



TO: Members of Council
FROM: Dianne Marshall, City Clerk's Office
DATE: August 20, 2013
SUBJECT: Information Packet

1. Call Ups

- A. Renaming of Canyon Park to Emma Martinez Park
- B. Vacation of a 9,201 square foot public utility easement located on the property at 4990 Moorhead Avenue (ADR2013-00077).
- C. Site Review, no. LUR2013-00021, for the construction of a 45-unit residential development comprised of 41 townhome style units and four single-family detached units on an approximately five-acre site located at the northeast corner of Kalmia Avenue and 28th Street. The site is zoned Residential Medium-1.

2. Internal Information Item

- A. Update on Homeless Issues and Boulder County Ten-Year Plan to Address Homelessness Progress
- B. Update on Regional Trail Connections

3. Boards and Commissions

- A. Library Commission – August 7, 2013

4. Declarations

None.



INFORMATION PACKET MEMORANDUM

To: Members of City Council

From: Jane S. Brautigam, City Manager
Paul J. Fetherston, Deputy City Manager
Kirk W. Kincannon, Director, Parks and Recreation
Sarah DeSouza, Senior Manager
Carl Castillo, Policy Advisor
Sandra Llanes, Assistant City Attorney III

Date: August 20, 2013

Subject: Call Up: Renaming of Canyon Park to Emma Martinez Park

EXECUTIVE SUMMARY

Earlier this year, an application was submitted to the city requesting that Canyon Park, located at Canyon Boulevard and 21st Street, be renamed to Emma Martinez Park. Ms. Emma Martinez was a passionate advocate for minority populations in Boulder in the 1950s and 60s.

Pursuant to the city's Policy on Commemorative Naming of City Facilities (**Attachment A**), a naming committee was convened, and staff reviewed the application and conducted independent research on the claims made in the application. This matter was also presented to the Parks and Recreation Advisory Board (PRAB), which subsequently recommended approval of the proposal with a unanimous vote. Upon that recommendation, which was supported by the naming committee, the city manager approved the proposal on July 26.

Pursuant to the Commemorative Naming Policy, council is being provided with an opportunity to review and reconsider the city manager's decision. Accordingly, if council would like to reconsider this decision, it is asked to do so by the Aug. 20 council meeting. If the decision is allowed to stand, a rededication ceremony and community event will be scheduled at the park sometime in early fall of this year.

FISCAL IMPACT

The cost associated with renaming the park is \$1,500 and is limited to the creation of a new park sign. The Parks and Recreation Department (“the department”) has identified funding in its 2013 budget to cover these costs. In conjunction with the park renaming, the department is exploring the installation of interpretive signs throughout the park to capture the rich history of Emma Martinez and minority populations in Boulder.

COMMUNITY SUSTAINABILITY ASSESSMENTS AND IMPACTS

- **Social:** The area around Canyon Park has a rich history involving minority populations in Boulder. Since the 1960s, this park has served an integral role in the lives of the Hispanic and African American residents of Boulder. Not only has the park served as a place for play, but it was also the location where training and community outreach/advocacy occurred several decades ago. During the 1960s and 70s, Emma Martinez was a well respected advocate for the Hispanic and under-represented community who resided near the park. She passionately lobbied for the development of the park that was eventually to become Canyon Park.

BACKGROUND

In December 2010, the City of Boulder adopted a Policy on Commemorative Naming of City Facilities (the “Commemorative Naming Policy”). The purpose of the policy is to allow, in appropriate circumstances, the naming or renaming of facilities, owned and operated by the city, in commemoration of persons that have made unusually significant contributions to the city.

Earlier this year, the department was contacted by Mr. Phil Hernandez and Mr. Euvaldo Valdez who requested the city’s consideration in renaming Canyon Park, located at Canyon Boulevard and 21st Street, to Emma Martinez Park. A formal commemorative naming application was then submitted to the city in March 2013 (**Attachment B**). Special attention should be given to the significant letters of endorsement that are attached to the application along with the enclosed biography of Emma Martinez.

Pursuant to the Commemorative Naming Policy, a naming committee was convened comprised of Sarah DeSouza for the Parks and Recreation Department, Sandra Llanes for the City Attorney’s Office and Carl Castillo for the City Manager’s Office. The committee reviewed the application and gathered and reviewed additional information that independently corroborated the claims made in the application that Emma Martinez had made unusually significant contributions to the City of Boulder and is worthy of commemoration. Staff then prepared this matter for review by PRAB. Mr. Euvaldo Valdez and Mr. Phil Hernandez attended the April 22, 2013 PRAB meeting and spoke on behalf of the application. PRAB subsequently adopted a unanimous recommendation to approve the naming proposal as seen in the meeting minutes (**Attachment C**). The naming committee submitted its favorable recommendation to the city manager for her consideration. The city manager subsequently approved the naming committee’s recommendation and, pursuant to the city’s Policy on Commemorative Naming of City Facilities, is providing the City Council an opportunity to reconsider that decision if it so chooses.

ANALYSIS

A review of the city's historical records reveals the following history of Canyon Park including the role Ms. Emma Martinez played in the establishment of the park:

- In 1946, after World War II, the City of Boulder and the Boulder Valley School District (BVSD) responded to an influx of returning soldiers attending the University of Boulder under the G.I. Bill by building 20 Quonset apartments on two empty acres of school land at 21st and Water streets (now Canyon Boulevard).
- In the 1950s, the city got out of the housing business partly due to the end of the G.I. rush, and partly because area land owners complained that the city should not compete with private enterprise.
- In the 1950s, Mrs. Emma Martinez, a community activist, and other residents of the area requested that the two acres be converted to a park since the area was open, tree-shaded and grassy. Playground equipment had already been installed on the site for the university students' children.
- In 1968, a Daily Camera article (**Attachment D**) reported Mrs. Emma Martinez's continued interest in converting the site to a park.
- Prior to development as a park, the area was high density housing with limited recreational opportunities. A low income senior housing project was located adjacent to the property.
- In 1968, the City of Boulder entered into a three year (renewable) \$1/year lease and option to purchase of the property located at Canyon Boulevard and 21st Street to be used as a city park. The property owner, BVSD, had owned the land since 1915. The unofficial or "working name" for the property when acquired by the city, was "Canyon Boulevard Park" or "Quonset Park."
- No formal process was undertaken to officially name Canyon Park. Instead, the informal, working name of the park became its name.
- The park site was regarded by city planners as a revitalization project that would provide open space relief in a high density area and be of benefit to all existing projects in the surrounding area.
- When acquired, the property was regarded as the largest undeveloped block of land left in the neighborhood and was expected to have the effect of providing a site of the highest quality environmental preservation.
- Additionally, an analysis of the property at the time of acquisition suggested that there were no known groups opposing this project. Use had proven very popular especially among the low income and minority groups.

- A July 1968 memo (**Attachment E**) from city staffer Larry N. Blick cites Ms. Martinez's role with the Office of Economic Opportunity and her role as a representative and advocate for residents of the area near the Canyon site.
- In 1968, Ms. Martinez wrote to City Manager Ted Tedesco (**Attachment F**) thanking City Council and staff for acquiring the land at 21st and Canyon for the purpose of building a neighborhood park. In her handwritten letter, she outlines suggestions of what children and parents would like to see in the park.
- The 1968 lease agreement references three Quonset huts on the property and specifies that one of the huts would be maintained on the leased premises by the city for use as a neighborhood center.
- Historical documents cite that the Office of Economic Opportunity used one of the Quonset Huts for a neighborhood center while others were used for adult education classes and storage. Documents indicate that classes in parent preschool education, tailoring, advanced dressmaking, plumber apprentice program, intermediate sewing, creative stitchery and furniture upholstery were offered in the Quonset huts.
- A 1969 lease agreement between the City of Boulder and Boulder County permits Project Head Start to erect a restraining fence around the (Canyon Park) property. Documents also indicate the Project Head Start leased a property at 1951 Canyon Park for program needs.
- In 1972, the city applied for and received a \$130,000 grant from the United States Department of Housing and Urban Development to assist with the purchase of the site and the relocation of impacted families. The application indicated that the Canyon Park area contained a high percentage of low income families as well as elderly people.
- In 1974, the property was purchased from BVSD for \$150,000.
- In a letter dated July 13, 1977, the director of Community Action Program (CAP) thanked the city for the use of the Quonset facilities located at 2045 Canyon Boulevard and stated, "Your contribution in way of Neighborhood Community Center Space is a reflection of the many youth and weatherization opportunities which we were able to provide to Boulder's low-income community through the Quonset Facility."
- On-site Quonset Huts were used until 1977 by the Boulder County Community Action Program's Winterization Program Eco-Cycle and Renaissance Press. In 1978, the Quonset huts were moved to the city's Pearl Street maintenance compound to use for storage of materials and plans.

NEXT STEPS

In anticipation of council's consideration of this item, staff has been working with the applicants to secure tentative dates for a rededication ceremony. The dates being considered are September 28 or October 12. An event committee consisting of city staff and community members would be put together to plan this event, with an invitation to the council and the community to attend in the event.

Attachments:

- A. Policy on Commemorative Naming of City Facilities
- B. Canyon Park Renaming Application: Emma Martinez Park
- C. PRAB Minutes – April 22, 2013
- D. Daily Camera Article (May 18, 1968): *Quonsets To Playground: New Park Area Sought For Canyon Boulevard*
- E. Internal Staff Memo: Design of Canyon Park (July 18, 1968)
- F. Letter to City Manager Ted Tedesco From Ms. Emma Martinez (July 24, 1968)

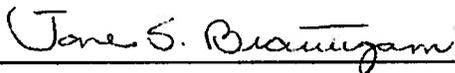
CITY OF BOULDER

POLICIES, PROCEDURES AND GUIDELINES

Policy on Commemorative Naming of City Facilities

EFFECTIVE DATE:

December 1, 2010



Jane S. Brautigam, City Manager

I. POLICY

It is the policy of the City of Boulder ("City") to allow, in appropriate circumstances, the naming or renaming of facilities, owned and operated by the City, in commemoration of persons that have made unusually significant contributions to the City. This allowance extends to facilities that are owned by the City but leased to, and used by, another entity.

II. PURPOSE

City facilities are built and maintained at public expense and for the purpose of carrying out city business. The naming of such facilities can have long lasting implications and raise political, legal and equity concerns both within the City organization and with the public at large. The purpose of this policy is to attempt to anticipate these concerns and to provide a uniform, transparent and citywide process for addressing them.

III. SCOPE

A. Policy Limited to Naming in Response to Commemoration of Persons - The scope of this policy does not extend to other practices of naming city facilities, including:

- 1) Naming of facilities in response to sponsorship (addressed in *Policy on Sponsorship Naming of City Facilities*).
- 2) Naming for purposes of public identification (i.e., "North Boulder Park" and "East Boulder Recreation Center"), or
- 3) Naming after landmarks, including naming after local resources, geographic feature, or identifiable community characteristics.
- 4) Naming after past or present owners of the property, property donors, or after the name historically used for identification of the property.

B. **Applicability of Existing Department Policies** - Some City departments, including the Parks and Recreation and Community Planning and Sustainability, have policies and procedures already in place that guide the consideration of naming of City facilities within their purview. To the extent that such policies incorporate requirements that are at least as strict as this policy, including specific adherence to all five procedural steps outlined in Section VI of this policy, such department-specific policies shall continue to take precedence over this policy and be the sole documents to be adhered to with regard to naming.

III. DEFINITIONS

The following terms are used in this policy:

Commemorative: The term “commemorative” or “commemoration,” as used herein, refers to the practice of naming a facility to honor persons who have over an extended period of time: demonstrated excellence, courage or exceptional service to the citizens of the City, the State of Colorado or the nation; provided extensive community service; worked to foster equality and reduce discrimination; made a significant financial donation or in-kind contribution to a City facility with such contribution significantly benefiting the community that the facility serves (i.e. the facility may not have otherwise been possible without the financial assistance), or who have; historical significance to the community, the City of Boulder, the State of Colorado or the nation.

Donation: The term “donation” describes financial or in-kind contributions that are made without restrictions on how the money or resources are to be used and without expectation of reciprocal benefit by the donee. When a contribution is made with a clear expectation that an obligation is created or that the recipient will provide something of value in return, the contribution is considered a “sponsorship,” not a donation.

Facility: The term “facility, as used herein, means any City-owned land and buildings, and any features affixed to the land including components of the property such as rooms, parks, fields, trails, shelters and other components of the facility. The term “facility,” however, does not extend to city streets, alleys or amenities such as trees, benches and fountains.

Person – The term “person,” as used herein, refers to any living or deceased human being. It does not extend to the name of any organization, including but not limited to, a business, sole proprietorship, partnership, or corporation.

IV. CITY RETENTION OF RIGHT TO RENAME

The City retains the right to rename facilities at any time.

V. LIMITATIONS

A city facility cannot be named or renamed:

A. After an elected or appointed City official, or family member thereof, that is currently serving, at the time of application or consideration of such application.

Employees who have questions concerning the interpretation or application of this policy are directed to contact the City Manager or his/her designee.

VIII. EXCEPTIONS/CHANGE

These guidelines may be reviewed and changed at any time.

IX. CITY MANAGER DESIGNEE

December 1, 2010 - Carl Castillo, Policy Advisor

Commemorative naming immediately after termination of a city official's terms of service, while not prohibited, is discouraged.

B. After a currently employed City staff member or volunteer, that is currently employed or volunteering, at the time of application or consideration of such application. Commemorative naming immediately after termination of a city staff member's employment, or volunteer's tenure, while not prohibited, is discouraged. Furthermore, commemorative naming for former City staff members is not appropriate when based only on tenure or performance of normal job duties.

C. After a person which has a quasi-judicial matter pending, or expected to be pending, before the City at the time of application or consideration of such application.

VI. PROCEDURES

- Step 1 Consideration for naming or renaming of a City facility begins with the completion of a Commemorative Naming Application
- Step 2 The proponent of the naming/renaming will be required to solicit and summarize feedback from impacted stakeholders in order to capture controversies associated with the proposal. Depending on the nature of the facility and whether the proposed name would replace a previous commemorative name, this process could include extensive outreach to nearby property owners or constituency groups associated with the facility.
- Step 3 The Commemorative Naming Application, along with a summary of public comment, must then be submitted to the City Manager's Office for consideration.
- Step 4 The application will first be reviewed by the **city's naming committee**; a standing committee created by this policy composed of representatives from the City Manager's and City Attorney's Office, along with a representative of the facility to be named. The focus of the committee's work can include developing a recommendation for the City Manager's consideration and documenting that recommendation.
- Step 5 After reviewing all information provided, the City Manager will make a determination on whether to approve or disapprove the naming proposal. The city manager will then submit his or her decision, along with all supporting documentation, to the city council in a Weekly Information Packet (WIP) as a call-up item that allows council the ability to reconsider the city manager's decision. Until council has had that opportunity, a decision on the naming or renaming shall not be considered final.

VII. CONSTRUCTION AND INTERPRETATION

March 2, 2013

To whom it may concern:

Regarding: **Canyon Park**

The Hispanic Community of the City of Boulder, past and present, respectfully request that the name of **Canyon Park** be changed to: **EMMA MARTINEZ PARK**.

A search of the archives for the City of Boulder regrettably reveal very little about the presence of a viable and clearly identifiable Hispanic Community living and contributing to the identity of and history of the City. It is as if we came, and lived here but left no, "footprints". This egregious oversight on the part of City civic leaders, elected officials, media and historians can be corrected to a significant degree by now recognizing that Boulder's documented history is seriously incomplete without mention of the ethnic communities that have resided in Boulder over the years.

Those of us whose Hispanic families were among the earliest to reside in the City of Boulder and made their living in the mining, agricultural, and service industries recognize that our families were attracted to Boulder for the same reasons that other residents came and established themselves as contributing members of the community; yet, very little is known about our historical presence. We continue to live in Boulder and open our arms to the most recent arrivals into our community.

Emma Martinez is a member of one of the earliest Hispanic families to establish themselves in Boulder. She lived, studied, married and worked in the neighborhood bounded by 17th Street, 24th Street (Folsom Street), Arapahoe Avenue and Bluff Street. When the Quonset huts that were located on the site of the present day Canyon Park were vacated with the intent of making that site available for development, she, with the support of the Hispanic residents of the area, salvaged the playground equipment for use by the neighborhood children and later successfully petitioned the City to convert the site into a Children's Park. Years later, when the City changed the name of the street adjacent to the park from Water Street to Canyon Blvd and made plans to widen the street she protested plans to narrow the sidewalks from the conventional width to a narrower width that would have made it unsafe for the many Hispanic children that used that route as they walked to school daily. City planners had failed to take children's safety into account in drafting their plans. Emma Martinez served unselfishly during the 1960's and early 70's on numerous City and County Citizen's Boards. She was often the lone voice on these boards advocating for the poor, the elderly and the minority communities. These examples are only a small part of the many efforts that Emma Martinez made toward making Boulder a more inclusive community.

Further testimony by other proponents and supporters of this request will confirm the selfless contributions of Emma Martinez and her role as a representative of our Hispanic Community.

Making this symbolic change in the name of one of Boulder's most visible and centrally located community park will establish and convey the message that Boulder is indeed a place for everyone.

Please give our request your every consideration.

Euvaldo Valdez

Philip Hernandez

Commemorative Naming Application

After reviewing the city’s “Policy on Commemorative Naming of City Facilities,” we, the undersigned respectfully submit this application on behalf of the Hispanic Community of Boulder, past and present.

Facility Subject to Request: Canyon Park

Proposed Name Change: Emma Martinez Park

Applicant: Phil Hernandez and Euvaldo Valdez; On behalf of the Hispanic Community of Boulder

Relationship to Proposed Name Change: None

Stakeholder Support / Opposition: Please see attached documents (7)

- 1. Goss /Grove Neighborhood Association
- 2. Albert Ramirez, Professor Emeritus, C.U.
- 3. Native American Rights Fund
- 4. Loyd Throne, Past Executive Director, BCEOC
- 5. Hank Adami, BCEOC Board Chair, (1960’s)
- 6. Latino Coalition of Boulder County
- 7. Marcella Diaz, Career Development Instructor (1960’s)

Supporting documentation: Please see attached biographical sketch. In preparing this application an extensive search of the public records of the Boulder Daily Camera, Boulder Public Library, and the Carnegie Historical Library was made. Few articles were found that document the presence of an identifiable and viable Hispanic Community in Boulder; today and in the past. However, the anecdotal comments in the support letters of this application clearly confirm that Emma Martinez, in both her private and public life, was focused on community service and the elimination of discrimination as a way of way of fostering equality among the several ethnic communities in Boulder.

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Emma Gomez Martinez

A Biographical Sketch

The Martinez family moved to Boulder in the early 1930's. They chose Boulder because of less racial discrimination than in the surrounding communities in Boulder County and for better educational and employment opportunities for their children. In the early 1950's John, one of the sons of a family of eleven siblings, met and married **Emma Gomez** who had lived in Boulder County since 1929.

Emma Martinez and her husband John moved into Boulder in 1952. As a young, newly married, couple they came for the same reasons many other young couples did; to pursue opportunities other communities did not offer. They moved in at 2040 Water Street, in a neighborhood that included several other Hispanic families; some of which had been in Boulder since the 1920's. Across Water Street, which was a dirt road with a railroad running along the middle was a small transitional residential community composed of eight to ten quonset huts used as married student housing (two families per Quonset) by the University of Colorado.

As a young energetic housewife and mother and her supportive husband, Emma and John were welcomed by the other Hispanic families. Emma, although she had only a high school education, soon assumed the role of spokesperson for the Hispanic Community in Boulder and became the primary advocate when issues needed to be addressed with the City of Boulder, Boulder County, and the law enforcement agencies that served the City of Boulder. When the University of Colorado no longer needed the Quonset Village they traded the land to the School District that existed at that time. Thus began a several year challenge to preserve the property and keep it from being developed for either residential or commercial use. Emma Martinez was at the forefront of that effort.

Each summer the School District would send a crew to remove the swing sets, slides and merry-go-round that remained at one end of the quonsets. Each year Emma would cross the street and convince the workmen not to remove the only playground equipment that the neighborhood children had to play on. The School District consented although they provided no maintenance for the property. At various times during the summer months Emma and other parents would organize the neighborhood children into a, "clean-up crew" and clean up the only park and play area to which they had access. During the late 50's and early 60's the quonset huts were occupied by several non-profit agencies and were progressively removed until, in the mid 60's, only three remained. The property, that Emma continued to visualize as a community park remained in a state of disrepair with only the clean-up work that the neighborhood children would periodically do under the guidance of Emma and other parents.

In the late 60's construction began on a wider thoroughfare into Boulder Canyon with the new route being Water Street from 28th Street into the mouth of Boulder Canyon. The new Boulevard was to be named Canyon Boulevard. During the construction several parents at the west end of this project realized that the sidewalks along the north side of the new street were being poured as a 24 inch sidewalk. The parents approached Emma, as a reliable and credible advocate, and requested that she

carry the concern to the project manager. Emma researched the construction plans and discovered that the plans called for a much wider, conventional width sidewalk. She approached the Construction Supervisor with the concerns of the community that the more narrow sidewalks presented a danger to the neighborhood children who used this walkway daily to get to either Lincoln or Whittier Elementary Schools and /or to Casey Jr. High. As a result the earlier pour was removed and the rest of the sidewalk was poured at the required width. The sidewalk remains the Southern Boundary of Canyon Park.

In 1965 Emma was named to the first Board of Directors for the **Office of Economic Opportunity**; our nations earliest efforts in the war on poverty. Because of her unique knowledge of the Goss /Grove neighborhood she convinced the OEO Board to establish their center in the Quonset Hut property. Emma knew poverty, having worked in the local beet fields, a Boulder laundry and as a hotel maid, and was easily able to identify with the residents of this Core Boulder neighborhood. She focused her work on behalf of all residents of the neighborhood but was uniquely qualified to advocate for the Hispanic Community. She spoke the language of the community, was trusted by them and knew them personally. Among the amenities that she advocated for was the dedication of the property, seemingly useless to any government entity, as a community park.

In 1971 the Martinez Family moved to 2978 Loma Place in the Palo Park subdivision. However, she continued her daily presence at the property soon to be Canyon Park. Emma had been hired as the Program Coordinator and Boulder Center Director and Assistant Boulder County Director for the **Office of Economic Opportunity** that now occupied two of the three remaining Quonset Huts on the property. Working in her position as liaison to the Boulder City Manager's Office she was able to propose and successfully advocate to have the property at 2045 Canyon Boulevard dedicated as a community park. The property had, by this time, come under the ownership of the City of Boulder. Thus, Canyon Park, the dream and vision of many residents of Boulder became a reality.

A recent survey of the archives and literature of the City and County of Boulder reveal a serious lack of any mention of the presence of a viable and identifiable Hispanic Community living and contributing to the identity and history of the City of Boulder. Having been a primary proponent for a city Park to benefit the children of the city of Boulder, it is now entirely fitting that the Park be renamed: **Emma Martinez Park**.

Throughout the many years of involvement in the public affairs of the City of Boulder Emma recognized and assumed her civic responsibilities through service on numerous Boards and Commissions for the City and County of Boulder. She also encouraged other members of the Hispanic Community to participate under her mentorship.

Boards and Commissions in which Emma served during her extensive tenure of public service are:

1. Boulder Housing Authority; Board Member during the formative years of this agency

2. Boulder County Community Service Advisory Council
3. Boulder County Social Service and Child Welfare Agency
4. Boulder County Juvenile Services Division
5. Boulder Valley Public Schools Vocational-Technical Center Advisory Board
6. Office of Economic Opportunity; Charter Member, Chairperson of County Board of Directors; served as appointed liaison to Boulder City Manager
7. Boulder Human Relations Commission; husband served as chairman
8. Latin American Education Foundation; State Board Member
9. Mexican Americans of Boulder County United; Charter Member
10. St. Thomas Aquinas Housing Corporation; Developed Alvarado Village Subsidized Housing
11. YMCA Boulder

During her service on these Boards and Commissions Emma was often the lone voice for the poor and disenfranchised of our Community.

Native American Rights Fund

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Stephen R. Lewis, *Gila River Indian Community*

Peter M. Pino, *Pueblo of Zia*

March 5, 2013

To Whom It May Concern:

RE: Re-naming of Canyon Park

The Native American Rights Fund lends its support to the Boulder Hispanic community in their efforts to rename Canyon Park to Emma Martinez Park. For far too long, the contributions of Boulder's Native American, Hispanic and African American communities have been largely ignored. Our communities have had individuals who devoted their lives in making Boulder a better and more inclusive place to live for all peoples – Emma Martinez was one of those individuals. These communities still work tirelessly to continue these legacies.

The Native American Rights Fund has been a part of the Boulder community since 1970 and several of our staff members remember well what the now Canyon Park area was like and the efforts of Emma Martinez to get the City of Boulder to recognize its Hispanic community.

Once again, it would be a service to all Boulder residents to rename Canyon Park in honor of Emma Martinez.

Sincerely,



Ray Ramirez
Corporate Secretary

NATIONAL SUPPORT COMMITTEE

Randy Bardeahl, *Pechanga Band of Luiseño Mission Indians* • Katrina McCormick Barnes • Jaime Barricutas, *Grande Traverse Band of Ottawa and Chippewa Indians* • John Bevan • Wallace Coffey, *Comanche* • Ada Deer, *Amerindian* • Harvey A. Denenberg • Lucille A. Erbehawk, *Pawnee* • Jane Fonda • James Garner • Eric Ginsburg • Jeff Ginsburg • Rodney Grant, *Ojibwa* • Chris E. McNeill, Jr., *Tsingi-Nisga'a* • Billy Mills, *Oglala Lakota* • Amado Peña, Jr., *Isaño Chicano* • Wayne Ross • Nancy Starling-Ross • Mark Radlick • Pam Radlick • Ernie Stevens, Jr., *Wicronia Oneida* • Andrew Teller, *Isleta Pueblo* • Verma Teller, *Isleta Pueblo* • Richard Trudell, *Native-Noun* • Rebecca Young, *Pawnee* • Tsu-Nah, *Shoshone-Bannock* • Aime Ungar • Rt. Rev. William C. Wandland • Senamole • W. Richard West, *Southern Cheyenne* • Randy Willis, *Oglala Lakota* • Teresa Willis, *Louisiana* • Mary Wynne, *Roosevel Sioux*



Jane Brautigam, City Manager
City of Boulder
1777 Broadway
Boulder, CO 80302

Dear Ms. Brautigam;

The Goss-Grove Neighborhood Association membership enthusiastically supports the renaming of Canyon Park for Emma Gomez Martinez, a distinguished former resident of our neighborhood. We have voted to do this not only in recognition of her achievements as a citizen of Boulder but also because she is a wonderful representative of the history of Hispanic life in Boulder.

For the majority of the 20th century, most of Boulder's Hispanics and African-Americans lived in our neighborhood. We are pleased that the African-American influence here has begun to be recognized by the historical designation of the Flowers family home on Goss Street. Now we can recognize the Hispanic influence in the neighborhood by the renaming of the park.

Emma Martinez is the perfect person to represent this Hispanic history. Her remarkable life as a community organizer began with her efforts, over several years, to save this very piece of land as a park. Her effectiveness and demeanor in this campaign earned her such widespread respect that she was able to become an advocate for people in the larger community. The city recognized her voice by appointing her to numerous boards.

We have made this decision carefully. We have discussed Emma's life at two official Goss-Grove meetings and we heard from Goss-Grove oldtimers who remember her activities, a few of whom still live in the neighborhood. Also, several of us visited the programs and displays of the Boulder Latino Families Project at the Boulder Public Library. The vote to support the renaming was unanimous at a well-attended meeting.

We the current residents of the neighborhood believe that this park naming would well honor the heritage of our neighborhood and its unique place in the history of Boulder through the recognition of an admirable citizen.

Sincerely,

Jenny Devaud and Stephen Haydel, Co-chairs, Goss-Grove Neighborhood Association



Jane Brautigam, Boulder City Manager
City of Boulder
1777 Broadway
Boulder, Colorado 80302

February 26, 2013

Dear Ms. Brautigam,

It is with great pleasure and enthusiasm that I write this letter of support on behalf of the Hispanic Community of Boulder's application to change the name of Canyon Park to Emma Martinez Park. I first came to Boulder in 1971, as a faculty member in the psychology department, University of Colorado at Boulder. It was a time of social and civil unrest across this country – reflecting the concerns of the anti-Vietnam war movement, the civil rights movement, the women's movement, and the Chicano student movement. The city of Boulder, in many ways, was the epicenter in the state of Colorado for all these movements of social justice.

Sometimes, in the grand scheme of things, it is easy to forget that it is the common, ordinary individuals who are the ones who do extraordinary things, just by being who they are, by their commitment to their community and to those who often are unseen and unheard. It is easy to forget that these individuals are a part of a history and of a culture that itself is often unseen and unheard. Yet, if not for such a person or if not for such a community, we would not be who we are and how we are today. In Boulder, Emma Martinez is such a person, and Boulder Hispanics are such a community. In honoring one person, we are honoring the broader community that is such a vital part of Boulder history.

As I look at the names of the city parks that we Boulderites enjoy, I note that a number of them are named after prominent and significant individuals representing diverse communities and backgrounds. Just to name a few, we have such parks in the names of Arleigh Burke, Darwin Andrews, Ann Armstrong, Campbell Robertson, Eben Fine, and Harlow Platts. It is time – no, it is past time – that we acknowledge the numerous contributions that the Hispanic community has made to the state of Colorado, and specifically, to the City of Boulder.

Respectfully,



Albert Ramirez,
Professor Emeritus, Ethnic Studies and Psychology
University of Colorado at Boulder

Ms. Jane Brautigam
City Manager,
City of Boulder,
1777 Broadway,
Boulder, Colorado 80302

Dear Ms. Brautigam:

I am writing to strongly support the Hispanic Community request to rename the present day "Canyon Park" to the "Emma Martinez Park".

While truly a great City in the forefront of many environmental, social and economic issues (and my home for many years) , Boulder has yet to distinguish itself by recognizing and identifying the historic and meaningful contributions of the Hispanic community. I fear that many of the residents of Boulder may not be aware of these contributions which would be a disservice to all.

As a former California Department State Director appointed by the Governor, a Federal Supervisor that funded many human services in the western United States and the Executive Director of multimillion dollar human service agencies in Colorado and California I have seldom met a person more deserving of this honor than Emma Martinez. Her contributions should be honored.

Before the present day Canyon Boulevard was a busy thoroughfare lined by condos, rentals and business there were small homes on the blocks adjacent to the Park. Many of these homes were owned by moderate income Hispanic families. The Martinez family lived in one of these homes.

Emma was an activist fighting for human justice, a provider of human services to those in need and an inspiration to all that knew her. The long forgotten Boulder County Economic Opportunity Council (BCEOC) of the 1960's was the provider and originator of many human services in Boulder that we now take for granted. These included youth services, job creation, outreach and counseling to the disadvantaged and, of course, HeadStart and HeadStart FollowThrough (the first in the U.S.).

It is in this context Emma convinced the City to allow her to use the quonsets at the Park as a central location to provide needed services to those in need.

The list of services provided at this location by Emma and a volunteer staff are too numerous to list but suffice it to say they made a difference in the lives of countless Boulder residents who had no alternatives in the 60's. The Park became a neighborhood service center at a time when human services were far and few in between.

Additionally Emma was the Deputy Director of the BCEOC and then became it's Director for many years further adding to her human service legacy.

I can think of no higher honor than to rename Canyon Park after the person that provided so much hope to those in need at the location.

Thank you for your consideration in this matter. If I may be of any further assistance in this matter please do not hesitate to call upon me.

Sincerely,

A handwritten signature in cursive script that reads "Lloyd Throne".

Lloyd Throne
lthrone1@gmail.com

Ms. Jane Brautigam
Boulder City Manager

Madam;

I have been ask to contact you , by the Martinez family, concerning the application to rename the park on Canyon Boulevard to Emma Martinez Park.

I knew Emma through my involvement with the OEO program in Boulder County in the 60" s and 70" s. I was a member of the executive board, and later as chairman of the board for several years. In that position, I worked closely with Emma, and was impressed with her dedication to her work, both to the program, and the community of Boulder County. She was always available for help no matter what time the community called with a problem.

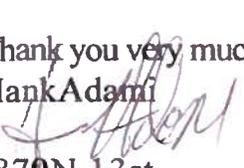
She taught me a lot of the obstacles the Chicano community faced in their daily life, and tried to guide us in our task in trying to change the mind set of the count at large. The citizens from that time will remember the hurdles we faced. Without the help Emma provided,(along with Lloyd Throne), I doubt you folks would not have the community you have now.

With out the Emma's guidance and advice, I doubt we would have been able accomplish what we did.

I would ask you, please look closely, at the application, and hope you agree Emma is entitled to the honor for the work I was involved in, and also her lifelong work with the community.

Thank you very much!

HankAdami


1879N.13st

Laramie, Wy

82072

December 4, 2012

To: Whom It May Concern

Purpose of Letter: This letter is in support of naming a Boulder park after Emma Martinez

From: Marcella Diaz
261 Skylark Drive
Lafayette, Co 80026

The war on poverty had begun in Boulder, CO in the mid 1960's. The university of Colorado had recruited a substantial number of Hispanics. Boulder had launched the federally funded Head Start Program which was introduced at Lincoln Elementary School in 1968 and later Follow Through which was intended to be an extension of the Head Start Program. The Office of Economic Opportunity (OEO) would be the oversight agency. This office was located on Canyon Boulevard formerly named Water Street.

The Office of Economic Opportunity served as an access as well a response to the educational challenges educators in Boulder were facing. Along with meeting the needs and challenges of minority children came a need to meet special needs of minority and other community adults.

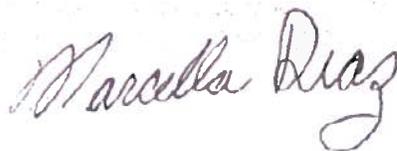
The Quonset hut where the Office of Economic was located became a place where Adult Basic Education classes, which were funded through Boulder Valley Schools, were held. The location proved an ideal place to hold those classes during 1970 till about 1973, as it was centrally located to meet the needs of minority people in the area who would be attending those classes. Some of the adults were wives of the migrant families recruited to CU and who lived in university housing not far from there and others were from the community in general and lived in the low income area in town.

In fact response was so positive that additional classes were soon needed. Classes in Science, Social Studies, English as a Second Language, Citizenship, survival classes for foreigners, then later General High School Equivalency (GED) classes were the additions. Private tutoring sessions in Spanish as a Second Language were also held there, requested by the teachers and volunteers who assisted with classes.

Minorities attending those classes were Hispanics and Native Americans who were parents of Head Start and Follow Through children. Others were adults dependant on Social Services and who were part of the Work Incentive Program (WIN). Some of these adults, as a result of what they learned, and upon completion of their goals, were able to find employment and others were eventually able get off welfare.

As the instructor in charge of the above mentioned classes it has been my pleasure to recall the encouragement and support Emma gave me, the students, instructors, volunteers and the community in general, throughout the time those facilities were utilized for the educational advancement of the people of the Boulder community.

I'm sure many lives were changed in positive way through the positive learning environment she encouraged.





Latino Task Force
of Boulder County

February 22, 2013

The Latino Taskforce of Boulder County is very proud to submit this letter of support to the City of Boulder and urge you to change the name of Canyon Park to Emma Martinez Park. There is a perception from the general community that Latino's do not become involved in the community. Emma Martinez is truly a role model for engaging in the community and helping others. It is very important that all sectors of the community have a visible marker of a Latina such as Emma Martinez, whose good work has benefited all sectors of our community. It is extremely important for the Latino community to see a visible landmark such Emma Martinez Park to inspire and make them feel valued in the community which they call home.

