential
				HISTORIC: Residential
				CONDITION: EXCELLENT X GOOD FAIR DETERIORATING
				EXTENT OF ALTERATIONS: MINOR MODERATE X MAJOR DESCRIBE: Porch altered; balcony added; new brick chimney; shed roof extension on back; windows altered; concrete foundation.
				CONTINUED YES X NO
STYLE: No Style		STORIES: 1 1/2	ORIGINAL SITE X MOVED DATE(S) OF MOVE:	
MATERIALS: Wood, Concrete		SQ. FOOTAGE: 2938	NATIONAL REGISTER ELIGIBILITY	
ARCHITECTURAL DESCRIPTION: One-and-a-half-story frame dwelling clad with horizontal lap board siding. Front gabled roof with flared, overhanging eaves. Gabled dormer with flared eaves. Gable ends have new siding and louvered vent. Off-center, paneled and glazed door. Casement and double-hung windows with wood surrounds. Hipped roof porch with deck has post supports. Large side lot and stone retaining walls.		INDIVIDUAL: YES X NO		
		CONTRIBUTING TO DISTRICT: YES NO		
		LOCAL LANDMARK DESIGNATION: No		
		NAME: DATE:		
		ASSOCIATED BUILDINGS? X YES NO TYPE: Garage		
		IF INVENTORIED, LIST ID NOS.:		
		CONTINUED? YES X NO		
ADDITIONAL PAGES: YES X NO				

PLAN SHAPE: 	ARCHITECT: Unknown	STATE ID NO.: 5BL4618		
	SOURCE:	ORIGINAL OWNER: Unknown		
	BUILDER/CONTRACTOR: Unknown	SOURCE:		
	SOURCE:	THEME(S): Urban Residential Neighborhoods, 1858-present		
CONSTRUCTION HISTORY (DESCRIPTION, NAMES, DATES, ETC., RELATING TO MAJOR ALTERATIONS TO ORIGINAL STRUCTURE): <p style="text-align: right;">CONTINUED YES X NO</p>				
HISTORICAL BACKGROUND (DISCUSS IMPORTANT PERSONS AND EVENTS ASSOCIATED WITH THIS STRUCTURE): The 1913 city directory indicates that this was the home of J. Thurman and Flora D. Collins. J.T. Collins worked as a miner. Collins married Flora Dunbar of Jamestown in 1897.				
<p style="text-align: right;">CONTINUED YES X NO</p>				
SIGNIFICANCE (CHECK APPROPRIATE CATEGORIES AND BRIEFLY JUSTIFY BELOW): <table style="width: 100%; border: none;"> <tr> <td style="width: 50%; vertical-align: top;"> ARCHITECTURAL SIGNIFICANCE: REPRESENTS THE WORK OF A MASTER POSSESSES HIGH ARTISTIC VALUES REPRESENTS A TYPE, PERIOD, OR METHOD OF CONSTRUCTION </td> <td style="width: 50%; vertical-align: top;"> HISTORICAL SIGNIFICANCE: ASSOCIATED WITH SIGNIFICANT PERSONS ASSOCIATED WITH SIGNIFICANT EVENTS OR PATTERNS CONTRIBUTES TO AN HISTORIC DISTRICT </td> </tr> </table>			ARCHITECTURAL SIGNIFICANCE: REPRESENTS THE WORK OF A MASTER POSSESSES HIGH ARTISTIC VALUES REPRESENTS A TYPE, PERIOD, OR METHOD OF CONSTRUCTION	HISTORICAL SIGNIFICANCE: ASSOCIATED WITH SIGNIFICANT PERSONS ASSOCIATED WITH SIGNIFICANT EVENTS OR PATTERNS CONTRIBUTES TO AN HISTORIC DISTRICT
ARCHITECTURAL SIGNIFICANCE: REPRESENTS THE WORK OF A MASTER POSSESSES HIGH ARTISTIC VALUES REPRESENTS A TYPE, PERIOD, OR METHOD OF CONSTRUCTION	HISTORICAL SIGNIFICANCE: ASSOCIATED WITH SIGNIFICANT PERSONS ASSOCIATED WITH SIGNIFICANT EVENTS OR PATTERNS CONTRIBUTES TO AN HISTORIC DISTRICT			
TIER EVALUATION:				
STATEMENT OF SIGNIFICANCE: Alterations to this house have diminished its historic integrity.				
<p style="text-align: right;">CONTINUED YES X NO</p>				
REFERENCES (BE SPECIFIC): Boulder County Assessor, real estate information; Boulder Daily Camera biographical files; Boulder Carnegie Library, Boulder County Assessor collection; Boulder City Directories; Boulder Genealogical Society, Census Indexes, 1900 and 1910				
<p style="text-align: right;">CONTINUED YES X NO</p>				
SURVEYED BY: R.L. Simons/J.E. Broeker	AFFILIATION: Front Range Research Associates, Inc.	DATE: August 1994		





