

# MEMORANDUM

September 3, 2014

**TO:** Landmarks Board

**FROM:** Lesli Ellis, Comprehensive Planning Manager  
James Hewat, Senior Historic Preservation Planner  
Marcy Cameron, Historic Preservation Planner  
Angela Smelker, Historic Preservation Intern

**SUBJECT:** Continuation of a public hearing and consideration of an application for a Landmark Alteration Certificate to construct a 1,459 sq. ft. addition to the main house, to relocate an existing garage on the property, and to construct a 330 sq. ft. one-car garage at 711 Pine St. in the Mapleton Hill Historic District, per section 9-11-18 of the Boulder Revised Code 1981 (HIS2014-00172).

## STATISTICS:

1. Site: 711 Pine St.
2. Zoning: RL-1 (Residential-Low 1)
3. Lot size: 10,323 sq. ft.
4. Existing House: 990 sq. ft.
5. Proposed Addition: 1,459 sq. ft.
6. Existing Garage: 245 sq. ft.
7. Proposed Garage: 330 sq. ft.
8. Applicant/Owner: David Waugh, Kevin Deighan
9. Date of Construction: 1939

## STAFF RECOMMENDATION:

If the applicant complies with the conditions listed below, staff considers the proposed construction of an addition, relocating the existing garage and constructing a new one-car garage on the property will be generally consistent with the conditions specified in Section 9-11-18, B.R.C. 1981, the *General Design Guidelines*, and the *Mapleton Hill Design Guidelines*. Staff recommends that the Landmarks Board adopt the following motion:

*I move that the Landmarks Board adopt the staff memorandum dated September 3, 2014, as the findings of the board and approve a Landmark Alteration Certificate for the*

*proposed construction and relocation shown on plans dated 05/22/2014, finding that they generally meet the standards for issuance of a Landmark Alteration Certificate in Chapter 9-11-18, B.R.C. 1981, subject to the following conditions:*

### **CONDITIONS OF APPROVAL**

1. The applicant shall be responsible for constructing the house, relocating the garage and constructing a new one-car garage in compliance with the approved plans dated 05/22/2014, except as modified by these conditions of approval.
2. Prior to submitting a building permit application and final issuance of the Landmark Alteration Certificate, the applicant shall provide details on the rehabilitation of the existing house including, but not limited to, removal of vinyl siding and shutters, as well as details on the move and rehabilitation of the existing garage.
3. Prior to submitting a building permit application and final issuance of the Landmark Alteration Certificate, the applicant shall submit the following, which shall be subject to the final review and approval of the Landmarks design review committee: window and door details, wall material details, siding material details, paint colors, roofing material details and details regarding any hardscaping on the property to ensure that the approval is consistent with the *General Design Guidelines* and the *Mapleton Hill Historic District Guidelines* and the intent of this approval.

### **SUMMARY:**

- On May 29<sup>th</sup>, 2014, the applicant submitted a completed Landmark Alteration Certificate to add to the house, relocate the garage and construct a new 330 sq. ft. garage on the property at 711 Pine Street.
- On July 2<sup>nd</sup>, 2014, the Landmarks Board reviewed the application in a public hearing. In response to comments from the board that the proposed addition should significantly reduced in mass and scale and the design simplified, the applicant withdrew the application for redesign.
- Because the proposal calls for the relocation of a building in a historic district, review by the full Board is required.
- Since the July 2<sup>nd</sup> meeting, the applicant has reduced the square footage of the proposed addition by 479 sq. ft. from 1,938 sq. ft. to 1,459 sq. ft. and has reduced and simplified the overall mass and scale of the proposed addition. This memorandum reflects the revised design.

- Staff considers that the 1939 house and garage, constructed within the (1865-1946) period-of-significance for the Mapleton Hill Historic District and retaining a high degree of integrity, are contributing buildings.
- Staff finds the proposed new construction to be generally consistent with the criteria for a Landmark Alteration Certificate as per 9-11-18(a) & (b)(1)-(4) B.R.C. 1981, the *General Design Guidelines* and the *Mapleton Hill Design Guidelines*.
- This recommendation is based upon the understanding that, pursuant to the conditions of approval, the stated conditions will be reviewed and approved by the Landmarks design review committee (Ldrc) prior to the issuance of a Landmark Alteration Certificate.

### PROPERTY HISTORY:



*Figure 1. 711 Pine St. Tax Assessor Card photograph 1952.  
Photograph Courtesy the Carnegie Branch Library for Local History.*

The one-story Minimalist Traditional house at 711 Pine St. was constructed in 1939 and is indicative of houses of that type built between 1935 and 1950 with its intermediate roof pitch, façade gable and minimal ornamentation.

Early residents of 711 Pine included the Cooley family who occupied the home from 1951 to 1959. Leonard Cooley and his wife Mildred were originally from Kansas. Leonard was a farmer in Pawnee County, Kansas. The Cooleys moved to Boulder in 1948 and continued to maintain their wheat farm in Kansas. Mildred

died in 1976, and Leonard died in 1989. They were survived by a daughter, Nadine Nan Earnshaw of Boulder.

After the Cooleys, Russell and Elsie Kelley resided in 711 Pine from 1960 to 1971. Russell was born in Nebraska in 1896 and married Elsie Mae Demmon, a native of Boulder, in 1922. Both Russell and Elsie were graduates of the University of Colorado in the early 1920s. Russell and Elsie moved to Washington D.C. when Russell took a position in the U.S. Office of Education. Russell also held similar jobs in Kansas, Oklahoma, Oregon, and Minnesota before retiring to Boulder with Elsie and taking up residence at 711 Pine.



Figure 2. Photograph of Russell and Elsie Kelley from the University of Colorado Annual, 1923.

After the Kelleys, Elsyee and Hanford Langstroth lived at 711 Pine. Little is known of them other than their appearance in the City of Boulder directory as owning the residence until the early 2000s.

The 1994 Historic Building Survey for the property did not find the house to be a contributing element to the Mapleton Hill Historic District since, at that time, it was built after the period-of-significance for the district. However, the 2002 amendment extending the Mapleton Hill Historic District period of significance to 1946 makes it its 1939 construction date potentially contributing.

While the Minimalist-Traditional manner of design is relatively infrequent in Mapleton Hill, this form does represent architectural design during a period of significant growth in Boulder. The Minimal-Traditional house type is recognized in the 2010 *Historic Context and Survey of Post-World War II Residential Architecture* as featuring a medium-pitched roof and little or no ornamentation. Porches, if present, are often integrated into the façade, and attached garages or carports are common to this housing type. The Minimal Tradition was the most common housing type in Boulder from 1935s to 1950.

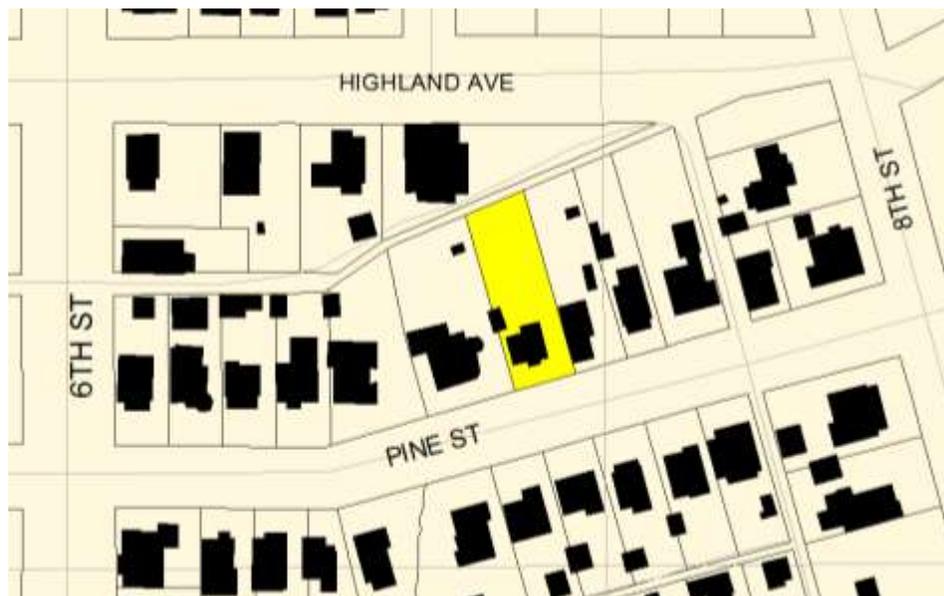
Figure 1 shows the Tax Assessor photograph of the house in 1952. Few changes appear to have occurred since that time with the exception of the application of vinyl siding and shutters. The owner represents that the original wood siding is below the vinyl.

A one-car garage located immediately west of the main house appears to have been constructed around the same time, and is mentioned on the 1952 Tax Assessment for the property.

In their letter, the applicant and owner consider the house and garage to be of little architectural merit and request that the buildings be considered non-contributing. Staff acknowledges that the buildings are much less grand than many earlier examples on Pine St, however, staff considers these buildings contributing because construction occurred within the 1865-1946 period-of-significance for the Mapleton Hill Historic District. The house and garage exist in comparatively original condition and are relatively intact. They clearly contribute to the historic significance of the district.

**DESCRIPTION:**

The property is located on the north side of Pine St. between 6<sup>th</sup> and 8<sup>th</sup> Street, in the West Boulder addition to the city, which was platted in 1874. The approximately 990 sq. ft. house is located on a 10,323 sq. ft. lot.



*Figure 3. Location Map, 711 Pine St.*

The one story house was constructed around 1939, features a hipped roof with a projecting front gable, and is clad in horizontal lap siding with corner boards. An asymmetrical uncovered porch on the façade has a concrete base and a wrought iron balustrade and railing. The entrance features an off-center slab door, double-hung and plate glass windows.



*Figure 4. South (front) elevation of 711 Pine St., 2014.*



*Figure 5. West elevation of 711 Pine St., 2014.*



*Figure 6. East elevation of 711 Pine St., 2014.*

### **PROPOSED ADDITION**

Drawings show a 1,459 sq. ft. addition to be constructed at the rear of the existing 990 sq. ft. house. The first floor is shown to be 909 sq. ft. and the second floor to 550 sq. ft. in size. The garage currently takes access from the street as the property does not border an alley. This condition is proposed to be maintained with the relocation of the existing garage and construction of a new garage at the west side of the property.

The proposed floor area of the house is calculated to be approximately 2,449 sq. ft. with the estimated lot coverage estimated at 1,899 sq. ft. on the 10,323 sq. ft. lot. The application states with the existing and proposed garage, the total floor area (FAR) for the proposal to be 3,024 sq. ft. where the maximum floor area for this property is 4,180 sq. ft.