We encourage you to be courageous and show that a large segment of the City of Boulder community are valued and considered an asset. The Latino Taskforce of Boulder County, would like to thank you for your time and effort in this matter. We look forward to an invitation to the official name change gathering for the Emma Martinez Park.

If you have any other questions feel free to contact me at my cell 303 709-6372 or via email at ramicr@hotmail.com. Thank you for considering our letter support.

Sincerely,

Carmen Ramirez

Mission: The Latino Task Force will facilitate appropriate initiatives and opportunities that will enrich the economic, educational, political, and cultural lives of the Boulder County Latino community.

Board of Directors: Carmen Ramirez-President, Nick Robles-Vice Chair, Lenny Sigwarth-Treasurer, Dalia Dorta, Ricardo Garcia, Kena Gutteridge, Marta Moreno, Tony Shockency, Christina Suarez, Mary Vigil

2090 Heron Ct., Longmont, CO 80501 www.thelatinotaskforce.org

**City of Boulder
Parks and Recreation Advisory Board
West Senior Center Creekside Room
909 W. Arapahoe Ave
April 22, 2013
Summary Meeting Minutes**

To listen to the Parks and Recreation Advisory Board meetings in detail, please go to the following link: www.boulderparks-rec.org

Board Present:

Michelle Estrella, Rick Thayer, Myriah Conroy, Kelly Wyatt, Mike Conroy, Mike Guzek, Marty Gorce

Staff Present:

Kirk Kincannon, Jeff Dillon, Alice Guthrie, Sarah DeSouza, Sally Dieterich, Jeff Haley, Jennifer Bray, Alison Rhodes, Stacy Cole, Mike Eubank, Catherine Williams

The meeting was called to order at 6:02 p.m.

I. APPROVAL OF AGENDA

The agenda was approved.

II. ELECTION OF OFFICERS

Estrella nominated Thayer for board chair. Wyatt seconded the motion. There were no other nominations. The motion passed unanimously, 7-0.

Conroy (Myriah) nominated Conroy (Mike) for board vice chair. Wyatt seconded the motion. There were no other nominations. The motion passed unanimously, 7-0.

Kelly Wyatt and Marty Gorce were introduced as newly appointed PRAB members. Wyatt was given the oath of office on April 3, 2013 and Gorce was given the oath of office on April 16, 2013 by Parks and Recreation Advisory Board secretary Sally Dieterich.

III. FUTURE BOARD ITEMS AND TOURS

Kincannon provided the following timeline update on future board items:

- 5/20/13 PRAB master plan public hearing
- 5/20/13 PRAB meeting – Mobile food vending
- 5/20/13 PRAB meeting – July 4 event planning
- 5/20/13 PRAB meeting – Civic area update
- 5/20/13 PRAB meeting – Cyclocross update
- 6/24 PRAB meeting – Pottery lab RFI and RFP update
- 6/24/13 PRAB meeting – Department master plan 2nd public hearing
- 5/28/13 Council study session – Department master plan – 8 to 9 p.m.

- 8/27/13 Council study session – Department master plan – 7:30 to 9:00 p.m.
- 9/17/13 Council meeting – Department master plan public hearing

IV. PUBLIC PARTICIPATION

Public participation was opened.

John Bird, resident, representing the Professional Disc Golf Assn., thanked staff for the disc golf course at Valmont City Park. He asked that disc golf be included on department surveys and requested more funding for course upkeep.

Public participation was closed.

V. CONSENT AGENDA

A. Approval of minutes from March 18, 2012.

The minutes from March 18, 2012 were approved as amended.

B. Informational Items

1. Park Development Update

Written updates on these items were provided to the Board as part of the packet materials. Board Chair Thayer explained that these items are informational items that require no Board action or discussion. If the Board prefers more detailed information or discussion, that item would be moved to Agenda Item VI, Items for Discussion/Information.

VI. ITEMS FOR ACTION

There were no Items for Action.

VII. ITEMS FOR DISCUSSION/INFORMATION

A. Request to Rename Canyon Park to Emma Martinez Park

DeSouza spoke on this item, indicating that the department received a request from Phil Hernandez and Euvaldo Valdez to rename Canyon Park, located at Canyon Blvd. and 21st St., to Emma Martinez Park. She added that a formal application was submitted to the city in March 2013. In advance of this request being presented to the city manager, PRAB was asked for their support of the proposal.

Conroy (Myriah) made the following motion:

That PRAB support the renaming of Canyon Park to Emma Martinez Park.

Conroy (Mike) seconded the motion.

The motion passed unanimously, 7-0.

B. Master Plan Draft Plan

Rhodes provided a short verbal update on the master plan and timeline next steps:

- 5/20/13 PRAB meeting – first public hearing
- 5/27/13 City council study session
- 6/24/13 PRAB meeting – Second public hearing
- 7/25/13 Planning board meeting – Public hearing and plan recommendation
- 8/27/13 City council study session
- 9/17/13 City council meeting Public hearing and acceptance

VIII. MATTERS FROM THE DEPARTMENT

A. Valmont City Park Update

Kincannon presented a brief verbal update on this item. He said that the existing metal building (poultry barn) has become a safety/health hazard, so the department is going to council with an adjustment to base (approximately \$150,000) for dismantling the metal portion of the building, then proceeding with the planning process and possible development of a partnership for building re-use.

Eubank provided a brief verbal update on program activity at Valmont Bike Park. He said that cycling groups are coming from around the world, partnering with cycling groups is increasing and CU is becoming involved. He added that the bike park is considered to be a state of the art facility for industry standards.

B. Boulder Reservoir/Coot Lake Seasonal Wildlife Closures

Information on this item was provided as a written update.

C. Boulder Reservoir 4th of July Proposal

Kincannon said that staff has been working with police, fire and the Boulder County sheriff's office to propose a programmatic change regarding alcohol use on the 4th of July. He added that this item will come to PRAB at the May meeting as an information/discussion item.

D. Civic Area Update

Dillon provided a timeline update on the status of this item:

- 5/6/13 – Public meeting scheduled
- 5/20/13 – Civic Area representatives have requested to present at PRAB meeting to receive PRAB input
- 5/23/13 – Possible group board meeting/open house to receive input
- 8/13 – Civic Area group to present recommendation to council

Guthrie announced the YSI Art Show opening reception to be held May 2, 2013 from 5-7 p.m. at the North Boulder Recreation Center.

IX. MATTERS FROM BOARD MEMBERS

Conroy (Mike) announced that he is stepping down as PRAB representative for the PLAY Foundation. He added that if any PRAB members are interested to contact him.

The PRAB appointed Estrella to assume the vacant position of representative to the Greenways Advisory Committee (GAC).

X. NEXT BOARD MEETING: May 20, 2013

XI. ADJOURN

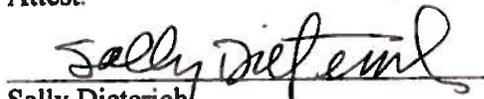
The meeting adjourned at 8:40 p.m.

**APPROVED BY PARKS AND
RECREATION ADVISORY BOARD**



**Rick Thayer
Board Chair**

Attest:



**Sally Dieterich
Recording Secretary**

Attachment D

Quonsets To Playground?

New Park Area Sought For Canyon Boulevard

By BILL BRAND
Daily Camera Staff

IF THERE IS any one reason why city dwellers move to the suburbs and beyond it is for space: to give the kids some room to play.

For certainly, one of the curses of city living is a lack of places for children to play.

Even here in Boulder, a city long noted for leadership in urban affairs, there are problems. One of them is two acres of idle school land on Canyon Boulevard at 20th Street.

Why is it idle?

Probably no one can be blamed for this problem. But it exists. Its antecedents stretch backward at least to 1946. Its roots are grounded in benevolence and concern.

In 1946, the country was just emerging from World War II, and GI's by the thousands, bolstered by the GI Bill of Rights, descended on Boulder to attend the University of Colorado.

ONE BIG problem was housing for married students.

The City of Boulder and the Boulder School District solved part of the problem by erecting 20 quonset apartments on two empty acres of school land at 21st and Water Street (now Canyon Blvd.).

The apartments were rented to students for \$35 a month, utilities included. Which was fine.

Ten years later the city got out of the housing business, partly because the big GI rush had ended, and partially because area landowners complained that the city should not compete with private enterprise.

It was at this point that Mrs. John Martinez and other residents of the area entered the picture.

Why not convert those two acres into a park, they asked. The space

was open, tree-shaded and grassy. There was playground equipment already installed for the University students' children on the site.

THE CLOSEST parks were blocks away and the area teemed with children.

Twelve years later Mrs. Martinez is still asking the same questions. In the meantime the quonsets have degenerated into junk-ridden eye sores, used mostly for storage.

In the intervening years, the playground equipment has been moved elsewhere until now only a rusty whirly-go-round and one swing set remain.

The grass is mostly weeds now and branches litter the area.

Canyon Boulevard, a divided thoroughway, has replaced the old Water Street, and plush apartment buildings are sprouting everywhere.

The Office of Economic Opportunity uses one of the rusty quonsets for a neighborhood center. Another has been used for adult education classes and another for storage.

But the bulk of the two acre plot stands idle.

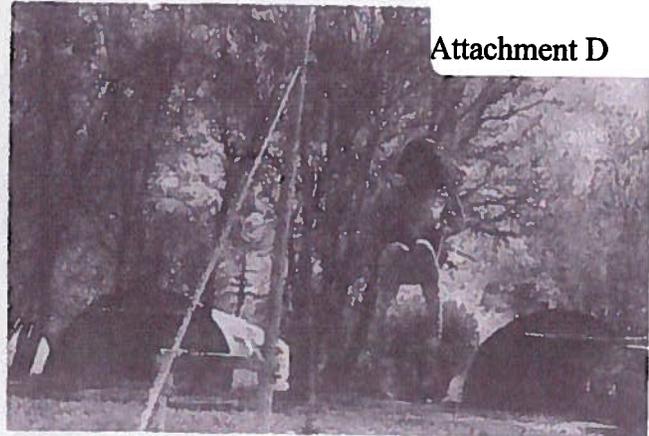
TWO LEVELS of government are currently negotiating the future of the area, the City of Boulder, and Boulder Valley School District.

Boulder City Manager Ted Tedesco says the city wants to lease or at least use the land for a park.

"The site is potentially one of the best for a park we have in the city. We don't want to take the land forever," Tedesco adds. "We would just rather see it developed as a park than have it stand idle."

Acting Boulder Valley School Superintendent Dr. Richard Fawley looks at the problem a different way.

"The property belonged to the



Susan Martinez . . . wants a place to play.

old Boulder School District Three," he explains. "Because of that if we sell the land to anybody the money would have to be used to retire School District Three bonds."

"Now the area there is zoned for apartments, and it makes the land potentially valuable."

ONE ESTIMATE, he said was \$80,000 for the plot. It is the opinion of the Boulder Valley school administration, that the land is too valuable to give away. School bonds and tax revenues are just too hard to come by to give land away.

"We can't sell it and we can't give it away," Dr. Fawley said. "So the logical thing is to trade those two acres for land somewhere else. We have no plans to use this ground, and we would be willing to trade the city for land somewhere else."

"In fact," he said, "we would rather trade with the city than with a private or commercial party."

The people in the area might think the school administration is being mercenary, he added. But he pointed out that he feels the administration must be responsible to the entire school district.

"We have two alternatives," Dr. Fawley said. "We can just turn the land over to the city and let them put a park on it. But then, we would be losing revenue. And when we need land for a school somewhere else we would have to levy taxes to buy it."

"THE SECOND alternative is to attempt to realize some exchange value out of the property. We feel the city has at its disposal more sources of revenue to buy parcels of land which could be used in exchange."

"The city feels it should be allowed to go ahead and put in a park, then negotiate. The administration feels we should work out de-

tails first, then allow the city to build a park there.

"What we are afraid of is that once the land becomes a park it will remain a park. You know — once a park — always a park."

Dr. Fawley added that he felt the school district is not insisting on a dollar for dollar exchange, but rather some sort of happy medium.

Tedesco, meanwhile, points out that a special school board-city council committee has been working with the problem for months.

"We've got memorandums up to here," Tedesco said. "It's a classic case."

DWAIN MILLER, Boulder Park and Recreation director, says the site is potentially a good one for a park.

"The kids in that area need a park," he said. "In fact, they may even need it more than kids in wealthier areas do," he led.

Kids there are less involved in things like the Little League and Boy Scouts, he said.

Miller explained that a supervised summer playground at a grade school in the area has a higher participation rate than playgrounds do in more affluent areas.

Miller said that if the city gets use of the ground, it would install an irrigation system, grass the area and install park equipment for younger children.

Mrs. Martinez and other area residents, however, point out that the site has stood vacant for 10 years and still nothing has been done.

"THERE ARE 100 kids within easy walking distance of this place," she said. "The school board says this is school property and they can't do anything. The city hasn't been able to do anything."

"And last week they took two of the last three swing sets away."



Mrs. John Martinez . . . "vacant lots should be a park."



Empty quonsets and weeds dominate school land in the 2000 block of Canyon Blvd.

AGENDA ITEM # VII-A PAGE 20

July 24, 1968

Mr Ted Tedesco
 City Manager
 Boulder, Colo

Dear Mr Tedesco,

I want to express my heartfelt gratitude to you, Mayor Keruecht and all the members of the Boulder City Council. Also to your most considerate and capable staff. For acquiring the area at 20th and Canyon for a neighborhood park.

I know I speak in behalf of all people who will enjoy the park in years to come.

Thank you for making it possible to use the "Quonsets for Community Action programs", that are so essential, offering the opportunity for involvement to all sectors of the community including the young.

For citizens to find new hope and be encouraged to continue their efforts to build a better life for themselves.

AGENDA ITEM # VII-A, PAGE 21

Sincerely,
 Mrs Emma A. [Signature]

Park plan

Attachment D

I'm enclosing some suggestions that children and parents would like to see in this park.

On the west side near Canyon Blvd. playground equipment for small children. We would like to see equipment like the one at the Lafayette City park.

On the north end picnic tables and a small shelter (west side).

Removing utility poles, swing set and old merry-go-round from center of the park. This would leave a good area for base ball, basket ball and soccer games.

On the east side along with the Quonsets could there be basket ball courts? We would like to keep older kids on east side. The 3rd quonset will be used by teenagers this fall.

Could we have good lighting. This area is so dark.

Thank you for your consideration

Emma Martinez
3045 Canyon Blvd

AGENDA ITEM # VII-A, PAGE 22

MEMORANDUM

July 18, 1968

TO: Dwain Miller
 FROM: Larry N. Blick
 SUBJECT: Design of Canyon Park *nb*

*File
 Canyon
 Park*

At the meeting of July 16, the City Council expressed an interest that the design of the two-acre park site at 19th and Canyon Boulevard be unique and possibly a model park. The Council would like to see the total design plan for the area.

The Council also expressed an interest that the various service clubs in the community have an opportunity to participate in funding the development of the park.

Mr. Alex Warner, who has been active in promoting the use of the site as a park and who has carried petitions encouraging the School Board to permit the City to use the site as a park, has volunteered to contact the various service clubs in the City requesting that they participate in developing the park site. In order for him to do this, he should have a copy of the total design for the site.

From talking to Emma Martinez, it is possible that the people in the area would like to have something different than a unique and "model" park. A model park, they fear, would attract many visitors from other parts of town. I advised her that we would appreciate the Office of Economic Opportunity sending to the City Manager a letter, after consultation with the people in the area, expressing their views concerning what the park should be used for, how it should be designed, and what types of equipment would be desirable. During the design stages, it would be advisable for us to observe how the people in the area use the site and to present our proposals to them.

We should attempt to have a design for the park completed by the August 6 Council meeting.

cc: City Manager
 Planning Director

AGENDA ITEM # VII-A, PAGE 23



**INFORMATION PACKET
MEMORANDUM**

To: Members of City Council

From: Jane S. Brautigam, City Manager
Paul J. Fetherston, Deputy City Manager
David Driskell, Executive Director of Community Planning & Sustainability
Charles Ferro, Development Review Manager
Sloane Walbert, Associate Planner

Date: August 12, 2013

Subject: Call-Up Item: Vacation of a 9,201 square foot public utility easement located on the property at 4990 Moorhead Avenue (ADR2013-00077).

EXECUTIVE SUMMARY:

The applicant requests vacation of an existing twenty five-foot utility easement located at 4990 Moorhead Avenue (refer to **Attachment D** for exact location). The easement was dedicated to the City of Boulder as a Grant of Easement, recorded March 29, 2012, in association with a Boulder Housing Partners permanently affordable senior housing project at this location. However, the existing utility easement was modified to accommodate a shift in the location of a water meter pit and to accommodate the overhang of eaves on the southwest side of the building. There is no public need for the utility easement to be vacated because a separate 9,155 square foot easement has been dedicated for public utilities that serve the property (Rec. no. 03331506). The proposed vacation was approved by staff on July 30, 2013. There is one scheduled City Council meeting on August 20th within the 30 day call-up period.

CODE REQUIREMENTS:

Pursuant to the procedures for easement vacations set forth in subsection 8-6-10(b), B.R.C. 1981, the city manager has approved the vacation of a 9,201 square foot utility easement. The date of final staff approval of the easement vacation was July 30, 2013 (refer to **Attachment E**, *Notice of Disposition*). This vacation does not require approval through ordinance based on the following criteria:

- It has never been open to the public; and
- It has never carried regular vehicular or pedestrian traffic.

The vacation will be effective 30 days later on August 29, 2013 unless the approval is called up by City Council.

FISCAL IMPACTS:

None identified.

COMMUNITY SUSTAINABILITY ASSESSMENTS AND IMPACTS:

- Economic: None identified.
- Environmental: None identified.
- Social: None identified.

BACKGROUND:

The subject property is located west of and adjacent to Moorhead Avenue, north of Table Mesa Drive, in a Residential - High 5 (RH-5) zone district (refer to **Attachment A, Vicinity Map**). A permanently affordable senior residential development was approved on the subject property in early 2011. The Hi Mar development will consist of one residential building with 59 permanently affordable units, to be accessed by a private drive from Moorhead Avenue. The property is encumbered by a twenty five-foot utility easement, which runs southwest for approximately 350 feet along the project’s private drive (please refer to **Attachment B, Site Plan**). The subject easement was dedicated to accommodate a sanitary sewer line, water main, fire hydrant, and water meter pit for the new development. However, during review it was discovered that the roof overhang/eaves on the southwest corner of the building encroached into the subject easement. Per section 8-6-3 of the Boulder Revised Code, 1981 no portion of a structure may be located within, under, above or upon a public easement.

In order to address this issue, the water meter pit was relocated and a new utility easement was dedicated to accommodate all public utilities outside of the area of encroachment by the roof overhang (see Reception no. 03331506). The housing development is under construction and there are currently no encroachments into the subject easement. Given that there is no public need for the easement for which it was intended, failure to vacate the requested portion of easement would cause hardship to the property owner by limiting the development potential of the property.

ANALYSIS:

Staff finds the proposed vacation of the existing twenty five-foot utility easement consistent with the standard set forth in subsection (b) of section 8-6-10, “*Vacation of Public Easements*”, B.R.C. 1981. All agencies having an interest in the easement have indicated that no need exists, at present or in the future, for that portion of the easement to be vacated. Staff has determined that no public need exists for the portion of easement to be vacated due to the fact that a separate easement has been dedicated for public utilities on the property.

No vacation of a public easement shall be approved unless the approving agency finds that:

- ✓ 1. Change is not contrary to the public interest.
- ✓ 2. All agencies having a conceivable interest have indicated that no need exists, either in the present or conceivable future, for its original purpose or other public purpose.
- ✓ 3. Consistent with the Comprehensive Plan and Land Use Regulations.

- ✓ a. Failure to vacate the easement would cause a substantial hardship to the use of the property consistent with the Comprehensive Plan and Land Use Regulations; or
- The subject utility easement was dedicated in 2012 in association with the review of a Boulder Housing Partners senior housing development at this location (Rec. no. 03212745). Since this time it was discovered that the easement must to be modified to accommodate the overhang of eaves on the southwest corner of the building (see TEC2013-00026). A separate public utility easement has been dedicated to address these issues and there is no public need for the easement to be vacated.*
- N/A b. Would provide a greater public benefit than retaining the property in its present status.

PUBLIC COMMENT AND PROCESS:

Notice of the vacation will be advertised in the Daily Camera within the 30 day call up period. Staff has received no written or verbal comments adverse to the vacation.

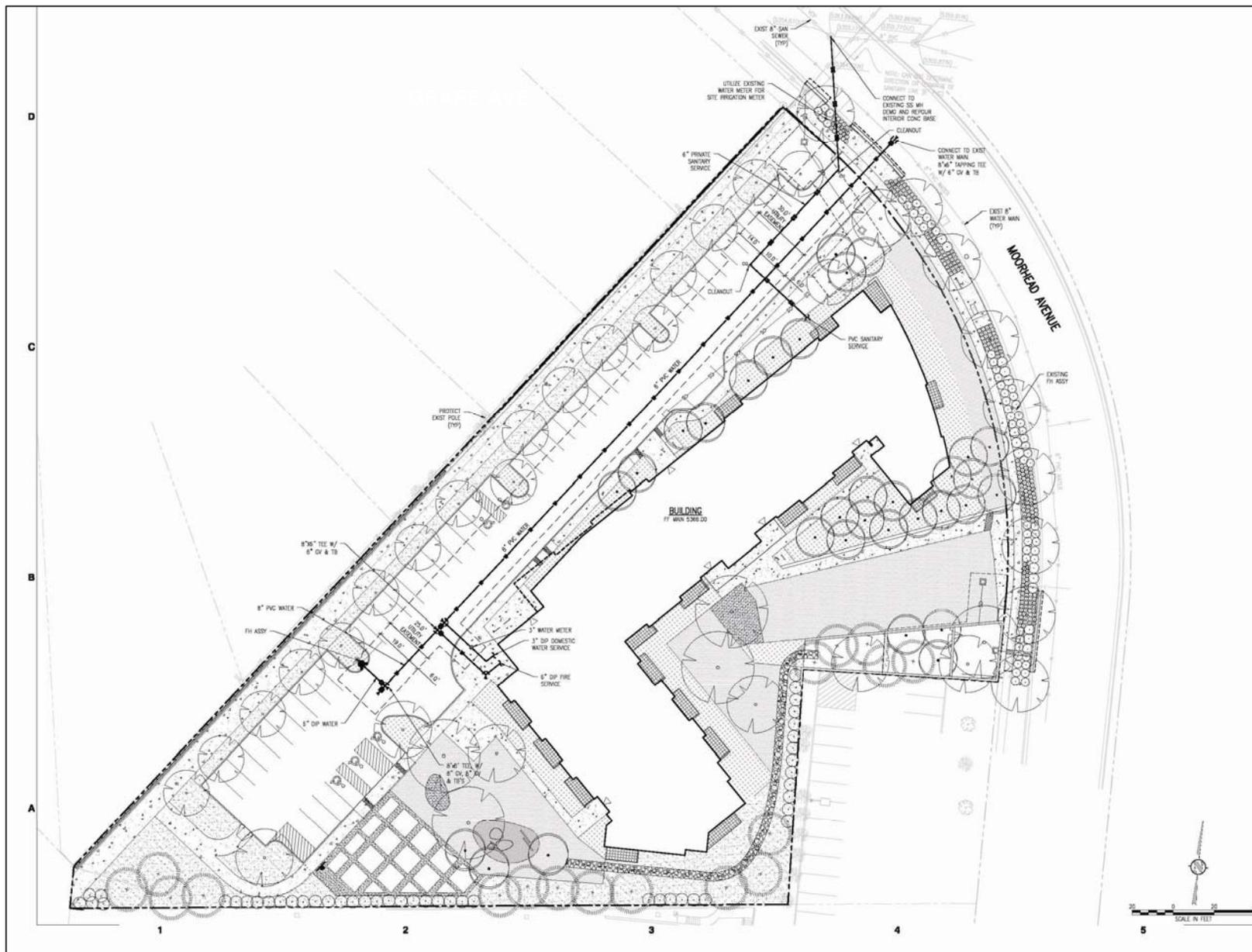
NEXT STEPS:

If the requested vacation is not called up by City Council then the Deed of Vacation (**Attachment C**) will be recorded. If the requested vacation is called up, and subsequently denied, the applicant will be limited to development on the property outside of the easement area.

ATTACHMENTS:

- Attachment A: Vicinity Map
Attachment B: Site Plan
Attachment C: Deed of Vacation
Attachment D: Exhibit A
Attachment E: Notice of Disposition





For Administrative Purposes Only
Address: 4990 Moorhead Ave.
Case No. ADR2013-00077

DEED OF VACATION

The City of Boulder, Colorado, does hereby vacate and release to the present owner of the subservient land, in a manner prescribed by Subsection 8-6-10(b), B.R.C. 1981, a utility easement previously dedicated to the City of Boulder and recorded in the records of the Boulder County Clerk and Recorder at Reception No. 03212745 on the 29th day of March, 2012, located at 4990 Moorhead Avenue and as more particularly described as follows:

See Exhibit A attached hereto and incorporated herein by reference.

The within easement vacation and release of said easement shall extend only to the portion and the type of easement specifically vacated. The within vacation is not to be construed as vacating any rights-of-way or easements or cross-easements lying within the description of the vacated portion of the easement.

Executed this _____ day of _____, 2013, by the City Manager after having received authorization from the City Council of the City of Boulder, Colorado.

CITY OF BOULDER, COLORADO

By: _____
Jane S. Brautigam,
City Manager

Attest:

City Clerk

Approved as to form:

City Attorney's Office

Date

EXHIBIT "A"

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 1 SOUTH,
RANGE 70 WEST OF THE 6TH PRINCIPAL MERIDIAN,
CITY OF BOULDER, COUNTY OF BOULDER, STATE OF COLORADO
SHEET 1 OF 2

AN EASEMENT TO BE VACATED AS RECORDED AT RECEPTION NO. 03212745 IN THE RECORDS OF BOULDER COUNTY, OVER AND ACROSS A PORTION OF LAND, LOCATED IN THE SOUTHWEST QUARTER, SECTION 4, TOWNSHIP 1 SOUTH, RANGE 70 WEST OF THE 6TH PRINCIPAL MERIDIAN, IN THE CITY OF BOULDER, COUNTY OF BOULDER, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE MOST EASTERLY CORNER OF LOT 16, BLOCK 1, REPLAT OF BLOCK B AND THE NORTHEASTERLY PART OF BLOCK C IN THE WILLIAM MARTIN HOMESTEAD ADDITION, IN SAID CITY, COUNTY AND STATE, PER PLAT RECORDED MARCH 17, 1960 AT RECEPTION NO. 648939, IN THE OFFICE OF THE CLERK AND RECORDER OF SAID COUNTY, WHENCE THE SOUTHEASTERLY LINE OF SAID BLOCK 1 BEARS, SOUTH 36°59'30" WEST, WITH ALL BEARINGS HEREIN BEING REFERENCED TO SAID EASTERLY LINE, SAID MOST EASTERLY CORNER ALSO BEING ON THE SOUTHWESTERLY RIGHT-OF-WAY LINE OF MOORHEAD AVENUE;

THENCE CONTINUING ALONG SAID SOUTHWESTERLY RIGHT-OF-WAY THE FOLLOWING 3 COURSES:

- 1) ALONG SAID SOUTHWESTERLY RIGHT-OF-WAY, SOUTH 53°00'30" EAST, 32.24 FEET TO THE POINT OF BEGINNING;
- 2) SOUTH 53°00'30" EAST, 2.62 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 265.00 FEET;
- 3) SOUTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 04°50'44", AN ARC LENGTH OF 22.41 FEET;

THENCE DEPARTING SAID SOUTHWESTERLY RIGHT-OF-WAY, NON-TANGENT TO SAID CURVE, SOUTH 36°59'30" WEST, 228.18 FEET;

THENCE SOUTH 53°00'30" EAST, 14.50 FEET;

THENCE SOUTH 36°59'30" WEST, 26.03 FEET;

THENCE NORTH 53°00'30" WEST, 14.50 FEET;

THENCE SOUTH 36°59'30" WEST, 98.06 FEET;

THENCE NORTH 53°00'30" WEST, 25.00 FEET;

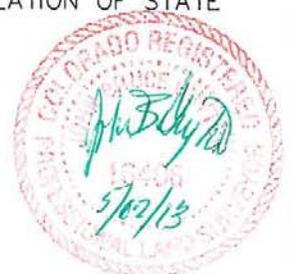
THENCE NORTH 36°59'30" EAST, 353.22 FEET TO THE POINT OF BEGINNING;

SAID PARCEL CONTAINS 9,201 SQ. FT. OR 0.211 ACRES, MORE OR LESS.

I, JOHN B. GUYTON, A LAND SURVEYOR LICENSED IN THE STATE OF COLORADO, DO HEREBY STATE FOR AND ON BEHALF OF FLATIRONS, INC., THAT THIS PARCEL DESCRIPTION AND ATTACHED EXHIBIT, BEING MADE A PART THEREOF, WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE AT THE REQUEST OF THE CLIENT AND IS NOT INTENDED TO REPRESENT A MONUMENTED LAND SURVEY OR SUBDIVIDE LAND IN VIOLATION OF STATE STATUTE.

JOHN B. GUYTON
COLORADO P.L.S. #16406
CHAIRMAN/CEO, FLATIRONS, INC.

FSI JOB NO. 13-61,277



JOB NUMBER: 13-61,277
DRAWN BY: B. LUND
DATE: MAY 2, 2013

THIS IS NOT A "LAND SURVEY PLAT" OR "IMPROVEMENT SURVEY PLAT" AND THIS EXHIBIT IS NOT INTENDED FOR PURPOSES OF TRANSFER OF TITLE OR SUBDIVISIONS OF LAND. RECORD INFORMATION SHOWN HEREON IS BASED ON INFORMATION PROVIDED BY CLIENT.

Flatirons, Inc.
Surveying, Engineering & Geomatics
 3825 IRIS AVE, STE 395
 BOULDER, CO 80301
 PH: (303) 443-7001
 FAX: (303) 443-9830
 www.FlatironsInc.com

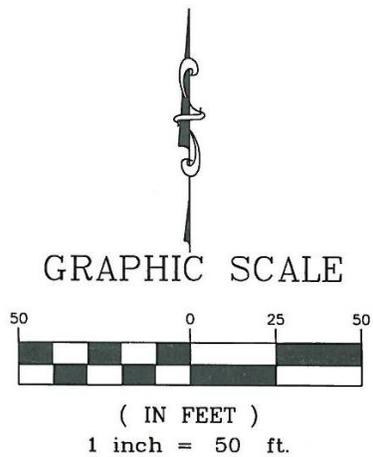
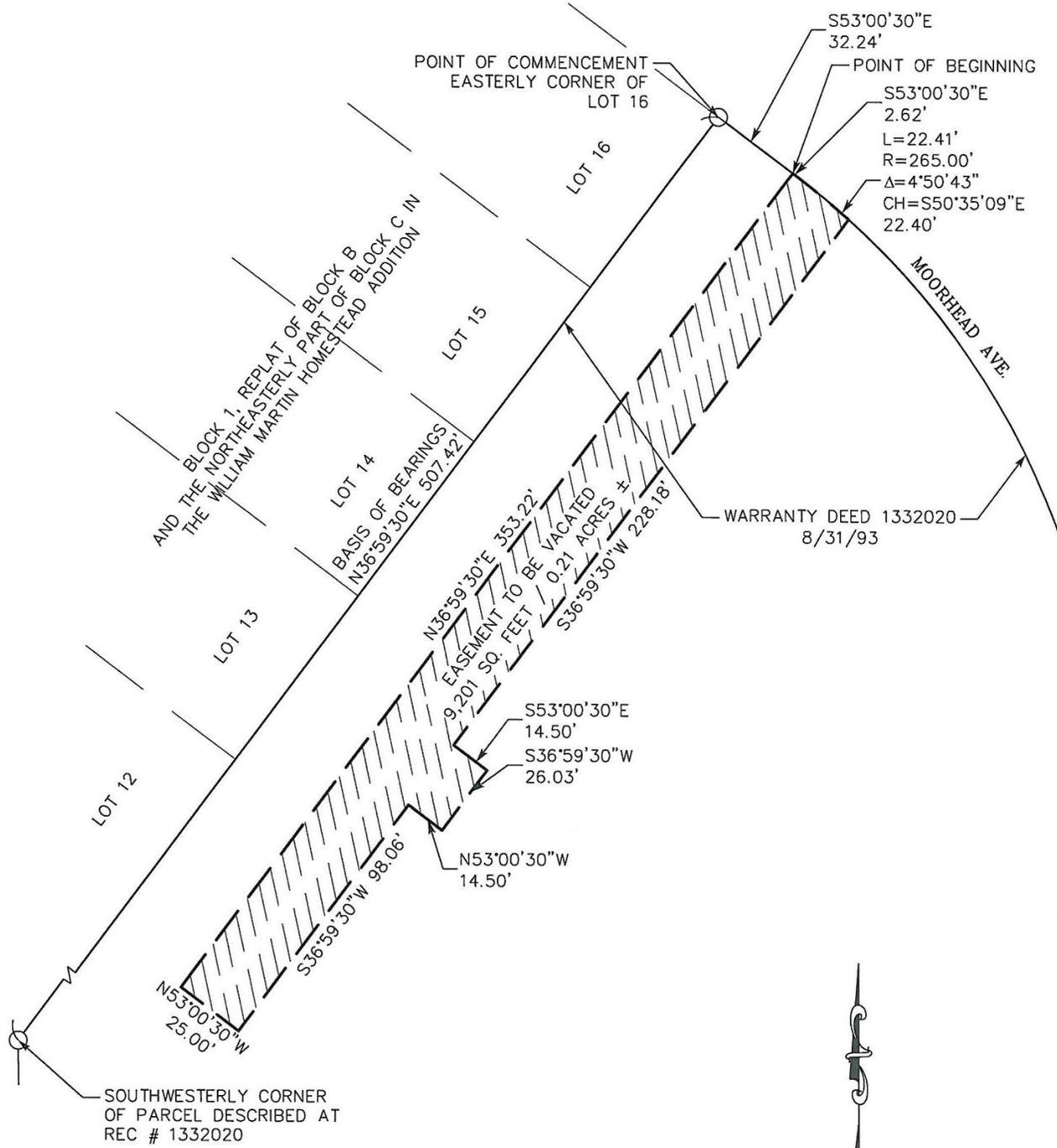


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EXHIBIT "A"

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 1 SOUTH,
RANGE 70 WEST OF THE 6TH PRINCIPAL MERIDIAN,
CITY OF BOULDER, COUNTY OF BOULDER, STATE OF COLORADO

SHEET 2 OF 2



JOB NUMBER: 13-61,277
DRAWN BY: B. LUND
DATE: MAY 2, 2013

THIS IS NOT A "LAND SURVEY PLAT" OR "IMPROVEMENT SURVEY PLAT" AND THIS EXHIBIT IS NOT INTENDED FOR PURPOSES OF TRANSFER OF TITLE OR SUBDIVISIONS OF LAND. RECORD INFORMATION SHOWN HEREON IS BASED ON INFORMATION PROVIDED BY CLIENT.