Tax Assessor Card Photograph, 1103 6th St., 1949.

Attachment F: Significance Criteria for Individual Landmarks

SIGNIFICANCE CRITERIA
Individual Landmark
September 1975

On September 6, 1975, the City Council adopted Ordinance #4000 providing procedures for the designation of Landmarks and Historic Districts in the City of Boulder. The purpose of the ordinance is the preservation of the City's permitted cultural, historic, and architectural heritage. The Landmarks Board is permitted by the ordinance to adopt rules and regulations as it deems necessary for its own organization and procedures. The following Significance Criteria have been adopted by the board to help evaluate each potential designation in a consistent and equitable manner.

Historic Significance

The place (building, site, area) should show character, interest or value as part of the development, heritage, or cultural characteristics of the community, state or nation; be the site of a historic, or prehistoric event that had an effect upon society; or exemplify the cultural, political, economic, or social heritage of the community.

Date of Construction: This area of consideration places particular importance on the age of the structure.

Association with Historical Persons or Events: This association could be national, state, or local.

Distinction in the Development of the Community of Boulder: This is most applicable to an institution (religious, educational, civic, etc) or business structure, though in some cases residences might qualify. It stresses the importance of preserving those places which demonstrate the growth during different time spans in the history of Boulder, in order to maintain an awareness of our cultural, economic, social or political heritage.

Recognition by Authorities: If it is recognized by Historic Boulder, Inc. the Boulder Historical Society, local historians (Barker, Crossen, Frink, Gladden, Paddock, Schooland, etc), State Historical Society, The Improvement of Boulder, Colorado by F.L. Olmsted, or others in published form as having historic interest and value.

Other, if applicable.

Architectural Significance

The place should embody those distinguishing characteristics of an architectural type specimen, a good example of the common; be the work of an architect or master builder, known nationally, state-wide, or locally, and perhaps whose work has influenced later development; contain elements of architectural design, detail, materials or craftsmanship which represent a significant innovation; or be a fine example of the uncommon.

Recognized Period/Style: It should exemplify specific elements of an architectural period/style,

i.e.: Victorian, Revival styles, such as described by *Historic American Building Survey Criteria*, Gingerbread Age (Maass), 76 Boulder Homes (Barkar), The History of Architectural Style (Marcus/Wiffin), Architecture in San Francisco (Gebhard et al), History of Architecture (Fletcher), Architecture/Colorado, and any other published source of universal or local analysis of a style.

Architect or Builder of Prominence: A good example of the work of an architect or builder who is recognized for expertise in his field nationally, state-wide, or locally.

Artistic Merit: A skillful integration of design, material, and color which is of excellent visual quality and/or demonstrates superior craftsmanship.

Example of the Uncommon: Elements of architectural design, details, or craftsmanship that are representative of a significant innovation.

Indigenous Qualities: A style or material that is particularly associated with the Boulder area.

Other, if applicable.

Environmental Significance

The place should enhance the variety, interest, and sense of identity of the community by the protection of the unique natural and man-made environment.

Site Characteristics: It should be of high quality in terms of planned or natural vegetation.

Compatibility with Site: Consideration will be given to scale, massing placement, or other qualities of design with respect to its site.

Geographic Importance: Due to its unique location or singular physical characteristics, it represents an established and familiar visual feature of the community.

Environmental Appropriateness: The surroundings are complementary and/or it is situated in a manner particularly suited to its function.

Area Integrity: Places which provide historical, architectural, or environmental importance and continuity of an existing condition, although taken singularly or out of context might not qualify under other criteria.