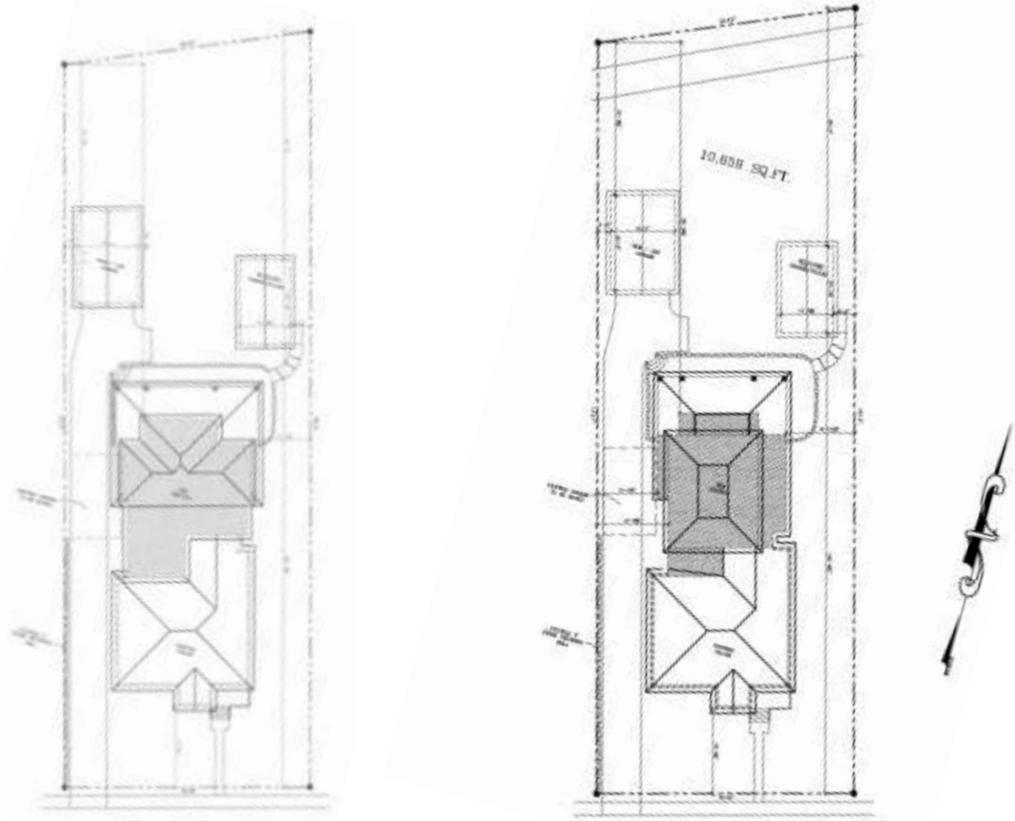


Figure 7. July 2<sup>nd</sup>, 2014 (left) and Proposed Site Plans (right). Not to scale.



Figure 8. Existing South Elevation (façade)



Figure 9. July 2nd, 2014 South Elevation (façade)



Figure 10. Current Proposal, South Elevation (façade)

In elevation, the revised addition is shown to feature a low hipped roof to reduce visibility of the mass from the street. The south elevation shows the proposed rear addition extending above the existing house, resulting in the addition being visible from Pine St., though set back between 50 to 60 feet from the south property line facing onto Pine St. A single light window on the second story of the addition is shown to face south but will have limited visibility from the street.



Figure 11. Existing East Elevation



Figure 12. July 2<sup>nd</sup>, 2014 proposal, East Elevation



Figure 13. Current proposal, East Elevation

The east elevation of the house shows the roof and wall forms to have been lowered somewhat and significantly simplified. This face of the house is shown to be fenestrated with double-hung windows. A wrap-around porch is shown to continue around the rear portion of the east face.



*Figure 14. Existing North Elevation*



*Figure 15. July 2<sup>nd</sup> Proposal, North Elevation (rear)*



*Figure 16. Current Proposal, North Elevation*

Plans show the first floor of the north (rear) elevation of the addition to feature a wrap-around porch beneath which are located three sets of large windows and a

single light man-door. The second-story of this face is shown to be fenestrated by a sliding casement window and a small double-hung window.



Figure 17. Existing West Elevation



Figure 18. July 2<sup>nd</sup> Proposal, West Elevation



Figure 19. Current Proposal, West Elevation

The west elevation of the addition is shown to be set approximately 3 ft. from the north-west corner of the existing house. Like the east elevation this face of the

house, the mass and form of this face of the house has been reduce in mass and scale and the forms simplified. The existing rear cable ell of the existing house acts as a connector to the two-story addition. This face of the addition is shown to be fenestrated by double hung windows of various sizes and a wrapping porch at the rear.

The addition is shown to be sided in narrow wood clapboard siding. Details on windows, doors, roofing and treatment of exterior materials on the existing house were not specified in the application.



*Figure 20. Massing model, showing view facing northwest.*



*Figure 21. Massing model, showing view facing northeast.*

**PROPOSED RELOCATION OF EXISTING GARAGE  
AND CONSTRUCTION OF NEW ONE-CAR GARAGE**

Plans call for the existing 245 sq. ft. garage to be relocated from the west side of the lot to the east side and to be used as a studio. Other than relocation, no changes are shown to be made to the existing garage. A new one car garage of 330 sq. ft. will be constructed behind the house by the west fence line. Because of the slope of the lot, the simple gable end building is shown to be bermed into the ground at the north. Fenestration consists of a simple wood automobile door at the south with a man door and single light casement window on the east face of the building. Plans call for the new building to be sheathed in wood clapboard siding and board and batten to match the proposed addition.

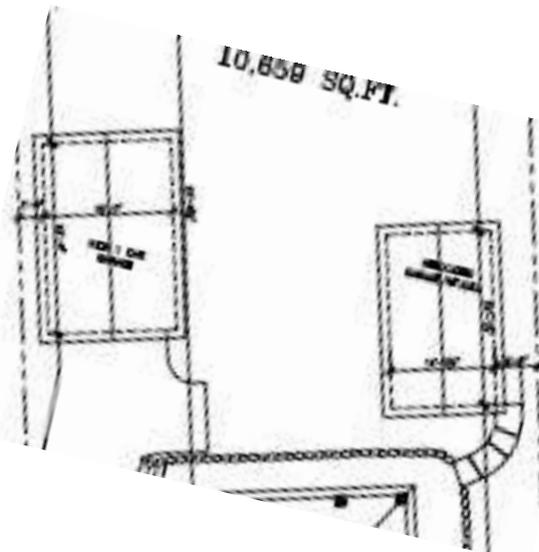
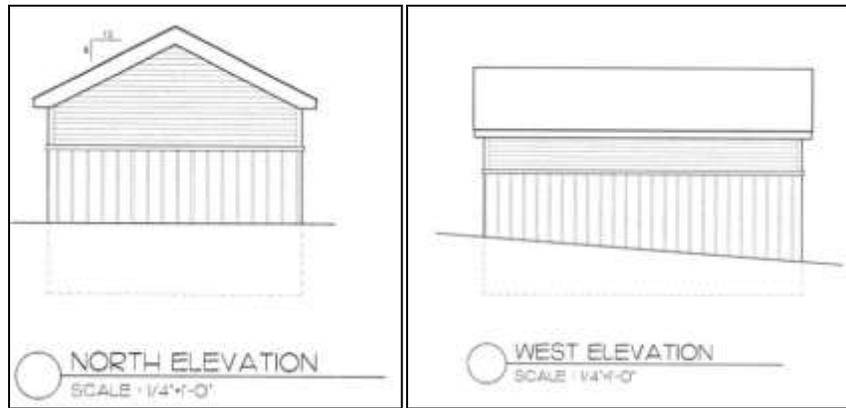


Figure 22. Proposed new garage and relocated garage/studio.



Figure 23. South and East Elevations of proposed garage.



*Figure 24: North and West Elevations of proposed garage.*

### **CRITERIA FOR THE BOARD'S DECISION**

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Subsection 9-11-18(b) and (c), B.R.C. 1981, sets forth the standards the Landmarks Board must apply when reviewing a request for a Landmark Alteration Certificate.

- (b) Neither the Landmarks Board nor the City Council shall approve a Landmark Alteration Certificate unless it meets the following conditions:
- (1) The proposed work preserves, enhances, or restores and does not damage or destroy the exterior architectural features of the landmark or the subject property within an historic district;
  - (2) The proposed work does not adversely affect the special character or special historic, architectural, or aesthetic interest or value of the landmark and its site or the district;
  - (3) The architectural style, arrangement, texture, color, arrangement of color, and materials used on existing and proposed constructions are compatible with the character of the existing landmark and its site or the historic district;
  - (4) With respect to a proposal to demolish a building in an historic district, the proposed new construction to replace the building meets the requirements of paragraphs (b)(2) and (3) above.
- (c) In determining whether to approve a Landmark Alteration Certificate, the Landmarks Board shall consider the economic feasibility of alternatives, incorporation of energy-efficient design, and enhanced access for the disabled.

## ANALYSIS

*1. Does the proposed application preserve, enhance, or restore, and not damage or destroy the exterior architectural features of the landmark or the subject property within an historic district?*

Constructed in 1939, staff considers the modest Minimal-Traditional building contributing to the historic character of the Mapleton Hill Historic District. Staff finds that, provided the listed conditions are met, the proposed alterations to the property including an addition to the house, relocation of the existing garage, and construction of a new one-car garage will preserve the historic character of the property and the immediate streetscape and be consistent with the *General Design Guidelines* and the *Mapleton Hill Historic District Guidelines* (see Design Guidelines Analysis section).

*2. Does the proposed application adversely affect the special character or special historic, architectural, or aesthetic interest or value of the district?*

Staff finds that, provided the listed conditions are met, the proposed application will not adversely affect the special character or special historic, architectural, or aesthetic interest or value of the landmark property as it will be generally compatible with the *General Design Guidelines* and the *Mapleton Hill Design Guidelines* in terms of mass, scale, height, design and color (see Design Guidelines Analysis section).

*3. Is the architectural style, arrangement, texture, color, arrangement of color, and materials used on existing and proposed structures compatible with the character of the historic district?*

Staff finds that, provided the listed conditions are met, the proposed addition, relocation of the existing garage, and construction of a new one-car garage will be generally compatible with the architectural form, arrangement, texture, color, arrangement of color, and materials used on the proposed building and will be generally compatible with the character of the historic district in terms of mass, scale, height, setback, and design (see Design Guidelines Analysis section).