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FAX: (303) 443-9830
www.FlatironsInc.com

BY:BLUND FILE:61277-DESC-C13.DWG DATE:5/2/2013 2:25 PM



CITY OF BOULDER
Community Planning and Sustainability

1739 Broadway, Third Floor • P.O. Box 791, Boulder, CO 80306-0791
phone 303-441-1880 • fax 303-441-3241 • web www.bouldercolorado.gov

ADMINISTRATIVE REVIEW
NOTICE OF DISPOSITION

You are hereby advised that the following action was taken by the Planning Department:

DECISION: Approved
DATE: July 30, 2013
REQUEST TYPE: Vacation/Easement
ADDRESS: 4990 Moorhead Ave.
APPLICANT: Jeff Dawson, STUDIO at Morgan Creek
CASE #: ADR2013-00077
LEGAL DESCRIPTION: See Exhibit A

DESCRIPTION: UTILITY EASEMENT VACATION to vacate a 9,201 square foot utility easement located on the property at 4990 Moorhead Avenue. The subject utility easement was dedicated in association with the review of a Boulder Housing Partners senior housing development at this location (High Mar site).

FINAL DECISION STANDARDS:

Approved as submitted. This application is approved per the criteria for Vacation of Public Easements as set forth in section 8-6-10, B.R.C. 1981. This approval does not constitute building permit approval.

This approval is limited to the vacation of a 9,201 square foot utility easement, previously dedicated to the City of Boulder and recorded in the records of the Boulder County Clerk and Recorder at Reception No. 03212745 on March 29, 2012.

No public need exists for the portion of easement to be vacated because a new easement has been dedicated to the City of Boulder for utility services on the property. The easement was modified to accommodate a shift in the location of a water meter pit and eaves overhang on the north side of the building (Reception No. 03331506).

INFORMATIONAL COMMENTS:

Pursuant to section 8-6-10(b), B.R.C. 1981, approval of an easement vacation "is not effective until thirty days after the date of its approval. Promptly after approving the vacation, the manager will forward to the city council a written report, including a legal description of vacated portion of the easement and the reasons for approval. The manager will publish notice of the proposed vacation once in a newspaper of general circulation in the City within thirty days after the vacation is approved. Upon receiving such report and at any time before the effective date of the vacation, the council may rescind the manager's approval and call up the vacation request for its consideration at a public hearing, which constitutes a revocation of the vacation."

This decision is final and may not be appealed. A new request may be considered only as a new application.

Approved By:

S Walbert

Sloane Walbert, Planning Department

EXHIBIT A

LEGAL DESCRIPTION FOR HIGH MAR REDEVELOPMENT: 4990 MOORHEAD AVENUE, BOULDER, COLORADO

A TRACT OF LAND IN THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 4, TOWNSHIP 1 SOUTH, RANGE 70 WEST OF THE 6TH P.M.,

DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SECTION 4, TOWNSHIP 1 SOUTH, RANGE 70 WEST OF THE 6TH P.M.; THENCE N 89°34'10" EAST, A DISTANCE OF 520.00 FEET ALONG THE SOUTH LINE OF SAID SECTION 4 TO THE TRUE POINT OF BEGINNING; THENCE NORTH 00°25'50" WEST AT RIGHT ANGLES TO THE SOUTH LINE OF SAID SECTION 4 A DISTANCE OF 175.77 FEET; THENCE NORTH 36°59'30" EAST, A DISTANCE OF 507.42 FEET; THENCE SOUTH 53°00'30" EAST, A DISTANCE OF 34.86 FEET TO A POINT OF CURVE RIGHT; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 249.18 FEET, SAID CURVE HAVING A DELTA OF 52°34'40" RIGHT, A RADIUS OF 265.00 FEET AND TANGENTS OF 130.91 FEET, TO A POINT OF TANGENT; THENCE SOUTH 00°25'50" EAST, A DISTANCE OF 347.11 FEET AT RIGHT ANGLES TO THE SOUTH LINE OF SAID SECTION 4 TO A POINT ON THE SOUTH LINE OF SAID SECTION 4; THENCE SOUTH 89°34'10" WEST, A DISTANCE OF 440 FEET ALONG THE SOUTH LINE OF SAID SECTION 4 TO THE TRUE POINT OF BEGINNING, EXCEPT THOSE PORTIONS OF THE ABOVE DESCRIBED TRACT AS CONVEYED TO REGINALD L. HOWARDS IN DEEDS RECORDED JULY 29, 1971 ON FILM 739 AS RECEPTION NOS. 984407 AND 984408, COUNTY OF BOULDER, STATE OF COLORADO.



INFORMATION PACKET MEMORANDUM

To: Members of City Council

From: Jane S. Brautigam, City Manager
Paul J. Fetherston, Deputy City Manager
David Driskell, Executive Director of Community Planning + Sustainability
Charles Ferro, Development Review Manager
Jessica Vaughn, Planner I

Date: August 8, 2013

Subject: Call-Up Item: Site Review, no. LUR2013-00021, for the construction of a 45-unit residential development comprised of 41 townhome style units and four single-family detached units on an approximately five-acre site located at the northeast corner of Kalmia Avenue and 28th Street. The site is zoned Residential Medium-1.

EXECUTIVE SUMMARY

On August 1, 2013, Planning Board approved 6-0 (A. Brockett absent) the subject application with the conditions found in the disposition of approval, provided as **Attachment A**.

The applicant's proposal is for the development of an approximately five-acre site located at the northeast corner of Kalmia Avenue and 28th Street with 45 residential units comprised of 41 townhome-style units to be located on the west side of Paso del Prado and four permanently affordable single-family detached units that are to be located adjacent to the Sale Lake and Palo Park neighborhoods on the east side of Paso del Prado.

The proposal also includes enhanced pedestrian connectivity through the provision of two several multi-use path connections through the project site to the Wonderland Creek multi-use path. Open space is provided in excess of what is required (135,000 square feet) with roughly 75 percent of the project site remaining as useable open space (160,145 square feet).

Generally, the architectural concept includes two-story buildings with flat roofs and a modern building design. Given the highly visible location of the project site along a multi-use path on the west and street frontages on both the east and south sides, the project site has multiple frontages. Buildings are oriented toward the street by locating building entries, front porches and additional glazing along the street facing facades as well as utilizing pedestrian scale architectural features

and materials at the pedestrian level, including stone and awnings, adding to the pedestrian interest at the street.

Land Use Code modifications requested as part of the development proposal include:

- Front yard for principal structures from 20 feet to five feet;
- Front yard for parking from 20 feet to 10 feet;
- Rear yard for principal structures from 20 feet to 15 feet; and
- Freestanding sign setback from 28th Street and Kalmia Avenue from 10 feet to 0 feet.

Refer to **Attachment B** for the applicant's proposed plan set.

The board's approval is subject to a 30-day call-up period by City Council. The [staff memorandum](#) to the Planning Board, Planning Board audio and other related background materials, including the staff analysis of the Site Review criteria are available on the city website at the web link provided above. City Council may call-up the application within the 30-day call-up period which expires on **Tuesday, Sept. 3, 2013**.

City Council is scheduled to consider this application for call-up at its **August 20, 2013** public meeting.

FISCAL IMPACT

Staff Time: The application has been processed through the provisions of a standard review process and is within normal staff work plans.

COMMUNITY SUSTAINABILITY ASSESSMENTS AND IMPACTS

Economic: None identified.

Environmental: Unique to the project site is the Wonderland Creek and an approximately 120-foot wetland buffer located on the western half of the project site along with the 100-year and 500-year floodplains and high hazard flood zone. In order to mitigate and limit impacts to the natural resources present on the project site, the applicant has limited development on the western portion of the property.

Social: None identified.

BACKGROUND

Site Context. The project site, roughly five acres in size, is located at the northeast corner of the intersection of 28th Street and Kalmia Avenue just west of the Sale Lake, Palo Park and Kalmia Estates neighborhoods. Development immediately adjacent to the project site is primarily single-family detached residential to the east, including the Sale Lake (within city limits) and Palo Park (unincorporated Boulder County) neighborhoods with the exception of the Manor Care

residential care facility to the north and multi-family attached units, including the Aspen Grove Condominiums and The Boulders Apartments to the south.

Unique to the project site is the Wonderland Creek Greenway which is comprised of a multi-use path, an approximately 120-foot wetland buffer both located on the western half of the project site along with the 100-year and 500-year floodplains and high hazard flood zone.



Figure 1: Vicinity Map



Figure 2: Zoning Map

The project site is zoned Residential Medium-1 (RM-1) which is defined as:

“Medium density residential areas which have been or are to be primarily used for attached residential development, where each unit generally has direct access to ground level, and where complementary uses may be permitted under certain conditions” (section 9-5-2(c)(1)(C), B.R.C. 1981).

Immediately adjacent to the project site on three sides, north, south and west is RM-1 zoning while Residential Low-2 is adjacent on the east as well as

unincorporated Boulder County on the northeast. Existing development surrounding the project site ranges in density from 2.4 dwelling units per acre in the Sale Lake neighborhood located directly to the east (zoned RL-2) of the project site up to 21.8 dwelling units per acre in the Pendleton Square neighborhood (zoned RH-4) located across 28th Street to the southwest of the project site. The development proposal, comprised of 45 units, has a density of roughly nine dwelling units per acre, which is fewer units and less density than would be permitted by-right in the RM-1 zone district, 73, at a density of 14 dwelling units per acre.

ANALYSIS

On balance, the development proposal was found to be consistent with the goals and intent of the Boulder Valley Comprehensive Plan (BVCP) and Site Review criteria. In addition, the development proposal was found to be consistent with the zoning and the BVCP land use designation densities as well as the general character of the existing single-family detached development immediately adjacent to the project site.

Relevant goals and policies in the BVCP, including policies 7.06 (*Mixture of Housing Types*), 7.09 (*Housing for a Full Range of Households*), and 7.10 (*Balancing Housing Supply with Employment Base*), provide support for development that contributes to providing a diverse mix of housing types for a full-range of households as well as balancing the housing supply with the

employment base. Similarly, the development proposal consistent with BVCP policies 2.15 (Compatibility of Adjacent Land Uses), 2.21 (Commitment to a Walkable and Accessible City), 2.23 (Trail Corridors/Linkages) and 2.37 (Enhanced Design for Private Sector Projects) related to compatibility of adjacent land uses and utilizing a site layout that creates a building forward design, vibrant and active streetscapes, improving pedestrian connectivity, providing high quality, useable on-site open spaces, maintaining views to the west and minimizing surface parking.

Refer to **Attachment C** for the complete Site Review criteria analysis.

Planning Board Hearing. The proposed Site Review was discussed at the board's August 1, 2013 public hearing where the Planning Board unanimously approved the subject Site Review request with a vote of 6-0 (A. Brockett absent). As part of the board's discussion, concern was expressed with regard to the location of the bike parking being provided, in terms of its dispersal throughout the development.

To address the concerns expressed related to bike parking, a friendly amendment was made by M. Young to require the Applicant to redistribute the outdoor visitor bike parking so as to provide the spaces in more convenient places for visitors to the site.

Overall, the board found that the project site was an appropriate location for the proposed development in terms of:

- Density and providing a transition between the existing surrounding development and the project site;
- Providing open space in excess of what is required in a variety of forms that will encourage both active and passive recreational opportunities as well as enhance connectivity;
- Limiting and mitigating the impacts to the natural resources located on the project site; and
- Architecture by utilizing a building design that will contribute to creating a safe and vibrant streetscape and a material palette that is compatible with the surrounding development.

A web link to the minutes and audio of the hearing can be found [here](#).

ATTACHMENTS:

- A. Notice of Disposition dated August 1, 2013.
- B. Approved Plans.
- C. Site Review Criteria Analysis.



CITY OF BOULDER
Community Planning & Sustainability

1739 Broadway, Third Floor • P.O. Box 791, Boulder, CO 80306-0791
phone 303-441-1880 • fax 303-441-3241 • web www.bouldercolorado.gov

CITY OF BOULDER PLANNING BOARD
NOTICE OF DISPOSITION

You are hereby advised that on August 1, 2013 the following action was taken by the Planning Board based on the standards and criteria of the Land Use Regulations as set forth in Chapter 9-2, B.R.C. 1981, as applied to the proposed development.

DECISION: **Approved with Conditions**
PROJECT NAME: **WONDERLAND CREEK TOWNHOMES**
DESCRIPTION: **Site Review**, No. LUR2013-00021, for the construction of a 45-unit residential development comprised of 41 townhome style units and four single-family detached units on an approximately five-acre site located at the northeast corner of Kalmia Avenue and 28th Street. The site is zoned Residential Medium-1.

Land Use Code modifications approved through the Site Review process include:

- Front yard setback for principal structures from 20 feet to five feet;
- Front yard setback for parking from 20 feet to 10 feet; and
- Rear yard setback for principal structures from 20 feet to 15 feet.
- Freestanding sign setback from 28th Street and Kalmia Avenue from 10 feet to 0 feet.

LOCATION: **Northeast corner of 28th St and Kalmia Av**
COOR: **N06W04**
LEGAL DESCRIPTION: **Lot 2, Manor Care Subdivision, City of Boulder, County of Boulder, State of Colorado**
APPLICANT: **STEPHEN SPARN**
OWNER: **WCT LLC**
APPLICATION: **Site Review, LUR2013-00021**
ZONING: **Residential Medium-1 (RM-1)**
CASE MANAGER: **Jessica Vaughn**
VESTED PROPERTY RIGHT: **NO; the owner has waived the opportunity to create such right under Section 9-2-19, B.R.C. 1981.**

This decision may be called up before the City Council on or before **September 3, 2013**. If no call-up occurs, the decision is deemed final thirty days after the Planning Board's decision.

FOR CONDITIONS OF APPROVAL, SEE THE FOLLOWING PAGES OF THIS DISPOSITION.

IN ORDER FOR A BUILDING PERMIT APPLICATION TO BE PROCESSED FOR THIS PROJECT, A SIGNED DEVELOPMENT AGREEMENT MUST BE SUBMITTED TO THE PLANNING DEPARTMENT, IF THE DEVELOPMENT AGREEMENT IS NOT SIGNED WITHIN NINETY (90) DAYS OF THE FINAL DECISION DATE, THE PLANNING BOARD APPROVAL AUTOMATICALLY EXPIRES.

Pursuant to Section 9-2-12 of the Land Use Regulations (Boulder Revised Code, 1981), the applicant must begin and substantially complete the approved development within three years from the date of final approval. Failure to "substantially complete" (as defined in Section 9-2-12, Boulder Revised Code 1981) the development within three years shall cause this development approval to expire.

At its public hearing on August 1, 2013 the Planning Board Approved with Conditions the request with the following motion:

On a motion by J. Putnam, seconded by S. Weaver, the Planning Board voted 6-0 (A. Brockett absent) to approve Site Review case no. LUR#2013-00021, incorporating the staff memorandum and the attached analysis of site review criteria as findings of fact and subject to the recommended conditions of approval as found in the staff memorandum.

Friendly amendment by M. Young to require the Applicant to redistribute the outdoor visitor bike parking so as to provide the spaces in more convenient places for visitors to the site. Friendly amendment was accepted by J. Putnam.

CONDITIONS OF APPROVAL

1. The Applicant shall be responsible for ensuring that the **development shall be in compliance with all approved plans** dated June 17, 2013 and July 12, 2013 on file in the City of Boulder Planning Department, except to the extent that the development may be modified by the conditions of this approval.
2. Prior to building permit, the Applicant shall submit a Technical Document Review application for the following items, subject to the approval of the City Manager:
 - a. **Final architectural plans**, including material samples and colors, to insure compliance with the intent of this approval and compatibility with the surrounding area. The architectural intent shown on the approved plans dated June 17, 2013 and July 12, 2013 are acceptable. Planning staff will review plans to assure that the architectural intent is performed.
 - b. A **final site plan** which includes detailed floor plans and section drawings. The Applicant shall revise the site plan to include and shall construct a path and low water crossing to provide a safe and convenient connection for the residents of the property to the open space area in the south-west corner of the property, or the Applicant shall ensure, by participating in a City project, that such a safe and convenient connection is provided across Wonderland Creek at a time and in a location and form that is acceptable to the Director of Public Works. The Applicant shall redistribute the outdoor visitor bike parking so as to provide the spaces in more convenient places for visitors to the site.
 - c. A **final utility plan** meeting the City of Boulder Design and Construction Standards.
 - d. A **final storm water report and plan** meeting the City of Boulder Design and Construction Standards.
 - e. **Final transportation plans** meeting the City of Boulder Design and Construction Standards and CDOT Access Code Standards, for all transportation improvements. These plans must include, but are not limited to: street plan and profile drawings, street cross-sectional drawings, signage and striping plans in conformance with Manual on Uniform Traffic Control Devices (MUTCD) standards, transportation detail drawings, geotechnical soils report, and pavement analysis.
 - f. A **detailed landscape plan**, including size, quantity, and type of plants existing and proposed; type and quality of non-living landscaping materials; any site grading proposed; and any irrigation system proposed, to insure compliance with this approval and the City's landscaping requirements. Removal of trees must receive prior approval of the Planning Department. Removal of any tree in City right of way must also receive prior approval of the City Forester. The Applicant shall remove the Russian Olive trees located on and adjacent to the project site pursuant to the approved plans dated June 17, 2013 and July 12, 2013.
 - g. A **detailed outdoor lighting plan** showing location, size, and intensity of illumination units, indicating compliance with section 9-9-16, B.R.C.1981.
 - h. A **detailed shadow analysis** to ensure compliance with the City's solar access requirements

of section 9-9-17, B.R.C.

3. Prior to building permit, the Applicant shall **dedicate to the City, at no cost, all easements proposed to be dedicated on the Easement Exhibit** (Sheet C-4 of the approved plans) of the approved plans, in accordance with the City of Boulder Design and Construction Standards, as part of Technical Document Review applications. The form and final location of the easements shall be subject to the approval of the City Manager. The Applicant shall dedicate to the City, at no cost, any additional easements that are necessary to complete the construction of and maintain the required slope for the improvements along Kalmia Avenue listed in Condition 4 below.
4. The Applicant shall construct or install and/or ensure, by participating in a city project, the construction or installation of the following public improvements at a time and in a location and form that is acceptable to the Director of Public Works and in conformance with the City of Boulder Design and Construction Standards:
 - a. A **5-foot bike lane and curb and gutter** along the north side of Kalmia Avenue.
 - b. An **8-foot landscape strip and 5-foot detached sidewalk** along the north side of Kalmia Avenue.
 - c. An **8-foot landscape strip and 5-foot detached sidewalk** along both sides of the project site's frontage on Paseo del Prado.
 - d. A **speed bump** on Links Drive.
 - e. A **10-foot multi-use path** connector from Paseo del Prado to Kalmia Avenue.
5. Prior to building permit, the Applicant shall submit a **financial guarantee**, in a form acceptable to the Director of Public Works, in an amount equal to the cost of providing eco-passes to the residents of the development for three years after the issuance of a certificate of occupancy as proposed in the Applicant's Transportation Demand Management (TDM) plan.

By:


David Driskell, Secretary of the Planning Board

Wonderland Creek Townhomes

Site Plan Review



Project Team

<p>Owner WCT LLC, P.O. Box 79 Boulder, CO 80306</p> <p>Contact: Scott Woodard Email: flproperties@comcast.net</p>	<p>Architect Stephen Spam Architects, P.C. 1731 15th Street, Suite 250 Boulder, CO 80302 (303)442-4422</p> <p>Contact: Stephen Spam Email: SSpam@spam.com</p> <p>Contact: Leonard Thomas Email: LThomas@spam.com</p>
<p>Habitat for Humanity Architect Lodestone Design Group 1855 Sumner St. Longmont, CO 80501</p> <p>Contact: Jeffery Van Sambek Email: jeff@lodestonegroup.com</p>	<p>Landscape Architect Studio Terra, Inc. 758 Club Circle Louisville, CO 80027 (303)494-9138</p> <p>Contact: Carol Adams Email: Carol@studioterra.net</p>
<p>Civil Engineer Flatirons, Inc. 3825 Iris Ave., Suite 395 Boulder, CO 80301 (303)443-7001</p> <p>Contact: Curt Parker</p>	<p>Traffic Engineer LSC Transportation Consultants, Inc. 1889 York Street Denver, CO 80206 (303)333-1105</p> <p>Contact: Christopher McGranahan, P.E.</p>

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- Site Survey
- C-2 Grading Plan / Stormwater Drainage Plan
- C-3 Utility Connection Plan
- C-4 Easement Exhibit
- C-5 Kalma Ave. Cross Sections
- DR-1 Drainage Exhibit (Major Basins)
- DR-2 Drainage Exhibit (Sub-Basins)
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- L2.0 Amenity Area Enticement and Images
- L3.0 Color, Details, Plans
- L4.0 Tree Inventory Map
- Architectural**
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- A2.5 Enlarged Building Plans - Second Floor - Buildings D and H
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- A2.7 Enlarged Building Plans - Roof Plan - Buildings C and G
- A2.8 Enlarged Building Plans - Roof Plan - Buildings D and H
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- A3.1 Building Elevations
- A3.2 Building Elevations
- A3.3 Building Elevations
- A3.4 Site Sections
- A4.0 Character Perspectives
- A4.1 Character Perspectives
- A4.2 Character Perspectives
- A4.3 Context Perspectives
- A4.4 Context Perspectives
- A5.0 Architectural Materials

Vicinity Map



Wonderland Creek Townhomes
 Lot 2 Manor Care Subdivision - Boulder, Colorado 80301

STATEMENT OF COOPERATION

I hereby certify that the information contained herein is true and correct to the best of my knowledge and belief. I understand that this information is being provided for the use of the applicant and that it is not to be used for any other purpose without the written consent of the architect. I further certify that I have not been convicted of a crime involving dishonesty or fraud within the last five years. I understand that my cooperation is required for the successful completion of this project. I agree to hold the architect harmless for all consequences arising from my cooperation.

The architect and client are responsible for the accuracy of the information provided in this statement. The architect and client are not responsible for the accuracy of the information provided in this statement.

Drawing Name	Date
Site Plan Review	3/18/2013
S.P.R. Resubmittal 1	5/22/2013
S.P.R. Resubmittal 2	6/17/2013
S.P.R. Resubmittal 3	7/12/2013

Soil

Cover Sheet

CS1.0

Thursday, July 18, 2013 8:18 PM P:\SBA - Projects\1110 - Wonderland\ACTIVE DRAWING\DRAWING PLE (SHEET)\CS-WOODMND-2403.dwg



PROPOSED
WONDERLAND CREEK
TOWNHOMES
DEVELOPMENT

CONTEXT MAP
NOT TO SCALE



Thursday, July 16, 2015 8:18 PM P:\SSA Projects\12110 - Wonderland Creek Townhomes\DRAWING FILES\B12110105.WOODARD-24208.dwg

Legal Description

Lot 2, Manor Care Subdivision, City of Boulder, County of Boulder, State of Colorado

Project Description

45 unit residential housing project consisting of 41 townhomes and 4 single family residences. The project includes 8 multifamily buildings and 4 single family homes.

Project Data

Address:	Northwest Corner of 28th Street & Kalma Avenue
Property Size:	5.093 acres
Existing Use:	Vacant Land
Comp Plan Designation:	MR (Medium Density Residential, 6-14 DU/acre)
Building Code:	2012 International Residential Code Boulder Revised Code Title 9 Land Use Code
City of Boulder Zoning:	RM-1 (Medium Density Residential - 1)
Proposed Use:	Rental Townhome Project
Solar Access Area:	11 (25' Solar Fence)
Allowable Building Height:	35'
Proposed Max Building Height:	29'
Number of Stories:	1-2
Density	
Townhomes:	35 - Two Bedroom Units 6 - Three Bedroom Units 41 Total Dwelling Units
Habitat for Humanity: Single Family	4 - Three Bedroom Homes 4 Total Dwelling Units
Total Dwelling Units: 45	
Parking Requirements	
Required:	
Townhomes:	35 - Two Bedroom Units x 1.5 = 52 6 - Three Bedroom Units x 2.0 = 12 64 Required
Habitat for Humanity: Single Family	4 - Three Bedroom Homes x 1.0 = 4 4 Required
Total Required: 68	
Provided:	
Townhomes:	40 - Garages 20 - Small Spaces 4 - Handicap Spaces 64 Total
Habitat for Humanity: Single Family	3 - Open Spaces 1 - Handicap Spaces 4 Total
Total Spaces Provided: 68	
Bicycle Required:	
10% of Required Vehicle Parking	
Total Required: 6	
Bicycle Provided:	
Townhomes:	16 (8 Bike Racks)
Habitat for Humanity: Single Family	6 (3 Bike Racks)
Total Provided: 22	
Open Space Required:	
45 units x 3,000 SF = 135,000 SF	
Open Space Provided:	
126,020 SF - Landscape 11,616 SF - Hardscape 13,500 SF - R.O.W. Landscaping 160,145 SF - Total Open Space Provided (118% of required)	

Floor Area

Townhomes		
Unit Type	Number of Units	Total
Two Bedroom (accessible)	1	685 SF
Two Bedroom East Unit	10	11,473 SF
Two Bedroom West Unit	24	26,942 SF
Three Bedroom East Unit	2	2,534 SF
Three Bedroom West Unit	4	5,341 SF
Totals	41	49,475 SF
Habitat for Humanity Single Family Residences		
Homes	Number of Units	Total
1, 2 & 3	3	4,011 SF
4	1	1,203 SF
Totals	4	5,214 SF
Total Project Floor Area:		54,689 SF

architects

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www.20thcentury.com

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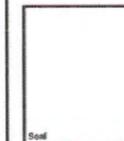
Wonderland Creek Townhomes

Lot 2 Manor Care Subdivision - Boulder, Colorado 80301

NOTICE: CITY OF COVINGTON

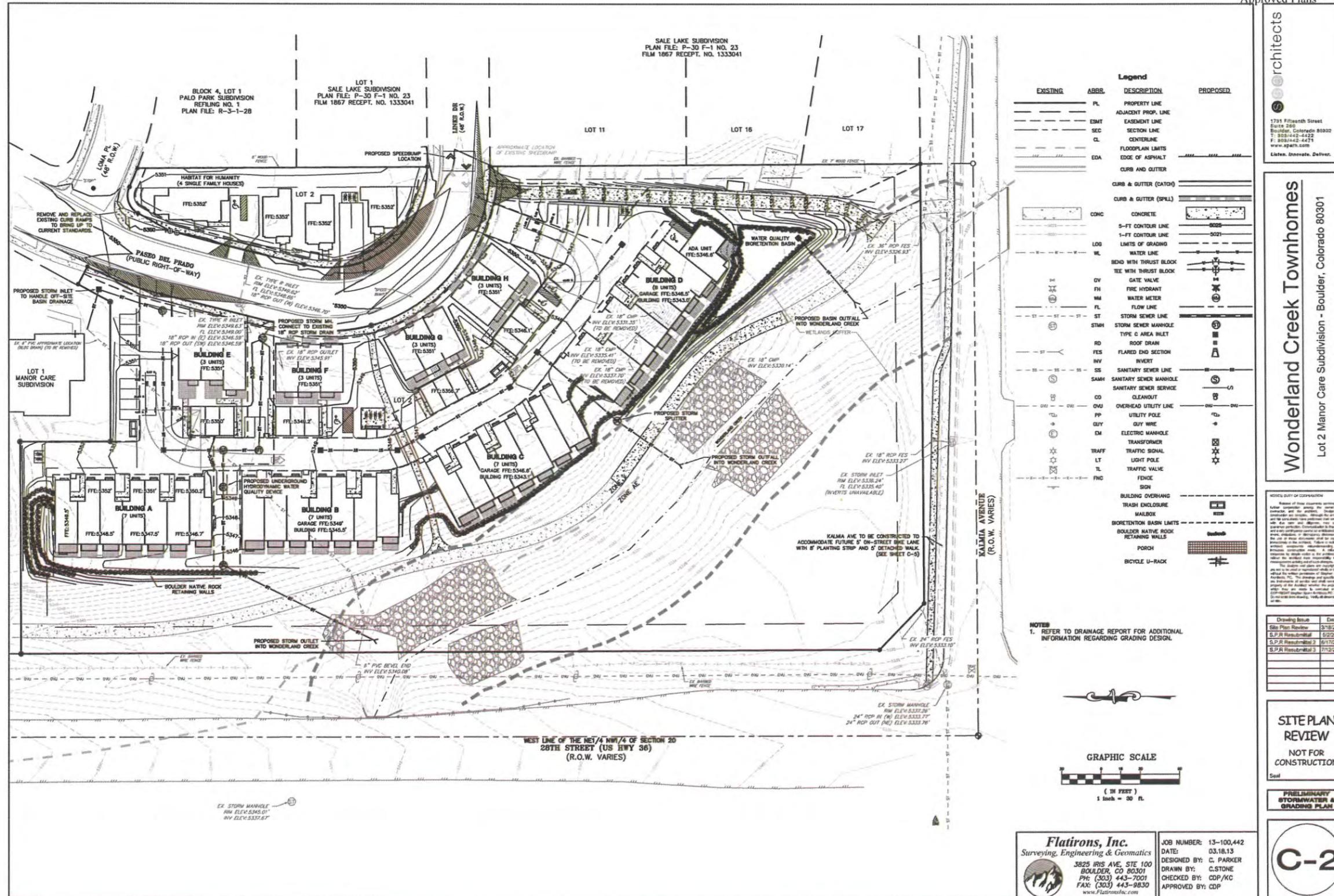
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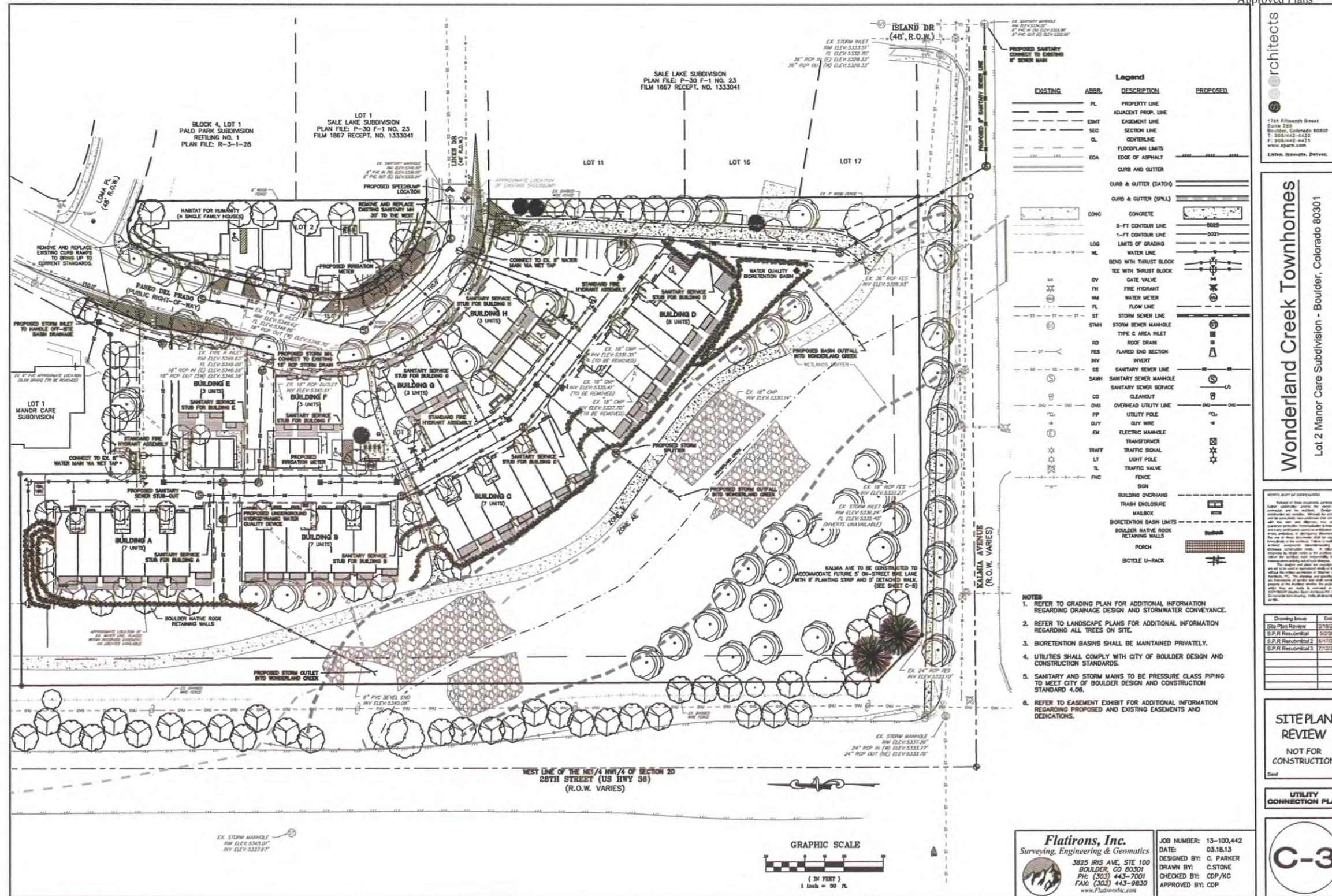
Document Name	Date
Site Plan Review	3/18/2013
S.P.R. Resubmittal	5/2/2013
S.P.R. Resubmittal 2	6/17/2013
S.P.R. Resubmittal 3	7/17/2013



Project Data







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Wonderland Creek Townhomes

Lot 2 Manor Care Subdivision - Boulder, Colorado 80301

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Reference to these documents constitutes
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documents and for verifying that the
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or omissions in the documents. The
architect shall not be responsible for
any errors or omissions in the documents
that are not caused by the architect's
negligence. The architect shall not be
responsible for any errors or omissions
in the documents that are not caused
by the architect's negligence. The
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any errors or omissions in the documents
that are not caused by the architect's
negligence.

