

## MEMORANDUM

October 7, 2015

**TO:** Landmarks Board

**FROM:** Lesli Ellis, Comprehensive Planning Manager  
James Hewat, Senior Historic Preservation Planner  
Deb Kalish, Senior Assistant City Attorney  
Marcy Cameron, Historic Preservation Planner  
Angela Smelker, Historic Preservation Planner

**SUBJECT:** Public hearing and consideration of a Landmark Alteration Certificate to construct a 405 sq. ft. addition to the main house, modify the fenestration on the south elevation, and construct a new 280 sq. ft. free-standing, one-car garage, per Section 9-11-18 of the Boulder Revised Code 1981 (HIS2015-00232).

### STATISTICS:

1. Site: 800 Arapahoe Ave.
2. Designation: Individual Landmark, Hannah Barker House
3. Date of Construction: c. 1878
4. Zoning: RMX-1 (Residential Mixed-1)
5. Lot size: 7,632 sq. ft.
6. Existing House: 2,300 sq. ft. (approx.)
7. Proposed Addition: 405 sq. ft.
8. Proposed Garage: 317 sq. ft.
9. Applicant: Steve Dodd, Architect

### STAFF RECOMMENDATION:

If the applicant complies with the conditions listed below, staff considers the proposed addition, modification of window and door openings on the south elevation and new free-standing construction, will be generally consistent with the conditions specified in Section 9-11-18, B.R.C. 1981 and the *General Design Guidelines*. Staff recommends that the Landmarks Board adopt the following motion:

The Landmarks Board adopts the staff memorandum dated October 7, 2015, in matter 5C (HIS2015-00232) as the findings of the board and approves construction of an addition at the rear of the main house and construction of a free-standing garage as shown on plans dated 09/15/2015, finding that they generally meet the standards for

issuance of a Landmark Alteration Certificate in Section 9-11-18, B.R.C. 1981, subject to the following conditions:

**CONDITIONS OF APPROVAL:**

1. The applicant shall be responsible for constructing the addition and garage in compliance with the approved plans dated 09/15/2015, except as modified by these conditions of approval.
2. Prior to submitting a building permit application and final issuance of the Landmark Alteration Certificate, the applicant shall submit final architectural plans that shall be subject to the final review and approval of the Landmarks design review committee and that include:
  - (A) Retention of the three windows at the south elevation of the main house.
  - (B) Elimination of the two new window openings at the south elevation of the main house.
  - (C) Modification of the plans to include a single door at the deck rather than two new openings.
  - (D) Further integration of the deck into the roof structure of the addition.
  - (E) Consideration of moving the garage further south, as close to the rear of the property as possible.
3. The Landmarks design review committee shall review details regarding the new construction, including materials, door and window details including moldings, and proposed insets, railing details, paint colors, and hardscaping on the property to ensure that the approval is consistent with the *General Design Guidelines* and the historic preservation ordinance.

**SUPPORT FOR BOZA VARIANCE UNDER CRITERION 4**

The applicant is requesting support for a variance from the Board of Zoning Adjustment for a variance to the required front and rear yard setbacks. Staff recommends that, if the Landmarks Board finds that the proposal meets the *General Design Guidelines* and the historic preservation ordinance, the board express support for the variance. See the Analysis section for more information.

### **Suggested Language:**

The Landmarks Board supports a variance to the required front and rear yard setback under Section 9-2-3(h)(4), finding that the proposed construction generally meets the *General Design Guidelines* and the historic preservation ordinance. The board considers that the construction of an addition and a garage in a "by-right" location would have an adverse impact on the historic character of the landmarked house and site.

### **SUMMARY:**

- Until 2008, the property encompassed approximately 20,000 sq. ft. when it was subdivided into two lots. The 7,632 sq. ft. lot that included the house was designated as an individual landmark (the Hannah Barker House), by the Boulder City Council on March 17, 2009.
- Historic Boulder, Inc., purchased the property. With the help of Colorado State Historical Funding, Historic Boulder has undertaken extensive structural stabilization and restoration of the exterior of the house, including reconstruction of the porch, cupola, and repainting following a historic paint analysis.
- Historic Boulder is selling the property and the prospective owner has submitted a Landmark Alteration Certificate request to modify the fenestration at the south elevation of the house, construct an addition at the rear of the house and construct a new, one-car garage immediately west of the house.
- The Landmarks Design Review Committee (Ldrc) referred the application to the full Landmarks Board for a quasi-judicial hearing.
- The applicant has met several times with staff to review the proposed design.
- The work will require a front and rear yard setback variance and the applicant is requesting support for a variance from the Landmarks Board. (See Analysis section.)
- Staff considers the proposed changes to the house including the rear addition and adjacent new construction to be generally consistent with the standards for approval of a Landmark Alteration Certificate as per Section 9-11-18, B.R.C. 1981, and the *General Design Guidelines*.
- Staff's recommendation for approval is based upon the understanding that the conditions above will be reviewed and approved by the Ldrc, prior to the issuance of a Landmark Alteration Certificate.