*4. Does the proposal to demolish the building within the Mapleton Hill Historic District and the proposed new construction to replace the proposed demolished building meet the requirements of paragraphs 9-11-18(b)(2), 9-11-18(b)(3) and 9-11-18(b)(4) of this section?*

Not applicable.

**DESIGN GUIDELINES ANALYSIS:**

The Historic Preservation Ordinance sets forth the standards the Landmarks Board must apply when reviewing a request for a Landmark Alteration Certificate. The Board has adopted the *General Design Guidelines* to help interpret the historic preservation ordinance. The following is an analysis of the proposed new construction with respect to relevant guidelines. Design guidelines are intended to be used as an aid to appropriate design and not as a checklist of items for compliance.

The following is an analysis of the proposal’s compliance with the appropriate sections of the *General Design Guidelines*.

**GENERAL DESIGN GUIDELINES -ADDITIONS TO HISTORIC BUILDINGS, 4.0.**

<b>4.1 Protection of Historic Structures and Sites</b>			
<b>The primary concern of the Landmarks Board in reviewing additions to historic structures is the protection of the existing structure and the character of the site and district.</b>			
	<b>Guideline</b>	<b>Analysis</b>	<b>Meets Guideline?</b>
.1	<i>Construct new additions so that there is a least possible loss of historic fabric and so that the character-defining features of the historic building are not destroyed, damaged or destroyed</i>	Addition is proposed at rear of contributing house.	Yes
.2	<i>New additions should be constructed so that they may be removed in the future without damaging the historic structure.</i>	The rear wall of the house will be removed to accommodate the addition, though rear corners of house will be maintained.	Maybe
.3	<i>It is not appropriate to construct an addition that will detract from the overall historic character of the principal building and/or the site, or if it will require the removal of significant building elements or site features.</i>	The proposed mass and scale is larger than the existing house, though siting, stepping-in of wall and roof forms and reduction of mass, scale and height of addition from July 2 <sup>nd</sup> scheme will mitigate the addition. Publicly visibility from ally on north	Yes

		side of the Farmer’s ditch due to distance and mature vegetation..	
<b>4.2</b>	<b>Distinction from Historic Structures</b>		
	<i>All additions should be discernible from the historic structure. When the original design is duplicated the historic evolution of the building becomes unclear. Instead, additional should be compatible with the historic architecture but clearly recognizable as new construction.</i>		
	<b>Guideline</b>	<b>Analysis</b>	<b>Meets Guideline?</b>
.1	<i>Distinguish an addition from the historic structure, but maintain visual continuity between the two. One common method is to step the addition back and/or set it in slightly from the historic structure.</i>	Proposed addition is distinct from house in form, detailing and materiality. Steps have been taken to develop a visual continuity between the existing house by simplifying form, fenestration, and refining materiality. Review details at Ldrc.	Yes
.2	<i>Do not directly copy historic elements. Instead, interpret historic elements in simpler ways in the addition.</i>	In form, the addition respects the historic house, and does not seek to replicate historic elements. Steps have been taken to further develop a visual continuity between the existing house by simplifying form, fenestration, and refining materiality. Review details at Ldrc.	Yes
.3	<i>Additions should be simpler in detail than the original structure. An addition that exhibits a more ornate style or implies an earlier period of architecture than that of the original is inappropriate.</i>	Existing house is very simple in form and detailing; Steps have been taken to simplify forms and reduce overall mass and scale, fenestration, and refining materiality. Review details at Ldrc.	Yes
.4	<i>The architectural styles of additions should not imitate the historic style but must be compatible with it. Contemporary style additions are possible, but require the utmost attention to these guidelines to be successful. The use of two distinct historic styles, such as adding Tudor-style half-timbering to a Classic Cottage, is inappropriate.</i>	Proposed addition is generally complementary to the style of the historic building but does not seek to replicate it.	Yes

<b>4.3 Compatibility with Historic Buildings</b>			
<i>Introducing new construction that contrasts sharply with an existing historic structure or site detracts from the visual continuity that marks our historic districts. While additions should be distinguishable from the historic structure, they must not contrast so sharply as to detract from the original building and/or the site. Additions should never overwhelm historic structures or the site, in mass, scale or detailing.</i>			
	<b>Guideline</b>	<b>Analysis</b>	<b>Meets Guideline?</b>
.1	<i>An addition should be subordinate to the historic building, limited in size and scale so that it does not diminish or visually overpower the building.</i>	Addition will increase the square footage of the 990 sq. ft. house by over 1,400 sq. ft. and will be differentiated from the main house. Height and mass of addition have been reduced by nearly 550 sq. ft. since July scheme in an attempt to make more subordinate to the main portion of the historic house when viewed from the public way.	Maybe
.2	<i>Design an addition to be compatible with the historic building in mass, scale, materials and color. For elevations visible from public streets, the relationship of solids to voids in the exterior walls should also be compatible.</i>	Relationship of solids to voids on the east and west elevations of the proposed addition are generally compatible with those found on historic houses. Amount of glazing at north (rear) elevation may not be appropriate. Fenestration of east west and south faces have been significantly simplified from July 2 <sup>nd</sup> scheme.	Yes
.4	<i>Reflect the original symmetry or asymmetry of the historic building.</i>	Symmetry of original house is reflected in fenestration south face. Fenestration on east and west elevations has been simplified to follow same relationship.	Yes
.5	<i>Preserve the vertical and horizontal proportion of a building's mass.</i>	The horizontal form of house will remain, though the addition's visibility from the south elevation - foreshortening will make vertical aspect of addition secondary. Steps have been taken to reduce the mass and scale of the addition since the July 2 <sup>nd</sup> review.	Yes

<b>4.4 Compatibility with Historic Site and Setting</b>			
<i>Additions should be designed and located so that significant site features, including mature trees, are not lost or obscured. The size of the addition should not overpower the site or dramatically alter its historic character.</i>			
	<b>Guideline</b>	<b>Analysis</b>	<b>Meets Guideline?</b>
.1	<i>Design new additions so that the overall character of the site, site topography, character-defining site features and trees are retained.</i>	Character of the long, narrow site will be maintained, and significant site features are not proposed for removal.	Yes
.2	<i>Locate new additions on an inconspicuous elevation of the historic building, generally the rear one. Locating an addition to the front of a structure is inappropriate because it obscures the historic facade of a building.</i>	Addition is at the rear of the historic house but will be visible to the public along Pine Street. This is the only face of the building practical to construct an addition, but consideration should be given to reducing its mass and scale to the extent possible when viewed from Pine Street.	Yes
.3	<i>Respect the established orientation of the original building and typical alignments in the area.</i>	Addition does not affect historic orientation and alignments of the building along the streetscape.	Yes
.4	<i>Preserve a backyard area between the house and the garage, maintaining the general proportion of built mass to open space found within the area. See Guideline 2.1.1.</i>	Proposed addition of a larger one car garage will take the place of the historic garage which is to be relocated to the opposite side of the property; addition and new garage will not significantly affect the general proportion of built mass to open space.	Yes

<b>4.5 Key Building Elements</b>	
<i>Roofs, porches, dormers, windows and doors are some of the most important character-defining elements of any building. As such, they require extra attention to assure that they compliment the historic architecture. In addition to the guidelines below, refer also to Section 3.0 Alterations for related suggestions.</i>	

	<b>Guideline</b>	<b>Analysis</b>	<b>Meets Guideline?</b>
.1	<i>Maintain the dominant roofline and orientation of the roof form to the street.</i>	Roofline of addition will be relatively low massed and separated by a connector with a flat roof. Hip roof on addition will be set back 70 ft. from south (front) property line and so will likely have minimal visibility when viewed from Pine Street.	Yes
.2	<i>Rooflines on additions should be lower than and secondary to the roofline of the original building.</i>	Roofline of addition is shown at same height as main house. Consider dropping this element to further distinguish addition roof from existing house.	
.3	<i>The existing roof form, pitch, eave depth, and materials should be used for all additions.</i>	The proposed roof proportions and materials are generally compatible with the historic house.	Yes
.5	<i>Maintain the proportion, general style, and symmetry or asymmetry of the existing window patterns.</i>	Symmetry of original house is reflected in fenestration on the south face. Fenestration on east and west elevations has been simplified and now maintains the patterns of the existing house.	Yes
.6	<i>Use window shapes that are found on the historic building. Do not introduce odd-shaped windows such as octagonal, triangular, or diamond-shaped</i>	Fenestration on east and west elevations has been simplified to follow same relationship in terms of placement and proportion.	Yes

**MAPLETON HILL DESIGN GUIDELINES –MAJOR EXTERIOR RENOVATION, ADDITIONS AND SECOND STORIES, T.**

<b>F.</b>	<b>Massing</b>		
	<b>While the specific details of the historic architectural styles of Mapleton Hill vary considerably, the most significant and identifiable feature of a building is its massing. Buildings of Italianate styling are square and vertical. Bungalows are low and rectangular, while Queen Anne styling is asymmetrical with many projections and details. Replication of stylistic detailing is not encouraged or necessary, however, the form which defines the building, should be respected.</b>		
	<b>Guideline</b>	<b>Analysis</b>	<b>Meets Guideline?</b>
1.	<i>Any addition to a building should</i>	The proposed addition will generally	Yes

	<i>preserve the existing symmetry or asymmetry.</i>	not impact the asymmetry of the main house when viewed from Pine Street.	
2.	<i>The vertical or horizontal proportion of a building's mass should be preserved.</i>	The addition may impact the horizontal proportion of the Minimal Traditional when viewed from Pine Street though mass scale and height of addition has been significantly reduce from July 2 <sup>nd</sup> scheme.	Maybe
<b>T. Major Exterior Renovation, Additions and Second Stories.</b>			
<b>Large additions and additional stories to a building frequently change the character of the structure. The diversity that characterizes the historic district is a result of the variety in the sizes of buildings and the differing architectural styles. A design response that respects this diversity is most appropriate.</b>			
	<b>Guideline</b>	<b>Analysis</b>	<b>Meets Guideline?</b>
.4	<i>New additions should be designed and constructed so that the character-defining features of the historic building are not radically changed, obscured, damaged or destroyed in the process of rehabilitation.</i>	Addition proposed at rear of historic building; no character defining features of existing house will be affected.	Yes
.5	<i>New design and construction should always be differentiated from older portions of a building; however, the addition should respect the existing roof forms, and building scale and massing.</i>	Proposed addition is distinct from house in form, detailing and materiality. Reduction of mass, scale and height from July 2 <sup>nd</sup> scheme much more compatible with existing house.	Yes