Drawing Issue	Date
Site Plan Review	3/18/2013
S.P.R. Resubmittal	5/2/2013
S.P.R. Resubmittal 2	6/17/2013

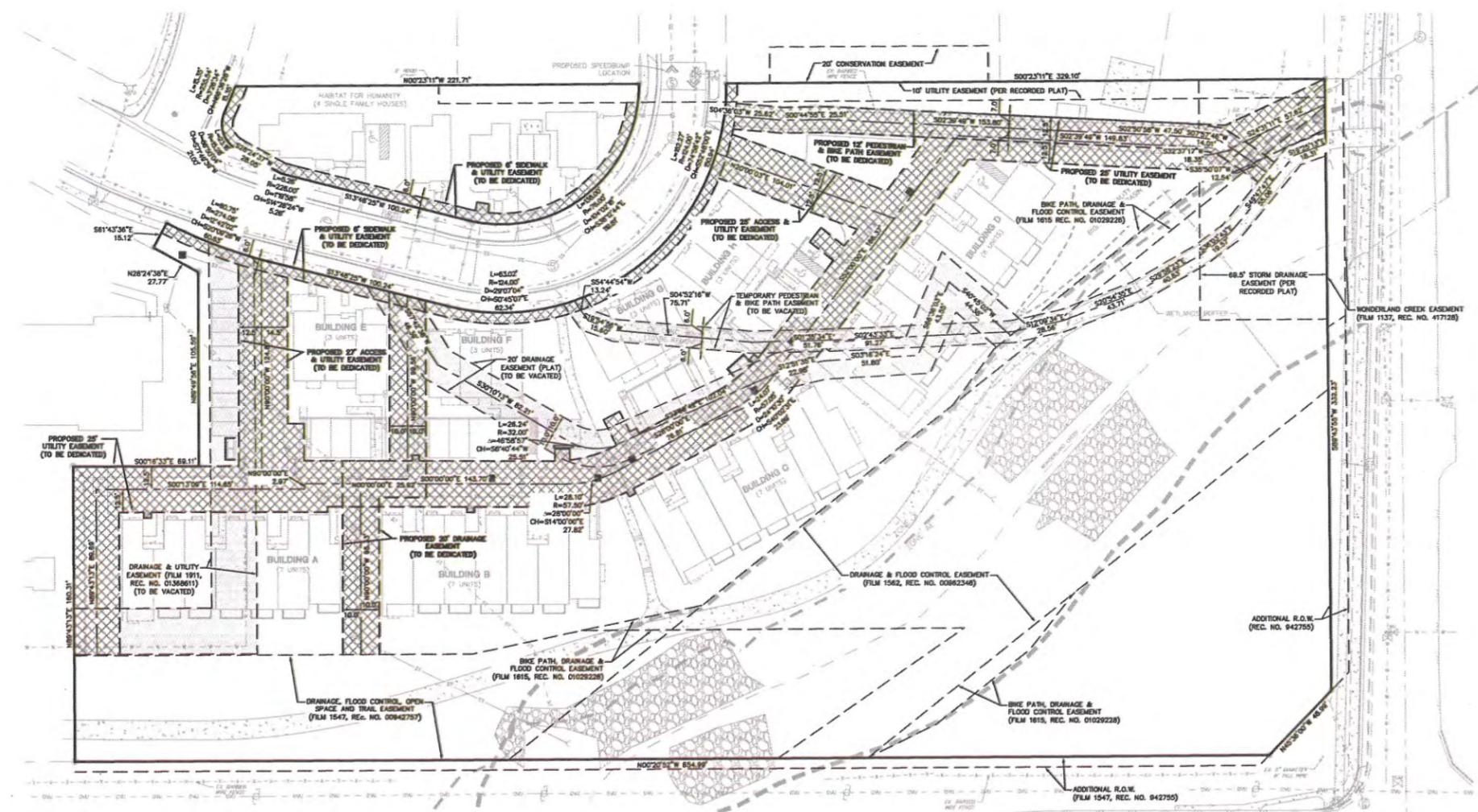
SITE PLAN
REVIEW
NOT FOR
CONSTRUCTION

EASEMENT EXHIBIT

C-4

Legend

	EXISTING	FL	PROPERTY LINE		PROPOSED
	ESMT		ADJACENT PROP. LINE		
			EASEMENT LINE		
			CENTERLINE EASEMENT		
			PROPOSED EASEMENT TO BE DEDICATED		
			EXISTING EASEMENT TO BE VACATED		

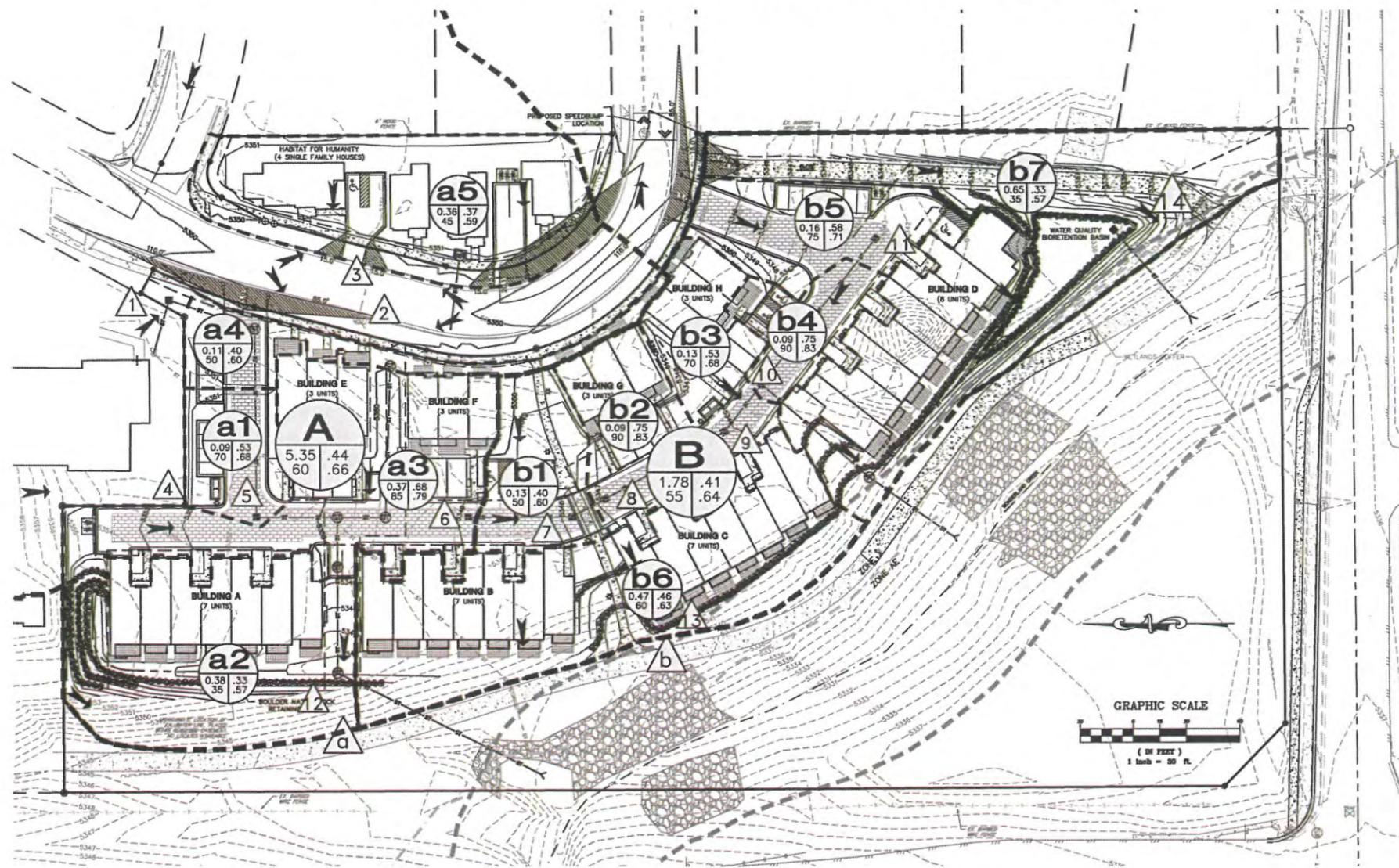


GRAPHIC SCALE
1 inch = 50 ft.

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JOB NUMBER: 13-100,442
DATE: 03.18.13
DESIGNED BY: C. PARKER
DRAWN BY: C.STONE
CHECKED BY: CDP/KC
APPROVED BY: CDP

PROPOSED DRAINAGE SYSTEM



PROPOSED SUB-BASIN RUNOFF SUMMARY

BASIN	DESIGN POINT	AREA (ac)	C _s	C _u	C ₁₀₀	Q _s (CFS)	Q _u (CFS)	Q ₁₀₀ (CFS)
a1	5	0.094	0.49	0.53	0.68	0.2	0.2	0.5
a2	12	0.283	0.25	0.33	0.57	0.3	0.6	2.0
a3	6	0.369	0.68	0.68	0.79	0.9	1.2	2.7
a4	2	0.104	0.34	0.40	0.60	0.1	0.2	0.6
a5	3	0.358	0.31	0.37	0.59	0.4	0.6	1.8
b1	7	0.130	0.34	0.40	0.60	0.1	0.2	0.7
b2	8	0.145	0.73	0.75	0.83	0.4	0.5	1.1
b3	9	0.134	0.49	0.53	0.68	0.2	0.3	0.8
b4	10	0.092	0.73	0.75	0.83	0.2	0.3	0.7
b5	11	0.162	0.54	0.58	0.71	0.3	0.4	1.0
b6	13	0.470	0.41	0.46	0.63	0.6	1.0	2.5
b7	14	0.653	0.25	0.33	0.57	0.4	0.8	2.5

PROPOSED MAJOR BASIN RUNOFF SUMMARY

BASIN	DESIGN POINT	AREA (ac)	C _s	C _u	C ₁₀₀	Q _s (CFS)	Q _u (CFS)	Q ₁₀₀ (CFS)
A	a	5.334	0.44	0.49	0.68	5.9	9.2	23.0
B	b	1.787	0.41	0.46	0.64	2.0	3.1	8.1

- Legend**
- 5000--- EXISTING CONTOURS
 - 5000— PROPOSED CONTOURS
 - PROPERTY LINE
 - - - SUB-BASIN DELINEATION
 - - - PROPOSED MAJOR BASIN DELINEATION
 - - - 100-YEAR FLOODPLAIN LIMITS
 - ← FLOW ARROW

- ▲ DESIGN POINT
- ▲ DENOTES BASIN DESCRIPTION
 A DENOTES BASIN ID
 X.XX DENOTES BASIN AREA (ACRES)
 .YY DENOTES 5-YR COEFFICIENT
 .ZZ DENOTES 100-YR COEFFICIENT
 WW DENOTES % IMPERVIOUS

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JOB NUMBER: 13-100,442
 DATE: 03.18.13
 DESIGNED BY: C. PARKER
 DRAWN BY: C. STONE
 CHECKED BY: CDP/KC
 APPROVED BY: CDP

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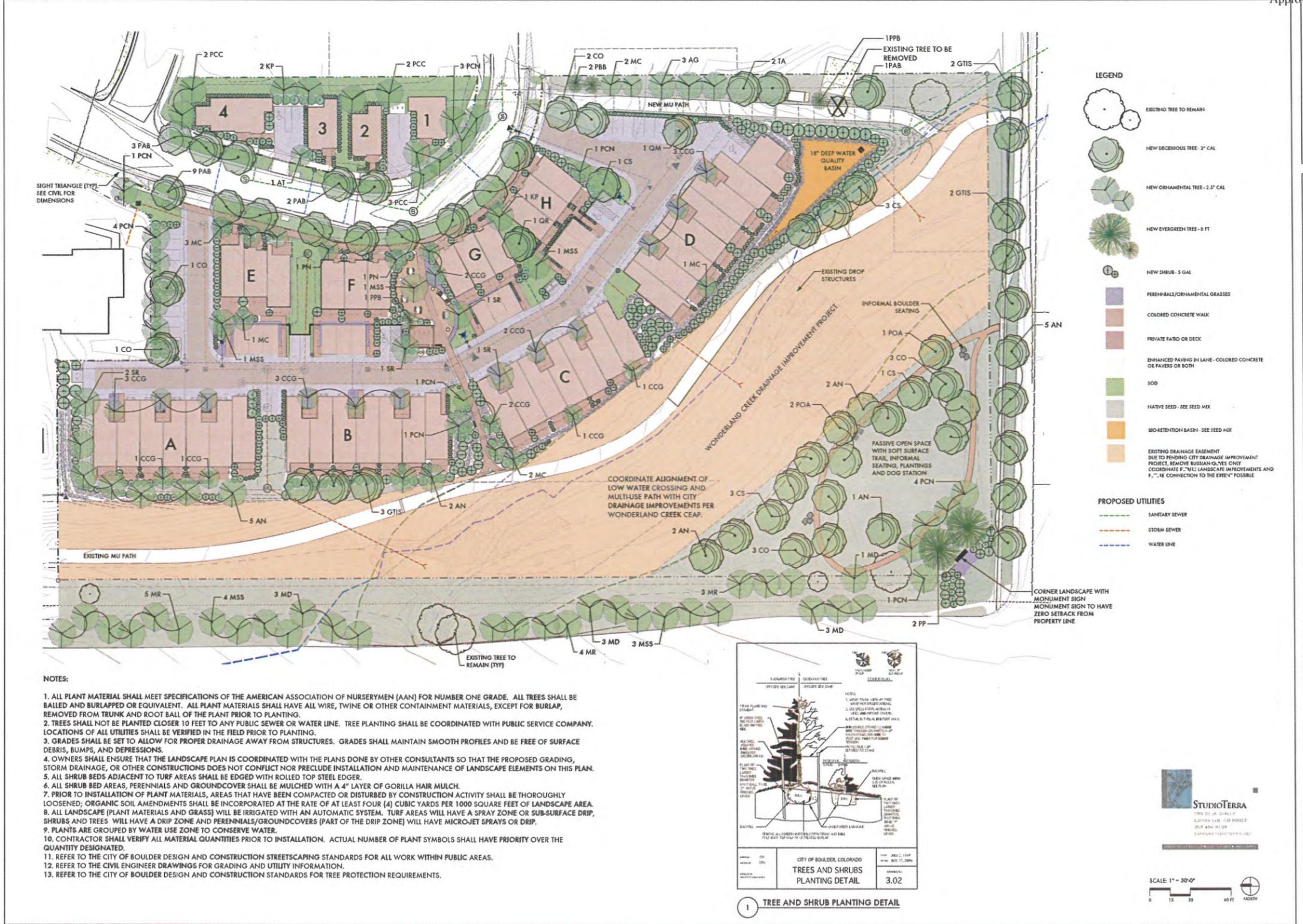
NOTICE TO CONTRACTOR
 Review of these documents constitutes acceptance of the information contained herein for the purpose of providing a professional seal and signature to the documents. It is the responsibility of the contractor to verify the accuracy of the information and to ensure that the information is used for the intended purpose. The contractor shall be responsible for any errors or omissions in the documents and for any consequences resulting therefrom. This notice shall be a condition of the contractor's agreement to provide services under these documents.

Drawing Issue	Date
Site Plan Review	5/13/2013
S.P.R. Resubmittal 1	5/22/2013
S.P.R. Resubmittal 2	6/17/2013
S.P.R. Resubmittal 3	7/12/2013

SITE PLAN REVIEW
 NOT FOR CONSTRUCTION
 Seal

DRAINAGE EXHIBIT (SUB-BASINS)

DR-2



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NOTICE DUTY OF COOPERATION

Planner of these records...
The design and construction of this project...
The design and construction of this project...
The design and construction of this project...

Drawing Issue	Date
Site Plan Review	3/18/2013
Site Plan Resubmitted	4/29/2013
Site Plan Resubmitted	6/13/2013
Site Plan Correction	7/12/2013

Seal

Landscape Plan

L1.0

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Wonderland Creek Townhomes
Lot 2 Manor Care Subdivision - Boulder, Colorado 80301

RETIRE DUTY OF COOPERATION
The owner of these townhomes covenants to cooperate with the architect, engineer, planner and contractor in connection with the design and construction of the townhomes. The owner shall provide all necessary information and approvals for the design and construction of the townhomes. The owner shall also provide all necessary information and approvals for the design and construction of the townhomes. The owner shall also provide all necessary information and approvals for the design and construction of the townhomes.

Drawing Issue	Date
Site Plan Review	3/18/2013
Site Plan Resubmittal	4/28/2013
Site Plan Resubmittal	6/13/2013

Seal

Common Amenity Area

L2.0



2 CHARLIE TABLE - LANDSCAPE FORMS



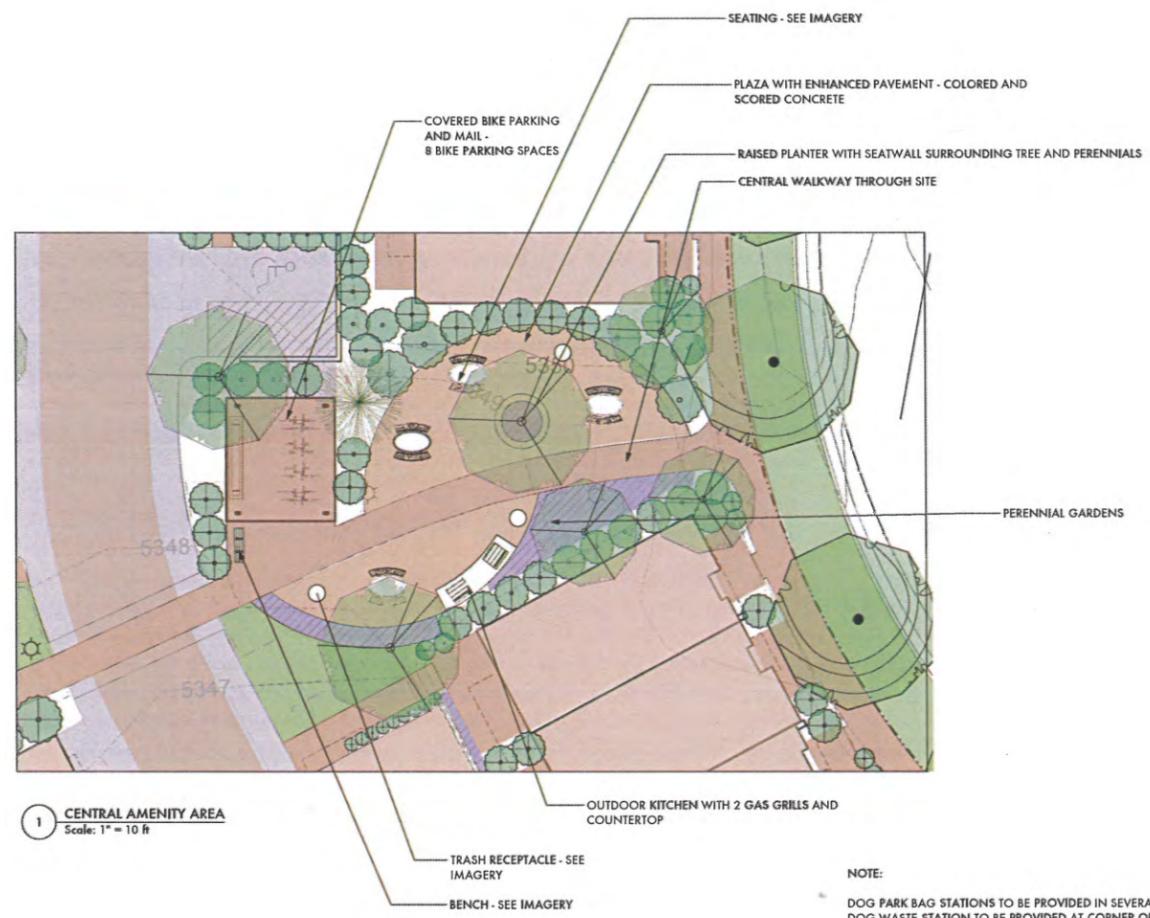
3 CHASE PARK BENCH - LANDSCAPE FORMS



4 CHASE PARK TRASH RECEPTACLE - LANDSCAPE FORMS



5 BUILT-IN GAS GRILL AND COUNTERTOP - EXAMPLE



1 CENTRAL AMENITY AREA
Scale: 1" = 10 ft

NOTE:
DOG PARK BAG STATIONS TO BE PROVIDED IN SEVERAL LOCATIONS THROUGHOUT SITE.
DOG WASTE STATION TO BE PROVIDED AT CORNER OPEN SPACE AREA - KALMIA AND 28TH STREET



6 RAISED PLANTER WITH SEATWALL - EXAMPLES





- LEGEND**
- ASH
 - COTTONWOOD
 - CRACK WILLOW
 - RUSSIAN OLIVE
 - SIBERIAN ELM
 - OTHER -
COYOTE WILLOW
CHOCHECHERRY
CRABAPPLE
HAWTHORNE
ROCKY MTN MAPLE
SPRUCE

NOTE: SEE FULL TREE INVENTORY REPORT FOR SPECIES AND HEALTH ASSESSMENT OF EACH IDENTIFIED TREE.
OWNER TO REMOVE ALL RUSSIAN OLIVES.
SEE L1.0 FOR EXISTING TREES TO REMAIN.



SCALE: 1" = 30'-0"
0 15 30 45 60 75 90 105 120 135 150 165 180 195 210 225 240 255 270 285 300
NORTH

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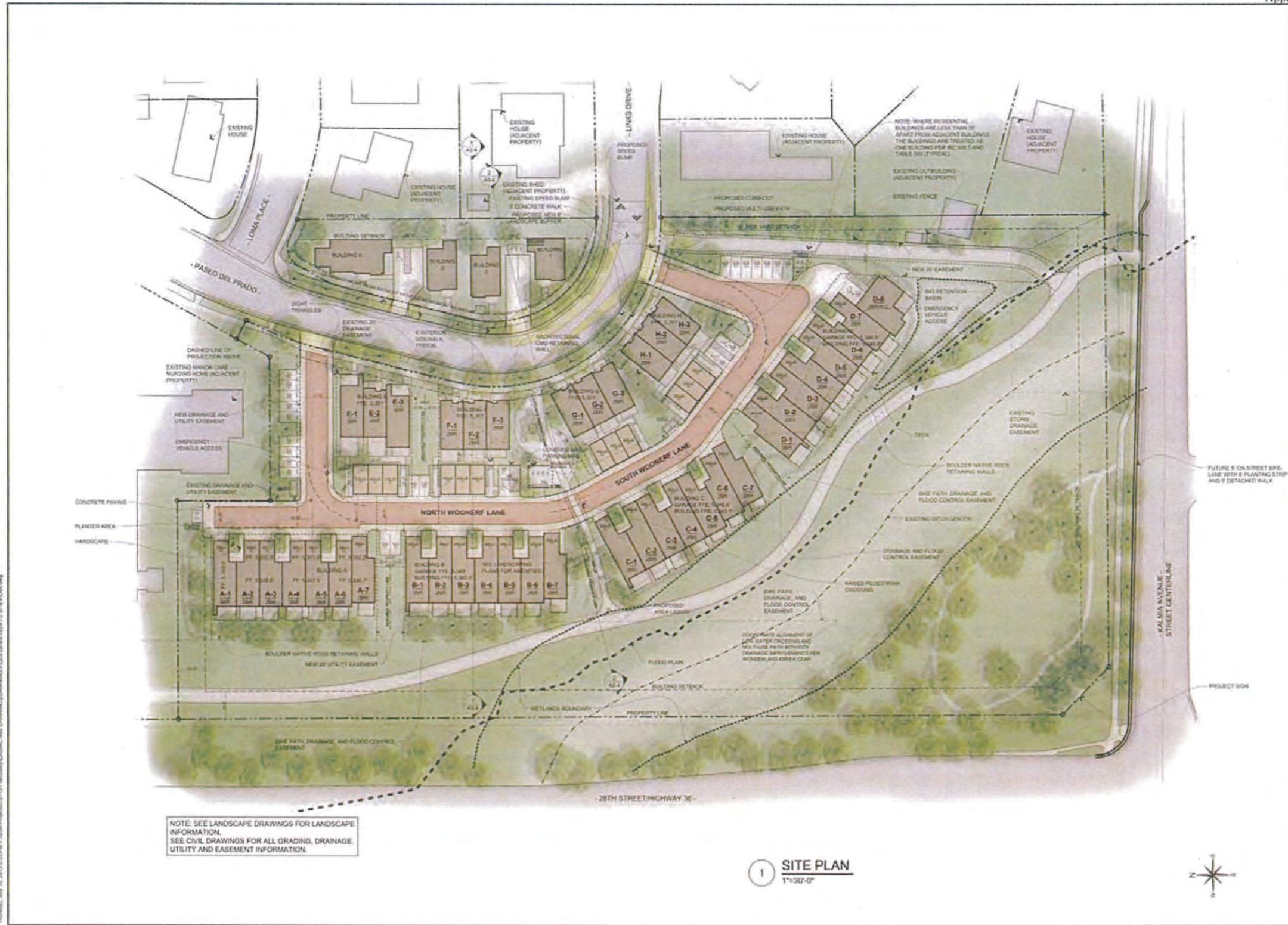
NOTICE DUTY OF COOPERATION
The undersigned hereby certifies that the information contained herein was obtained from a visual inspection of the site and from a review of the site plan and other documents submitted in connection with the application for the subdivision. The undersigned is not a professional engineer or architect and does not warrant the accuracy or completeness of the information contained herein. The undersigned is not responsible for the accuracy or completeness of the information contained herein. The undersigned is not responsible for the accuracy or completeness of the information contained herein. The undersigned is not responsible for the accuracy or completeness of the information contained herein.

Drawing Issue	Date
Site Plan Review	3/18/2013
Site Plan Resubmit	4/29/2013
Site Plan Resubmit	6/13/2013

Seal

Tree Inventory Plan

L4.0



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Larkin Jewell, P.E., P.L.C.

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REVISIONS

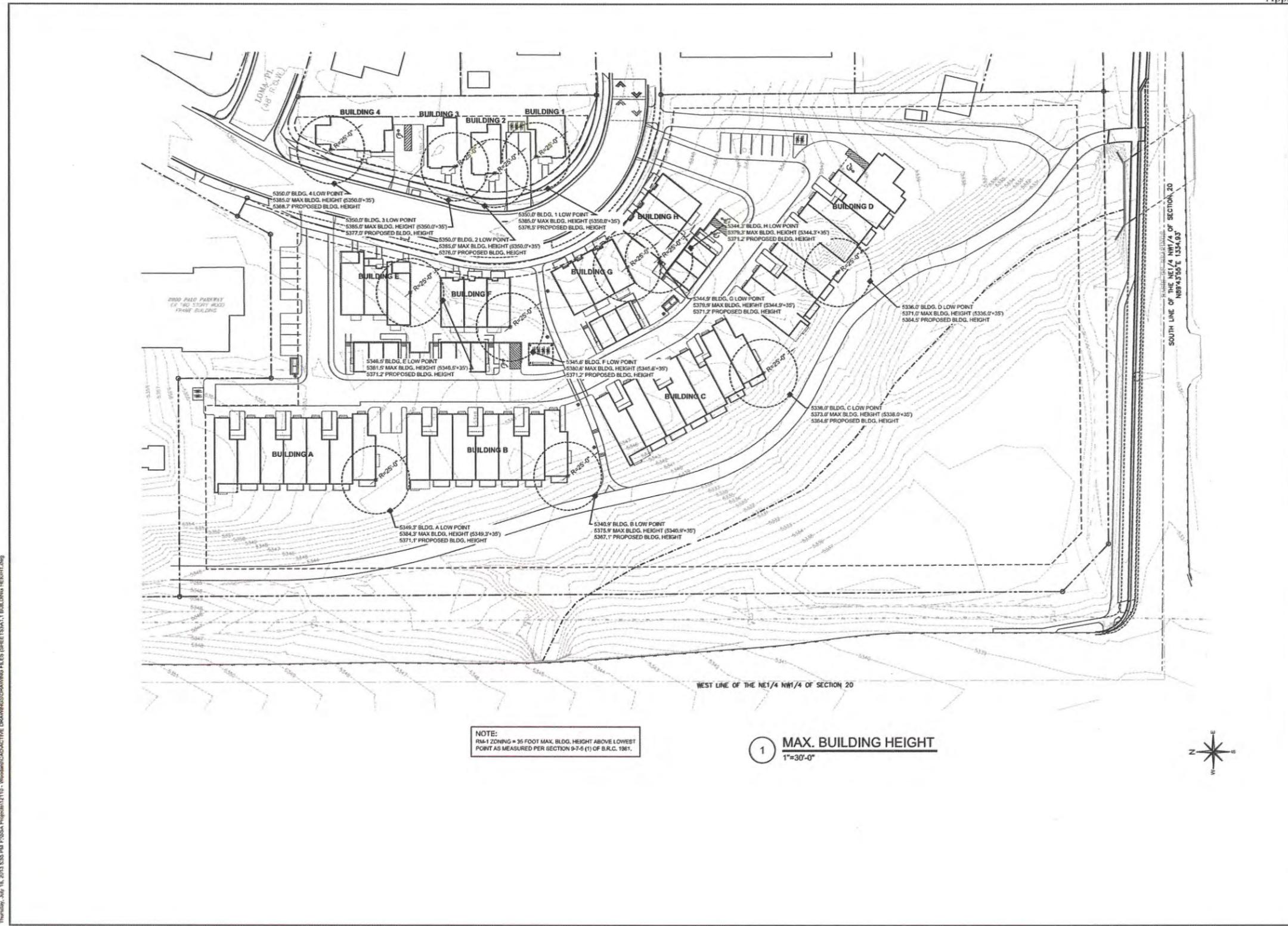
NO.	DATE	DESCRIPTION
1	1/18/2017	ISSUED FOR PERMIT
2	2/15/2017	REVISIONS TO PERMIT
3	3/15/2017	REVISIONS TO PERMIT
4	4/15/2017	REVISIONS TO PERMIT

Drawing Title	Date
Site Plan	1/18/2017
S.P.R. Foundation	6/20/15
S.P.R. Foundation	6/15/15
S.P.R. Foundation	1/22/2015

Scale

Site Plan

A1.0



NOTE:
RM-1 ZONING = 35 FOOT MAX. BLDG. HEIGHT ABOVE LOWEST POINT AS MEASURED PER SECTION 9-7-6 (1) OF B.L.C. 1981.

1 MAX. BUILDING HEIGHT
1"=30'-0"

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Linda, Executive Director

Wonderland Creek Townhomes
Lot 2 Manor Care Subdivision - Boulder, Colorado 80301

ARTICULARITY OF COOPERATION
Alliance of three structural engineers...
The engineer shall be responsible for all...
The engineer shall be responsible for all...
The engineer shall be responsible for all...

Drawing Issue	Date
Site Plan Review	3/16/2013
S.P.R. Resubmittal 1	5/22/2013
S.P.R. Resubmittal 2	6/17/2013
S.P.R. Resubmittal 3	7/12/2013

Seal

Building Heights

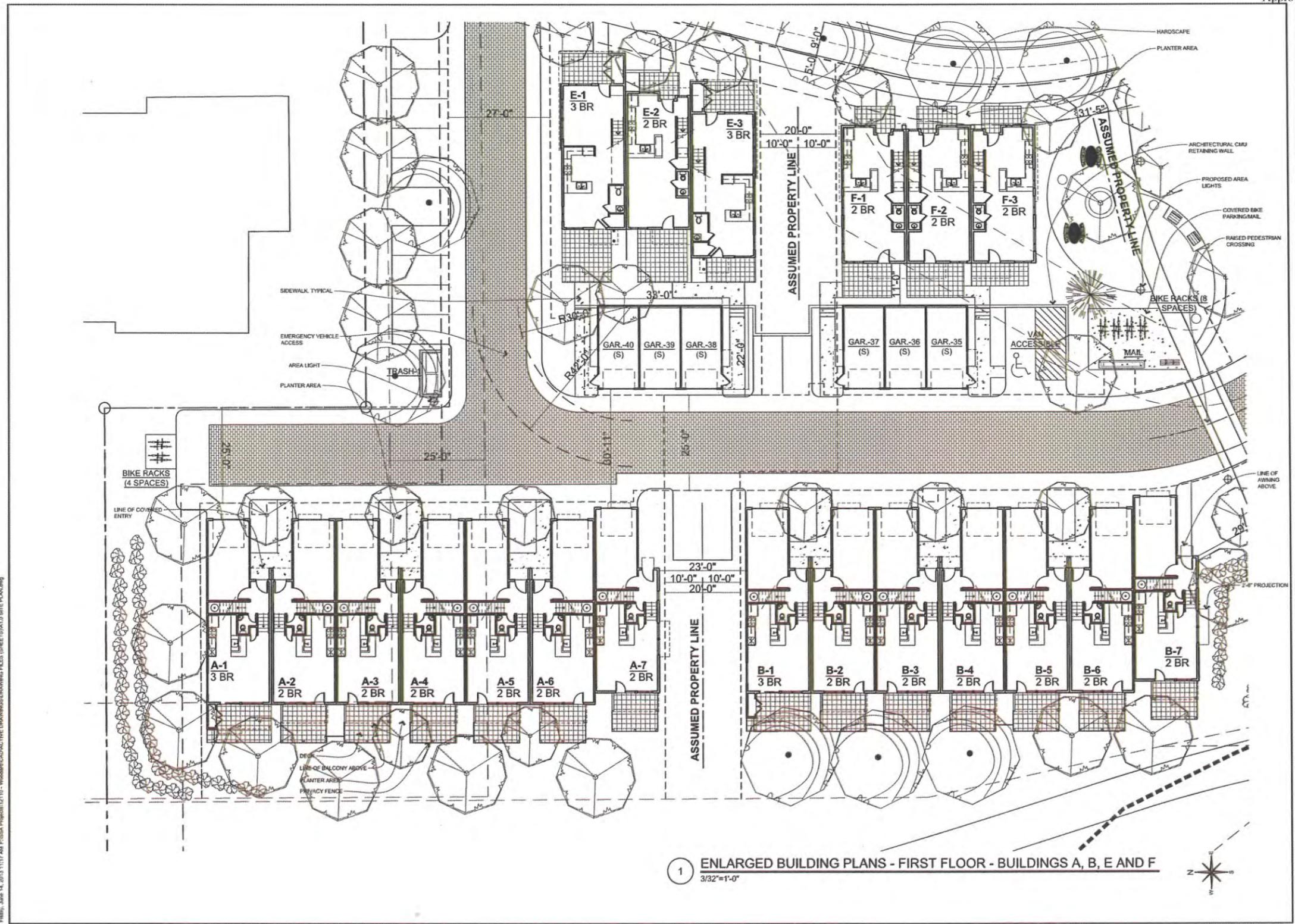
A1.1

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FileNo. June 14, 2013 11:17 AM P:\SSA Projects\1210 - Wonderland\ACTIVE DRAWINGS\DRAWING FILES (SHEET)\A2.0 SITE PLAN.dwg



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Architects of these drawings warrant that the drawings were prepared by them or under their direct supervision and that they are a true and correct copy of the original drawings as shown on the drawings. The drawings are provided for the use of the contractor and the contractor shall be responsible for all construction and shall verify the accuracy of the drawings. The drawings are provided for the use of the contractor and the contractor shall be responsible for all construction and shall verify the accuracy of the drawings. The drawings are provided for the use of the contractor and the contractor shall be responsible for all construction and shall verify the accuracy of the drawings.