### **PROPERTY HISTORY<sup>1</sup>**

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<sup>1</sup> Landmarks Board Designation Memorandum dated 09.05.2007.



*Hannah C. Barker,  
undated. Carnegie Branch  
Library for Local History.*

The property at 800 Arapahoe Ave. is associated with Hannah Barker, a Boulder pioneer, philanthropist and civic leader. Hannah Connell Barker was born in Ireland in 1844 and came to Boulder in 1867, where she began teaching in Ward, Colorado. She married wealthy Boulder entrepreneur Ezra Barker in 1877 and they purchased the property at 800 Arapahoe Ave. Upon Ezra's death in 1883, Hannah inherited the extensive land holdings and wealth that Ezra had amassed.

Hannah's impact on the town was far-reaching, including platting the town of Highland Lawn in 1884, involvement in the Literary Society, the Boulder Women's Club, and founding the Boulder Creamery in 1887. She contributed financially to the Congregational Church, the University of Colorado, Chautauqua, and the YMCA. In 1911, she donated half a city block at the corner of 15<sup>th</sup> and Spruce Streets for use as a city park and public facility. In 1907, she sold her summer home and ranch in Nederland to the city of Boulder for \$23,000, to make way for the construction of a reservoir and dam, which were named in her and Ezra's honor. From 1898 until her death in 1918, Hannah served as a director of the Boulder Bank.



*800 Arapahoe (originally  
724 Valley Rd.), Engraving,  
c.1880s*

Prior to 1900, Hannah lived in her house with her close friend and fellow widow Mary K. Davidson, as well as Vina Knowles, who may have been Mary's sister. Hannah died in 1918 from influenza after suffering from poor health for more than two years.

The house at 800 Arapahoe is significant for the association with the Barkers and Mary Davidson as persons of local significance, and moreover to the association with Hannah Barker, one of the most significant pioneer women in Boulder.

## CONSTRUCTION HISTORY

The house at 800 Arapahoe Ave. was constructed in phases, spanning from the 1870s until 1901. The original building on the lot, constructed by Caleb and Carrie Stowell, was a small, gable-roof brick house, dating to the early 1870s. The Stowells added a one-

story masonry addition to the west soon after the construction of the gable portion, and a few years later added wooden lean-tos to the west and south of the house. In 1875, they constructed a two-story, Italianate building to the north, transforming the modest, vernacular building into a grand house executed in a fashionable style of the day. In 1877, the lot was purchased by Ezra K. and Hannah C. Barker and in 1900 Hannah Barker embarked on a significant remodeling project on the house which added additional rooms on the front and west side of the house, as well as the full-width porch at the front of the house. The addition nearly doubled the size of the house, and the cupola was moved to the center of the new roof.



*Figure 1. 800 Arapahoe Ave., c.1900.  
Photograph Courtesy the Carnegie Branch Library for Local History.*

A Historic Structure Assessment undertaken in 2007 describes the construction history of the property, which was comprised of five structures combined within the 19<sup>th</sup> century:

1. The original pre-1875 gable brick structure was a two room brick house, dating back to the early 1870s, now demolished.
2. Two original lean-to wooden structures, one on the West and one on the South of Building #1, shed roof, 1 room, ca. mid to late 1870s, now demolished.
3. The original Italianate Barker House, hipped roof with cupola, c. 1875/1878, the rear half of the existing building.
4. The Italianate front addition, matching hip roof with relocated cupola, reconfigured structure, c. 1890s, the front half of the existing building.
5. The front porch and side room/bay window addition, shed roof, c. 1901, wrapping the front (North) and side (West) elevations.



Figure 2. Highlighted image showing rear additions, 800 Arapahoe Ave., c. 1940s.



Figure 3. 800 Arapahoe Ave., rear portion of the building, facing northeast, 2007 (demolished in 2009)

The rear portion of the house was removed in 2009 in an effort to preserve the building. That part of the building was in poor condition and was compromising the structural integrity of the main house. Additionally, the footprint of the rear portion of the house extended past the new property line when the lot was subdivided. The property also previously included a concrete block garage, constructed in 1960, and an alley house, constructed in 1922. Both were demolished in 2009.

The main house was used as a single family house until approximately 1939, when the interior was converted into four apartments. By 1949, the exterior brick had been

painted white, the cupola removed, and the decorative brackets on the cornice of the house had been removed. By 1970 the house contained five units and remained occupied until approximately 1997, when approval to develop a bed and breakfast on the property was granted, and the interior of the house was gutted. The house remained vacant for more than a decade, and was then proposed for demolition. Historic Boulder, Inc. purchased the property and has undertaken extensive work on the building including structural stabilization, restoration of the porch, cupola, and repainting following a historic paint analysis.



Figure 4. 800 Arapahoe Ave., 2009 and 2015.