**General Design Guidelines**

<b>7.</b>	<b>GARAGES &amp; OTHER ACCESSORY STRUCTURES</b>		
<b>7.1</b>	<b>Existing Historic Accessory Structures</b>		
	<i>A primary concern of the Landmarks Board in reviewing proposed changes in historic districts is the protection of existing historic accessory structures and the character of the site and district.</i>		
	GUIDELINES:	ANALYSIS:	CONFORMS
.1	<i>Retain and preserve garages and</i>	Staff considers that relocation of	<b>Yes</b>

	<i>accessory buildings that contribute to the overall character of the site or district.</i>	the garage will preserve the view of the building from the street and maintain orientation of garage to alley.	
.2	<i>Retain and preserve the character-defining materials, features, and details of historic garages and accessory buildings, including roofs, materials, windows, and doors.</i>	No exterior changes to the existing garage are shown.	<b>Yes</b>

**Mapleton Hill Historic District Guidelines**

<b>D.</b>	<b>ALLEYS, EASEMENTS and ACCESSWAYS</b>		
	<i>Alleys are a strong visual element of the district, and have much variety of scale and detail. They play an important role in the development patterns that give the more visible areas their character. Alleys provide access to rear parking and garages. They have a varied edge quality, with buildings both on the property lines and set back. The size and quality of these accessory buildings varies considerably. Careful consideration should be given to changes in traditional uses.</i>		
	<b>Guidelines:</b>	<b>Analysis:</b>	<b>CONFORMS?</b>
1.	<i>The use of alleys to provide access to the rear of properties should be preserved.</i>	Access to garage appears always to have been taken from Pine Street. Garage will no longer take access from alley. Steps might be taken to provide grass wheel path from garage door to sidewalk. Resolve at Ldrc.	<b>Maybe</b>
2.	<i>Efforts should be made to protect the variety of shape, size and alignment of buildings along the alleys. Alleys should maintain a human scale and be sensitive to pedestrians.</i>	No alley	<b>N/A</b>
3.	<i>Buildings such as garages, sheds, etc. which contribute to this variety should be retained in their original form whenever possible.</i>	Generally maintains character of building in terms of orientation and location.	<b>Yes</b>
5.	<i>Efforts should be made to maintain the character of the alleys in the District.</i>	No alley	<b>N/A</b>
<b>P</b>	<b>GARAGES, CARPORTS AND ACCESSORY STRUCTURES</b>		
	<i>A variety of accessory buildings has been adapted for use as garages in the Mapleton Hill Historic District. Whether carriage houses or sheds, these structures have certain similarities.</i>		

	<i>They are plain and utilitarian and are located at the rear of the property on the alley. Materials and building elements are varied.</i>		
	<b>Guideline:</b>	<b>Consistency:</b>	
.1	<i>If an existing structure is to be used as a garage the historic character of the building should be respected. As few changes as possible should be made.</i>	No exterior changes to the existing garage are shown.	<b>Yes</b>

<b>7.2</b>	<b>New Accessory Buildings</b>		
<i>New accessory buildings should follow the character and pattern of historic accessory buildings. While they should take design cues from the primary buildings, they must be subordinate in size, massing, and detailing. Alley buildings should maintain a scale that is pleasant to walk along and comfortable for pedestrians.</i>			
<b>Location and Orientation</b>			
.1	<i>It is inappropriate to introduce a new garage or accessory building if doing so will detract from the overall historic character of the principal building, and the site, or if it will require removal of a significant historic building element or site feature, such as a mature tree.</i>	The proposed construction of a new garage is in keeping with the design of the main house and existing garage and will not impact the character of the principal building.	<b>Yes</b>
.2	<i>New garages and accessory buildings should generally be located at the rear of the lot, respecting the traditional relationship of such buildings to the primary structure and the site.</i>	The property takes access from Pine Street. Location of new garage behind house is appropriate.	<b>Yes</b>
.3	<i>Maintain adequate spacing between accessory buildings so alleys do not evolve into tunnel-like passageways.</i>	No alley	<b>N/A</b>
.4	<i>Preserve a backyard area between the house and the accessory buildings, maintaining the general proportion of built mass to open space found within the area.</i>	Construction of proposed one-car garage will not affect general proportion of built mass to open space of the property or streetscape.	<b>Yes</b>
<b>Mass and Scale</b>			
.5	<i>New accessory buildings should take design cues from the primary building</i>	Proposed design relates to existing house and garage; size and massing	<b>Yes</b>

	<i>on the property, but be subordinate to it in terms of size and massing.</i>	are appropriate.	
.6	<i>New garages for single-family residences should generally be one story tall and shelter no more than two cars. In some cases, a two-car garage may be inappropriate.</i>	Proposed one-car garage is one-story tall. Massing proportionate to built mass and open space on property.	<b>Yes</b>
.7	<i>Roof form and pitch should be complementary to the primary structure.</i>	Roof form is complementary to the main house.	<b>Yes</b>
<b>Materials and Detailing</b>			
.8	<i>Accessory structures should be simpler in design and detail than the primary building.</i>	As shown, garage is simpler than main house in design, material, and detailing.	<b>Yes</b>
.9	<i>Materials for new garages and accessory structures should be compatible with those found on the primary structure and in the district. Vinyl siding and prefabricated structures are inappropriate.</i>	Proposed materials (wood siding, windows, and doors) will be compatible with character of historic district. Consider using not using only clapboard siding (see 2.3.3 above). Resolve at Ldrc.	<b>Maybe</b>
.10	<i>Windows, like all elements of accessory structures, should be simpler in detailing and smaller in scale than similar elements on primary structures.</i>	Proposed design of windows on east and elevation appears to be compatible in terms of window type, size and detailing with similar elements on the primary building.	<b>Yes</b>
.11	<i>If consistent with the architectural style and appropriately sized and located, dormers may be an appropriate way to increase storage space in garages.</i>	N/A	<b>N/A</b>
.12	<i>Garage doors should be consistent with the historic scale and materials of traditional accessory structures. Wood is the most appropriate material and two smaller doors may be more appropriate than one large door.</i>	Garage doors appear to be consistent in terms of scale and materials. Review final details at Ldrc.	<b>Maybe</b>
.13	<i>It is inappropriate to introduce features or details to a garage or an accessory building in an attempt to create a false historical appearance.</i>	Proposed design does not attempt to recreate a false historic appearance.	<b>Yes</b>
.14	<i>Carports are inappropriate in districts where their form has no historic precedent.</i>	Carport not proposed.	<b>N/A</b>

Constructed in 1939, the Minimalist Traditional house at 711 Pine Street was built within the period-of-significance for the Mapleton Hill Historic District and retains a high degree of historic integrity and, as such, staff considers it to be contributing. Staff also acknowledges the modest, mid-century character of the house. Its diminutive scale makes it challenging to construct an addition that provides meaningful and useful space.

The roughly 10,000 sq. ft. property is located mid-block and does not back on to an alley. These circumstances provide for the ability to construct an addition of mass and scale than might otherwise be possible. That said, staff considers that steps should be taken to ensure that the mass and scale be reduced to the extent possible to mitigate the visual impact on the main house when viewed from Pine Street. To this end, revisions have been made to the mass. Scale and height fenestration and detailing of the addition so it is more compatible with that of the main house and the streetscape as a whole.

Pending the review of some design details by the Landmark design review committee, staff considers the proposed construction of an addition to be generally consistent with the Historic Preservation Ordinance, Section 4 of the *General Design Guidelines* and Sections F and T of the *Mapleton Hill Design Guidelines*.

As such, staff considers issuance of a Landmark Alteration Certificate for the proposed addition to the contributing house, relocation of the contributing garage and construction of a new one-car garage to be consistent with the Historic Preservation Ordinance, the *General Design Guidelines*, and the *Mapleton Hill Historic District Guidelines*. As such, staff finds the application consistent with Section 9-11-18(a)&(b)(1-4) B.R.C., the *General Design Guidelines*, and the *Mapleton Hill Historic District Design Guidelines*, provided the listed conditions are met.

**FINDINGS:**

Provided the conditions outlined in the staff recommendation are met, staff recommends that the Landmarks Board approve the application and adopt the following findings:

1. The proposed new construction will meet the standards in 9-11-18 of the Boulder Revised Code 1981.
2. The proposed construction will not have an adverse effect on the value

of the landmark property, as it will be generally compatible in terms of mass, scale, or orientation with other buildings in the district.

3. In terms of mass, scale, and orientation, the proposal will be generally consistent with Section 9-11-18(a)&(b)(1)-(4) B.R.C.1981, the *General Design Guidelines*, and the *Mapleton Hill Historic District Design Guidelines*.

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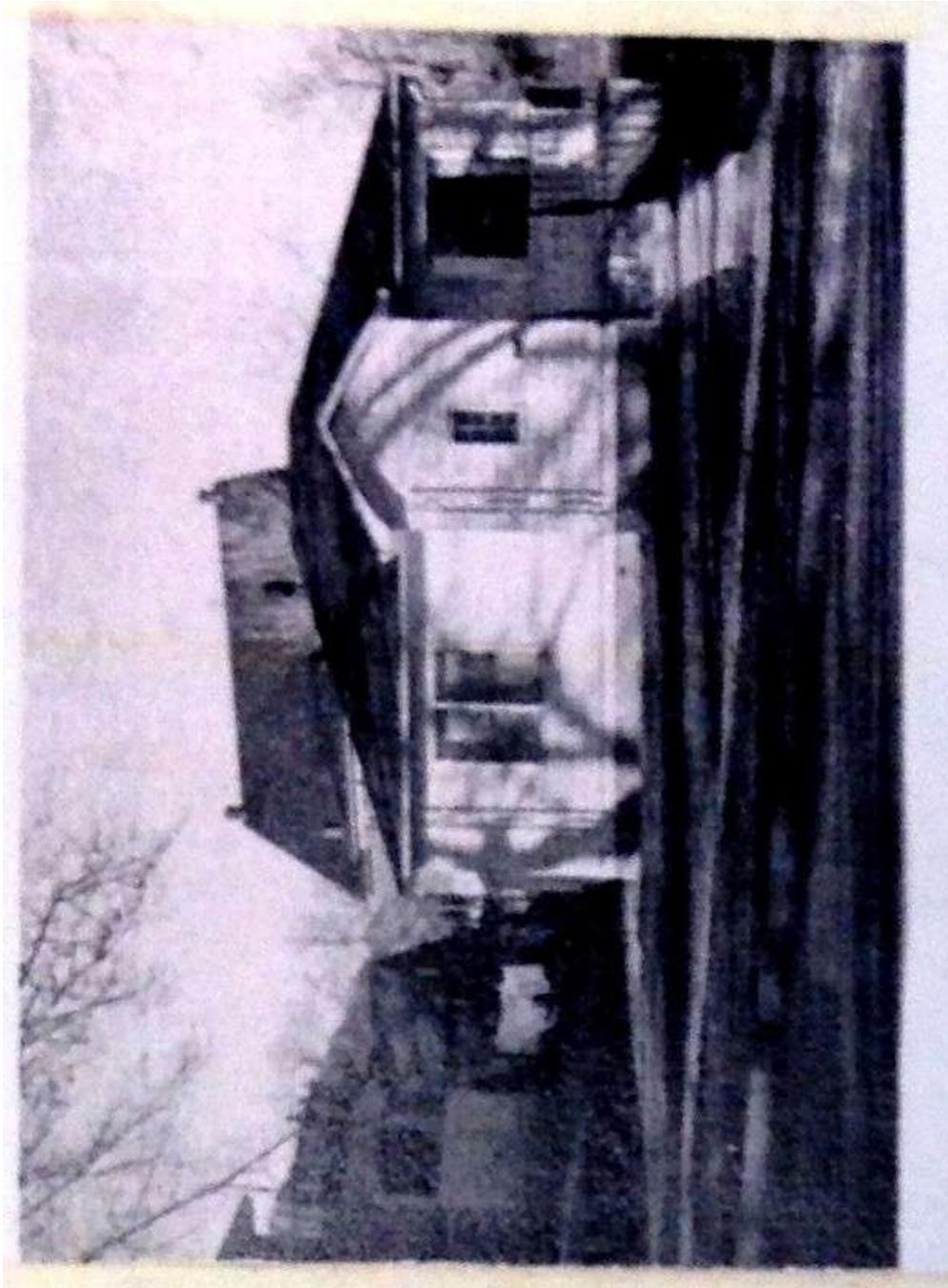
**ATTACHMENTS:**