Drawing Issue	Date
Site Plan Revision	3/19/2013
S.P.R. Resubmittal	5/20/13
S.P.R. Resubmittal 2	6/17/2013

Seal

Enlarged Building Plans
First Floor

A2.0

1 ENLARGED BUILDING PLANS - FIRST FLOOR - BUILDINGS A, B, E AND F
3/32"=1'-0"



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Lot 2 Manor Care Subdivision - Boulder, Colorado 80301

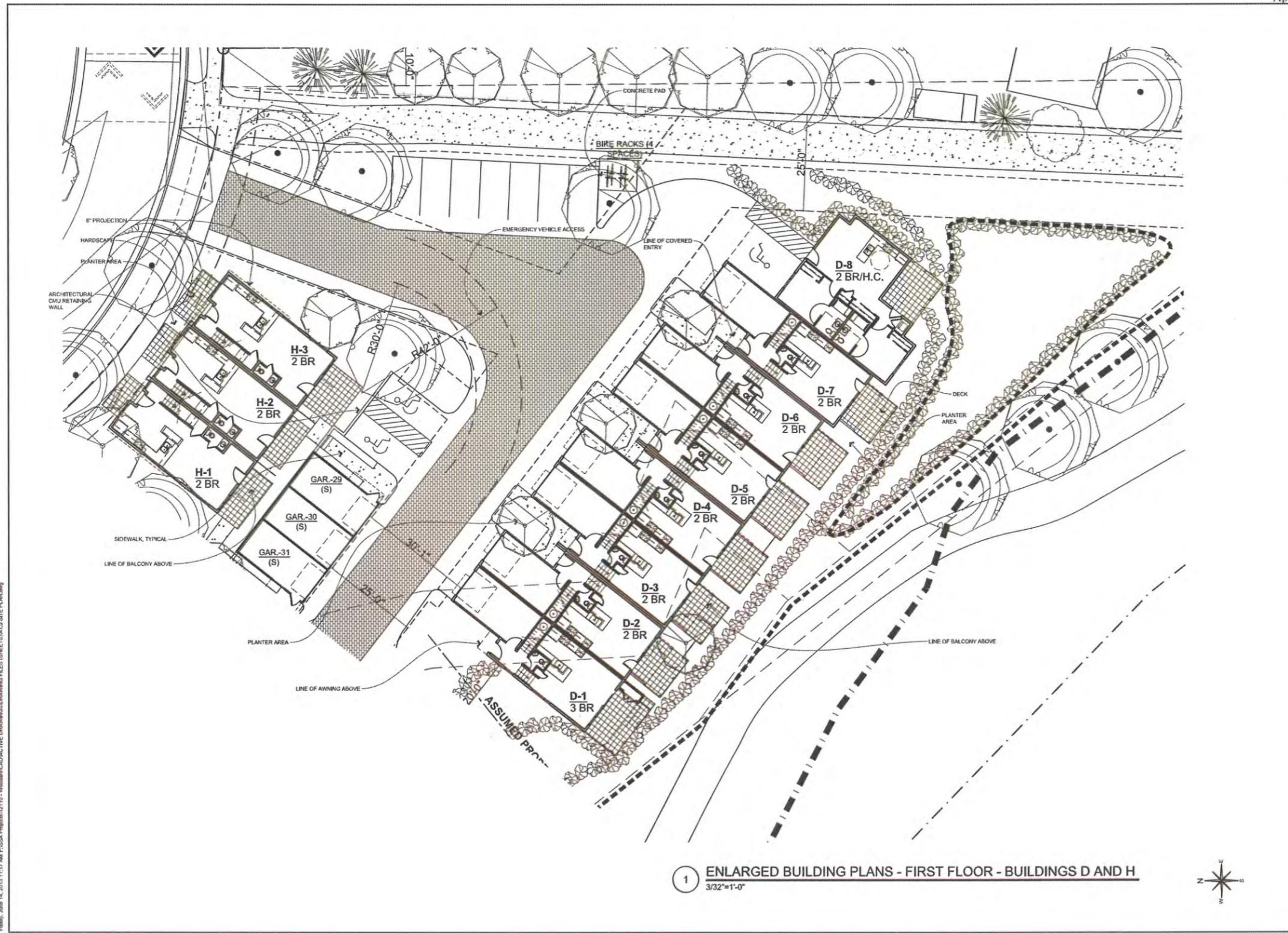
NOTICE OF OPERATOR
The undersigned hereby certifies that the information contained herein is true and correct to the best of their knowledge and belief, and that they are duly qualified to perform the duties of an operator under the provisions of the Colorado Revised Statutes, Title 10, Article 1, Section 10-1-101, C.R.S. The undersigned further certifies that they are not under any legal disability and are not subject to any suspension or revocation of their license to operate under the provisions of the Colorado Revised Statutes, Title 10, Article 1, Section 10-1-101, C.R.S. The undersigned further certifies that they are not under any legal disability and are not subject to any suspension or revocation of their license to operate under the provisions of the Colorado Revised Statutes, Title 10, Article 1, Section 10-1-101, C.R.S.

Drawing Issue	Date
Site Plan Review	3/16/2013
S.P.R. Re-submittal	5/20/13
S.P.R. Re-submittal 2	6/17/2013

Seal

Enlarged Building Plans
First Floor

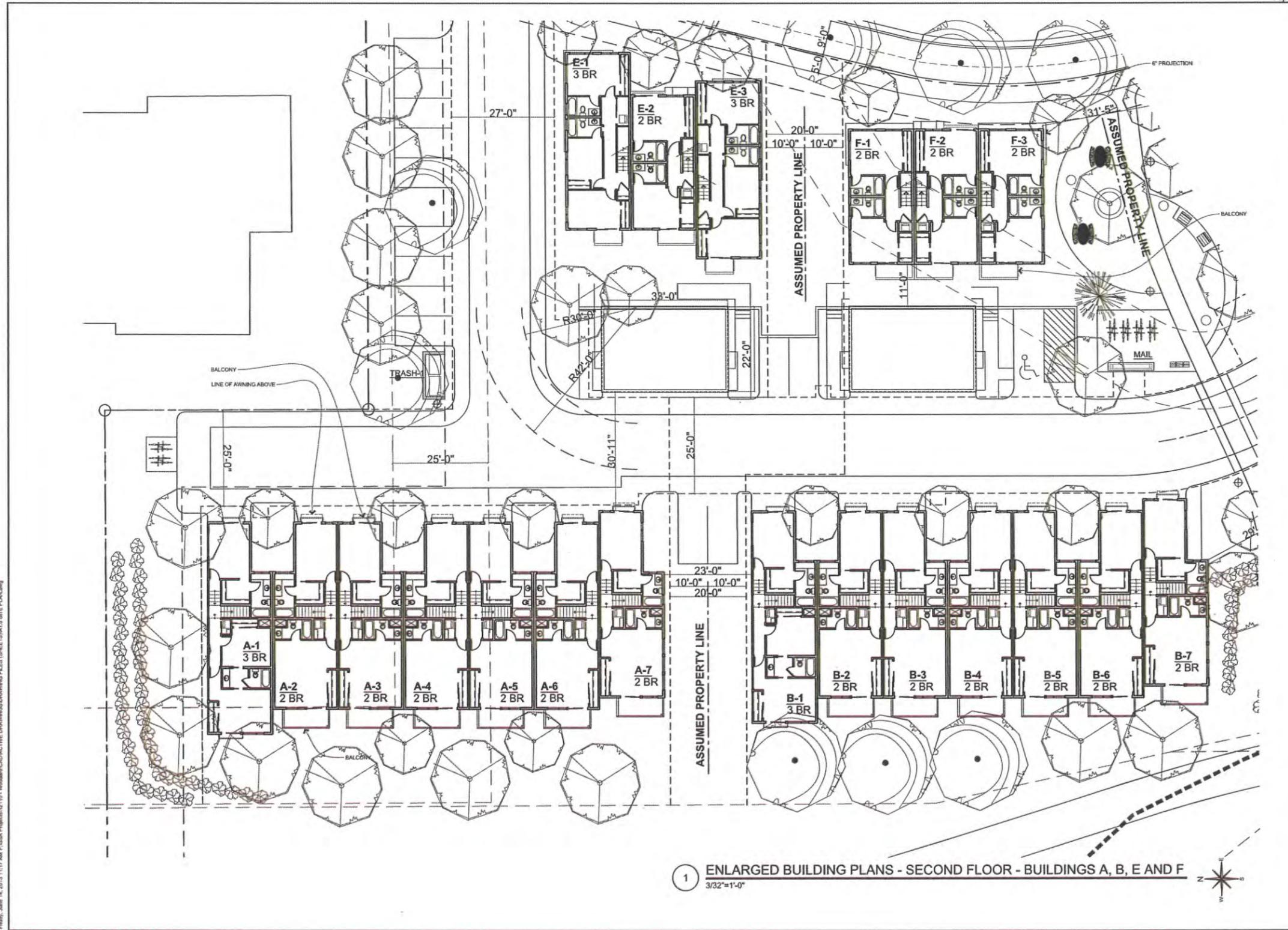
A2.2



1 ENLARGED BUILDING PLANS - FIRST FLOOR - BUILDINGS D AND H
3/32"=1'-0"

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File: June 14, 2013 11:17 AM F:\BDA Projects\10110 - Wonderland\CONDUCTIVE DRAWINGS\DRAWING FILES (SHEET)\A.0 SITE PLAN.dwg



1 ENLARGED BUILDING PLANS - SECOND FLOOR - BUILDINGS A, B, E AND F
3/32"=1'-0"



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 Lot 2 Manor Care Subdivision - Boulder, Colorado 80301

NOTICE OF COOPERATION
 I, the undersigned, hereby certify that the information contained herein is true and correct to the best of my knowledge and belief, and that I am a duly licensed professional engineer in the State of Colorado. I understand that this information is being used for the purpose of obtaining a building permit, and I agree to hold the undersigned harmless for any and all consequences that may result from the use of this information. I further agree to hold the undersigned harmless for any and all consequences that may result from the use of this information.

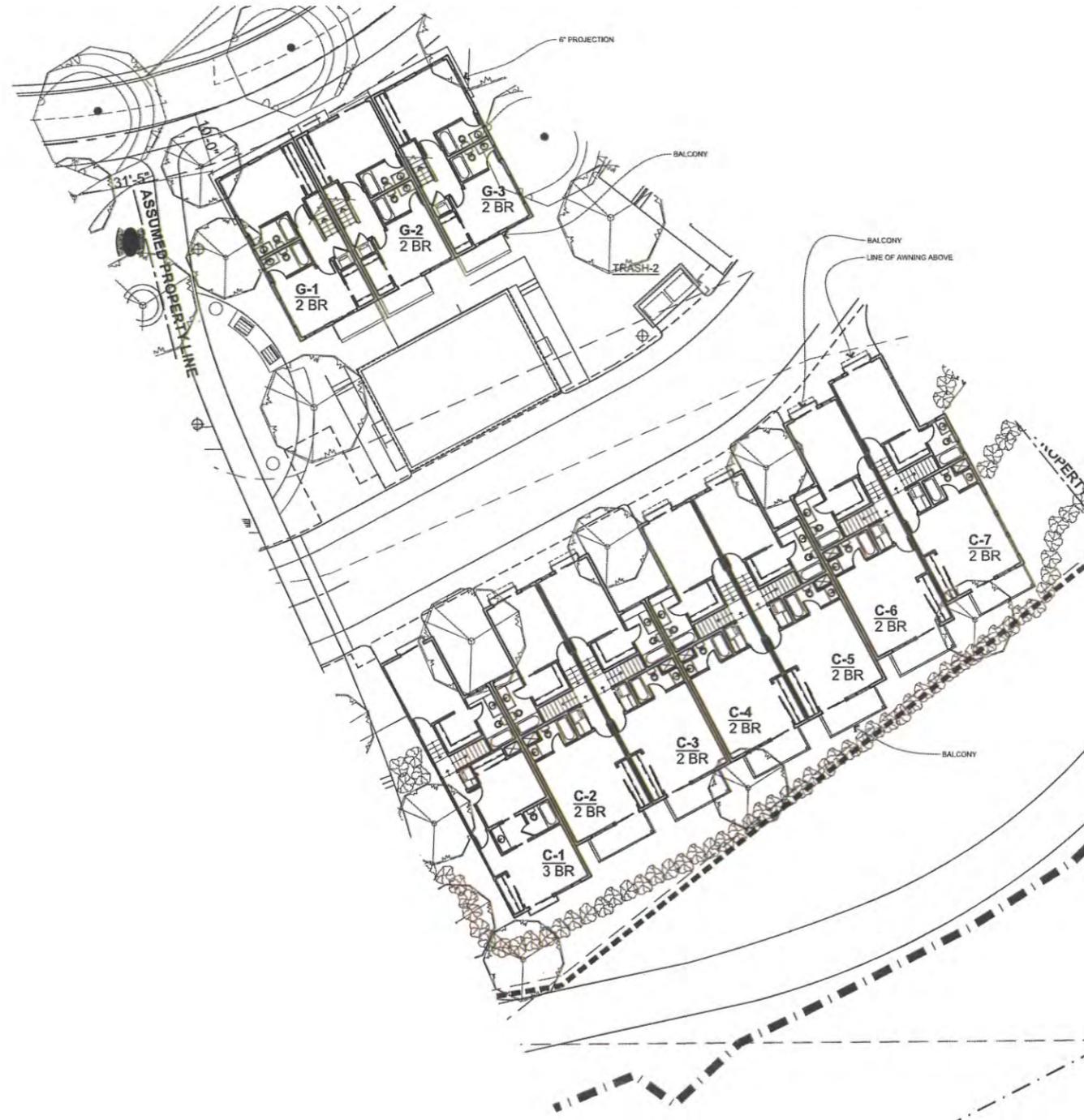
Drawing Issue	Date
Site Plan Review	5/18/2013
S.P.R. Resubmittal	5/22/13
S.P.R. Resubmittal 2	6/17/2013

Seal

Enlarged Building Plans
 Second Floor

A2.3

File: June 14, 2013 11:17 AM P:\SSA Projects\12110 - Wonderland\ACTIVE DRAWINGS\DRAWING FILES (SHEET)\A2.0 SITE PLAN.dwg



1 ENLARGED BUILDING PLANS - SECOND FLOOR - BUILDINGS C AND G
3/32"=1'-0"



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 Lot 2 Manor Care Subdivision - Boulder, Colorado 80301

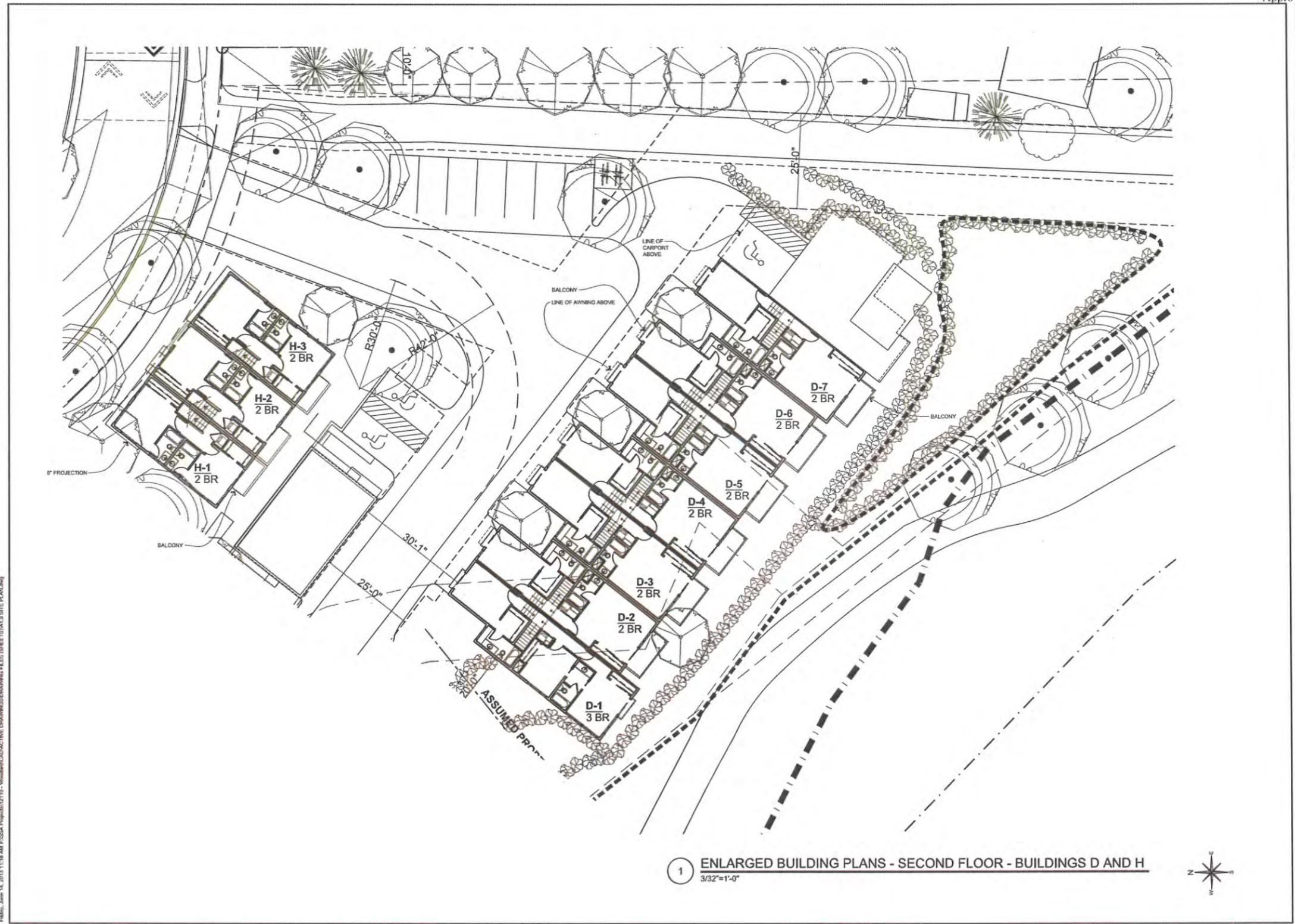
NOTICE OF PROFESSIONAL RESPONSIBILITY
 I, the undersigned, being a duly licensed and registered professional architect under the laws of the State of Colorado, do hereby certify that I am the author of the design and construction documents herein, that I am a duly licensed and registered professional architect under the laws of the State of Colorado, and that I am not providing any professional services in violation of the laws of the State of Colorado.

Drawing Status	Date
Site Plan Review	3/18/2013
C.P.R. Resubmittal 1	5/22/13
C.P.R. Resubmittal 2	6/17/2013

Seal

Enlarged Building Plans
 Second Floor

A2.4



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Wonderland Creek Townhomes
Lot 2 Manor Care Subdivision - Boulder, Colorado 80301

DISCLAIMER
The undersigned architect certifies that the drawings were prepared by the undersigned or under the direct supervision and control of the undersigned and that the undersigned is a duly licensed professional architect in the State of Colorado. The undersigned shall be responsible for all errors and omissions in the drawings and shall be held liable for the same. The undersigned shall not be responsible for any errors or omissions in the drawings prepared by others who are not under the direct supervision and control of the undersigned. The undersigned shall not be responsible for any errors or omissions in the drawings prepared by others who are not under the direct supervision and control of the undersigned. The undersigned shall not be responsible for any errors or omissions in the drawings prepared by others who are not under the direct supervision and control of the undersigned.

Drawing Issue	Date
Site Plan Revision	3/16/2013
S.P.R. Resubmittal	5/20/13
S.P.R. Resubmittal 2	6/17/2013

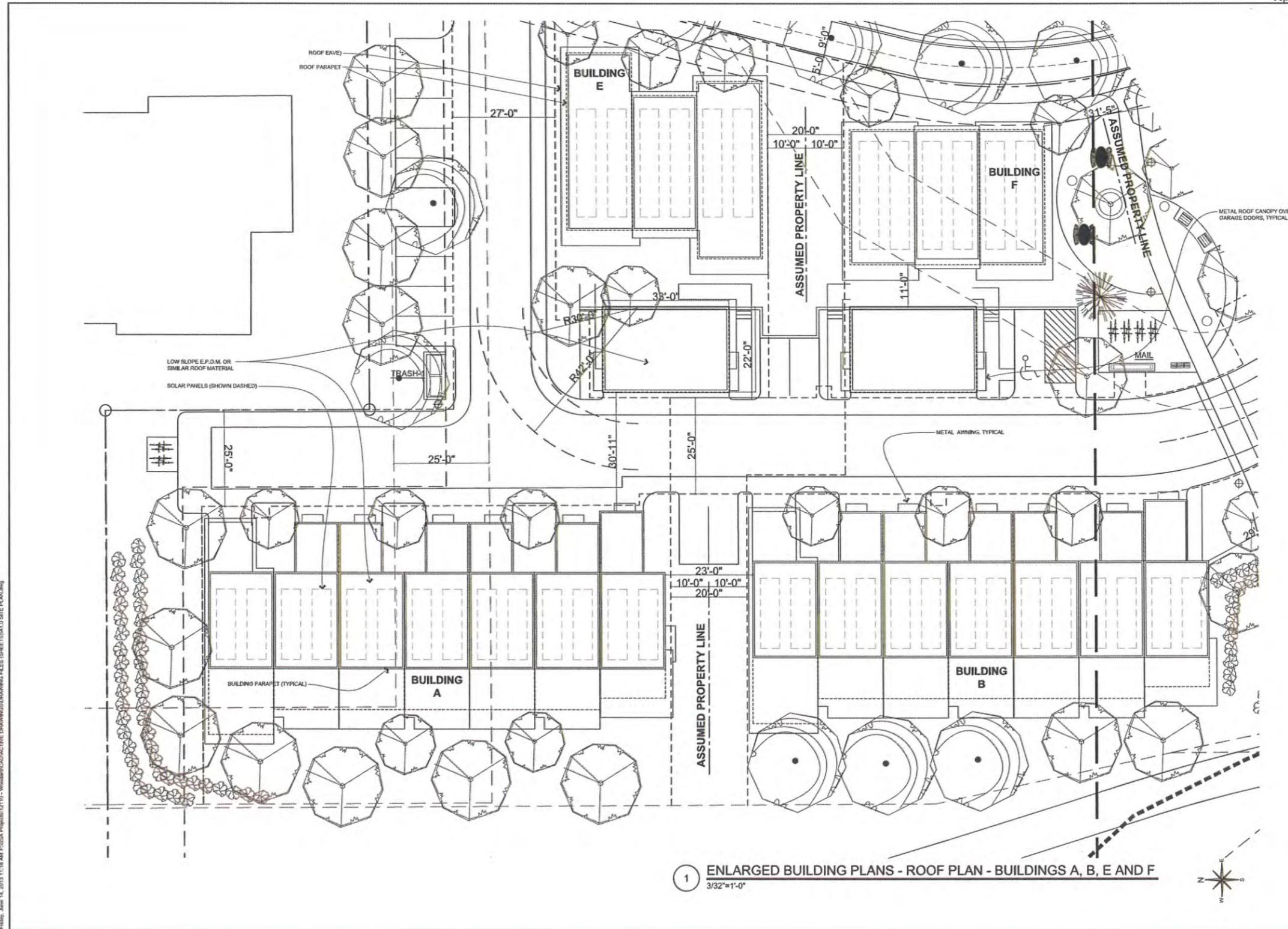
Seal

Enlarged Building Plans
Second Floor

A2.5

1 ENLARGED BUILDING PLANS - SECOND FLOOR - BUILDINGS D AND H
3/32"=1'-0"

FileNo: June 14, 2013 11:19 AM P:\SSA Projects\12110 - Wonderland\ACTIVE DRAWINGS\DRAWING FILES\REVISIONAL SITE PLAN.dwg



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Wonderland Creek Townhomes
Lot 2 Manor Care Subdivision - Boulder, Colorado 80301

NOTICE OF CONTRACTORS
The undersigned hereby certifies that the drawings herein were prepared by me or under my direct supervision and that I am a duly licensed professional engineer in the State of Colorado. I am not providing any services in this project which require a license in another profession. I am not providing any services in this project which require a license in another profession. I am not providing any services in this project which require a license in another profession.

Drawing Title	Date
Site Plan Review	01/16/2013
S.F.R. Residential	5/20/2013
S.F.R. Residential 2	6/17/2013

Seal

Enlarged Building Plans
Roof Plan

A2.6

1 ENLARGED BUILDING PLANS - ROOF PLAN - BUILDINGS A, B, E AND F
3/32"=1'-0"

File: June 14, 2013 11:18 AM P:\SSA Projects\12110 - Wonderland\ACTIVE DRAWINGS\DRAWING FILES (SHEETS)\A2 SITE PLAN.dwg

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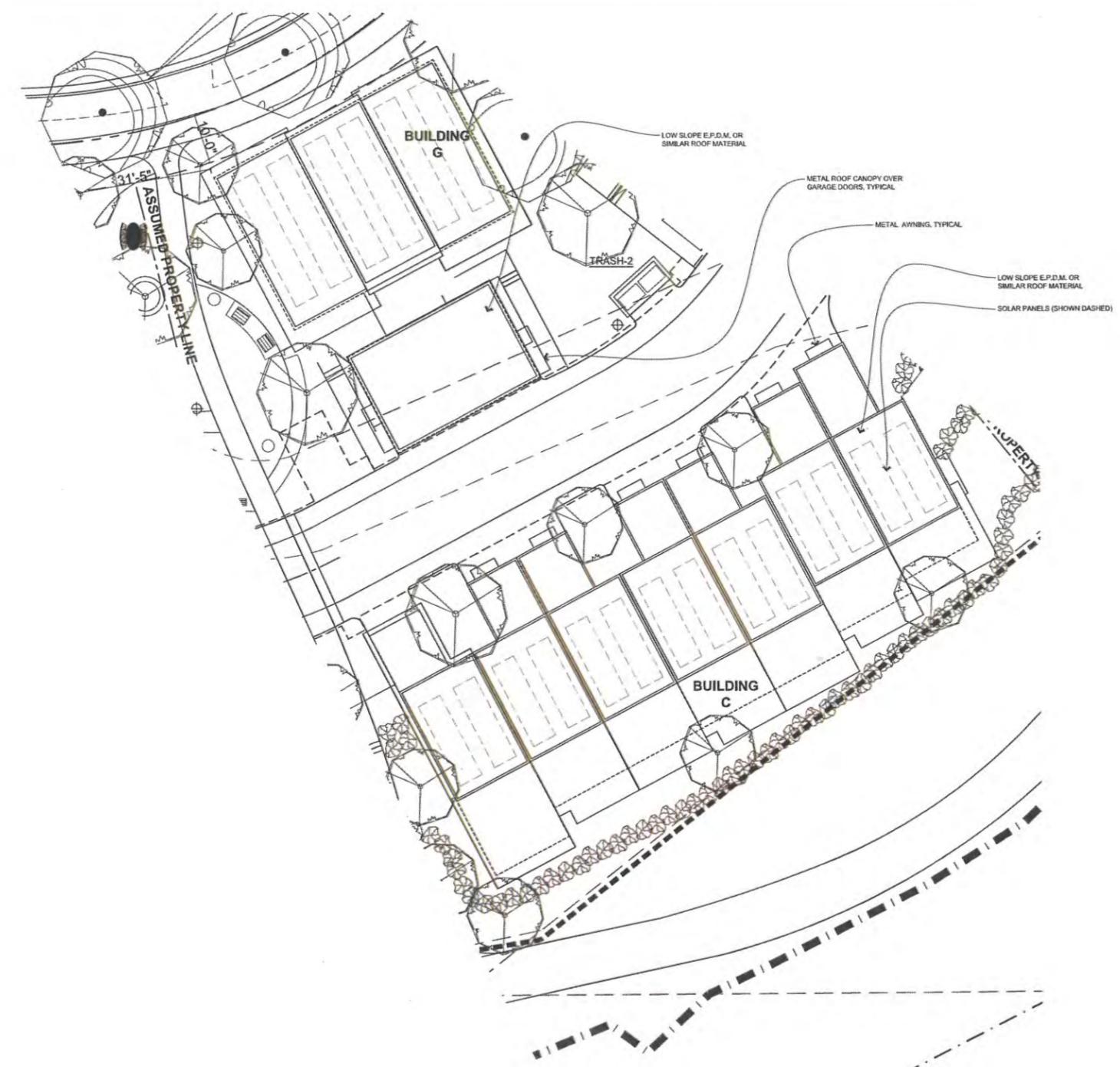
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Drawing Issue	Date
Site Plan Review	5/18/2013
S.P.R. Resubmittal 1	5/20/13
S.P.R. Resubmittal 2	6/17/2013

Seal

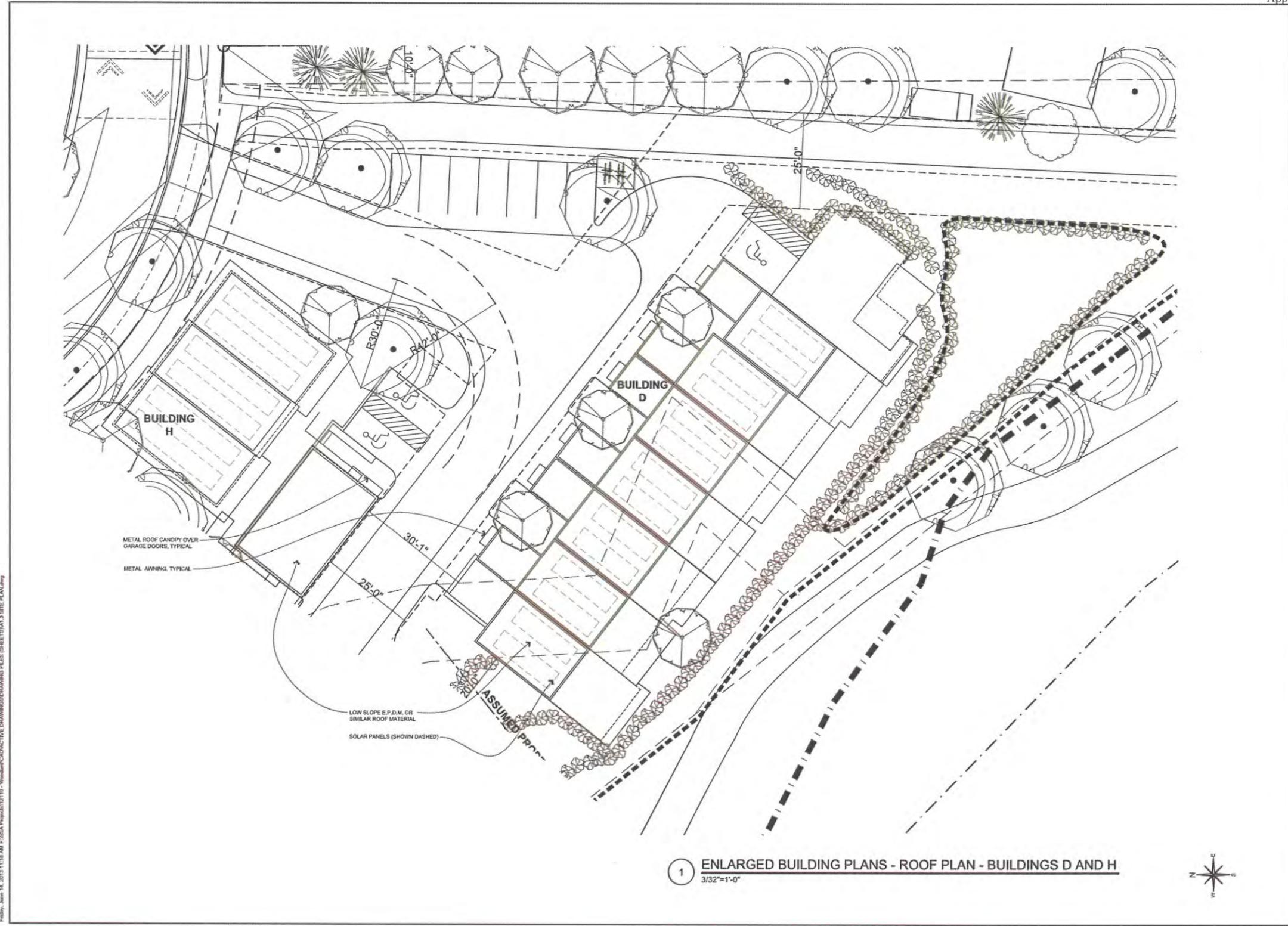
Enlarged Building Plans
Roof Plan

A2.7



1 ENLARGED BUILDING PLANS - ROOF PLAN - BUILDINGS C AND G
3/32"=1'-0"

File: June 14, 2013 11:18 AM P:\SSA Projects\10170 - Wonderland\ACTIVE DRAWINGS\DRAWING FILES (SHEET)ALO SITE PLAN.dwg



Friday, June 14, 2013 11:18 AM P:\GIS\ACTIVE DRAWING\DRAWING FILES\DRG\TOWNHOMES\A2.8 SITE PLAN.dwg

1 ENLARGED BUILDING PLANS - ROOF PLAN - BUILDINGS D AND H
3/32"=1'-0"

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NOTICE OF CONSTRUCTION

Notice of Construction is hereby given that the above described project is being constructed in accordance with the approved plans and specifications filed herewith and that the project is being constructed in accordance with the approved plans and specifications filed herewith. The project is being constructed in accordance with the approved plans and specifications filed herewith. The project is being constructed in accordance with the approved plans and specifications filed herewith.

Drawing Issue	Date
Site Plan Review	3/18/2013
S.P.R. Resubmittal	5/22/2013
S.P.R. Resubmittal 2	6/17/2013

Seal

Enlarged Building Plans
Roof Plan

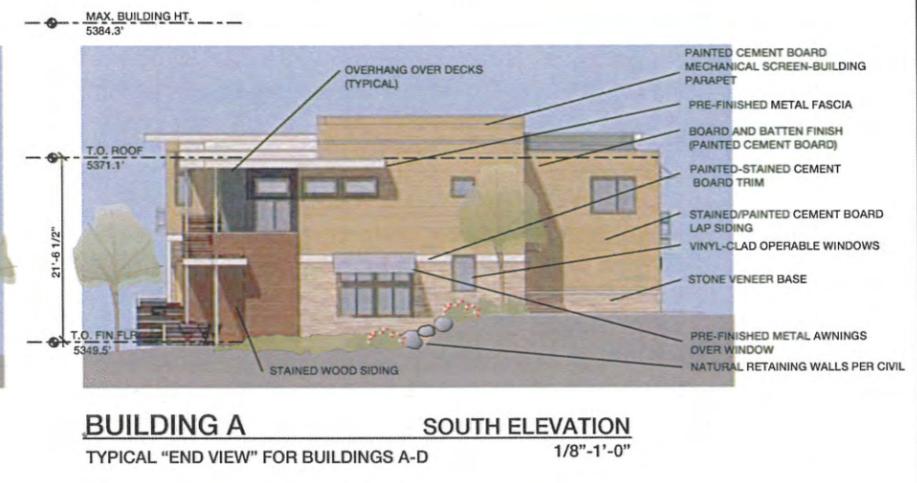
A2.8

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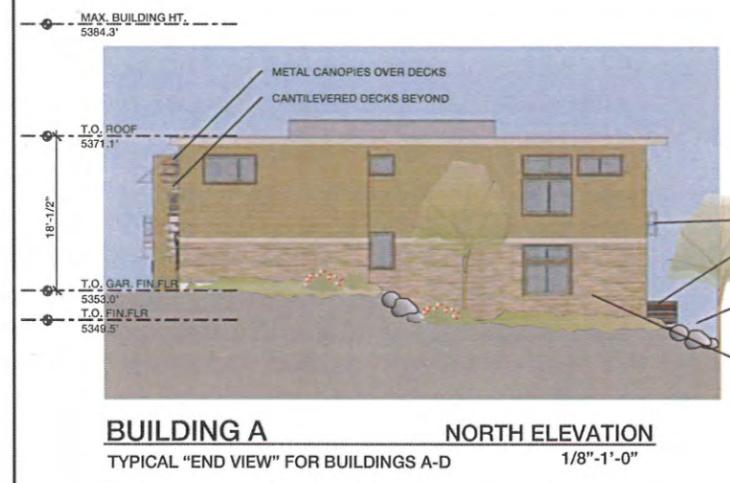
Wonderland Creek Townhomes
Lot 2 Manor Care Subdivision - Boulder, Colorado 80301



BUILDING A WEST ELEVATION
1/8"-1'-0"



BUILDING A SOUTH ELEVATION
TYPICAL "END VIEW" FOR BUILDINGS A-D
1/8"-1'-0"



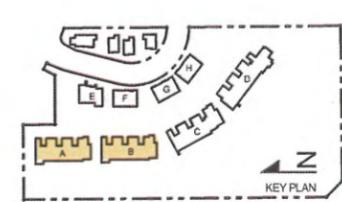
BUILDING A NORTH ELEVATION
TYPICAL "END VIEW" FOR BUILDINGS A-D
1/8"-1'-0"



BUILDING A EAST ELEVATION
1/8"-1'-0"



BUILDING B WEST ELEVATION
NOTE: SEE BUILDING A FOR TYPICAL FINISH NOTES
1/8"-1'-0"



NOTICE OF CONVEYANCE
This document is a notice of conveyance for the property described herein. It is a public document and is subject to the provisions of the Colorado Real Estate Act. The information contained herein is for informational purposes only and does not constitute an offer of insurance or any other financial product. The information contained herein is not to be used for any other purpose. The information contained herein is not to be used for any other purpose. The information contained herein is not to be used for any other purpose.