## PROPERTY DESCRIPTION

The 7,632 sq. ft. property is located on the south side of Arapahoe Ave., between 7<sup>th</sup> and 9<sup>th</sup> streets. The property is bounded by 802 Arapahoe Ave. on the east and south sides, and 716 Arapahoe Ave. on the west. It is located within the potential Expanded Highland Lawn Historic District.



Figure 5. Location Map, 800 Arapahoe Ave. showing the property boundary (dashed line).



*Figure 6. 800 Arapahoe Ave., 2015.*

Approximately 2,300 sq. ft. in size, the Italianate house has a low hipped roof, topped by a decorative cupola, and large overhanging boxed eaves with decorative brackets. The 1875 portion of the house has tall, narrow arched window openings, while the 1890s portion features square top rectangular window openings of similar proportion with stone sills and lintels. A full-length front porch spans the north elevation (façade) of the house, with simple columns spanned by arches, with a decorative brick railing topped with rough-cut stone. Decorative pyramid-shaped stone pilasters flank the five steps onto the porch.



*Figure 7. North and East Elevations, 800 Arapahoe Ave., 2015.*

The east elevation features five window openings; the two windows near the façade are square with stone sills and lintels. Windows on the southern portion of the elevation have brick arches and all of the windows were originally 2-over-2 double-hung sash. A

one-story bay window with three windows and decorative paneling and a brick chimney with decorative brickwork are located on this elevation.



*Figure 8. North and East Elevations, 800 Arapahoe Ave., 2015.*

The west elevation features a one-story bay addition (constructed c.1901 for Hannah Barker), wraps the northwest corner of the building. A two-story bay with windows on the first and second levels is located toward the south portion of the elevation. A brick chimney is present on this elevation.



*Figure 9. South (Rear) Elevation, 800 Arapahoe Ave., 2015.*

The south (rear) elevation is the least articulated of the elevations, with three, small square openings on the second level and two door openings on the first level. Two window openings on the west elevation bay are also present on this face. Historically, masonry and frame additions obscured the lower level of the rear of the house, and a chimney bisected the elevation. The additions were demolished in 2009. **LANDMARK ALTERATION CERTIFICATE REQUEST**

The application proposes to brick in the three square window openings on the second level of the south (rear) elevation, construct a 405 sq. ft. addition that references but does not replicate the original gable and shed roof portion of the masonry building, and to construct a 317 sq. ft. garage free-standing garage immediately to the west of the house.

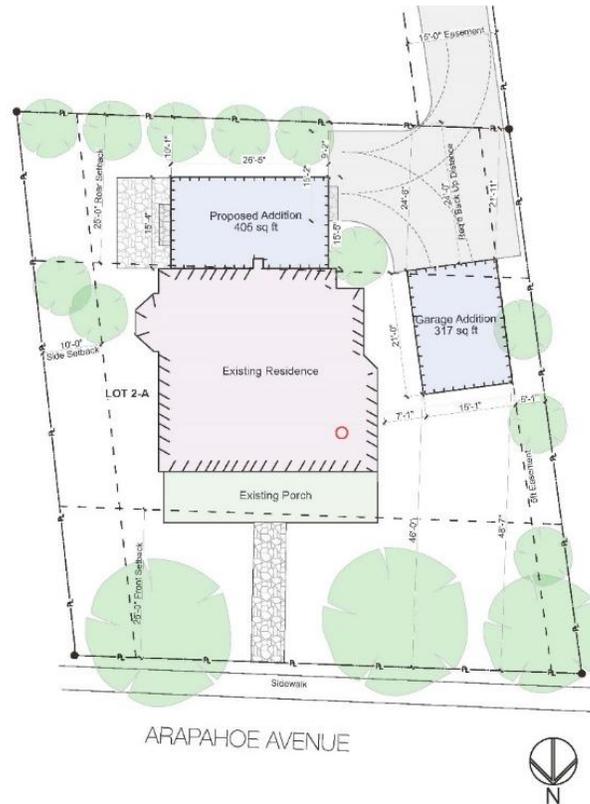


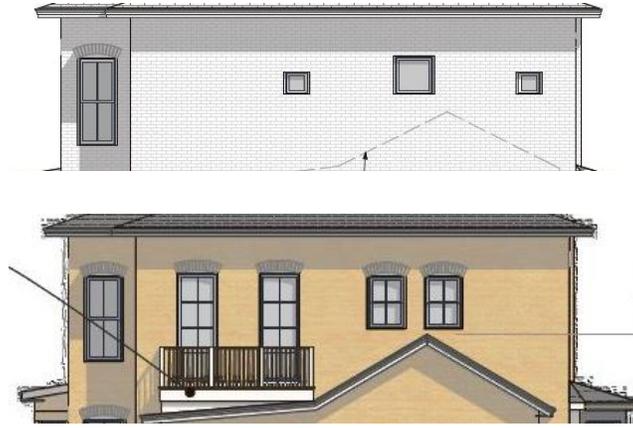
Figure 10. Proposed Site Plan (new construction highlighted in blue)

## PROPOSED MODIFICATION TO FENESTRATION

Elevations for the south (rear) elevation shows the reconfiguration of the window openings on the upper level of the main house. The application proposes to brick-in the three existing windows on the second level of this elevation. Physical evidence and historic photographs indicate that the existing openings are original and have not been enlarged or reduced in size. The larger, middle window has a wood sill. Currently boarded over, the windows were each single-pane, fixed windows. The glass of each of the windows has been broken or is altogether missing.