- A: Tax Assessors Card
- B: Photographs
- C: Applicant's Materials
- D: Plans, Elevations and Massing Model





Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for 711 Pine St.



**Attachment B: Current Photographs**



711 Pine St., view of south (front) elevation, 2014.



711 Pine St., view of west elevation, 2014.

Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for 711 Pine St.



711 Pine St., view of east elevation, 2014.



711 Pine St., view of south east corner, 2014.

Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for 711 Pine St.



711 Pine St., view of South elevation with 703 Pine St. on the left, 2014.



711 Pine St., view of South elevation with 727 Pine St. on the right, 2014.

Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for 711 Pine St.



View of 700 block of Pine St. looking east, 2014.



View of 700 block of Pine St. looking west, 2014.

Attachment B: Applicant's Materials

This letter is to request a new review for a Landmarks Board Alteration Certificate for a new addition to be added onto an existing bungalow, and located at 711 Pine St. The home is located in the Mapleton Hill Historic District. The 961 square foot bungalow was constructed in 1939, and still retains all of its existing construction character, although it has been altered by the application of vinyl siding and plastic shutters. The residence is a very modest one story structure located on a street that has several large, elegant, historic mansions. Due to the historical significance of the time period in which it was built, we are proposing to keep the existing structure in it's entirety.

The proposed addition is a two story structure that we have significantly downsized and simplified that we believe meets the design guidelines for an appropriate addition in the Mapleton Historic District. We have tried to complement the existing bungalow by simplifying and downsizing the addition and providing a definite demarcation between new and old. This is accomplished by a four foot recess on both sides, thus creating a stand alone effect for the bungalow, and highlighting its modest shape and preserving all existing roof lines. We have designed a portion of the new addition to have a flat roof section to further lower the new roof and to accentuate the simplicity of the existing one story roof.. The massing of the proposed low pitched roof is very simple, yet complimentary to the steeper pitched roof on the bungalow. A single story wrap around porch roof is used to help ground the addition.. The materials proposed on the addition are neighborhood appropriate in style and character, using a 3 1/2" tightly lapped horizontal siding, in contrast to the widely gapped horizontal siding on the front house and existing garage.

The lot that we are working with is very large at 10,659 square feet, with a gentle slope up to the rear of the property and a drainage ditch running across the back lot line. The lot has no access to the existing alley, due to the drainage canal. The property has a single car one story garage that is deemed historic based on its age, but too narrow for an actual car. We are proposing to keep the garage but relocate it to the other side of the property and refurbish it into a studio, keeping it entirely intact. We are proposing a larger, new, one car garage to be built at the end of an extended driveway, similar to what previously existed. It would be sided with materials similar to the new addition, with tightly lapped horizontal siding.

In conclusion, we respectfully ask for the boards approval to construct the proposed addition and new garage in accordance with the Mapleton Hill Historic Guidelines, that is size appropriate for the oversized lot, and complementary to the existing bungalow residence.

711 PINE STREET  
LANDMARKS BOARD

September 3, 2014

PREPARED BY:

WAUGH AND ASSOCIATES  
ARCHITECTS/PLANNERS

71 BOWEN  
LONGMONT, COLORADO

720-494-7602

GENERAL DESIGN GUIDELINES - ADDITIONS TO  
HISTORIC BUILDINGS

4.1 Protection of Historic Structures and Sites

The primary concern of the Landmarks Board in reviewing additions to historic structures is the protection of the existing structure and the character of the site and district.

- The proposed new addition totally preserves the existing historic fabric by not removing any of the existing front and side facades. The attachment at the rear wall is recessed 4 feet on each side, thus preserving additional existing structure, that is visible from the rear elevation.

- Although the mass and scale is relatively large compared to the modest residence, considerable effort has been made to articulate both walls and roof forms to mitigate their size and scale.

#### 4.2 Distinction from Historic Structures

All additions should be discernible from the historic structure. When the original design is duplicated the historic evolution becomes unclear. Instead, additions should be compatible with the historic architecture but clearly recognizable as new construction.

- The proposed addition is clearly distinguished from the existing residence by the recessing of the attaching walls and the use of different siding materials. Siding would be a tight horizontal lap siding as opposed to the widely gapped existing horizontal siding. The change in materials, as well as the lower level wrap around porch roof helps to reduce the mass of the addition and distinguish the new from the old.

- The use of a shallower roof pitch than the existing roof further helps to distinguish the new from the old.

- Exterior detailing has been kept to a minimum to simplify the new addition.

The exterior style of the existing residence is totally nonexistent, so the ability to go simpler is not possible. The best that we can do is to be as simplistic as possible yet remain distinctly different.

#### 4.3 Compatibility with Historic Buildings

Introducing new construction that contrasts sharply with an existing historic structure or site detracts from the visual continuity that marks our historic districts. While additions should be distinguishable from the historic structure, they must not contrast so sharply as to distract from the original building and/or site. Additions should never overwhelm historic structures or the site, in mass, scale or detailing.

We have tried to minimize the size of the addition through the use of a more compact, simplified design. We have substantially reduced the second level in size and complexity to keep the massing simple. The one story wrap a round porch roof also lessens the impact of the two story structure and helps relate to the existing bungalow.

The relationship of solids and voids is handled with wall articulation and fenestration of a more modest style which will be both simple in design and consistent with the simple style of the existing residence.

Although the new addition is more vertical, the stepping back of each of the progressive structural elements from the Pine Street elevation will make the addition less visible from an eye level street view.

#### 4.4 Compatibility with Historic Site and Setting

Additions should be designed and located so that significant site features, including mature trees, are not lost or obscured. The size of the addition should not overpower the site or dramatically alter its historic character.

This lot is 10,323 sq. ft. and totally dwarfs the existing residence. There will be no significant changes to the site except to move the existing garage to the other side of the property to be used as a studio. With the new addition and detached garage at the rear, the new residence will have a much better access to the oversized lot, as well as landscape improvements to the irrigation canal that runs the width of the rear of the lot.

#### 4.5 Key Building Elements

Roofs, porches, dormers, windows and doors are some of the most important character-defining elements of any building. As such, they

require extra attention to assure that they compliment the historic architecture. In addition to the guidelines below, refer also to Section 3.0 Alterations for related suggestions.

The existing hipped roof will be the predominant roof seen from Pine St. as the new addition starts with a low pitched roof and then steps back 26 feet from the existing ridge.

Windows are simple rectangular shapes to further the simplicity of the existing home.

## MAPLETON HILL DESIGN GUIDELINES - MAJOR EXTERIOR RENOVATION - ADDITIONS AND SECOND STORIES

### Massing

While the specific details of the historic architectural styles of Mapleton Hill vary considerably, the most significant and identifiable feature is its massing. Buildings of Italianate styling are square and vertical. Bungalows are low and rectangular, while Queen Anne styling is asymmetrical with many projections and details. Replication of stylistic detailing is not encouraged or necessary, however, the form which defines the building, should be respected.

The new addition will not change the asymmetry of the existing residence. While the new addition is a two story, it is stepped back in length far enough to be virtually unseen from Pine Street.

### Major Exterior Renovation, Additions and Second Stories

Large additions and additional stories to a building frequently change the character of the structure. The diversity that characterizes the historic district is a result of the variety in the sizes of buildings and

the differing architectural styles. A design response that respects this diversity is most appropriate.

The proposed addition is at the rear of the house, so no existing character defining features will be changed. The new addition is distinctly different from the existing, yet respects the existing roof forms. The addition will add some variety to the existing plainness, as well as add footage to the very small bungalow. Even with the new addition, the house will be undersized in relation to most of the other homes on the block.

### Garages, Carports and Accessory Structures

A variety of accessory buildings have been adapted for use as garages in the Mapleton Hill Historic District. Whether carriage houses or sheds, these structures have certain similarities. They are plain and utilitarian and are located at the rear of the property or alley. Materials and building elements are varied.

The existing garage will be saved and moved to be used as a studio, as it is too small to be used as a garage. When moved all existing elements will be preserved.

## GENERAL DESIGN GUIDELINES

### Garages and other Accessory Structures

A primary concern of the Landmarks Board in reviewing proposed changes

In the historic districts is the protection of existing historic accessory structures and the character of the site and district.