Drawing Issue	Date
Site Plan Review	3/15/2013
S.P.R. Resubmitted	5/2/2013
S.P.R. Resubmitted 2	6/17/2013

Seal

Building Elevations

A3.0



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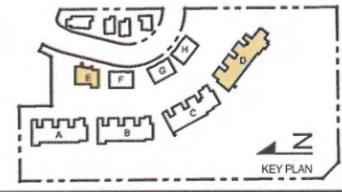
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Drawing Issue	Date
Site Plan Review	3/16/2013
S.P.R. Resubmitted	5/2/2013
S.P.R. Resubmitted 2	6/17/2013

Seal

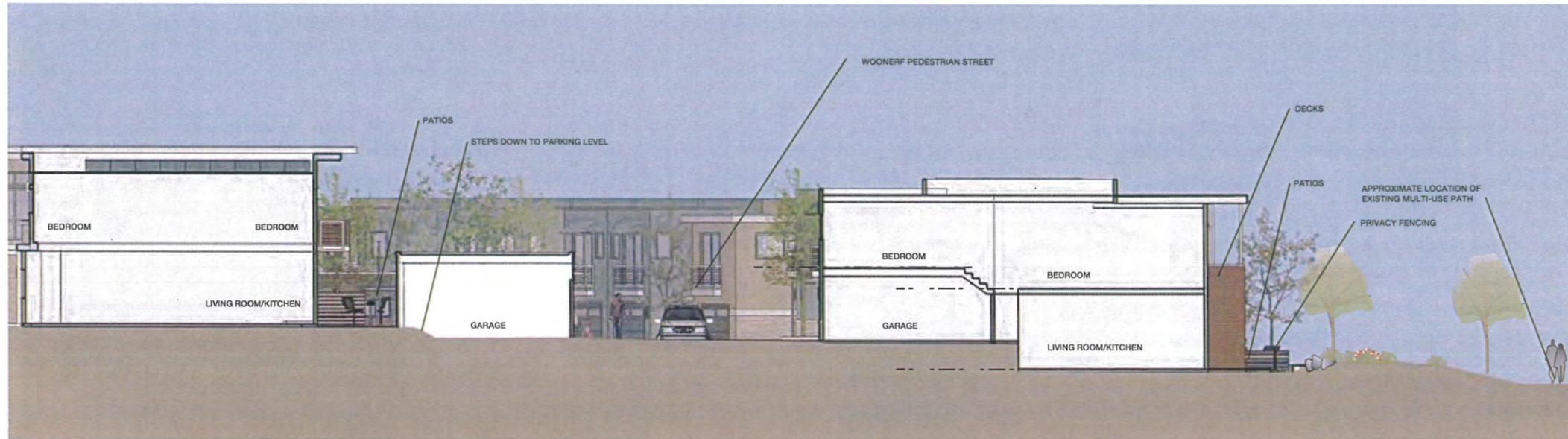
Building Elevations

A3.2

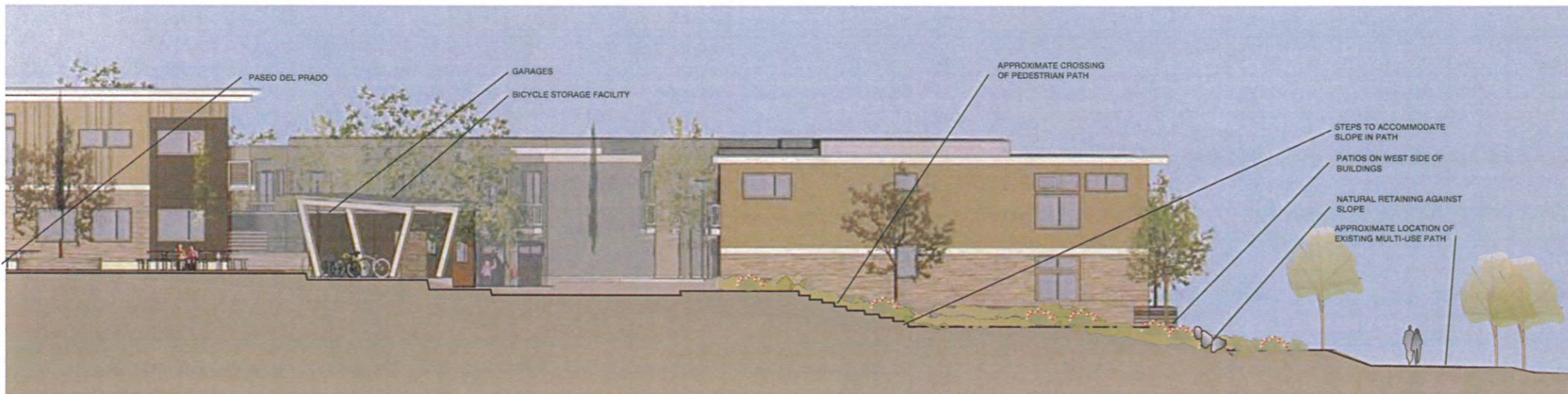


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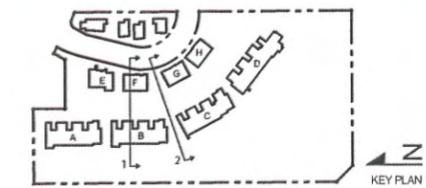
Wonderland Creek Townhomes
Lot 2 Manor Care Subdivision - Boulder, Colorado 80301



SITE SECTION-1
LOOKING SOUTH THROUGH BUILDINGS



SITE SECTION-2
LOOKING SOUTH AT PEDESTRIAN CROSSING



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Drawing Issue	Date
Site Plan Review	3/16/2013
S.P.R. Re-submittal	5/2/2013
S.P.R. Re-submittal 2	6/17/2013

Seal

Site Sections

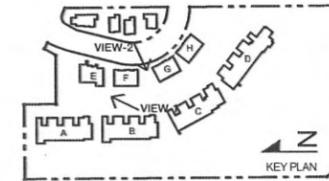
A3.4



PERSPECTIVE 1
VIEW OF TYPICAL PRIVATE COURTYARDS



PERSPECTIVE 2
VIEW OF PEDESTRIAN PATH THROUGH PROJECT



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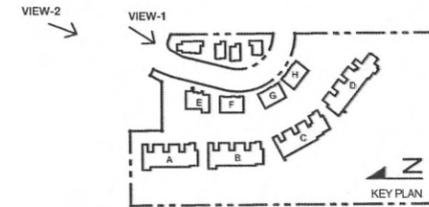
STATEMENT OF WORK
The design and plans are prepared and issued in accordance with the terms of the contract and the architect's design and construction services. The architect is not responsible for the construction of the project or for the performance of the contractor. The architect is not responsible for the construction of the project or for the performance of the contractor. The architect is not responsible for the construction of the project or for the performance of the contractor.

Drawing Issue	Date
Site Plan Revision	3/15/2013
S.P.R. Re-submittal	5/2/2013
S.P.R. Re-submittal 2	6/17/2013

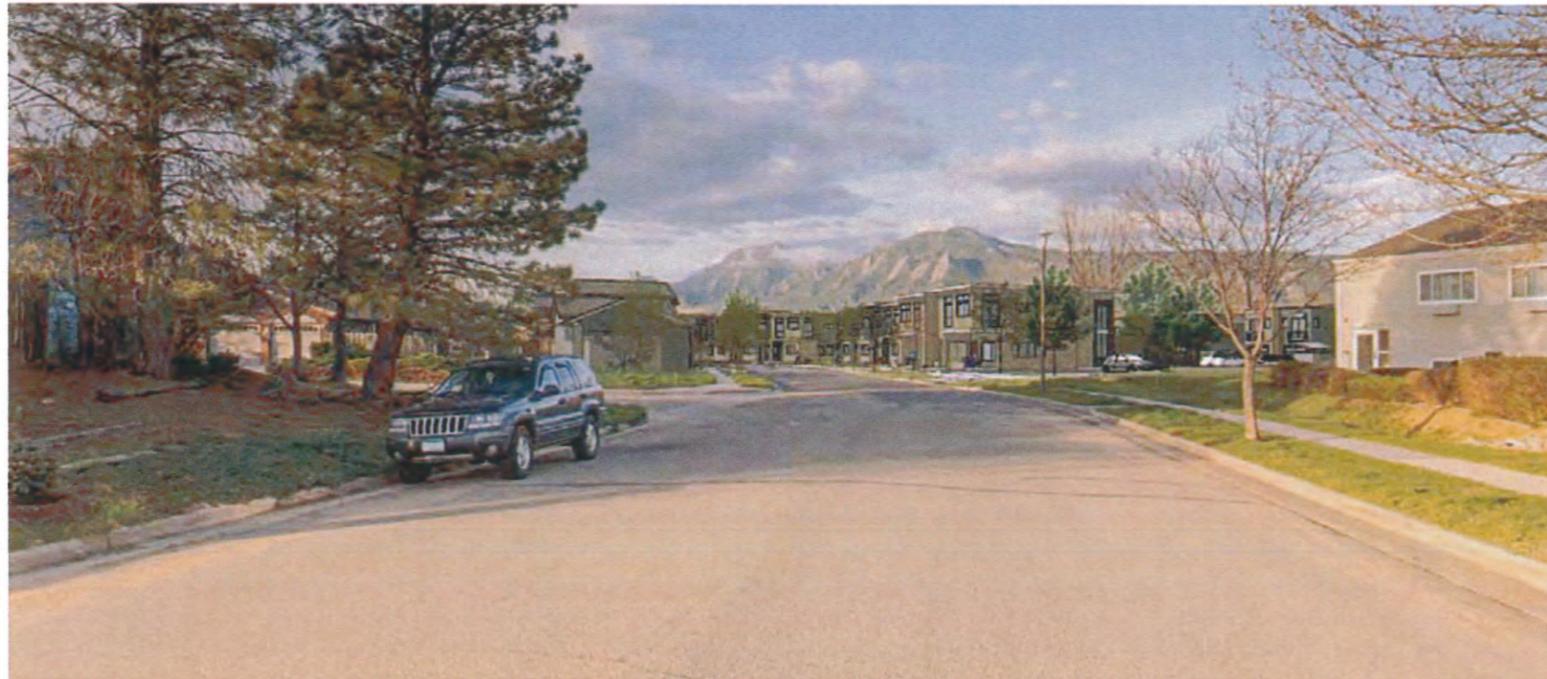
Seal

Building Elevations

A4.0



CONTEXT PERSPECTIVE 1



CONTEXT PERSPECTIVE 2

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Drawing Name	Date
Site Plan Revision	3/16/2013
S.P.R. Resubmittal 1	5/22/2013
S.P.R. Resubmittal 2	6/17/2013

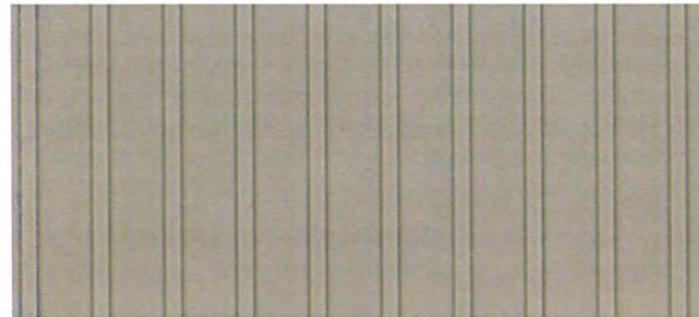
Seal

Context Perspectives

A4.3



SMOOTH FINISH PAINTED CEMENT BOARD SIDING



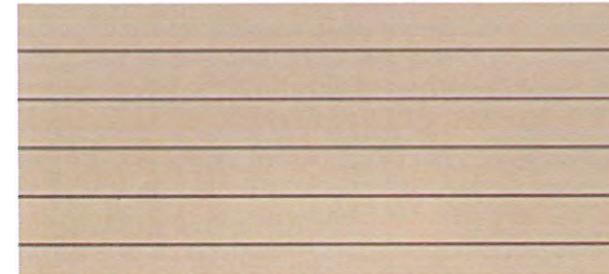
PAINTED BOARD AND BATTEN SIDING
(BATTENS VARY IN WIDTH FOR THIS APPLICATION)



STONE BASE CLADDING



STAINED WOOD ACCENT SIDING



SMOOTH LAP SIDING

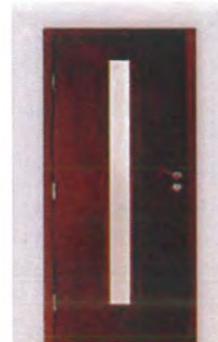
FINISHES



METAL ROOFING
(AT SOME DECK LOCATIONS
AND GARAGE DOOR LOCATIONS)



DOWNLIGHTS AT PORCH



WOOD AND GLASS DOORS



ADDRESS NUMBERS



PRIVACY FENCES



METAL RAILINGS

DETAILS

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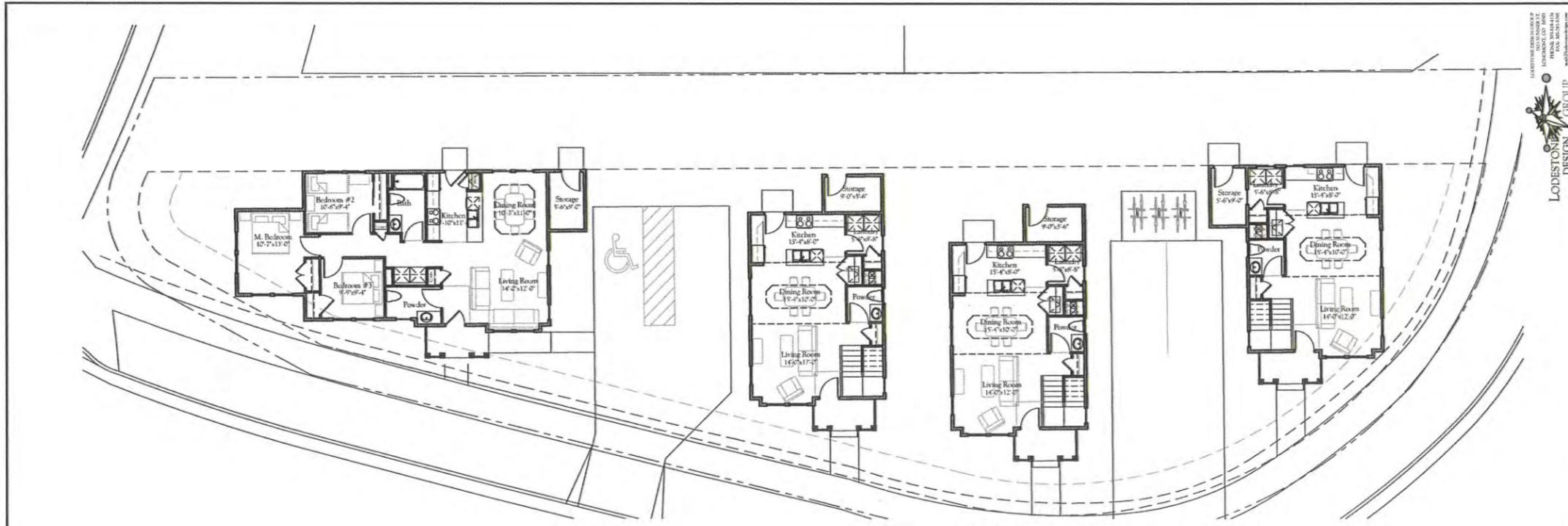
NOTICE OF COMPLETION
The undersigned, as the architect, certifies that the construction of the above described project has been completed in accordance with the approved plans and specifications, and that the project is ready for occupancy. This certificate is given for the use of those responsible for the use of these materials and is not intended to constitute a warranty of any kind. The architect shall not be responsible for the use of these materials after the date of this certificate. The architect shall not be responsible for the use of these materials after the date of this certificate. The architect shall not be responsible for the use of these materials after the date of this certificate.

Revision	Date
Original Issue	3/18/2013
Site Plan Revision	5/2/2013
S.P.R. Resubmitted	6/17/2013

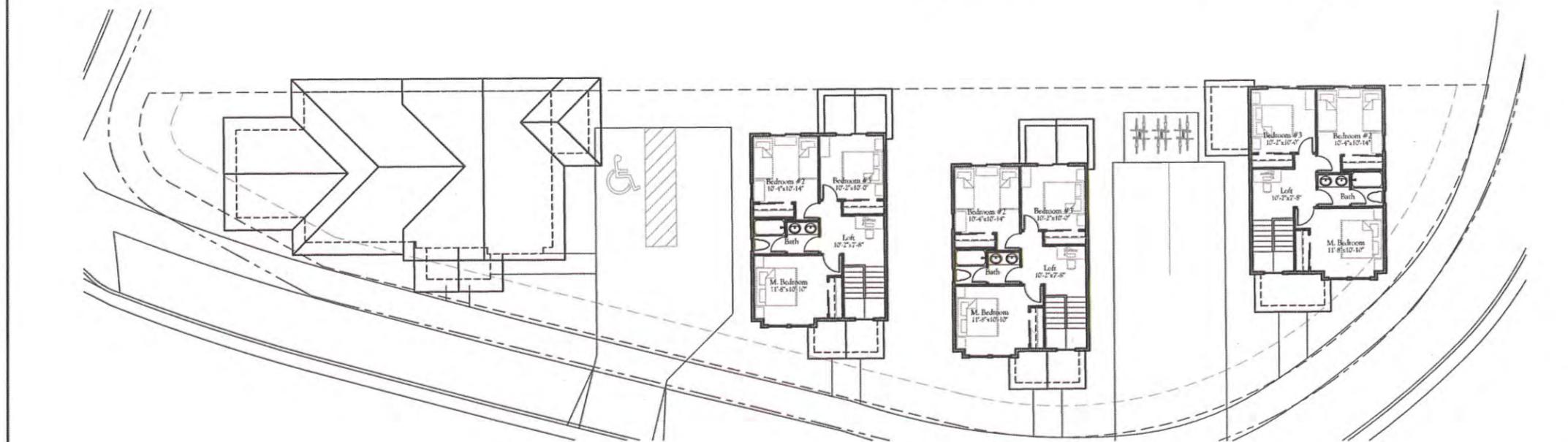
Seal

Building Elevations

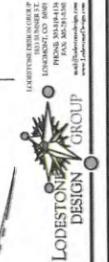
A5.0



1 Habitat For Humanity Homes
Main Floor Plans
Scale: 1/8" = 1'-0"



2 Habitat For Humanity Homes
Upper Floor Plans
Scale: 1/8" = 1'-0"



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NOTICE OF COOPERATION
The design and construction of these townhomes is a cooperative effort between the architect, owner, and contractor. The architect is responsible for the design and construction of the building and the contractor is responsible for the construction of the building. The owner is responsible for the overall project and the financing of the project. The architect, owner, and contractor shall be held jointly and severally liable for the completion of the project.

Drawing Issue	Date
Site Plan Review	3/18/2013
S.P.F. Resubmittal	5/2/2013
S.P.F. Resubmittal 2	5/17/2013

Seal

HH Floor Plans



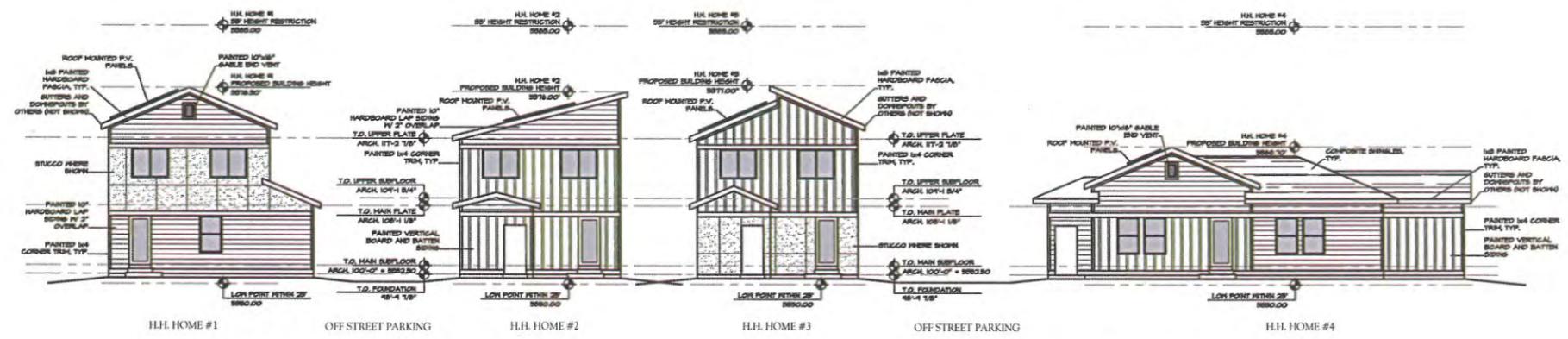


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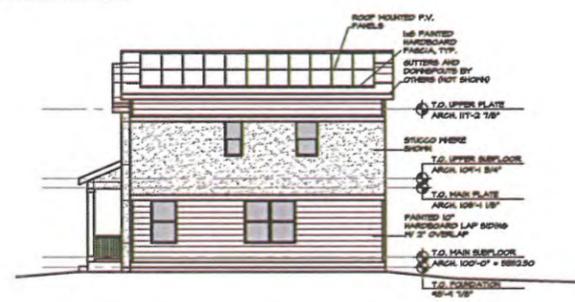
Habitat For Humanity Homes
1 Front Elevations
Scale: 1/8" = 1'-0"



Habitat For Humanity Homes
2 Rear Elevations
Scale: 1/8" = 1'-0"



Habitat For Humanity Homes
4 House 4 North Elevation
Scale: 1/8" = 1'-0"



Habitat For Humanity Homes
3 House 1 South Elevation
Scale: 1/8" = 1'-0"

NOTICE: DUTY OF COOPERATION
The design and construction of these buildings are subject to the approval of the local building department. The architect and contractor are responsible for obtaining all necessary permits and for ensuring that the construction complies with all applicable codes and regulations. The architect and contractor shall be held responsible for any errors or omissions in the drawings and specifications. The architect and contractor shall be held responsible for any delays or cost overruns caused by their actions or inactions. The architect and contractor shall be held responsible for any claims or damages resulting from their actions or inactions. The architect and contractor shall be held responsible for any claims or damages resulting from their actions or inactions. The architect and contractor shall be held responsible for any claims or damages resulting from their actions or inactions.

Drawing Issue	Date
Site Plan Review	3/16/2013
S.P.R. Resubmittal	5/2/2013
S.P.R. Resubmittal 2	8/17/2013

Seal

HH Building Elevations





② Habitat For Humanity Homes Streetscape from West
Scale: 1/8" = 1'-0"



① Habitat For Humanity Homes Streetscape From Southwest
Scale: 1/8" = 1'-0"



④ Habitat For Humanity Homes Home 3 & Home 4
Scale: 1/8" = 1'-0"



③ Habitat For Humanity Homes Home 1 & Home 2
Scale: 1/8" = 1'-0"

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Drawing Issue	Date
Site Plan Review	3/18/2013
S.P.R. Resubmittal	5/2/2013
S.P.R. Resubmittal 2	5/17/2013

Seal

HH Character Perspectives



Case #: LUR2013-00021

Project Name: Wonderland Creek
Townhomes

Date: June 26, 2013

CRITERIA FOR REVIEW

No site review application shall be approved unless the approving agency finds that:

(1) Boulder Valley Comprehensive Plan:

Y(A) The proposed site plan is consistent with the land use map and the service area map and, on balance, the policies of the Boulder Valley Comprehensive Plan.

As indicated by the map at the right, the property is designated as Residential Medium (MR) by the [BVCP](#). As noted in the BVCP, areas designated as Residential Medium are defined as having densities of six to 14 dwelling units per acre.

The project is site is zoned Residential Medium-1 (RM-1) which is defined as:

“Medium density residential areas which have been or are to be primarily used for attached residential development, where each unit generally has direct access to ground level, and where complementary uses may be permitted under certain conditions” (section 9-5-2(c)(1)(C), B.R.C. 1981).

Immediately adjacent to the project site on three sides, north, south and west is RM-1 zoning while Residential Low-2 is adjacent on the east. The project site is also adjacent to unincorporated Boulder County on the northeast where the county zoning is Suburban Residential.

The development proposal was found to be generally consistent with both the BVCP and the Site Review criteria given the modern, building forward design and general openness of the development concept. The following BVCP policies speak directly to creating a well-connected, infill development that is consistent with the surrounding development:

- 2.15 *Compatibility of Adjacent Land Uses*
- 2.19 *Urban Open Lands*
- 2.21 *Commitment to a Walkable and Accessible City*
- 2.23 *Trail Corridors/Linkages*
- 2.30 *Sensitive Infill and Redevelopment*
- 2.31 *Design of Newly-Developing Areas*
- 2.32 *Physical Design for People*
- 2.33 *Environmentally Sensitive Urban Design*
- 2.37 *Enhanced Design for Private Sector Projects*
- 7.06 *Mixture of Housing Types*
- 7.09 *Housing for a Full Range of Households*
- 7.10 *Balancing Housing Supply with Employment Base*

Overall, the development concept is generally consistent with the zoning and the BVCP land use designation densities as well as the general character of the existing single-family detached development immediately adjacent to the project site. The goals and policies in the BVCP,

including policies 7.06, 7.09, and 7.10 as mentioned above, provide support for development that contributes to providing a diverse mix of housing types for a full-range of households as well as balancing the housing supply with the employment base.

Y(B) The proposed development shall not exceed the maximum density associated with the Boulder Valley Comprehensive Plan residential land use designation. Additionally, if the density of existing residential development within a three-hundred-foot area surrounding the site is at or exceeds the density permitted in the Boulder Valley Comprehensive Plan, then the maximum density permitted on the site shall not exceed the lesser of:

Y(i) The density permitted in the Boulder Valley Comprehensive Plan, or,

Areas designated as Residential Medium are defined as having densities of six to 14 dwelling units per acre. The development proposal has a density of 8.8 dwelling units per acre, which is consistent with the BVCP land use designation.

N/A (ii) The maximum number of units that could be placed on the site without waiving or varying any of the requirements of chapter 9-8, "Intensity Standards," B.R.C. 1981.

Y(C) The proposed development's success in meeting the broad range of BVCP policies considers the economic feasibility of implementation techniques require to meet other site review criteria.

As a result of the development proposal, no public amenities are required that would render the development proposal economically infeasible. All of the required public amenities will be completed as part of the construction of the proposed development, or secured with a financial guarantee, including a multi-use path connection located along the eastern property line, on-street bike lane and 8-foot detached sidewalk and 8-foot planting strip along Kalmia Avenue.

(2) Site Design: Projects should preserve and enhance the community's unique sense of place through creative design that respects historic character, relationship to the natural environment, multi-modal transportation connectivity and its physical setting. Projects should utilize site design techniques which are consistent with the purpose of site review in subsection (a) of this section and enhance the quality of the project. In determining whether this subsection is met, the approving agency will consider the following factors:

Y(A) Open Space: Open space, including, without limitation, parks, recreation areas, and playgrounds:

Y(i) Useable open space is arranged to be accessible and functional and incorporates quality landscaping, a mixture of sun and shade and places to gather;

Open space is provided in excess of what is required (3,000 square feet per dwelling unit equates to 135,000 square feet) with 160,145 square feet. As part of the open space program, the development proposal provides open space areas in a variety of forms and sizes both private and public shared spaces, including side yards, plazas, patios, decks

and path connections through the project site as well as larger open spaces connected to the larger city-wide system. The majority of the western half of the five-acre project site is provided as open space given the location of the Wonderland Creek Greenway and multi-use path on that portion of the site. In addition, shared open space amenities are provided on the eastern portion of the site in the form of patios, gathering spaces with covered seating and BBQ area, and dog amenities.

Y(ii) Private open space is provided for each detached residential unit;

Each of the four detached single-family residential dwelling units has a private yard.

Y(iii) The project provides for the preservation of or mitigation of adverse impacts to natural features, including, without limitation, healthy long-lived trees, significant plant communities, ground and surface water, wetlands, riparian areas, drainage areas and species on the federal Endangered Species List, "Species of Special Concern in Boulder County" designated by Boulder County, or prairie dogs (*Cynomys ludovicianus*), which is a species of local concern, and their habitat;

The majority of the western half of the five-acre project site is provided as open space given the location of the Wonderland Creek Greenway and multi-use path on that portion of the site. Development on the project site is limited to the eastern portion of the project site to preserve the existing wetland and creek channel amenities.

Y(iv) The open space provides a relief to the density, both within the project and from surrounding development;

As part of the open space program, the development proposal provides open space areas in a variety of forms and sizes, including side yards, plazas, patios and path connections through the project site, all of which provides relief to the density of the project as well as the building mass and bulk.

Y(v) Open space designed for active recreational purposes is of a size that it will be functionally useable and located in a safe and convenient proximity to the uses to which it is meant to serve;

The open spaces provided on site provide for a variety of both active and passive recreation opportunities, including plazas and grilling areas as well as multi-use path connections and the Wonderland Creek Greenway. In addition, the open space amenities are all accessible spaces that encourage connectivity through the site and maintain the site's visual permeability.

Y(vi) The open space provides a buffer to protect sensitive environmental features and natural areas; and

The existing 50-foot wetland buffer and large open space area located on the western portion of the site protect the Wonderland Creek amenity.

Y(vii) If possible, open space is linked to an area- or city-wide system.

Given the location of the Wonderland Creek Greenway and multi-use path on the western portion of the project site, the open space and multi-use path connections provided on the project site are connected to the larger city-wide system.

N/A (B) Open Space in Mixed Use Developments (Developments that contain a mix of residential and non-residential uses)

Y(C) Landscaping

Y(i) The project provides for aesthetic enhancement and a variety of plant and hard surface materials, and the selection of materials provides for a variety of colors and contrasts and the preservation or use of local native vegetation where appropriate;

The development proposal includes a variety of hard surfaces, most with enhanced paving materials and extensive landscape areas, including a centralized open space that utilizes colored concrete and is planted with perennials and ornamental grasses to provide color and contrast.

In addition, there are also extensive areas of native vegetation to reduce the water consumption and fit into the Wonderland Creek natural drainage way.

Finally, the plan materials that have been selected will provide pedestrian interest given the varying scales of plantings, adequate screening and relief to the buildings' mass and scale as well as provide year-round color.

Y(ii) Landscape design attempts to avoid, minimize, or mitigate impacts to important native species, plant communities of special concern, threatened and endangered species and habitat by integrating the existing natural environment into the project;

Currently, most of the on site vegetation is invasive. All of the invasive species will be removed as part of the development proposal. The project site will be replanted with more appropriate plant materials, including native grasses, trees and shrubs.

Y(iii) The project provides significant amounts of plant material sized in excess of the landscaping requirements of sections 9-9-12, "Landscaping and Screening Standards" and 9-9-13, "Streetscape Design Standards," B.R.C. 1981; and

The majority of landscaping proposed, including the trees, are in excess of the size requirements, providing adequate screening and relief to building mass and scale.

Y(iv) The setbacks, yards, and useable open space along public rights-of-way are landscaped to provide attractive streetscapes, to enhance architectural features, and to contribute to the development of an attractive site plan.

Overall, the development proposal to remove the existing invasive species and replant the project site with plants that are more commonly found in mountain west's arid climate, the landscape plan is an improvement over the existing condition. In addition, the majority of the proposed planting are in excess of what is required which will provide relief to the buildings' mass and scale, enhance the architectural features and pedestrian interest as well as provide adequate screening.

Y(D) Circulation: Circulation, including, without limitation, the transportation system that serves the property, whether public or private and whether constructed by the developer or not:

Y(i) High speeds are discouraged or a physical separation between streets and the project is provided;

Recognizing that the development does not provide a connection that is part of a network plan, in order to provide through site circulation the woonerf-style shared drive is provided to create connectivity through the entire site. In doing so, unnecessary trips as a result of double backing through the north or south side of the development will be eliminated and potential pedestrian-vehicle conflicts will be minimized. In addition, a raised crossing will be provided as a safety measure and speed reduction tactic at the pedestrian crossing along the woonerf.

Y(ii) Potential conflicts with vehicles are minimized;

By providing a shared access drive through the site, unnecessary trips through the site will be eliminated as a result of double-backing through the site which will also result in the number of pedestrian vehicle conflicts.

Y(iii) Safe and convenient connections are provided that support multi-modal mobility through and between properties, accessible to the public within the project and between the project and the existing and proposed transportation systems, including, without limitation, streets, bikeways, pedestrianways and trails;

Overall, given the project site's location at the northeast corner of 28th Street and Kalmia Avenue and along the Wonderland Creek Greenway; the site is will connected to the larger city-wide multi-modal transit systems. As part of the development proposal, the applicant is providing two connections through the project site to the Wonderland Creek multi-use path which will provide connectivity to the larger city-wide multi-use path system as well as RTD transit services provided along 28th Street corridor.

Y(iv) Alternatives to the automobile are promoted by incorporating site design techniques, land use patterns, and supporting infrastructure that supports and encourages walking, biking, and other alternatives to the single-occupant vehicle;

As part of the development proposal, the applicant is providing two connections through the project site to the existing Wonderland Creek multi-use path providing connectivity to

both the larger city-wide multi-use path system and the transit system located along the 28th Street corridor. In addition, supporting infrastructure is also being provided as part of the development proposal, including bike parking, both short and long term bike parking opportunities.

Y(v) Where practical and beneficial, a significant shift away from single-occupant vehicle use to alternate modes is promoted through the use of travel demand management techniques;

Although a parking reduction request is not part of the development proposal, a Transportation Demand Management Plan has been included as part of the application materials to facilitate multi-modal transit opportunities and alleviate traffic impacts to the surrounding neighborhood. As part of the TDM program, the applicant will establish a neighborhood EcoPass program for its residents. Coupled with the proposed connections and additional bike parking being provided on site (22 provided where six are required), alternate modes of transportation will be encouraged.

Y(vi) On-site facilities for external linkage are provided with other modes of transportation, where applicable;

As part of the development proposal, the applicant is providing two links through the project site to the existing Wonderland Creek multi-use path that will also provide connections to both the city-wide multi-use path system and transit amenities located along the 28th Street corridor.

Y(vii) The amount of land devoted to the street system is minimized; and

The development proposal presents a compact urban development that concentrates development to the east side of the property. The required amount of parking is provided (68 spaces). In addition, the maximum number of compact spaces is also be utilized, 50 percent.

Y(viii) The project is designed for the types of traffic expected, including, without limitation, automobiles, bicycles, and pedestrians, and provides safety, separation from living areas, and control of noise and exhaust.

As part of the development proposal, the applicant is utilizing a centralized active alley 'complete street' to provide access through the project site for vehicles, bikes and pedestrians. Given the active, shared nature of an alley, speeds will be reduced naturally with the variety of activity taking place, including parking, driving, playing, as well as with a traffic calming device, including a raised crossing. In addition, trips will be reduced as a result providing connectivity through the project site by eliminating the requirement for vehicles to double back through the development minimizing pedestrian-vehicle conflicts. Since the shared alley will have garages fronting on it as well as landscaping, there will be softness and separation from the living areas.

Y(E) Parking

Y(i) The project incorporates into the design of parking areas measures to provide safety, convenience, and separation of pedestrian movements from vehicular movements;

Given the shared nature of the proposed shared access drive additional measures have been taken to provide for reduced speeds, including a raised crossing and minimizing pedestrian vehicular conflicts, including the through-site design of the shared access drive. In addition, the two connections through the site to the multi-use path are design to be separate pedestrian movements completely, not only in their design, but location as well.

Y(ii) The design of parking areas makes efficient use of the land and uses the minimum amount of land necessary to meet the parking needs of the project;

Given the compact design of the development proposal, the parking is primarily located along a shared access drive or in garages, minimizing the surface area dedicated to parking. The parking requirements pursuant to section 9-9-6, "Parking Standards," B.R.C. 1981 are being met. A total of 68 parking spaces are required, of those a total of 50 percent may be compact.

Y(iii) Parking areas and lighting are designed to reduce the visual impact on the project, adjacent properties, and adjacent streets; and

Minimal lighting is located along the shared access drive and within the parking areas. A photometrical plan meeting the criteria pursuant to section 9-9-16, "Lighting, Outdoor," B.R.C. 1981 will be provided as part of the Technical Document Review.