Plans show that four new openings would be made: a pair of 2-over-2 double-hung windows near the peak of the gable of the addition, and two openings at the west end of the elevation, similar in proportion to the historic openings on the house. Details on

the new window and door were not provided as part of this application, however, the applicant has indicated that they will be of wood construction.



*Figure 11. Existing and proposed changes to the fenestration at the south (rear) elevation.*

### **ADDITION TO THE HISTORIC STRUCTURE**

Plans show a one-story, 405 sq. ft. addition to be constructed at the rear of the two-story, 2,300 sq. ft. house. In plan, the addition measures approximately 15'5" by 26'5" and would be located approximately 9-10' from the rear property line. The east and west walls of the addition would be inset from the main house approximately 1' and 2'. The gable-and-shed roof form is designed on the silhouette of the original portion of the house that was removed in 2009 and still visible on that wall.

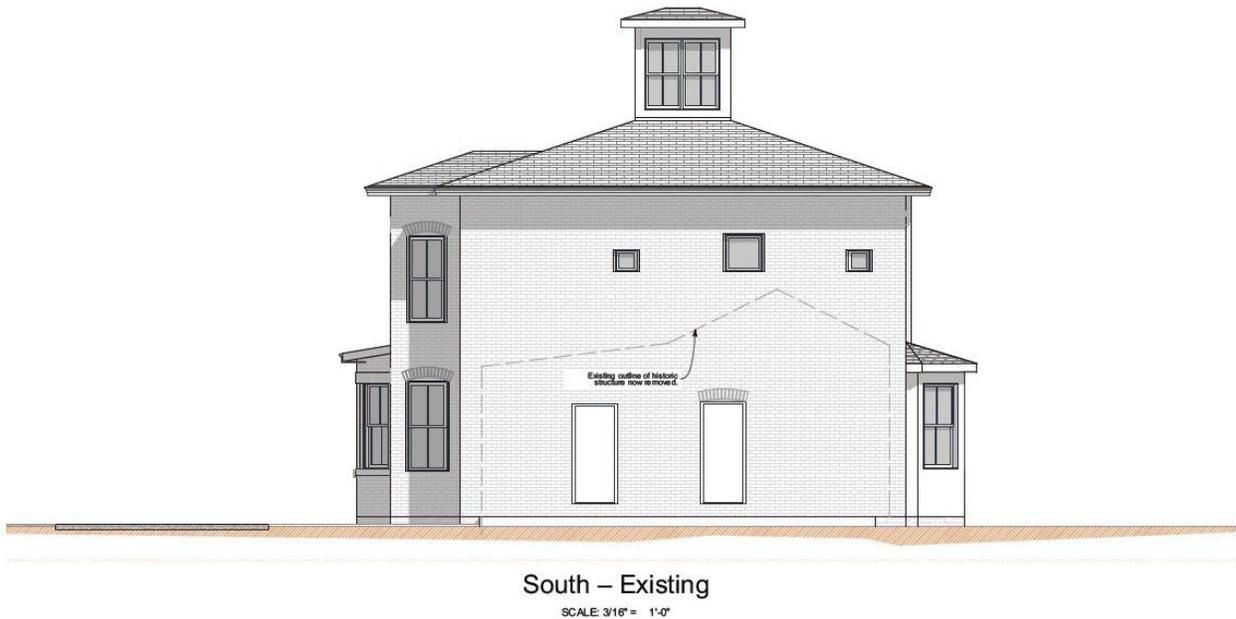


Figure 12: Existing South Elevation (Rear)