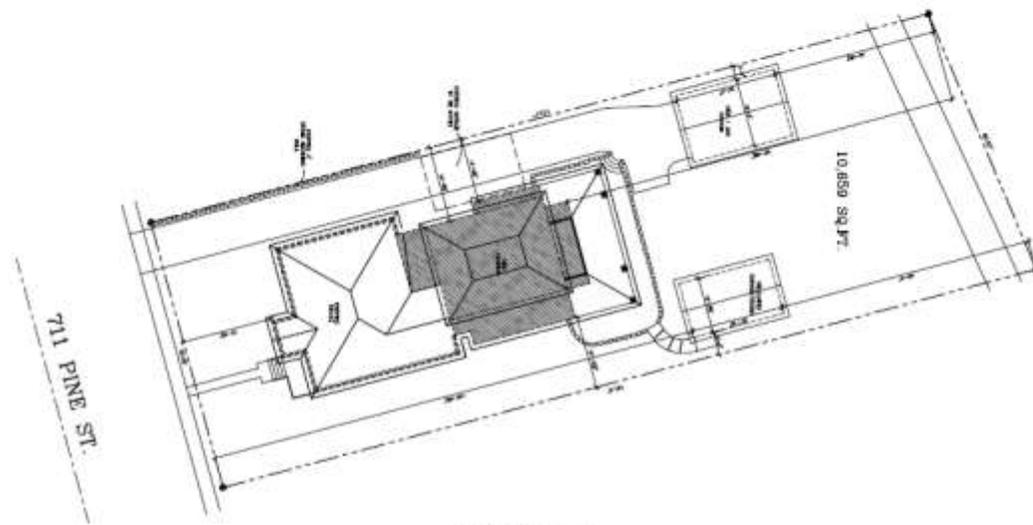
Existing garage will be retained and moved within the site to allow room for a new one car garage.

### New Accessory Buildings

New accessory buildings should follow the character and pattern of historic accessory buildings, they must be subordinate in size, massing, and detailing.

The proposed new 1 car garage will be similar in design to the new addition and will not impact the character of the original building. As the historic drive access has always been from Pine Street, this access will be preserved. The mass and scale will be appropriate with the new addition and existing residence. Materials will match the new addition and will not attempt to create a historic look.

Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for 711 Pine St.

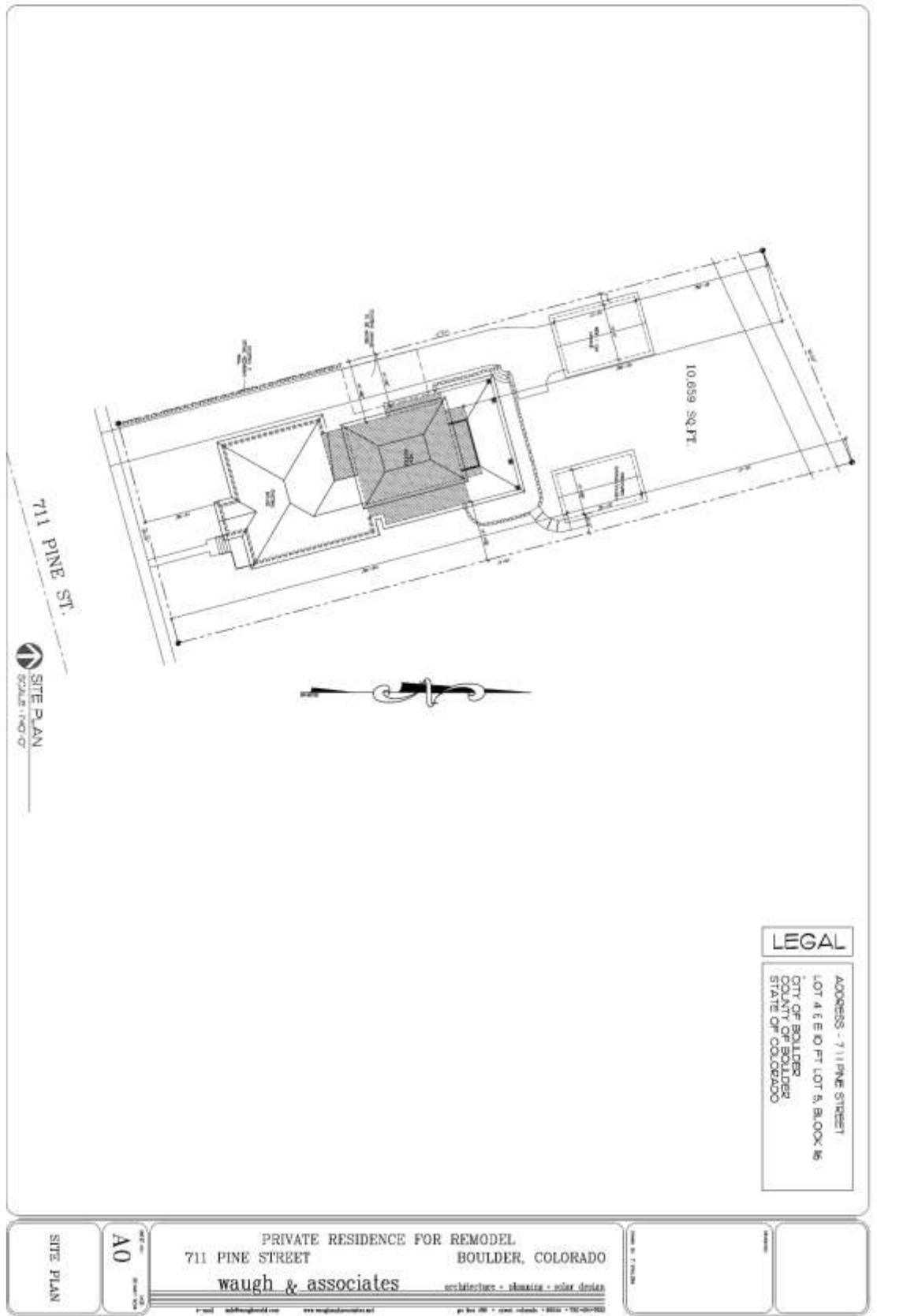


 SITE PLAN  
SCALE: 1/8"=1'-0"

**LEGAL**

ADDRESS - 711 PINE STREET  
LOT 4 & 10 FT LOT 5, BLOCK 16  
CITY OF BOULDER  
COUNTY OF BOULDER  
STATE OF COLORADO

Memo to the Landmarks Board  
 Re: Landmark Alteration Certificate for 711 Pine St.



LOWER LEVEL FLOOR PLAN  
 SCALE: 1/4"=1'-0"



<b>OWNER</b> [Blank]	
<b>DESIGNER</b> waugh & associates architecture + planning + solar design	
<b>DATE</b> 10/15/2021	
<b>PROJECT NO.</b> 2021-001	
<b>SCALE</b> 1/4" = 1'-0"	
<b>PROJECT LOCATION</b> 711 PINE STREET, BOULDER, CO	

LOWER LEVEL FLOOR PLAN	<b>A1</b>	PRIVATE RESIDENCE FOR REMODEL 711 PINE STREET BOULDER, COLORADO <b>waugh &amp; associates</b> architecture + planning + solar design	
<small>© 2021 waugh &amp; associates, llc. all rights reserved.</small>		<small>10/15/2021 10:30 AM</small>	

MAN LEVEL FLOOR PLAN  
 SCALE: 1/4"=1'-0"