Y(iv) Parking areas utilize landscaping materials to provide shade in excess of the requirements in Subsection 9-9-6 (d), "Parking Area Design Standards," and Section 9-9-14, "Parking Lot Landscaping Standards," B.R.C. 1981.

While not surface parking lot is part of the development proposal, the surface parking areas provided utilize landscaping materials in a variety of sizes and forms that will provide screening.

Y(F) Building Design, Livability, and Relationship to the Existing or Proposed Surrounding Area

Y(i) The building height, mass, scale, orientation, and configuration are compatible with the existing character of the area or the character established by an adopted plan for the area;

The project site is generally located at the northeast corner of Kalmia Avenue and 28th Streets. Immediately adjacent to the project site on three sides, north, south and west is Residential Medium-1 zoning, like the project site, while Residential Low-2 is adjacent on the east. The project site is also adjacent to unincorporated Boulder County on the northeast where the county zoning is Suburban Residential.

Generally, the uses surrounding the project site are primarily residential with a variety of one and two story large single-family detached homes and multi-family developments, including Aspen Grove condominiums and the Boulder Apartments. The anomaly, Manor Care is adjacent to the north.

The development proposal includes one and two-story single-family homes located adjacent to the existing single-family development and multi-family attached units located across Paseo del Prado. The multi-family units along Paseo del Prado were designed to have a building footprint no larger than the existing large single-family homes adjacent to the project site to the east. The proposed building architecture although simple, clean, modern building design with flat roofs, draws from a similar building material palette as the surrounding development, where stone, wood and stucco are prevalent.

Overall, the building mass, scale, materials and use are consistent with the surrounding development.

Y(ii) The height of buildings is in general proportion to the height of existing buildings and the proposed or projected heights of approved buildings or approved plans for the immediate area;

Within the vicinity buildings range in height and stories from single-story single-family dwellings to three or four stories as is the case with the Aspen Grove Condominiums across Kalmia Avenue, adjacent to the south. The architectural concept includes one and two story buildings not in excess of 30 feet in height.

Y(iii) The orientation of buildings minimizes shadows on and blocking of views from adjacent properties;

Buildings are oriented towards the street, with large side yards located between buildings in order to maintain views and site permeability. In addition, the development is stepped across the project site with single-story buildings being located adjacent to the existing single-family development on the east, minimizing shadows and viewshed impacts.

Y(iv) If the character of the area is identifiable, the project is made compatible by the appropriate use of color, materials, landscaping, signs, and lighting;

The proposed building architecture although simple, clean, modern building design with flat roofs, draws from a similar building material palette as the surrounding development, where stone, wood and stucco are prevalent.

Y(v) Projects are designed to a human scale and promote a safe and vibrant pedestrian experience through the location of building frontages along public streets, plazas, sidewalks and paths, and through the use of building elements, design details and landscape materials that include, without limitation, the location of entrances and windows, and the creation of transparency and activity at the pedestrian level;

Given the highly public location of the project site along a multi-use path on the west and a street frontage on the east, development in the project site really four frontages. The development proposal orients buildings toward the street by locating building entries, front porches and additional glazing along the street. In addition, an active alley is also provided with backyards, landscape and open space amenities. Finally, buildings are also oriented toward the multi-use path with building entries, including porches and balconies as well as additional glazing.

Y(vi) To the extent practical, the project provides public amenities and planned public facilities;

As part of the development proposal the applicant is providing two multi-use path connections through the site. In addition, the applicant will continue to work with staff to design and locate a low water crossing across the Wonderland Creek channel and Kalmia Avenue improvements, including an on street bike lane, detached sidewalk and planting strip. A condition of approval has been included reflecting the public improvements.

Y(vii) For residential projects, the project assists the community in producing a variety of housing types, such as multifamily, townhouses and detached single family units, as well as mixed lot sizes, number of bedrooms and sizes of units;

The development proposal includes both single-family detached and multi-family attached residential housing types, including townhome-style units. In addition, the development will include a varying level of affordability as well.

Y(viii) For residential projects, noise is minimized between units, between buildings, and from either on-site or off-site external sources through spacing, landscaping, and building materials;

The multi-family units with party walls will be designed to meet or exceed sound transmission requirements of the IBC.

Y(ix) A lighting plan is provided which augments security, energy conservation, safety, and aesthetics;

While a lighting plan has not been part of the Site Review materials, a lighting plan consistent with section 9-9-16, "Lighting, Outdoor," will be provided as part of the Technical Document Review. A condition of approval has been included reflecting such.

Y(x) The project incorporates the natural environment into the design and avoids, minimizes, or mitigates impacts to natural systems;

The majority of the western half of the five-acre project site is provided as open space given the location of the Wonderland Creek Greenway and multi-use path on that portion of the site. Development on the project site is limited to the eastern portion of the project site to preserve the existing wetland and creek channel amenities.

Y(xi) Buildings minimize or mitigate energy use; support on-site renewable energy generation and/or energy management systems; construction wastes are minimized; the project mitigates urban heat island effects; and the project reasonably mitigates or minimizes water use and impacts on water quality.

The development proposal is planned to be “a Net Zero Energy” project with respect to electrical usage of the 41 market rate units. Each unit will have an independent 3K Photovoltaic Solar system designed to provide 100% of the estimated electrical energy usage of each unit. Additionally, the units have been designed with energy efficiency in mind to reduce heating and cooling loads. A low-water usage package of plumbing fixtures has been designated for the individual townhouse units. The project is providing 119% of the required open space helping to reduce the urban heat island effects while providing permeable landscaping. The development is providing multiple best management practices to enhance and protect water quality including bio-retention basins that supplement the riparian corridor.

Y(xii) Exteriors or buildings present a sense of permanence through the use of authentic materials such as stone, brick, wood, metal or similar products and building material detailing;

The proposed building architecture although simple, clean, modern building design with flat roofs, draws from a similar building material palette as the surrounding development, where stone, wood and stucco are prevalent.

Y(xiii) Cut and fill are minimized on the site, the design of buildings conforms to the natural contours of the land, and the site design minimizes erosion, slope instability, landslide, mudflow or subsidence, and minimizes the potential threat to property caused by geological hazards;

The overall goal of the cut and fill associated with the development proposal is to restore the existing pre-development site hydrologic conditions with an emphasis on water quality and reduction of adverse impacts on the Wonderland Creek riparian corridor. It is the applicant’s intention to utilize low impact development principles and practices to reduce development runoff volumes, provide water quality treatments and promote on site infiltration of stormwater.

N/A(xiv) In the urbanizing areas along the Boulder Valley Comprehensive Plan boundaries between Area II and Area III, the building and site design provide for a well-defined urban edge; and

N/A(xv) In the urbanizing areas located on the major streets shown on the map in Appendix A of this title near the Boulder Valley Comprehensive Plan boundaries between Area II and Area III, the buildings and site design establish a sense of entry and arrival to the City by creating a defined urban edge and a transition between rural and urban areas.

Y(G) Solar Siting and Construction: For the purpose of ensuring the maximum potential for utilization of solar energy in the City, all applicants for residential site reviews shall place streets, lots, open spaces, and buildings so as to maximize the potential for the use of solar energy in accordance with the following solar siting criteria:

Y(i) Placement of Open Space and Streets: Open space areas are located wherever practical to protect buildings from shading by other buildings within the development or from buildings on adjacent properties. Topography and other natural features and constraints may justify deviations from this criterion.

Large side yards are utilized to provide ample building separation to limit shading as well as the site's visual permeability. Development within proximity to the site will not shade the proposed buildings given their distance of more than 50 feet away.

Y(ii) Lot Layout and Building Siting: Lots are oriented and buildings are sited in a way which maximizes the solar potential of each principal building. Lots are designed to facilitate siting a structure which is unshaded by other nearby structures. Wherever practical, buildings are sited close to the north lot line to increase yard space to the south for better owner control of shading.

The applicant's goal is to provide a net-zero energy development. Buildings have been designed and sited to accommodate a 3KWh of solar of the roofs of the townhomes. In addition, flat roofs are being utilized to minimize the solar PV orientation.

Y(iii) Building Form: The shapes of buildings are designed to maximize utilization of solar energy. Buildings shall meet the solar access protection and solar siting requirements of section 9-9-17, "Solar Access," B.R.C. 1981.

The building design has incorporated flat roofs in the anticipation of solar energy.

Y(iv) Landscaping: The shading effects of proposed landscaping on adjacent buildings are minimized.

Although landscaping improvements are proposed in excess of the size requirements, the impacts will be minimal to adjacent buildings given the proximity of the adjacent buildings to the project site.

N/A (H) Additional Criteria for Poles Above the Permitted Height

N/A (I) Land Use Intensity Modifications

N/A (J) Additional Criteria for Floor Area Ratio Increase for Buildings in the BR-1 District

N/A (K) Additional Criteria for Parking Reductions

N/A (L) Additional Criteria for Off-Site Parking



INFORMATION PACKET MEMORANDUM

To: Members of City Council

From: Jane S. Brautigam, City Manager
Paul J. Fetherston, Deputy City Manager
Karen Rahn, Director, Human Services
Jeff Yegian, Acting Manager, Housing Division
Wendy Schwartz, Human Services Planning Manager
Valerie Watson, Human Services Planner

Date: Aug. 20, 2013

Subject: Information Item: Update on Homeless Issues and Boulder County Ten-Year Plan to Address Homelessness Progress

EXECUTIVE SUMMARY

This information item provides an update on local and regional planning efforts to address homelessness, including the Boulder Homelessness Planning Group (BHPG), the alignment of city human services and housing investments with the Boulder County Ten-Year Plan to Address Homelessness (Ten-Year Plan), Metro Denver Homeless Initiative (MDHI), and highlights of the 2013 Point-in-Time Count and Survey (PIT).

The city addresses homelessness by supporting local nonprofit service providers, funding the creation and operation of housing for the homeless, and participating in regional planning efforts. Homelessness is a regional issue and countywide partners have made strides in providing permanent housing options for people who are homeless and those at risk of homelessness. Approaches to the challenges of addressing homelessness are considered in the context of city priorities, the Ten-Year Plan, federal and state policy direction, and the Human Services Master Plan.

In addition to the Ten-Year Plan, a local group, the BHPG, has been working to identify and address issues of particular concern to the City of Boulder, including service coordination, data collection, and issues of safety and the unwelcoming environment currently being experienced in the municipal campus area.

While the city and its countywide partners have made strides on housing the homeless, more permanent housing options are needed. Analysis indicates significantly more city funding is directed toward emergency shelter and support services for individuals, compared to housing and services for families, which comprise nearly half of the city's homeless population. Both are critical to addressing homelessness and basic safety. Analysis and recommendations on human services funding to the community and city priorities will be completed as part of the Human Services Strategy update, currently underway.

Investing in services and housing for the chronically homeless reduces the need for more expensive and intensive services and public investments in the long run. Consequently, one priority goal of the Ten-Year Plan is permanent supportive housing for the chronically homeless who are primarily individuals. However, transitional and affordable housing for homeless families remains a persistent need.

City council has considered issues related to homelessness in the following study sessions and council meetings:

- *April 16, 2013, Information Packet* – [Denver Unauthorized Camping Ordinance](#)
- *Oct. 30, 2012, Study Session* – [Homelessness Services Update and Related Issues](#)
- *April 17, 2012 Public Hearing* – Council approved a motion supporting the proposed [Housing First Project at 1175 Lee Hill Road](#)
- *Dec. 13, 2011 Study Session* – [Housing First Programs and Related Issues Study Session](#)
- *Dec. 6, 2011 Information Packet* – [Update on Bridge House Relocation Efforts](#)
- *March 1, 2011 Information Packet* – [Youth Homelessness and Emergency Services](#)
- *May 4, 2010 Public Hearing* - City Council [approved on Second Reading a Motion to adopt Ordinance No. 7719](#) amending [Section 5-6-10 “Camping or Lodging on Public Property Without Consent,” B.R.C. 1981](#), by Removing the Authority of the City Manager to Issue Permits for Camping on Public Property
- *Aug. 31, 2010 Information Packet* – [Update on Homelessness Issues and Human Services Funding](#)
- *April 20, 2010 Public Hearing* – Council accepted the [Boulder County Ten-Year Plan to Address Homelessness \(Ten-Year Plan\)](#) and Introduction, First Reading and Consideration of a Motion to Amend Section 5-6-10, “Camping or Lodging on Property Without Consent,” B.R.C. 1981

FISCAL IMPACT

Staff participation in community planning to address homelessness is within the scope of the current Human Services and Housing work plans and budgets.

BACKGROUND

Local Planning Efforts - Boulder Homelessness Planning Group (BHPG)

The BHPG, comprised of the city's homeless-serving organizations, representatives of Boulder's faith community, and staff representatives of city departments (Human Services, Library, Municipal Court, Downtown University Hill Management) began meeting in June 2012. The current work of the BHPG is to develop strategies and actions to address specific community concerns about homelessness and increase the effectiveness of homeless services coordination

and data collection. The BHPG's work is within the context of the goals and strategies in the Ten-Year Plan.

During the past several months, the BHPG has been developing recommendations for the city to address community concerns of illegal and unwelcoming behavior in the municipal campus and downtown area, often attributed to the homeless. In addition to the homeless, there are many other people and groups that frequent the municipal campus. The issues on campus are ones of behavior, not housing status, and strategies to address these issues need to be targeted to the behaviors. The Boulder Police Department (BPD) reports increasing criminal activity and need for more officers to address enforcement issues. The municipal court has a significant caseload of homeless defendants and has added probation officer resources to work with defendants on accessing community resources. Boulder business owners report an increased homeless presence in areas such as the University Hill business district and Pearl Street Mall. Though recommendations are still being considered, the BHPG has been exploring the following:

- Piloting a part-time outreach team tasked with patrolling the central municipal campus and downtown areas to discourage illegal behavior, connect people with needed services, collect information on the needs of the homeless population, and identify who are the various groups and users of public space. The BHPG supports increased police enforcement for illegal behaviors, and recommends that an outreach team be comprised of a police officer, a homeless service provider, and possibly a representative of the homeless community. Staff support this approach and have initiated discussions with potential partners including Bridge House, BSH, BPD and the municipal court.
- Piloting a countywide coordinated entry system¹ for chronically homeless individuals and families. Representatives of Boulder, Longmont and the Ten-Year Plan Board will be determining whether to create a pilot program in the third quarter of 2013.
- De-concentrating services such as meal programs on the central municipal campus, while maintaining access to needed services. Meals are regularly provided to large groups on weekends on the lawn near the Main Library between April and October. The BHPG discussed opportunities for the food service providers to partner with the faith community to relocate food programs and the possibility of developing a more coordinated approach to meal service long term to fill gaps on weekends. Staff met with the meal providers and discussed the challenges created by multiple groups distributing food on the municipal campus lawn. Some meal providers disagree with de-concentrating services and indicate the municipal lawn is a convenient and accessible location for services. Bridge House operates a Monday through Friday meal program. Lack of resources have prohibited Bridge House from expanding to the weekend, however they are currently exploring the possibilities of expansion.

¹ Coordinated entry is designed to prevent, reduce, and end homelessness by streamlining and simplifying access, assessment, and referral processes for housing and supportive services. It changes a system's orientation from providers of services asking whether the client is right for the program to the system assessing what services/solutions are best for the client.

- Behavioral Standards: The BHPG is developing common behavioral standards for use by homeless service providers in Boulder and potentially Longmont. The group considers common standards with a uniform message and enforcement to be a significant step toward standardizing community-wide behavioral expectations of clients.
- Public Education Campaign: The BHPG is exploring a public education campaign to increase awareness about homelessness in the community. Campaign messages could include the diversity of the homeless population, including information on the many types of homelessness, invisible homeless groups such as families, and panhandlers, who are not all homeless. The public also could be informed about alternative ways to help the homeless, such as giving to homeless service organizations. BHPG and business community representatives are now discussing perspectives on the issues and areas of shared concern and opportunity.
- Other potential recommendations for further discussion by BHPG include: expansion of day programs to productively engage people, and possible recommendations for modification of current city ordinances such as panhandling and smoking bans to address use of public space issues.
- In coming months the BHPG will be addressing systemic issues (e.g., common data collection, coordination among service providers, appropriate service mix) with a goal of maximizing self-sufficiency for homeless clients.

Regional Planning Efforts

Metro Denver Homeless Initiative (MDHI)

MDHI is a non-profit organization whose mission is the prevention and ending of homelessness in the seven-county, metro Denver region by facilitating, integrating and tracking cooperative regional services and funding for people who are homeless.

In 2013, MDHI, Boulder County and the cities of Longmont and Boulder expanded region-wide planning efforts including:

- Participating in Vulnerability Index Surveys (VI)² which help communities identify their most vulnerable homeless residents;
- Participating on MDHI's Notice of Funding Availability (NOFA) Committee which recommended HUD competitive funding to several local initiatives;³

² VI surveys help communities identify their most vulnerable homeless residents (including those with the greatest health and mental health issues who are most at risk of dying on the streets, those with long histories of incarceration or those with complex or long-standing child welfare issues) – typically heavy users of expensive emergency services.

³ Boulder Housing Partner's Drive-in Theater project provides permanent supportive housing to households with serious mental illness; the Boulder County Housing First program provides housing vouchers to chronically homeless households throughout the county; and Lee Hill Housing First program. MDHI was recently notified that the Lee Hill Housing First program did not receive federal funds. The Committee recommended funding for the Boulder County Housing Stabilization Program which offers rental assistance for three to nine months, coupled with case management and financial education for situationally or homeless (i.e., housing, health care, financial, or job loss crisis) or potentially homeless households.

- Providing local representation on the MDHI Board (Boulder County and Boulder Housing Partners); and
- Participating on MDHI coordination committees (COB Human Services staff)

Ten-Year Plan to Address Homelessness (The Ten-Year Plan)

The Ten-Year Plan was completed and accepted by city council in April 2010. It provides a blueprint for how Boulder County communities will work together to prevent homelessness, address issues that keep people in homelessness and create housing and supportive services needed to end homelessness. The plan commits to seeking long-term solutions to homelessness in the community while maintaining safe, appropriate emergency shelter for the community’s most vulnerable residents.

The [Ten-Year Plan](#) is organized around six goals that are designed to have a significant impact on homelessness. Taken together, they represent a comprehensive approach that addresses all facets of homelessness. These goals are not prioritized, but provide a blueprint for strategies to be worked on simultaneously. The plan emphasizes permanent supportive housing as the model for addressing chronic homelessness, while still providing emergency shelter and support services. Moving individuals and families directly into permanent housing has proven more successful in assisting people to stability. This model, however, requires available and affordable permanent housing to succeed. While capacity is built in the community, there will be a continuing need for emergency shelter and transitional housing for both individuals and families.

Ten-Year Plan Goals Update

Chart 1 highlights recent accomplishments countywide of relevant Ten-Year Plan Goals. While these accomplishments have contributed significantly to progress on goals, much remains to be done to bridge the gaps.

Chart 1: Ten-Year Plan Activities and Achievements by Plan Goal, 2012 and 2013 (to date)	
Goal	Activities and Achievements
Goal 1: Prevention/Intervention	<ul style="list-style-type: none"> • Bridge House Resource Center (RC) pilot, providing wraparound services and support, approved for extension • Boulder County Housing Counseling Program expanded to provide pre-rental counseling and related services to prevent homelessness
Goal 2: Temporary Shelter, Alternative Housing and Support	<ul style="list-style-type: none"> • Attention Homes expanded emergency youth shelter capacity from 10 to 16 beds • Boulder County Housing Stabilization Program (see footnote 3) expanded through HUD’s Emergency Solutions Grant • Transitional Housing supply increased: 17 units in Longmont (Inn Between), 14 units for families in Louisville (EFAA)⁴, 12 units county-wide (Boulder County Short-Term Housing Program for homeless families in child protection), 45 vouchers for families with school-aged children (Colorado Division of Housing, Tenant-Based Rental Assistance Program)

⁴ All 14 units to be occupied through EFAA’s transitional program in the future (currently five units are rented at market rate and three through Housing Choice Vouchers).

Goal 3: Permanent Housing and Support Services	<ul style="list-style-type: none"> • 25 homeless veteran households in Boulder County permanently housed with HUD-VASH vouchers in 2013 (10 additional homeless veteran households to be provided HUD-VASH vouchers in 2014) • Lee Hill 31-unit Housing First⁵ development approved⁶ to receive low-income housing tax credits • 50 family and youth households housed by Boulder County (HUD Family Reunification funding) • 24 family units in development in Lafayette (Aspinwall at Josephine Commons)
Goal 4: System Improvements	<ul style="list-style-type: none"> • Ten-Year Plan metrics being developed to measure progress • BHPG formed to improve service integration in the city of Boulder and address local issues • Implementation underway for a web-based regional Grants Management System to coordinate human services funding and reporting processes for the cities of Boulder and Longmont, and Boulder County • Increased involvement in MDHI regional planning efforts • Increased coordination between Consolidated Plan and Ten-Year Plan goals • Conducted countywide VI of homeless veterans, resulting in additional veterans housed as described in Goal 3 above • Conducted countywide VI of adults, families and youth, results pending
Goal 5: Public Awareness and Advocacy	<ul style="list-style-type: none"> • Homeless memorial was held to commemorate the lives of people who were homeless and died on the streets in Boulder in 2012 • Current planning for improved public education on homelessness

Housing Planning Initiatives

Boulder/Broomfield County Regional HOME Consortium: The City of Boulder is the lead partner in this effort. The consortium completes five-year consolidated plans required by HUD. These plans describe strategies for carrying out HUD formula-based housing programs. The Consortium includes reducing homelessness as one of its six priorities in the [2010-2014 Consolidated Plan](#).

ANALYSIS

2013 Point-in-Time Count and Survey (PIT)

Data from the Jan. 28, 2013 PIT, an annual one-night survey of homeless people, indicates that the number of homeless in the city of Boulder is holding steady (at 748 in 2013 and 750 in 2012).⁷ This contrasts with year-over-year increases of about one third for the city of Longmont (from 883 to 1,180) and about 20 percent for the entire county (from 1,970 to 2,366).

Contrary to PIT data, the experiences of homeless service providers and the community suggest that there has been an increase in the homeless population in the City of Boulder. PIT surveys typically undercount the homeless due to the difficulty of finding all homeless and administering

⁵ The Ten-Year Plan defines Housing First as “an approach to ending homelessness that centers on providing homeless people with housing quickly and then providing services as needed.”

⁶ BHP anticipates beginning leasing of the building Aug. 2014.

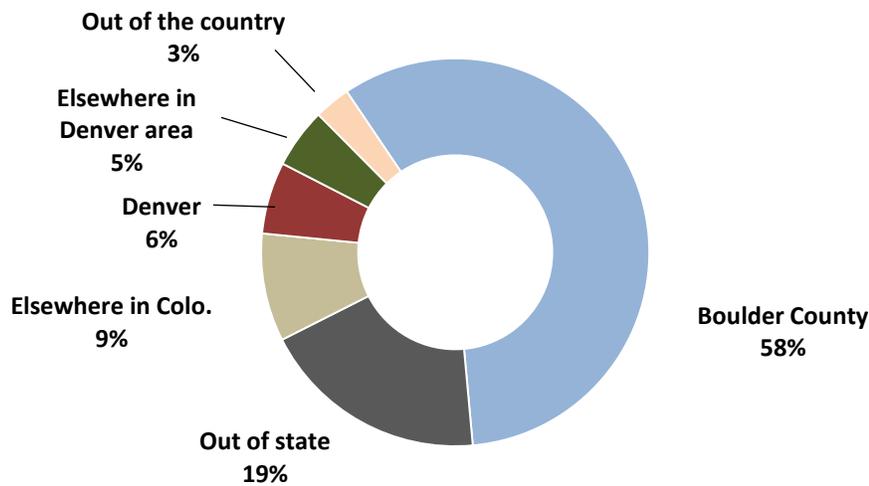
⁷ The primary purpose of the point-in-time surveys is to provide communities with a one day snap shot of homelessness. MDHI discourages communities inferring trends and developing policies on the basis of these data alone.

the survey in a one- or two-day period. Changes in definitions, methodology for collecting data, willingness of homeless people and homeless-serving organizations to participate, the number and experience of the volunteers conducting the survey, and other variables contribute to this undercounting, making trend analyses problematic. Counties across the Denver region are working with MDHI on improving the reliability of the PIT data.

Homeless households with children continue to represent nearly half (45 percent) of the homeless in Boulder; however PIT data suggest the number of people in these households in the city has been decreasing over the last three years.

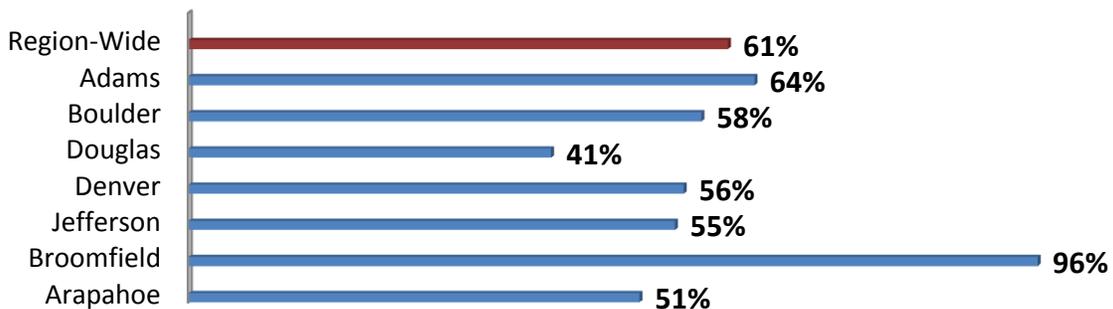
Of those surveyed who stayed in Boulder County on PIT night in 2013, 58 percent identified Boulder County as their last county of permanent residence (see Chart 2 below).

Chart 2: Last permanent residence of Boulder County homeless



The homeless population is highly mobile overall, with other metropolitan Denver counties experiencing similar percentages of homeless from other counties on PIT night, as demonstrated in Chart 3 below. The mobility trend may be increasing, with most counties in the region showing a decrease between 2012 and 2013 in the percentage of PIT participants who stayed in their county of last permanent residence. In Boulder County, this percentage decreased from 65 percent in 2012 to 58 percent in 2013.

Chart 3: Percentage of Metro Denver homeless who stayed in their county of last permanent residence, Jan. 28, 2013



Similar to last year, the top causes of homelessness cited by City of Boulder PIT respondents were:

- Lost job (35 percent)
- Housing costs (32 percent)
- Relationship issues (28 percent)
- Mental illness (20 percent)
- Alcohol/Drug issues (16 percent)

Homeless Housing

Homeless Family Housing

Families are a large proportion (45 percent) of Boulder’s homeless. Emergency Family Assistance Association (EFAA) is the primary local provider of shelter, housing and related emergency services to Boulder’s homeless and near-homeless families. The agency provides 18 units of housing targeted to homeless families in the City of Boulder (six emergency shelter units and 12 transitional housing units) and an additional 26 units elsewhere in the county (Lafayette, Longmont and Louisville). EFAA’s current eligibility criteria require families to have incomes of at least \$1,000 per month before they can qualify for emergency shelter services and transitional housing. While it is common to require income for participation in transitional housing programs, emergency shelter facilities typically do not require income.

EFAA staff recently conducted a review of the agency’s eight-week emergency shelter program in which they found:

- Approximately 40 percent of families seeking emergency shelter were ineligible due to insufficient household income (i.e., less than \$1,000). There is no previous year data to compare, but EFAA believes there is an increase in families ineligible due to income;
- A widening service gap in Boulder to provide emergency shelter to families in greatest need. EFAA refers an increasing number of very low- or no-income families to Denver’s Samaritan House emergency shelter. It is disruptive for families, particularly the children in these families, to be sent so far away from their home communities and schools. EFAA also refers these families to Safehouse Progressive Alliance for Nonviolence (SPAN) and Safe Shelter of St. Vrain, if domestic violence is involved.

- More families presenting with increasingly complex situations (e.g., legal involvement, substance abuse, employment barriers, mental health and other disabilities, parenting issues, domestic violence, evictions and foreclosures).

EFAA staff indicate there are two key gaps for homeless families in the Boulder area: 1. lack of emergency shelter for families with either no incomes or very low incomes; and 2. very low vacancy rates in affordable rental housing. Access to affordable housing is a significant barrier for EFAA clients in reaching self-sufficiency.

Housing Supply

Appropriate, affordable rental housing is critical in addressing homelessness but is in short supply in Boulder.⁸ The federal government offers low-income and homeless housing assistance programs, but they are insufficiently funded. According to HUD, only one in four eligible households nationwide receives housing assistance and sequestration will further limit those numbers. Although significant progress has been made on transitional and permanent housing options in Boulder County, the community need is still greater than available resources. Attachment A represents a countywide inventory of housing for the homeless, including vouchers, for 2013-2014. It shows a total of 217 warming center beds, 276 emergency shelter beds, 379 transitional housing units and vouchers, and 415 permanent housing units and vouchers. With nearly 2400 people counted as homeless throughout Boulder County in the 2013 PIT, there is not enough permanent housing for everyone.

The majority of the county's emergency shelter and overflow space is located in the city of Boulder. This is not surprising because the Boulder Shelter for the Homeless (BSH), is the county-wide shelter. BSH receives funding from Boulder County and the City of Longmont, in addition to the City of Boulder and other funders.

Housing Vouchers

In Boulder, a variety of federally and locally funded housing vouchers are available through Boulder Housing Partners (BHP), Mental Health Partners (MHP) and Boulder County Housing Authority (BCHA). These vouchers are issued to low-income individuals, or those with special needs, to subsidize rental costs. However, the majority of federally funded vouchers are not specifically designated for homeless individuals and families, and demand substantially exceeds supply. Sequestration and increased housing costs have reduced the number of vouchers available. Individuals or families that obtain vouchers sometimes have difficulty using them due to high rents and low vacancy rates. Many housing vouchers do not include supportive services, which some homeless people need to remain successfully housed. A significant percentage of transitional and permanent housing options are available through vouchers that are portable and can be used countywide.

City Funding to Address Homelessness

In addition to the Human Services Department, a other city departments interact with homeless individuals, including Parks and Recreation, Open Space and Mountain Parks, Police, Housing, Library, Municipal Court, Downtown and University Hill Management Division/Parking Services,

⁸ Affordable unit vacancy rates are generally lower than vacancy rates in all units. The Apartment Association of Metropolitan Denver reported a 1.9 percent vacancy rate for the city of Boulder.

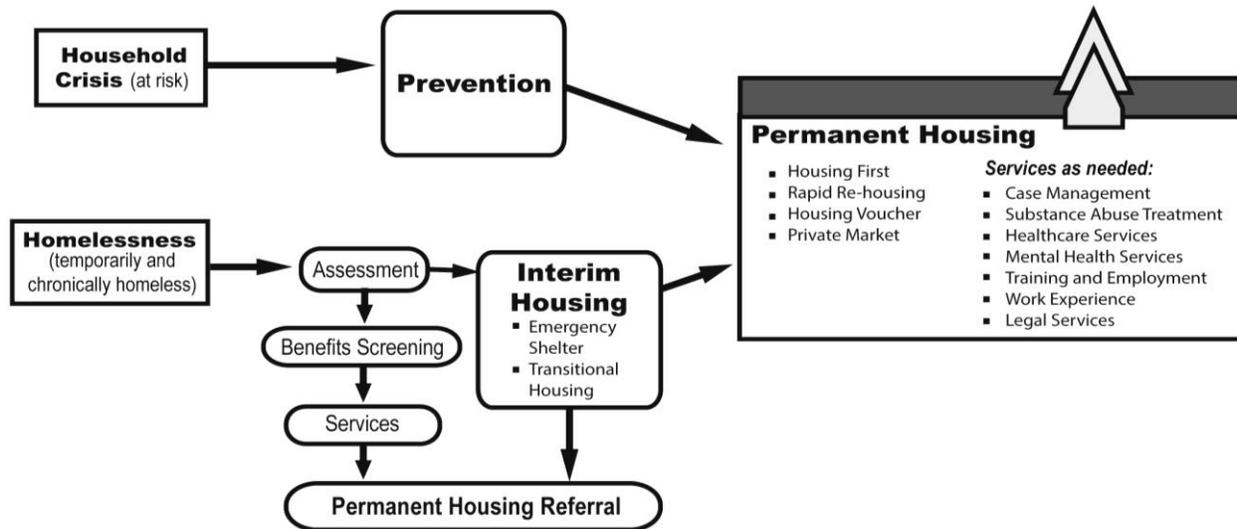
Public Works, Fire and Rescue Services. These department services are generally focused on broader city populations outside the scope of the Ten-Year Plan and Human Services Master Plan. Generally, human services are defined through a social welfare lens, which is narrower than for overall community well-being. Social welfare is generally focused on the availability of essential services such as food, housing, health and mental health access, and other basic necessities of daily living which allows one to be self-sufficient.

The funding analysis below includes city investments that specifically address the Ten-Year Plan’s goals of preventing and reducing homelessness, and providing a safety net for those who experience homelessness. The investments are in programs, services or housing provided directly or indirectly (through grants to nonprofit organizations) by the Human Services Department and the Housing Division. The primary sources of city funding for homelessness are the Human Services Fund (HSF), Community Development Block Grant (CDBG), HOME grants and the Affordable Housing Fund.

Alignment of City of Boulder Homeless Funding with Ten-Year Plan

The primary goal of the Ten-Year Plan is to minimize homelessness by getting and keeping people housed. For chronically adult homeless people it emphasizes a housing first model and maximizing self-sufficiency and independence through a coordinated system of support services. This system relies on the integration of capital investments to increase housing supply, and operating investments to support services which maximize self-sufficiency and independence, as shown in Chart 4 below.

Chart 4: Permanent housing pathways



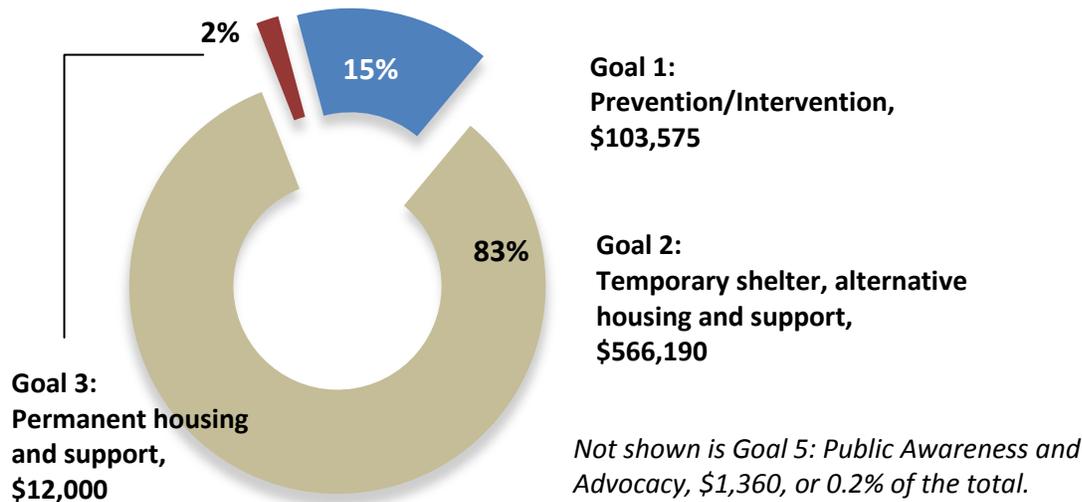
The analysis emphasizes city investments in services provided in Boulder, but also examines homeless investments countywide, because not all services need to be provided in each Boulder County community. Investments in operating programs are provided as a snapshot, from 2012, as operating funding tends to be fairly stable over time. Capital investments are presented over a five-year period as they are intermittent and tend to be larger, one-time investments. Because vouchers increase housing options for homeless people, investments in vouchers have been included with

capital investments in this analysis.⁹ However, unlike capital investments, which result in additional housing units on a permanent basis, funding for vouchers may vary over time based on available budget.