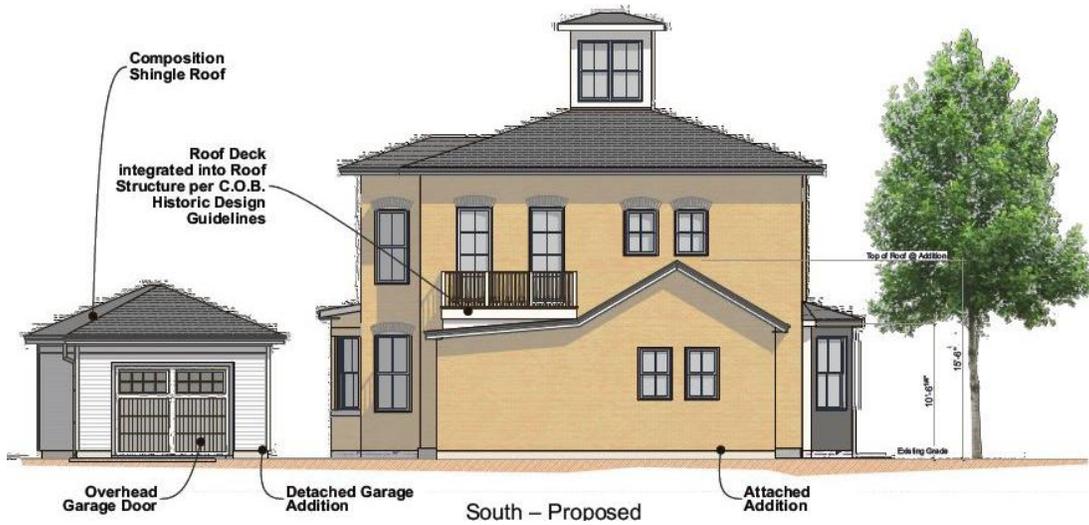


Figure 13: Proposed South Elevation (Rear)

The addition, as shown, references the roof pitch, height and width of the pre-1875 masonry building with the length of the building measuring approximately 15', or approximately three-quarters the length of the original portion. A pair of double-hung windows is shown to be centrally located beneath the gable end on the south elevation of the addition.

A roof deck is shown to be integrated into the roof structure of the addition at the west end of the elevation. It is shown to measure 5'x10' and have simple, wooden vertical supports.



Figure 14: Existing West Elevation

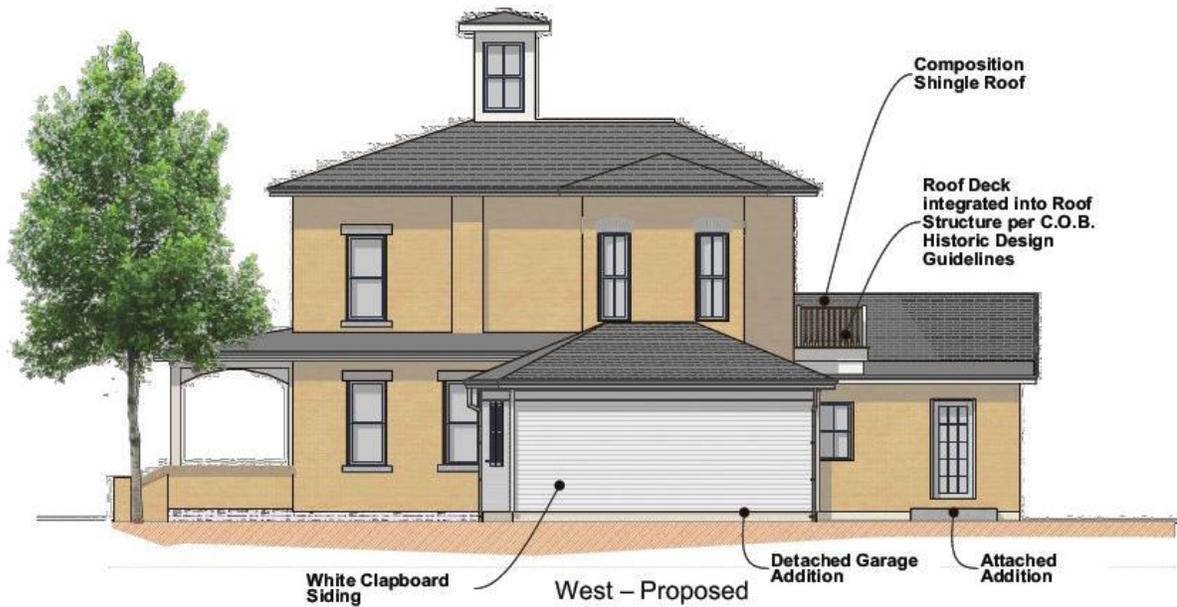
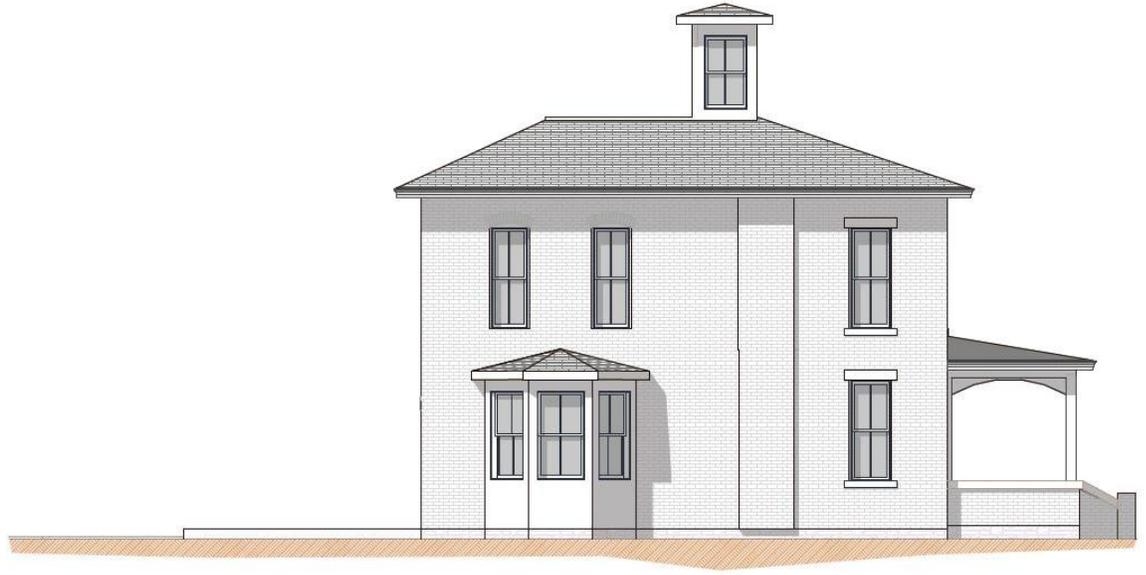