LEGEND	
[Symbol]	EXISTING
[Symbol]	PROPOSED
[Symbol]	DEMOLITION

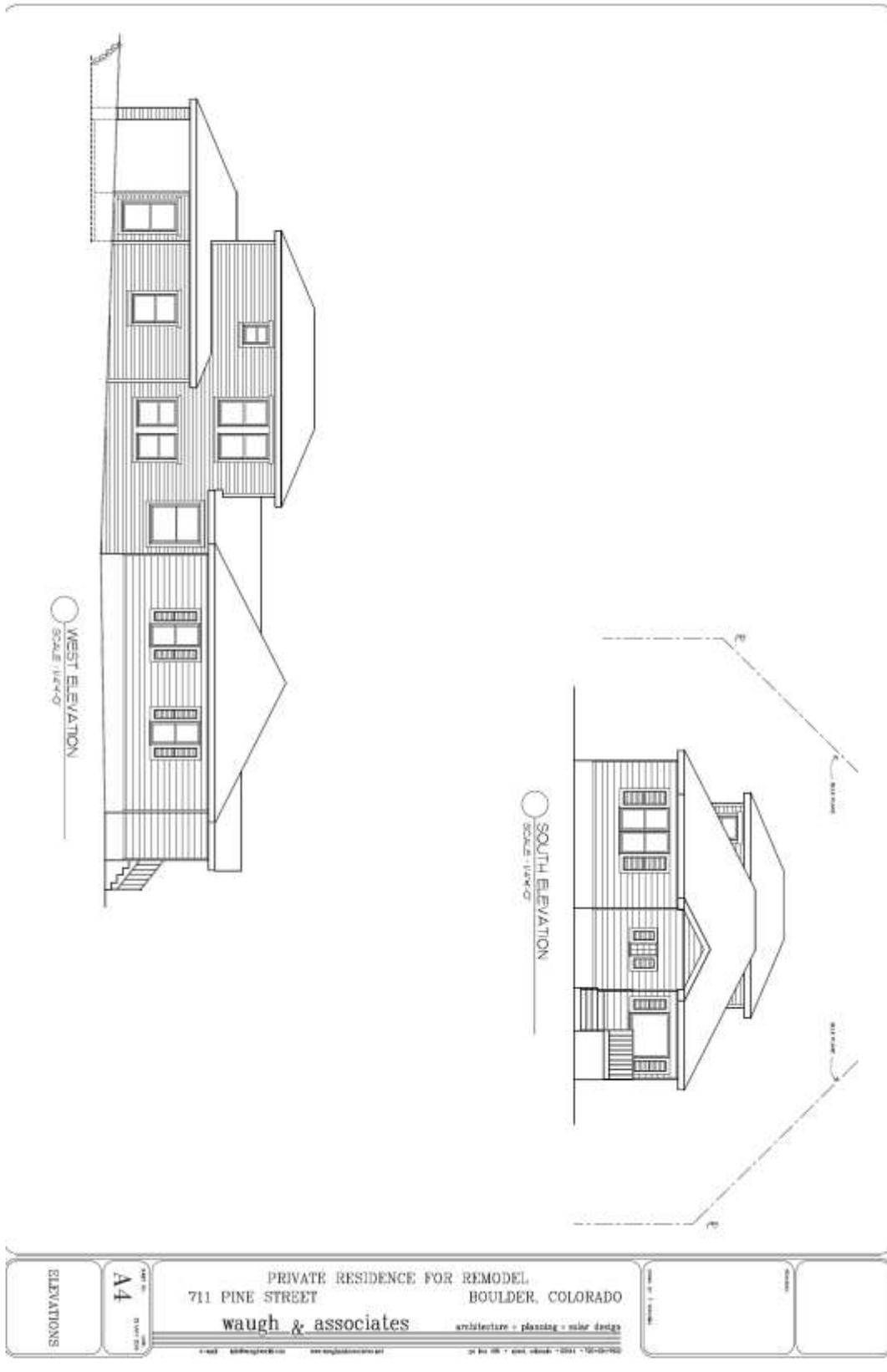
  

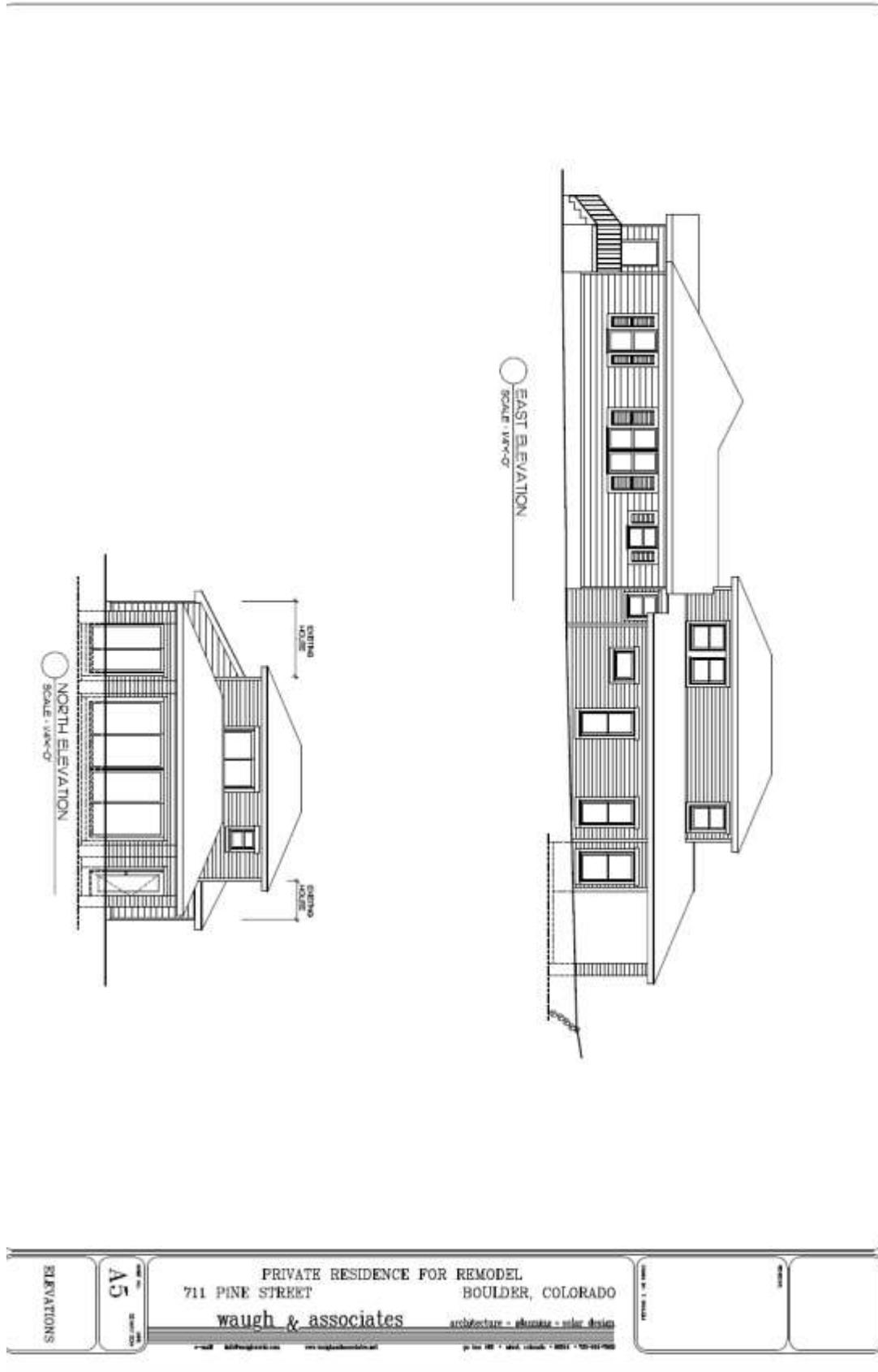
SQUARE FOOTAGE SUMMARY	
PROPOSED	4,100
EXISTING	3,800
DEMOLITION	1,200
TOTAL	6,700

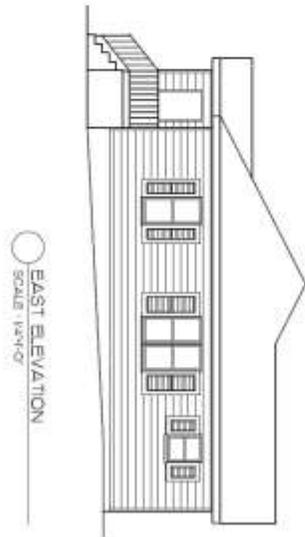
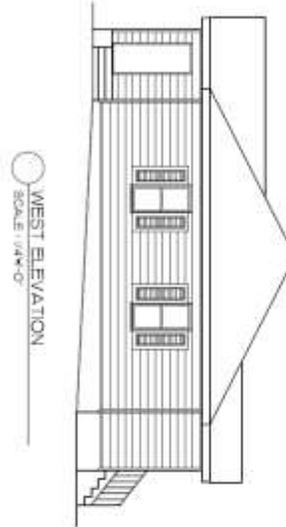
MAIN LEVEL FLOOR PLAN <b>A2</b>	PRIVATE RESIDENCE FOR REMODEL 711 PINE STREET BOULDER, COLORADO <b>waugh &amp; associates</b> architecture + planning + solar design	
12/15/2011 12/15/2011	303.441.9999 www.waughandassociates.com po box 688 • east, colorado • 80521 • 303.441.9999	12/15/2011



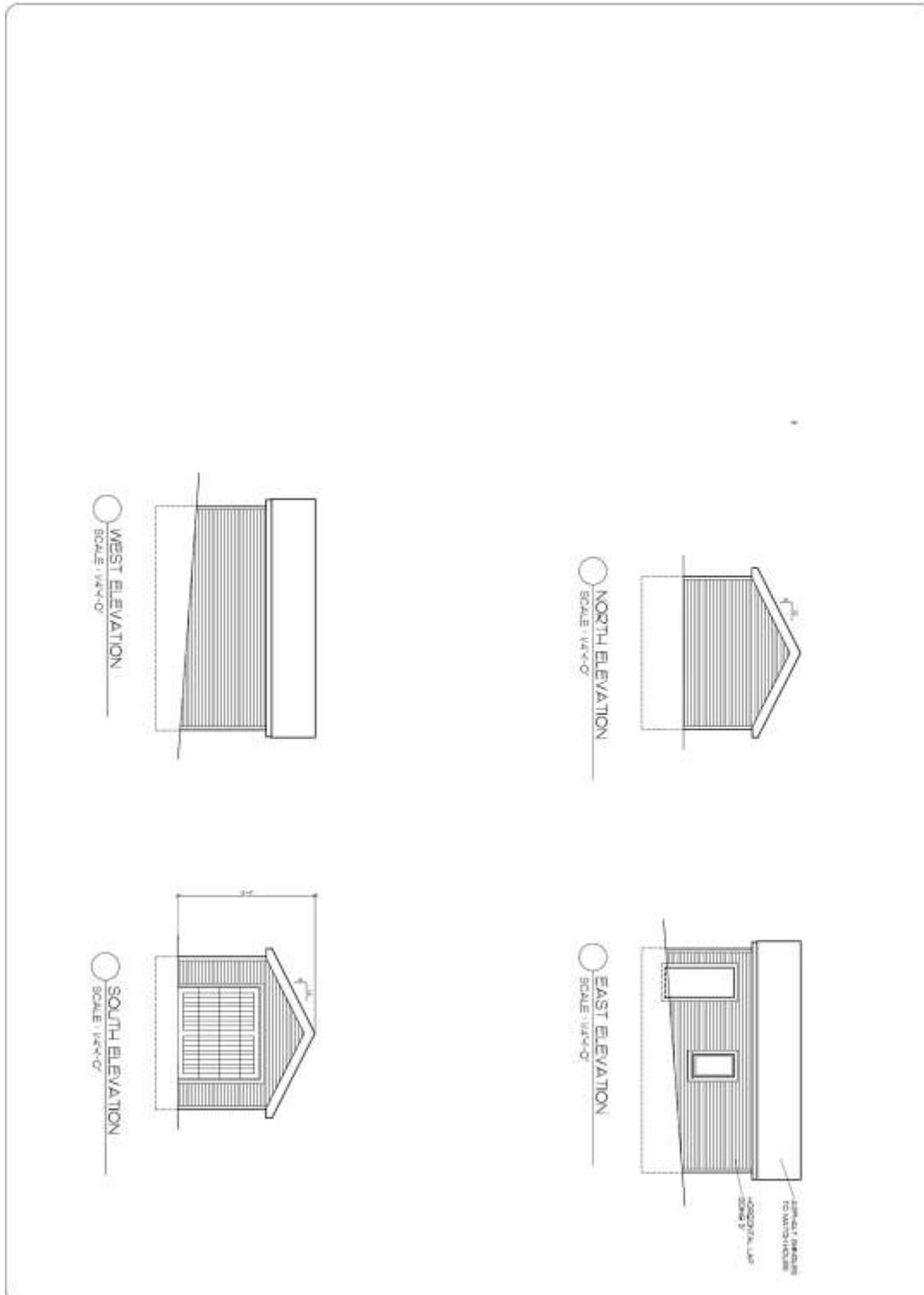
Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for 711 Pine St.