Operating Investments

In 2012, the Human Services Department expended a total of \$683,125 on homeless specific services through operating funding to community agencies. These investments are summarized by Ten-Year Plan goal area, as shown in Chart 5 below. Attachment B provides a detailed list of city investments within relevant goal areas.

Chart 5: 2012 Human Services Department operating investments by Ten-Year Plan goals

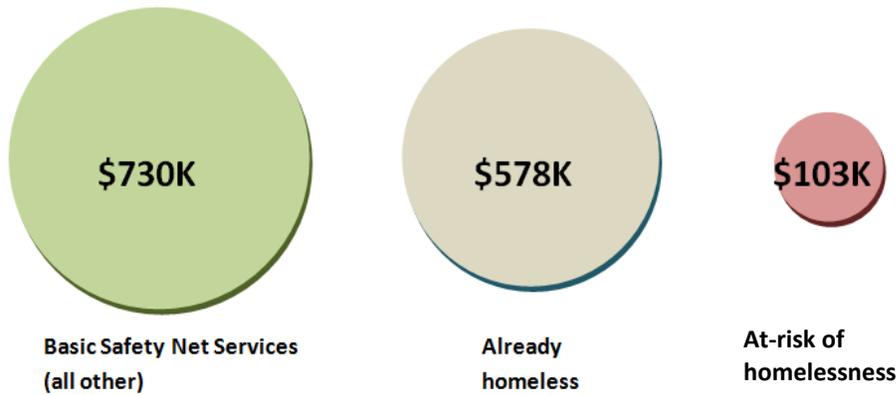


*Goals 4 and 6 not included; investment is existing staff time in partnerships as discussed under “Human Services Funding by Ten-Year Plan Goal.

Approximately \$730,000 also was expended on operating support for basic safety net (BSN) services in the city. BSN services, such as health and mental health, are accessed by both housed and homeless low-income persons and can help prevent homelessness. Chart 6 on the next page compares funding for homeless and safety net services.

⁹ Vouchers that are not specifically targeted to people who are homeless, such as the majority of those issued through Boulder Housing Partners, are not included in this analysis or in Attachments A or C.

Chart 6: City support for homeless and those at risk of being homeless

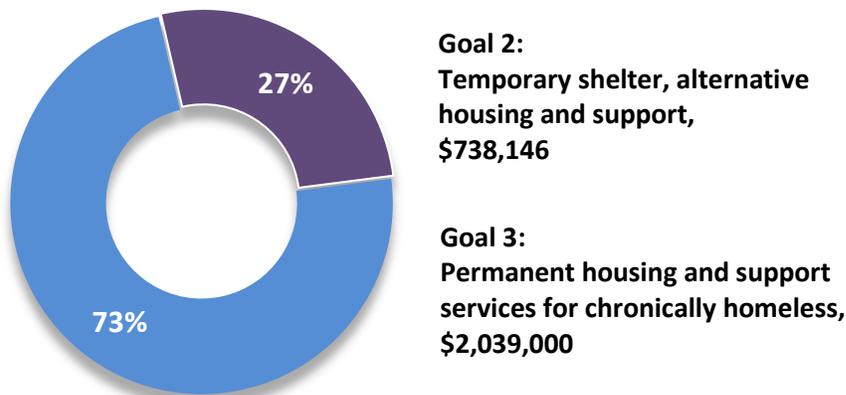


Capital Investments

Although the City of Boulder provides significant support for the acquisition and preservation of affordable housing, only capital investments which increased the supply of housing for the homeless are included in this analysis. Between 2008 and 2013, the city invested about \$2.7 million in capital projects to increase the supply of housing options for the homeless.

Chart 7 summarizes capital investments by Ten-Year Plan goals. Attachment C provides an overview of the investments that have increased supply, in addition to investments by Boulder County and the City of Longmont during the same time period. The majority of the city investment in the three years since council approved the Ten-Year Plan (\$2 million) has been in costs related to the development of the Lee Hill Housing First project.

Chart 7: Housing Division Capital Investments, 2008-13, by Ten-Year Plan Goals *



*Capital investments are only relevant for goals 2 and 3 of the Ten-Year Plan

Countywide Capital Investments and Vouchers

Boulder County and the City of Longmont have also made progress on increasing housing options for homeless individuals and families over the last five years. Boulder County invested about \$10.5 million in capital projects and vouchers between 2008-2013, primarily in permanent and transitional housing for families and youth. The City of Longmont invested approximately \$1.8 million during this period in capital projects and vouchers that increased options for emergency, transitional and permanent supportive housing. Further details on these investments are included in Attachment C.

Human Services Operating grants by Ten-Year Plan Goal

Prevention/Intervention (Goal 1): In 2012, 15 percent of HS operating funds for homelessness went to:

- Prevent homelessness through financial assistance to prevent evictions;
- Early support services to the newly homeless;
- Education and training; and
- Post-institutional reintegration into the community.

A total of \$103,575 was allocated to this goal. Homelessness prevention is a goal of the Ten-Year Plan because relatively small investments can have a significant impact in keeping people housed. However, recent information from HUD suggests that rapid re-housing¹⁰ is a more cost-effective investment than homelessness prevention programs.

Temporary Shelter, Alternative Housing and On-Site Services Support (Goal 2): Goal 2 blends providing temporary emergency shelter, day services, basic needs, and transitional housing with providing on-site support services at emergency shelter facilities. Eighty-three percent of operating funds for homelessness supports this goal.

A total of \$566,190 in operating funding was allocated to this goal, the largest percentage of which (53 percent) was to support on-site services in shelters such as mental health, health and domestic violence victim services. The next largest percentage (35 percent) was to provide emergency shelter space, primarily during winter months. In addition, the city allocated \$738,146 in capital funding during the years 2008-13 to expand emergency and transitional capacity for Attention Homes and SPAN (Attachment C).

The city and community values providing shelter for people to prevent exposure to harsh weather conditions or sleeping in places not meant for human habitation. Many communities struggle with balancing the need for emergency shelter with providing permanent housing. While some communities have decreased emergency shelter capacity to address more long-term permanent housing solutions (e.g., Grand Rapids, MI), others have delayed implementation of Housing First-type solutions (e.g., Denver) to meet the community's immediate demand for emergency shelter.

¹⁰ Rapid re-housing is a form of permanent housing designed to move people into housing quickly and provide supports necessary to stabilize the household on an as needed basis. A national study found that 91 percent of the 110,000 homeless people in families who received rapid re-housing assistance exited homelessness for permanent housing. More than half of these households did so with just one month of assistance.

Boulder's investment of \$8,000 in transitional housing operating support is low compared to investments in transitional housing in other cities. There is a national and regional trend to move housing investments from transitional housing to permanent supportive housing options, including rapid re-housing, due to their greater effectiveness. This however, does not mean that transitional housing is not an appropriate housing solution for some or appropriate continued investment to meet the variety of needs in Boulder.

Emergency shelter is not the emphasis of the Ten-Year Plan, and Boulder's investment in this area may be disproportionate compared to permanent housing investments and housing for families. Emergency shelter and transitional housing for families in Boulder is inadequate, with families often being sent to Denver for services.

Housing and support services for chronically homeless (Goal 3): Two percent of operating funding for the homeless was invested in this Ten-Year Plan goal in 2012. This goal area specifically addresses permanent housing and related support services. Attachment C indicates that from 2008 to 2013, approximately \$2 million in capital funding was invested in expanding permanent housing for the homeless by the city. Other major funders of permanent housing in the county include Boulder Housing Partners, Boulder County Housing Authority, and Mental Health Partners.

The Ten-Year Plan sets a goal of 100 permanent housing units for the chronically homeless over ten years. Through the planned Lee Hill Housing First development referenced in Chart 1, 31 units will be added to the existing approximately 50 units. The city will continue to work with countywide partners to reach goals for permanent housing for the chronically homeless. According to PIT data, approximately 80 percent of the county's chronically homeless are in Boulder, and without stable housing, this population disproportionately uses community safety net/emergency resources.

Although homeless assistance, including permanent supportive housing, is a Consolidated Plan goal, Housing Division requests for funding proposals (RFPs) have not specifically targeted a certain proportion of funding for homeless housing. Rapid re-housing (see footnote 10) is a successful strategy for moving people into permanent housing with a limited up-front investment. Boulder County and Longmont have implemented rapid re-housing programs, and this is an area the city will explore with local partners.

Another challenge in getting and keeping people housed in the city is a lack of low-cost housing options such as single room occupancy (SRO) units and group homes. Assessment of regulatory barriers to this type of housing could be explored.

Developing/improving systems to support efficient and effective Ten-Year Plan implementation (Goal 4): Significant staff time has been invested in this area as outlined in the activities described in Chart 1. City staff collaboration with the BHPG and participation in the development of regional priorities with MDHI and the Ten-Year Plan Board are examples of efforts to address systemic issues, and will continue to be a key focus for staff.

Key Homeless Issues

The majority of the Human Services Fund operating funding dedicated to homelessness is in emergency shelter and support services, reflecting significant need in this area. Relative to these investments in emergency shelter and support, there are gaps in investments for homeless families. The need for emergency, transitional and permanent housing for homeless families is far greater than the supply. As part of the update to the Human Services Strategy and development of the Housing Strategy, city staff will be evaluating and making recommendations on funding alignment with city and community priorities.

NEXT STEPS

- Update on homelessness – IP fourth quarter 2013
- Update on Housing Strategy – Oct. 29, 2013
- Council consideration of potential changes to panhandling ordinance – first quarter 2014
- City council study session on Human Services Strategy – first quarter 2014
- Adoption of Housing Strategy – fourth quarter 2014

ATTACHMENTS

A: Boulder County homeless housing inventory, 2013/2014

B: Department of Human Services' 2012 operating grants by Ten-Year Plan goals

C: Countywide homeless housing investment in increasing shelter, transitional housing and permanent housing supply, 2008-2013

Boulder County Homeless Housing Inventory, 2013/2014

Attachment A

Agency	Location	Program	Homeless Target Population	Capacity			Bed Type	Season	Notes
				# Beds	# Units/ Vouchers	% BC total			
Warming Centers (Overflow Overnight Shelter)									
BOHO	Boulder	overflow - rotating faith facility shelter	adults	145				winter	
Har HaShem Synagogue	Boulder	outdoor camping on private prop.	approved for camping	32			outdoor	summer	2 congregations participating; 25 & 7 person capacities
COB totals				177		82%			
Agape Family Services	Longmont	Agape Family Services Warming Center	men, women	40			facility-based	winter	3 programs cooperate to offer warming center spaces on cold winter nights (maximum 2 centers open each night)
COL totals				40		18%			
Total County-Wide Warming Center Beds				217		100%			
Overnight Shelter									
Boulder Shelter	Boulder	Emergency Shelter	adult men and women	110			facility-based	winter	BSH is located in Boulder and is a county-wide shelter with funding from Longmont and Boulder County
Boulder Shelter	Boulder	Transitions	adult men and women	50			facility-based	year round	BSH is located in Boulder and is a county-wide shelter with funding from Longmont and Boulder County
Attention Homes	Boulder	Emergency Shelter	youth	16					
Emergency Family Assistance Association (EFAA)	Boulder	ECHO House Shelter	families (with incomes)	15	6		facility-based	year round	
Safehouse Progressive Alliance for Non-Violence (SPAN)	Boulder	Emergency Program	victims of DV & children	27			facility-based	year round	
COB totals				218	6	79%			
EFAA	Longmont	Atwood Shelter	families (with incomes)	25	10		facility-based	year round	referrals only through OUR Center
Safe Shelter of St. Vrain	Longmont	Emergency Program	victims of DV & children	23					
COL totals				48	10	17%			
EFAA	Lafayette	North Carr Shelter	families (with incomes)	10	4		facility-based	year round	
Elsewhere in BC totals				10	4	4%			
Total County-Wide Emergency Shelter Beds				276		100%			
Transitional Housing									
Boulder County AIDS Project	Boulder	Eaton House Group Home	HIV	4	2		facility-based	year round	4 beds in 2 units
Boulder Shelter for the Homeless	Boulder	Transitional Housing Program	all		12		facility-based	year round	apartments in condo complex; some 2 bedroom units
Addiction Recovery Center	Boulder	Transitional Residential Program	addicted to substance(s)	1 to 2	1		facility-based	year round	1 to 2 beds in 1 unit prioritized for homeless
SPAN	Boulder		DV		4		facility-based	year round	
SPAN	Boulder		DV - families		4		facility-based	year round	
EFAA	Boulder	Yarmouth	families (with incomes)		7		facility-based	year round	
EFAA	Boulder	Yarmouth - Triplex	families (with incomes)		3		facility-based	year round	
EFAA	Boulder	BHP master leased units - Sanitas	families (with incomes)		2		facility-based	year round	
COB totals				5.5	35	9%			
Inn Between	Longmont	Transitional Housing Program	all		68				
OUR Center at First Lutheran	Longmont	Transitional Housing Program	singles		1				
Longmont Housing Authority	Longmont	Briarwood Apartments	all	20	10		facility-based	year round	6 units designated to Probation programs; capacity for two in each unit
Longmont Housing Authority	Longmont	The Suites	all	6	6		facility-based		typically 6 units with 6 month subsidy & intensive case management
Longmont Housing Authority	Longmont	Tenant -Based Rental Assistance (TBRA)	all		3		vouchers		new assistance (7 vouchers) on hold due to sequestration

Homeless Outreach Providing Encouragement (HOPE)	Longmont	Respite care	adults (singles/couples)	2	1		facility-based		up to two week respite care program in one hotel room for singles or couples, by referral, as needed, available year-round
Safe Shelter of St. Vrain	Longmont		DV	6	2				
COL totals				34	91	24%			
Boulder County Housing Authority and BC HHS	Longmt & Lafayette	Short-Term Housing	homeless families in child protection		12		facility-based	year round	rotating designated units from BCHA inventory; 12 month maximum stay
EFAA	Lafayette	North Carr Transitional	families		6		facility-based	year round	
EFAA	Louisville	Garfield	families		6		facility-based	year round	all 14 units to be occupied through transitional housing program over time - 5 units currently rented at market rate, 3 units with Housing Choice Vouchers
Boulder County Housing Authority and BC HHS	County-wide	Tenant -Based Rental Assistance (TBRA)	families with school-aged children		35		vouchers	year round	24 month voucher
Boulder County Housing Authority and BC HHS	County-wide	Housing Stabilization Program	all	295	180		coupons	year round	short-term assistance to secure permanent housing - rapid re-housing program
Boulder County Housing Authority & BCHHS	County-wide	Family Unification Program (FUP)	transition-aged youth		10		vouchers	year round	
SPAN	County-wide		DV - families		4		facility-based	year round	
Elsewhere in County totals					253	67%			
Total County-Wide Transitional Housing Units/Vouchers					379	100%			
Permanent/Permanent Supportive Housing									
Boulder Housing Partners	Boulder	1175 Lee Hill - Housing First	chronically homeless		31		facility-based		in pre-construction phase
Boulder Housing Partners	Boulder	Holiday Drive In			10		facility-based		
COB totals				0	41	10%			
Longmont Housing Authority	Longmont	The Suites	all	79	64		facility-based	year round	
OUR Center	Longmont	Jobs to Homes	singles	16					new program; security deposit, first month's rent, 6 months case management. Just now receiving funding.
Longmont totals				95	64	15%			
Boulder Shelter for the Homeless	Boulder & Longmont	Boulder County Housing First	chronically homeless		22		vouchers		
Mental Health Partners	Boulder & Broomfield Counties	Shelter Plus Care	serious mental illness		95		vouchers		geographic distribution of vouchers currently in use for these 2 programs combined: 86 in Boulder, 78 in Longmont, 7 in Broomfield, 6 in Lafayette, and 1 each in Erie, Louisville, Nederland and Niwot.
Mental Health Partners	Boulder & Broomfield Counties	Housing Choice Vouchers	serious mental illness		94		vouchers		
Boulder County Housing Authority & BCHHS	County-wide	Veterans Affairs Supportive Housing (VASH)	chronically homeless veterans and their families (if applicable)	50	35		vouchers	year round	
Boulder County Housing Authority & BCHHS	County-wide	Family Unification Program (FUP)	families involved in child protection		40		vouchers	year round	
Boulder County Housing Authority & BCHHS	Lafayette	Aspinwall at Josephine	families participating in BC self-sufficiency programs		24		facility-based		new program in pre-construction phase; families can be participating in Family Self-Sufficiency, TBRA, other Boulder County self-sufficiency programs
Elsewhere in County totals					310	75%			
Total County-Wide Permanent Housing Units/Vouchers					415	100%			

Color Key: **Blue: City of Boulder** **Green: Longmont** **Tan: Elsewhere in county; combination**

Notes:

1. Housing Choice Vouchers issued through the Cities of Longmont and Boulder (BHP) and Boulder County Housing Authorities provide the largest supply of housing vouchers in the county, however the majority are not targeted to people experiencing homelessness.
2. The Longmont Housing Authority has a total allocation of 529 vouchers, 469 of which will be used next year (the balance will not be filled due to sequestration cuts). The Longmont Housing Authority prioritizes housing the homeless with these vouchers as they turn over. In a typical year 50 units would automatically go to the homeless. Sequestration will disproportionately impact the supply of housing options for the homeless in Longmont because the Housing Authority does not anticipate issuing any new vouchers this year.
3. Totals for # beds and # units are duplicated counts. Some totals for bed numbers are based on agency estimates of people per unit.
4. The information presented in this spreadsheet is organized according to which jurisdiction facilities are located rather than which communities they serve or where their clients come from.

Department of Human Services, 2012 Operating Grants by Ten-Year Plan Goals

	GOAL 1: Prevention/Intervention	Allocation
SERVICES FOR AT-RISK /NEAR HOMELESS	Financial/ In-Kind Assistance to Stay Housed	
	BCAP - Care Services	\$15,000
	City of Boulder - Family Resource Schools	\$7,000
	Early Intervention Services	
	Bridge House - Resource Center (Human Relations Commission - Impact Fund)	5,000
	Bridge House - Resource Center	\$25,000
	Education & Training	
	SPAN - Outreach Counseling and Community Education	\$38,070
	SPAN - Violence Prevention and Education	\$8,505
	Post-Institutional Reintegration	
Collaborative Community - Focus Offender Re-entry	\$5,000	
Total Prevention	\$103,575	
Percentage to Goal 1	15.2%	
SERVICES FOR HOMELESS	GOAL 2: Temporary shelter, alternative housing and support	
	Emergency Shelter	
	BOHO - Emergency Warming Centers	\$20,000
	BSH - Winter Shelter and Transitional Housing	\$62,295
	EFAA - Shelter	\$53,750
	SPAN - Shelter - DV Victim Services	\$60,000
	Attention Homes - Residential Shelter Services (funding for shelter services are reimbursed to Attention Homes)	\$0
	Day Services/ Basic Needs	
	Attention Homes - Runaway and Homeless Youth, safe day shelter and basic needs	\$30,000
	Bridge House - Basic Needs	\$17,257
	BSH - Boulder County Cares - Outreach services and basic needs	\$15,000
	Transitional Housing	
	BSH - Transitional Housing	\$8,000
	Support Services	
	MHP - Psychiatric Emergency and Adult Services (on-site in Boulder Shelter and Bridge House)	\$180,388
Clinica - Primary Health Care for Low Income Boulder Residents	\$59,500	
SPAN - DV Victim Services	\$60,000	
Total Shelter, Housing & Support	\$566,190	
Percentage to Goal 2	82.9%	
GOAL 3: Provide permanent housing and support services for chronically homeless		
BSH - Housing First	\$12,000	
Total Permanent Housing & Support	\$12,000	
Percentage to Goal 3	1.8%	
INDIRECT SERVICES	GOAL 4: Develop and/or Improve Systems to Support Efficient and Effective Plan Implementation	
	City actions related to implementation of this goal will be addressed in the text of this IP	
	Percentage to Goal 4	
	GOAL 5: Public Awareness and Advocacy	
	Bridge House - Homeless Memorial Service (Human Relations Commission - Impact Fund)	\$1,360
	Total Public Awareness and Advocacy	\$1,360
Percentage to Goal 5	0.2%	
GOAL 6: Effective Governance and Staffing Structure		
City actions related to implementation of this goal will be addressed in the text of this IP		
Total Ten-Year Plan Expenditures	\$683,125	

**Countywide Homeless Housing Investment* in Increasing Shelter,
Transitional Housing and Permanent Supportive Housing Supply, 2008-2013****

Consortium Funder/ Project	Year	Fund	Amount 2008-2013	Activity	Type of Housing	# of additional beds provided/people sheltered or housed
Boulder County						
Project-Based Vouchers for Aspinwall at Josephine Commons	2013	HUD	\$210,000	Homeless/at-risk families in Boulder County self- sufficiency programs	Permanent Housing	24 units - in development, not yet available
Inn Between Longmont	2013	Boulder County Worthy Cause Funds	\$322,000	Renovations and debt reduction	Transitional Housing with support services/case management	13 three-bedroom units, 4 two-bedroom units***
EFAA Transitional Housing	2012	Boulder County Worthy Cause Funds	\$546,075	Purchase of 14 units in Louisville	Transitional Housing for families with support services	10 two-bedroom and 4 one-bedroom units (8 units transitioning from market rate as current tenants move)
Veterans Affairs Supportive Housing (VASH)	2012/2013	HUD/Veterans Affairs	\$638,400	Housing Choice Vouchers (formerly Section 8) for homeless veterans & families	Permanent Housing	35 households/year
Boulder County Short- Term Housing Program	2012/2013	Temporary Safety Net Funds	\$240,000	Short-term housing for homeless families in child protection	Transitional Housing (3 to 12 months)	12 units
Family Unification Program (FUP)	2012/2013	HUD	\$1,080,000	Housing Choice Vouchers for homeless youth transitioning out of foster care and homeless families involved in child protection	Permanent Housing for families; Transitional Housing for transitioned age youth (18-month voucher)	50 households/year
Tenant-Based Rental Assistance Program (TBRA)	2012/2013	CO Division of Housing, Dept of Local Affairs	\$784,422	Tenant-Based Rental Assistance (TBRA) for families with school-aged children who are homeless/at risk	Transitional Housing (2-year "coupon"/voucher)	approximately 45 households/year
Transitional Housing for SPAN (Safehouse)	2011	Boulder County Worthy Cause Funds	\$160,000	For clients of SPAN	Transitional Housing (up to 2 years)	4 units

Boulder Housing Partners	2010	Boulder County Worthy Cause Funds	\$832,150	Lee Hill Housing First project for chronically homeless	Permanent Supportive Housing	31 units*** - in development. Not yet available.
Housing Stabilization Program	2008 to 2013	Local funds received from Boulder County 1A initiative	\$5,700,000	Funding for households who need help paying their security deposit and rent. Approximately half are homeless and half at risk	Homelessness Prevention to enable Permanent Housing (primarily security deposits and rental assistance)	Approximately 180 households/year
Total Boulder County			\$10,513,047			
City of Boulder						
Attention Homes, Emergency Shelter	2013/2011	Affordable Housing Fund	\$143,235	Material, labor and soft costs for remodel and expansion of youth shelter	Emergency Shelter	Six beds (capacity increased from 10 to 16 beds)
Boulder Housing Partners, Housing First	2013	Affordable Housing Fund	\$1,600,000	New construction @1175 Lee Hill for chronically homeless	Permanent Supportive Housing	31 units*** - in development. Not yet available.
	2011	HOME	\$300,000	Pre-development costs for Lee Hill housing first development for chronically homeless		
	2010	HOME	\$121,000	Pre-development costs for Lee Hill housing first development for chronically homeless		
Boulder Housing Partners, Tenant-Based Rental Assistance (TBRA)	2008	HOME	\$18,000	Housing vouchers for single adults	Permanent Housing	4 people
SPAN	2008/2012	Affordable Housing Fund	\$594,911	New construction for victims of domestic violence	Emergency shelter and transitional housing	10 beds (capacity increased from 17 to 27)
Total City of Boulder			\$2,777,146			
City of Longmont						
Inn Between Longmont	2011-2013	Longmont HOME funds	\$513,612	Acquisition and rehab	Transitional Housing with support services/case management	13 three-bedroom units, 4 two-bedroom units***
Tenant-Based Rental Assistance Program (TBRA)	2008-2012	Longmont HOME funds	\$313,159	Tenant-Based Rental Assistance (TBRA) for families/individuals who are homeless	Transitional Housing (2 year coupon/voucher)	42 households total

Critical Housing Opportunities Program (CHOP)	2010-2013	Longmont General Funds	\$279,400	Mix of tenant based rent assistance and place based assistance at The Suites and Briarwood	Winter Transitional Housing (6-9 months) for families/individuals who are on street and at-risk	53 households through 2012
Rent Deposit Program	2008-2010	Longmont CDBG funds	\$10,370	Rent and/or utility security deposits	Assistance to homeless, working families/individuals who can afford rent, but cannot save for deposits	41 households served in total
Agape Family Services	2010-2013	Longmont General Funds	\$56,350	Operating costs for warming center rotating between 3 church facilities	Warming Center providing overnight shelter when weather is inclement	40 beds on any given night
The Suites	2011	Longmont Affordable Housing Fund, CDBG funds	\$621,000 (total project cost was \$6.5 million)	Acquisition and rehab of former extended stay hotel	Permanent supportive housing	71 units; 13 two bedroom and 58 one bedroom units
Total City of Longmont			\$1,793,891			

* Includes homeless housing (capital & vouchers) investment of Housing Consortium members in Boulder County including Boulder and Longmont.

** An additional \$1,092,303 allocated to Emergency Family Assistance Association, Boulder Shelter for the Homeless, Bridge House, Mother House, Community Food Share and Safehouse Progressive Alliance for Non-Violence (SPAN) from 2008 to 2013, is not presented in this table as these investments were for repairs or debt service and did not increase shelter, transitional or permanent supportive housing capacity during this period. Debt service payments were paid each year of the current five year period.

*** Indicates projects that appear more than once on spreadsheets due to funding from multiple sources.



INFORMATION PACKET MEMORANDUM

To: Members of City Council

From: Jane S. Brautigam, City Manager
Paul J. Fetherston, Deputy City Manager
Mike Patton, Director of Open Space and Mountain Parks
Kacey French, Environmental Planner

Date: August 20, 2013

Subject: Information Item: Update on Regional Trail Connections

EXECUTIVE SUMMARY

Creating regional trail connections continues to be of City Council and community interest. Several regional trail connections are being pursued as Open Space and Mountain Parks (OSMP) plans are implemented. Staff continues to work with regional partners on existing initiatives and to identify new opportunities.

FISCAL IMPACT

No additional funding is required in addition to current budget resources. The Open Space and Mountain Parks Acquisition Plan, approved by council in May 2013, identifies \$2-\$3 million for regional trail connections. This funding is for acquiring the necessary property interests to facilitate the completion of regional trails.

COMMUNITY SUSTAINABILITY ASSESSMENTS AND IMPACTS

- **Economic:** Overall economic impacts on the business community are unknown. Open Space and Mountain Parks lands, along with convenient access provided by regional trails, contribute to the vibrant character of the City of Boulder and appeal to outdoor lifestyle of many residents. The ecological setting and recreational opportunities on OSMP help attract and retain a wide range of employers and help those employers recruit and retain quality employees.
- **Environmental:** Overall environmental impacts are unknown. It is possible that regional trail connections will attract more visitors to OSMP lands. While increasing numbers of visitors is a concern, the greatest threats to conserving natural resources are most directly related to visitor behaviors. Regional trail connections could also disperse visitors from already highly visited areas to less visited areas including other public lands. Regional trail connections

could encourage alternative modes of transportation and/or reduce the number of cars at trailheads.

- **Social:** Regional trail connections could make Open Space more accessible for those who do not live adjacent or nearby.

STATUS

This memo describes both regional trails for which there is existing direction from City Council as well as new opportunities in which staff is participating.

Regional Trails with Existing City Council Direction (*Plans Accepted by City Council are Shown in Italics*)

- **Boulder Canyon to Flagstaff Summit** - Chapman Drive (*West Trail Study Area*)
The Lower Chapman Drive Trail was opened to the public in January 2013 connecting Boulder Canyon to Flagstaff Summit. This regional trail connection was made possible by the purchase of the Schnell property in 2012. As part of its approval of the Walker Ranch Management Plan, the Boulder County Commissioners directed county staff to examine ways of connecting Walker Ranch to OSMP's Chapman Drive Trail.
- **Boulder Creek Path** – Chapman Drive Trail and Fourmile Canyon Drive to Boulder County Parks and Open Space Betasso Preserve (*West Trail Study Area*)
OSMP and Boulder County Transportation have explored a number of options for extending the current bike path up to Chapman Drive Trail or to the canyon side of the Betasso Trail. Most recently, OSMP and county staffs have been working with Colorado Department of Transportation (CDOT) on a “shelf” project that, although currently unfunded, could eventually provide a bike path along the right of way to Chapman and Betasso.
- **Boulder to Lyons (Feeder Canal)** (*Boulder Valley Comprehensive Plan*)
There has been no activity in 2013 specific to this connection. Boulder County is the lead agency for this project and suspended further planning in response to public concerns, and land ownership issues. This area is included in the Regional Trails Master Plan project planning area (see below project description).
- **Eldorado Canyon to Walker Ranch** (*Boulder Valley Comprehensive Plan, Visitor Master Plan, Eldorado Mountain/Doudy Draw and West Trail Study Area Plans*)
Boulder County's Walker Ranch Management Plan as well as both the Eldorado Mountain/Doudy Draw and West Trails Study Area Plans recommend an evaluation of the feasibility of constructing a multi-use trail between Walker Ranch and Eldorado Canyon. The city, county and state are partnering on a feasibility study of four alignments to determine if a cost effective and environmentally acceptable connection can be found. A Request for Proposal is being developed this summer and will be distributed in early fall.

New Opportunities for Regional Trails

- **Regional Mountain Trails Master Plan (RMTMP)** – A multi-agency project led by Boulder County Parks and Open Space (BCPOS) to develop a network of access points and travel corridors for non-motorized users in the foothills and mountains of Boulder County.

The goal of the plan is to connect communities and recreation areas in the mountains and foothills to regional trails in the plains. The plan will emphasize linking existing trails and trail systems. The project partners are BCPOS, Boulder County Transportation, U.S. Forest Service, National Park Service, Colorado Parks and Wildlife, City of Boulder OSMP and City of Longmont. Public listening kick-off meetings were held at 11 sites across the county from mid-April to mid-May. The purpose of the meetings was to listen to the desires and concerns of the public and to share information about the project. Information was provided about the existing management considerations of the participating agencies. The management considerations for OSMP are:

- Trail Study Area (TSA) Planning is the primary decision-making process for area-specific plans that determine the design of the trail system and the permitted activities on the trails.
- West TSA decisions are considered “givens” for the RMTMP. Proposals for lands near or in the West TSA planning area will be evaluated based on their consistency and compatibility to the West TSA Plan.
- The RMTMP process will be integrated as appropriate with the North TSA planning process for OSMP lands generally north of Linden Drive and west of Broadway.

The project is entering into the preliminary planning phase, and will be followed by a trail corridor options and analysis phase. A draft plan is scheduled to be completed in the winter of 2014.

- **Rocky Mountain Greenway Project** – An American Great Outdoors initiative led by the U.S. Department of the Interior to create uninterrupted trails and transportation linkages that connect community trail systems with the three national wildlife refuges in the Denver metro region and Rocky Mountain National Park. The RMTMP will include an evaluation of potential connections to Rocky Mountain National Park through western Boulder County. A scoping report investigating the feasibility of connecting Rocky Flats with Two Ponds National Wildlife Refuge in Arvada was completed in December 2012. BCPOS Coalton trailhead is being considered as a potential connection from Rocky Flats Wildlife Refuge.

OSMP staff will continue to coordinate with other partner agencies on the development of regional trails through planning, route feasibility assessment, land acquisition and trail construction.

CITY OF BOULDER, COLORADO

BOARDS AND COMMISSIONS MEETING ACTION SUMMARY FORM

NAME OF BOARD/COMMISSION: LIBRARY COMMISSION

DATE OF MEETING: August 7, 2013 at Main Library

NAME/TELEPHONE OF PERSON PREPARING SUMMARY: Leanne Slater, 303-441-3106

LIBRARY COMMISSION MEMBERS PRESENT: Anne Sawyer, Celeste Landry, Donna O'Brien, and Anna Lull

LIBRARY COMMISSION MEMBERS ABSENT: Dan King resigned effective Aug. 4, 2013.

LIBRARY STAFF MEMBERS PRESENT: Valerie Maginnis, Jennifer Miles, Leanne Slater, Gwen Holton, and Kathleen Janosko

CITY STAFF PRESENT: Glenn Magee, Maureen Rait, Joe Castro, Jennifer Bray, and David Mallett

PUBLIC PRESENT: Alice McDonald, Doris Hass, Carl Manthei (Boulder Library Foundation president), Peter Richards, Laurence Anderson, Jacqueline Reid, and Cynthia Neil

BOULDER TEEN ADVISORY BOARD (BTAB) MEMBER PRESENT: Nick Bozik

Call to order: The meeting was called to order at 6:00 p.m.

Approval of Agenda: The agenda was approved with the additions included below.

Public Participation: No public participation

Consent Agenda:

- A. Approval of July 10, 2013 minutes- The July 10, 2013 minutes were unanimously approved as amended (3-0, O'Brien abstained as she was absent from the July meeting).
- B. Commission Update (from memo)
- C. Library Update (from memo)

Commission Priority Discussion and Input:

- A. Main Library Renovation Project Design Advisory Group (DAG) Update (1 hour & 27 minutes)-
The Library Commission received an information update from DAG on the following categories: project communication plan, public art process timeline, shelving floor plan, technology, HVAC augmentation, preliminary information on cost estimate, and an update on the Request for Qualifications (RFQ) process for construction contractor selection. Also, Commissioners Sawyer and Lull volunteered to serve on the public art selection panel.

Matters from the commission:

- A. Consideration of a statement about tax options and possibility of a future library district (11 minutes)
- B. Discussion regarding resignation of Commissioner King- Commissioner Sawyer will be making a request to the City Council Agenda Committee that states the Library Commission's preference for a new commissioner to be appointed prior to the annual spring recruitment period.

Matters from the department:

- A. Patron survey cost information and options (15 minutes)
- B. Update on the north Boulder library station (10 minutes)
- C. Questions about the new Library Commission city-based webpage- (10 minutes)- This item was deferred until the September meeting.

Next commission meeting (rollover items): Main Library renovation project Design Advisory Group and studiotrope update regarding way finding, furniture and finishes, RFID and automated materials handling system selection process, cost estimate and tradeoffs (if any) to consider, and preliminary architect-recommended project phasing; (possible) results from the north Boulder survey; review of library's portion of the city manager's recommended city budget; discuss survey questions in relation to the library's special programming.

Adjournment – The meeting was adjourned at 8:23 p.m.

ATTACH BRIEF DETAILS OF ANY PUBLIC COMMENTS (LIMIT TO ONE PAGE):

TIME AND LOCATION OF ANY FUTURE MEETINGS, COMMITTEES OR SPECIAL HEARINGS: 6 p.m. on Wed., Sept. 4, 2013 at the Main Library, in the North Meeting Room, 1001 Arapahoe Ave.