Figure 15: Proposed West Elevation

The west elevation of the addition is shown to feature a multi-light door at the south end of the elevation and a 2-over-2 double hung window at the north end of the elevation. The simple vertical railing of the integrated roof deck is shown above the window.



East – Existing

Figure 16: Existing east Elevation (street facing)



East – Proposed

Figure 17: Proposed east Elevation (street facing)

The east elevation of the addition is shown to have a centrally located, multi-light door flanked by two large, double-hung windows. A 7' x 15' flagstone patio is planned at the east side of the addition.

The applicant proposed to use the reuse bricks from the deconstructed masonry portion of the house for the addition which will be discernable from the historic portion of the house through simplified window openings and modern construction techniques.

### CONSTRUCTION OF A FREE-STANDING GARAGE

A one-car garage is shown to be located west of the house, oriented on an angle to provide necessary back-up space. The garage is simple in design, with a centrally located garage door on the south elevation, pairs of double-hung windows on the east and south elevations. No openings are shown on the west elevation. The garage measures 21' by 15'1" in plan, and 13'1" in height. The driveway material is not specified in the plans.



Figure 18. North and East proposed garage elevations, 2015.

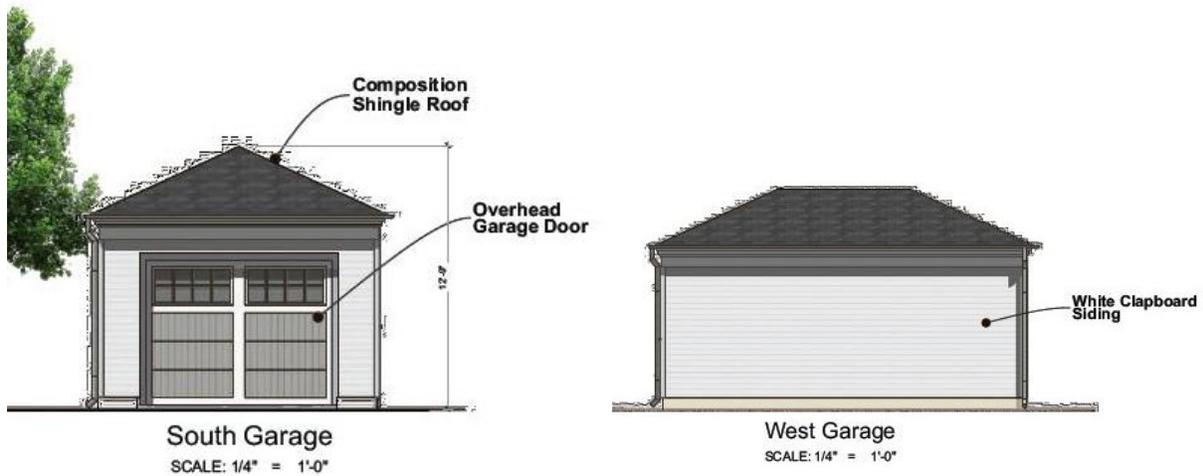


Figure 19. South and West proposed garage elevations, 2015.

## **CRITERIA FOR THE BOARD'S DECISION**

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Subsection 9-11-18(b) and (c), B.R.C. 1981, sets forth the standards the Landmarks Board must apply when reviewing a request for a Landmark Alteration Certificate.

(b) Neither the Landmarks Board nor the City Council shall approve a Landmark Alteration Certificate unless it meets the following conditions:

- (1) The proposed work preserves, enhances, or restores and does not damage or destroy the exterior architectural features of the landmark or the subject property within an historic district;
- (2) The proposed work does not adversely affect the special character or special historic, architectural, or aesthetic interest or value of the landmark and its site or the district;
- (3) The architectural style, arrangement, texture, color, arrangement of color, and materials used on existing and proposed constructions are compatible with the character of the existing landmark and its site or the historic district;
- (4) With respect to a proposal to demolish a building in an historic district, the proposed new construction to replace the building meets the requirements of paragraphs (b)(2) and (3) above.