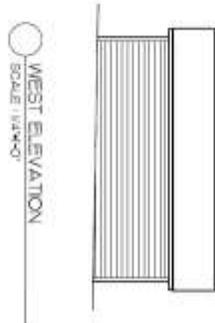
EXISTING ELEVATIONS	A	PRIVATE RESIDENCE FOR REMODEL, 711 PINE STREET BOULDER, COLORADO	
		waugh & associates	architecture • planning • solar design
© 2011 W&A Associates, Inc. www.waughandassociates.com		1000 14th St., Suite 1000, Boulder, CO 80502	



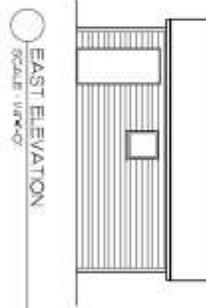
NEW GARAGE	A	PRIVATE RESIDENCE FOR REMODEL	
		711 PINE STREET	BOULDER, COLORADO
waugh & associates		architecture - planning - interior design	
www.waughandassociates.com		701 So. 10th • 5050 • 5050 • 5050 • 5050	



○ NORTH ELEVATION  
SCALE: 1/4"=1'-0"



○ WEST ELEVATION  
SCALE: 1/4"=1'-0"



○ EAST ELEVATION  
SCALE: 1/4"=1'-0"



○ SOUTH ELEVATION  
SCALE: 1/4"=1'-0"

EXISTING GARAGE ELEVATIONS	A	PRIVATE RESIDENCE FOR REMODEL	BOULDER, COLORADO	waugh & associates	architecture • planning • interior design	303.441.1111	www.waughandassociates.com	2010-2011	2012-2013	2014-2015	2016-2017	2018-2019	2020-2021	2022-2023	2024-2025	2026-2027	2028-2029	2030-2031	2032-2033	2034-2035	2036-2037	2038-2039	2040-2041	2042-2043	2044-2045	2046-2047	2048-2049	2050-2051	2052-2053	2054-2055	2056-2057	2058-2059	2060-2061	2062-2063	2064-2065	2066-2067	2068-2069	2070-2071	2072-2073	2074-2075	2076-2077	2078-2079	2080-2081	2082-2083	2084-2085	2086-2087	2088-2089	2090-2091	2092-2093	2094-2095	2096-2097	2098-2099	2100-2101	2102-2103	2104-2105	2106-2107	2108-2109	2110-2111	2112-2113	2114-2115	2116-2117	2118-2119	2120-2121	2122-2123	2124-2125	2126-2127	2128-2129	2130-2131	2132-2133	2134-2135	2136-2137	2138-2139	2140-2141	2142-2143	2144-2145	2146-2147	2148-2149	2150-2151	2152-2153	2154-2155	2156-2157	2158-2159	2160-2161	2162-2163	2164-2165	2166-2167	2168-2169	2170-2171	2172-2173	2174-2175	2176-2177	2178-2179	2180-2181	2182-2183	2184-2185	2186-2187	2188-2189	2190-2191	2192-2193	2194-2195	2196-2197	2198-2199	2200-2201	2202-2203	2204-2205	2206-2207	2208-2209	2210-2211	2212-2213	2214-2215	2216-2217	2218-2219	2220-2221	2222-2223	2224-2225	2226-2227	2228-2229	2230-2231	2232-2233	2234-2235	2236-2237	2238-2239	2240-2241	2242-2243	2244-2245	2246-2247	2248-2249	2250-2251	2252-2253	2254-2255	2256-2257	2258-2259	2260-2261	2262-2263	2264-2265	2266-2267	2268-2269	2270-2271	2272-2273	2274-2275	2276-2277	2278-2279	2280-2281	2282-2283	2284-2285	2286-2287	2288-2289	2290-2291	2292-2293	2294-2295	2296-2297	2298-2299	2300-2301	2302-2303	2304-2305	2306-2307	2308-2309	2310-2311	2312-2313	2314-2315	2316-2317	2318-2319	2320-2321	2322-2323	2324-2325	2326-2327	2328-2329	2330-2331	2332-2333	2334-2335	2336-2337	2338-2339	2340-2341	2342-2343	2344-2345	2346-2347	2348-2349	2350-2351	2352-2353	2354-2355	2356-2357	2358-2359	2360-2361	2362-2363	2364-2365	2366-2367	2368-2369	2370-2371	2372-2373	2374-2375	2376-2377	2378-2379	2380-2381	2382-2383	2384-2385	2386-2387	2388-2389	2390-2391	2392-2393	2394-2395	2396-2397	2398-2399	2400-2401	2402-2403	2404-2405	2406-2407	2408-2409	2410-2411	2412-2413	2414-2415	2416-2417	2418-2419	2420-2421	2422-2423	2424-2425	2426-2427	2428-2429	2430-2431	2432-2433	2434-2435	2436-2437	2438-2439	2440-2441	2442-2443	2444-2445	2446-2447	2448-2449	2450-2451	2452-2453	2454-2455	2456-2457	2458-2459	2460-2461	2462-2463	2464-2465	2466-2467	2468-2469	2470-2471	2472-2473	2474-2475	2476-2477	2478-2479	2480-2481	2482-2483	2484-2485	2486-2487	2488-2489	2490-2491	2492-2493	2494-2495	2496-2497	2498-2499	2500-2501	2502-2503	2504-2505	2506-2507	2508-2509	2510-2511	2512-2513	2514-2515	2516-2517	2518-2519	2520-2521	2522-2523	2524-2525	2526-2527	2528-2529	2530-2531	2532-2533	2534-2535	2536-2537	2538-2539	2540-2541	2542-2543	2544-2545	2546-2547	2548-2549	2550-2551	2552-2553	2554-2555	2556-2557	2558-2559	2560-2561	2562-2563	2564-2565	2566-2567	2568-2569	2570-2571	2572-2573	2574-2575	2576-2577	2578-2579	2580-2581	2582-2583	2584-2585	2586-2587	2588-2589	2590-2591	2592-2593	2594-2595	2596-2597	2598-2599	2600-2601	2602-2603	2604-2605	2606-2607	2608-2609	2610-2611	2612-2613	2614-2615	2616-2617	2618-2619	2620-2621	2622-2623	2624-2625	2626-2627	2628-2629	2630-2631	2632-2633	2634-2635	2636-2637	2638-2639	2640-2641	2642-2643	2644-2645	2646-2647	2648-2649	2650-2651	2652-2653	2654-2655	2656-2657	2658-2659	2660-2661	2662-2663	2664-2665	2666-2667	2668-2669	2670-2671	2672-2673	2674-2675	2676-2677	2678-2679	2680-2681	2682-2683	2684-2685	2686-2687	2688-2689	2690-2691	2692-2693	2694-2695	2696-2697	2698-2699	2700-2701	2702-2703	2704-2705	2706-2707	2708-2709	2710-2711	2712-2713	2714-2715	2716-2717	2718-2719	2720-2721	2722-2723	2724-2725	2726-2727	2728-2729	2730-2731	2732-2733	2734-2735	2736-2737	2738-2739	2740-2741	2742-2743	2744-2745	2746-2747	2748-2749	2750-2751	2752-2753	2754-2755	2756-2757	2758-2759	2760-2761	2762-2763	2764-2765	2766-2767	2768-2769	2770-2771	2772-2773	2774-2775	2776-2777	2778-2779	2780-2781	2782-2783	2784-2785	2786-2787	2788-2789	2790-2791	2792-2793	2794-2795	2796-2797	2798-2799	2800-2801	2802-2803	2804-2805	2806-2807	2808-2809	2810-2811	2812-2813	2814-2815	2816-2817	2818-2819	2820-2821	2822-2823	2824-2825	2826-2827	2828-2829	2830-2831	2832-2833	2834-2835	2836-2837	2838-2839	2840-2841	2842-2843	2844-2845	2846-2847	2848-2849	2850-2851	2852-2853	2854-2855	2856-2857	2858-2859	2860-2861	2862-2863	2864-2865	2866-2867	2868-2869	2870-2871	2872-2873	2874-2875	2876-2877	2878-2879	2880-2881	2882-2883	2884-2885	2886-2887	2888-2889	2890-2891	2892-2893	2894-2895	2896-2897	2898-2899	2900-2901	2902-2903	2904-2905	2906-2907	2908-2909	2910-2911	2912-2913	2914-2915	2916-2917	2918-2919	2920-2921	2922-2923	2924-2925	2926-2927	2928-2929	2930-2931	2932-2933	2934-2935	2936-2937	2938-2939	2940-2941	2942-2943	2944-2945	2946-2947	2948-2949	2950-2951	2952-2953	2954-2955	2956-2957	2958-2959	2960-2961	2962-2963	2964-2965	2966-2967	2968-2969	2970-2971	2972-2973	2974-2975	2976-2977	2978-2979	2980-2981	2982-2983	2984-2985	2986-2987	2988-2989	2990-2991	2992-2993	2994-2995	2996-2997	2998-2999	3000-3001	3002-3003	3004-3005	3006-3007	3008-3009	3010-3011	3012-3013	3014-3015	3016-3017	3018-3019	3020-3021	3022-3023	3024-3025	3026-3027	3028-3029	3030-3031	3032-3033	3034-3035	3036-3037	3038-3039	3040-3041	3042-3043	3044-3045	3046-3047	3048-3049	3050-3051	3052-3053	3054-3055	3056-3057	3058-3059	3060-3061	3062-3063	3064-3065	3066-3067	3068-3069	3070-3071	3072-3073	3074-3075	3076-3077	3078-3079	3080-3081	3082-3083	3084-3085	3086-3087	3088-3089	3090-3091	3092-3093	3094-3095	3096-3097	3098-3099	3100-3101	3102-3103	3104-3105	3106-3107	3108-3109	3110-3111	3112-3113	3114-3115	3116-3117	3118-3119	3120-3121	3122-3123	3124-3125	3126-3127	3128-3129	3130-3131	3132-3133	3134-3135	3136-3137	3138-3139	3140-3141	3142-3143	3144-3145	3146-3147	3148-3149	3150-3151	3152-3153	3154-3155	3156-3157	3158-3159	3160-3161	3162-3163	3164-3165	3166-3167	3168-3169	3170-3171	3172-3173	3174-3175	3176-3177	3178-3179	3180-3181	3182-3183	3184-3185	3186-3187	3188-3189	3190-3191	3192-3193	3194-3195	3196-3197	3198-3199	3200-3201	3202-3203	3204-3205	3206-3207	3208-3209	3210-3211	3212-3213	3214-3215	3216-3217	3218-3219	3220-3221	3222-3223	3224-3225	3226-3227	3228-3229	3230-3231	3232-3233	3234-3235	3236-3237	3238-3239	3240-3241	3242-3243	3244-3245	3246-3247	3248-3249	3250-3251	3252-3253	3254-3255	3256-3257	3258-3259	3260-3261	3262-3263	3264-3265	3266-3267	3268-3269	3270-3271	3272-3273	3274-3275	3276-3277	3278-3279	3280-3281	3282-3283	3284-3285	3286-3287	3288-3289	3290-3291	3292-3293	3294-3295	3296-3297	3298-3299	3300-3301	3302-3303	3304-3305	3306-3307	3308-3309	3310-3311	3312-3313	3314-3315	3316-3317	3318-3319	3320-3321	3322-3323	3324-3325	3326-3327	3328-3329	3330-3331	3332-3333	3334-3335	3336-3337	3338-3339	3340-3341	3342-3343	3344-3345	3346-3347	3348-3349	3350-3351	3352-3353	3354-3355	3356-3357	3358-3359	3360-3361	3362-3363	3364-3365	3366-3367	3368-3369	3370-3371	3372-3373	3374-3375	3376-3377	3378-3379	3380-3381	3382-3383	3384-3385	3386-3387
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Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for 711 Pine St.



Massing Model, showing view facing north east.



Massing Model, showing view facing north west.

Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for 711 Pine St.



Massing Model, showing view facing north.



Massing Model, showing view facing north east.