(c) In determining whether to approve a landmark alteration certificate, the Landmarks Board shall consider the economic feasibility of alternatives, incorporation of energy-efficient design, and enhanced access for the disabled.

## **ANALYSIS**

*1. Does the proposed application preserve, enhance, or restore, and not damage or destroy the exterior architectural features of the landmark or the subject property within a historic district?*

Staff considers that, provided the listed conditions are met, the proposed alterations to the property including construction of a new addition at the rear of the historic house and the construction of a one-story, one-car garage on the property will preserve the historic character of the property and be consistent with the *General Design Guidelines*. (See Design Guidelines Analysis section.) Staff considers that the removal of the three original window openings on the south elevation to be inconsistent with the design guidelines than that these features should be retained. Additionally, staff recommends that only one opening be introduced on the south elevation to provide access to the roof deck.

*2. Does the proposed application adversely affect the special character or special historical, architectural, or aesthetic interest or value of the district?*

The staff finds that, provided the listed conditions are met as outlined above, the proposed application will not adversely affect the special character or special historic, architectural, or aesthetic interest or value of the landmark property as it will be generally compatible with the *General Design Guidelines* in terms of mass, scale, height, design and color. (See Design Guidelines Analysis section.)

*3. Is the architectural style, arrangement, texture, color, arrangement of color, and materials used on existing and proposed structures compatible with the character of the historic district?*

Staff finds that, provided the listed conditions are met, the proposed new construction will be generally compatible with the architectural form, arrangement, texture, color, arrangement of color, and materials used on the proposed building and will be generally compatible with the character of the historic district in terms of mass, scale, height, setback, and design. (See Design Guidelines Analysis section.)

*4. Does the proposal to demolish the building within the Mapleton Hill Historic District and the proposed new construction to replace the proposed demolished building meet the requirements of paragraphs 9-11-18(b)(2), 9-11-18(b)(3) and 9-11-18(b)(4) of this section?*

Not applicable.

**ANALYSIS:**

The Historic Preservation Ordinance sets forth the standards the Landmarks Board must apply when reviewing a request for a Landmark Alteration Certificate. The Board has adopted the *General Design Guidelines* to help interpret the historic preservation ordinance. The following is an analysis of the proposed new construction with respect to relevant guidelines. Design guidelines are intended to be used as an aid to appropriate design and not as a checklist of items for compliance.

The following is an analysis of the proposal’s compliance with the appropriate sections of the *General Design Guidelines*.

**ALTERATIONS TO CONTRIBUTING BUILDINGS, 3.0**

<b>3.7</b>	<b>Windows</b>
	<i>Windows, the elements that surround them, and their relationship to one another are one of the most important character-defining elements of a historic structure and should be preserved. Improper or insensitive treatment of the windows on a historic structure can seriously detract from its architectural character. Windows on facades visible from public streets, particularly the front façade, are especially important.</i>
	<b>Meets</b>

	<b>Guideline</b>	<b>Analysis</b>	<b>Guideline?</b>
.1	<i>Retain and preserve existing historic windows including their functional and decorative features, such as frame, glass, sashes, muntins, sills, heads, molding, surrounds and hardware. Because windows near the façade are particularly critical to the character of historic buildings, their protection may supersede the protection of historic windows elsewhere. In some cases, it might be appropriate to use window elements from the side or rear elevations to repair those on the front.</i>	Windows near the façade (primary and secondary elevations) are not proposed for removal. Three original window openings on the rear (secondary elevation) of the historic building are proposed to be bricked in. Staff recommends only one new opening be introduced on the rear elevation to provide access to the deck. Resolve details at the Ldrc.	Maybe
.2	<i>Preserve original window locations; do not move windows from their historic placement.</i>	Three original window locations at the rear of the historic house are proposed to be bricked in.	No
.6	<i>The location of the window(s) proposed for retrofit or replacement is important in assessing their significance to a historic building. In general, the more important the elevation where the window is located, the less likely that retrofit or replacement will be appropriate. Elevations will be categorized as primary, secondary or tertiary...</i> <ul style="list-style-type: none"> <li>• <i>Replacement of intact historic windows on primary elevations is rarely appropriate.</i></li> <li>• <i>Replacement of intact historic windows on secondary elevations is generally inappropriate.</i></li> <li>• <i>Replacement of intact historic windows on tertiary elevations can occur provided it does not compromise the historic integrity of the building.</i></li> </ul>	Staff considers the south elevation, due to its visibility from the alley and architectural prominence, to be a <b>secondary elevation</b> . Staff considers the removal of three historically important window openings on the south elevation to be inappropriate. Revise design for review by the Ldrc.	No

.7	<i>The historic significance of the windows proposed for replacement must also be assessed. In general, the more significant a window is to the building as a whole, the less likely that a retrofit or replacement will be appropriate.</i>	Staff considers the three windows proposed for removal to be <b>“Historically Important”</b> windows, as they are believed to be original to the construction of the house and have not been significantly altered. They are not “Very Historically Important” windows, as they do not define the Italianate style of the building, are not unusual or difficult to replicate (i.e. stained glass); and they were not executed with a high degree of craftsmanship. They do not fall into the “Non-Historic” window category, since they have not been significantly altered.	No
.8	The condition of the window must be evaluated prior to determining whether the window or door may be repaired or replaced. The condition is to be determined by assessing its elements individually.	Two of the window openings are boarded up. The applicant indicates that the wood frames are in place, however, the panes are broken or altogether missing.	No

**ADDITIONS TO HISTORIC BUILDINGS, 4.0.**

<b>4.1 Protection of Historic Structures and Sites</b>			
<i>The primary concern of the Landmarks Board in reviewing additions to historic structures is the protection of the existing structure and the character of the site and district.</i>			
	<b>Guideline</b>	<b>Analysis</b>	<b>Meets Guideline?</b>
.1	<i>Construct new additions so that there is the least possible loss of historic fabric and so that the character-defining features of the historic building are not destroyed, damaged, or obscured.</i>	The addition is proposed at the rear of the historic house, in the location of an addition that had been there previously. The proposed construction will not destroy, damage or obscure character-defining features of the Italianate house.	Yes
.2	<i>New additions should be constructed so that they may be</i>	The proposed addition is located where an addition previously was.	Yes

	<i>removed in the future without damaging the historic structure.</i>	The addition is set in from the corners of the primary building and could be removed at a later time without damaging the historic structure.	
.3	<i>It is not appropriate to construct an addition that will detract from the overall historic character of the principal building and/or the site, or if it will require the removal of significant building elements or site features.</i>	The one-story, 405 sq. ft. addition to the two-story, 2,300 sq. ft. addition will not detract from the overall historic character of the building, and will not require the removal of significant building elements or site features.	Yes
<b>4.2</b>	<b>Distinction from Historic Structures</b>		
	<i>All additions should be discernible from the historic structure. When the original design is duplicated the historic evolution of the building becomes unclear. Instead, additions should be compatible with the historic architecture but clearly recognizable as new construction.</i>		
	<b>Guideline</b>	<b>Analysis</b>	<b>Meets Guideline?</b>
.1	<i>Distinguish an addition from the historic structure, but maintain visual continuity between the two. One common method is to step the addition back and/or set it in slightly from the historic structure. Every project is different and successful designs may incorporate a variety of approaches.</i>	The proposed addition is set in from the primary building. The massing and form of the one-story gabled form will be discernable to the two-story hipped roof building. Detailing, including simplified window openings and simplification of the addition will also differentiate it from the 1878 portion.	Yes
.2	<i>Do not directly copy historic elements. Instead, interpret historic elements in simpler ways in the addition.</i>	The gable roof-form and massing of the proposed addition will reference, but not replicate an early addition. The addition as proposed is shown to be simpler than the main house.	Yes
.3	<i>Additions should be simpler in detail than the original structure. An addition that exhibits a more ornate style or implies an earlier period of architecture than that of the original is inappropriate.</i>	The addition as proposed is simple in style and design and does not imply an earlier period of architecture than the 1878 house.	Yes
.4	<i>The architectural style of additions should not imitate the</i>	The proposed addition does not seek to replicate the Italianate style of the	Yes

	<i>historic style but must be compatible with it. Contemporary style additions are possible, but require the utmost attention to these guidelines to be successful. The use of two distinct historic styles, such as adding Tudor-style half-timbering to a Classic Cottage, is inappropriate.</i>	original building. The addition references an earlier addition in mass, scale and location, but is simple in design.	
<b>4.3</b>	<b>Compatibility with Historic Buildings</b>		
	<i>Introducing new construction that contrasts sharply with an existing historic structure or site detracts from the visual continuity that marks our historic districts. While additions should be distinguishable from the historic structure, they must not contrast so sharply as to detract from the original building and/or the site. Additions should never overwhelm historic structures or the site, in mass, scale or detailing.</i>		
	<b>Guideline</b>	<b>Analysis</b>	<b>Meets Guideline?</b>
.1	<i>An addition should be subordinate to the historic building, limited in size and scale so that it does not diminish or visually overpower the building.</i>	The one-story, 405 sq. ft. addition will be subordinate to and will not visually overpower the two-story, 2,300 sq. ft. house.	Yes
.2	<i>Design an addition to be compatible with the historic building in mass, scale, materials and color. For elevations visible from public streets, the relationship of solids to voids in the exterior walls should also be compatible.</i>	The proposed addition will be compatible with the historic building in mass, scale, materials and color. The relationship of solids to voids on the addition is compatible with the symmetrical pattern found on the main house.	Yes
.3	<i>Adding a partial or full story to the historic portion of a historic building is rarely appropriate.</i>	One-story addition proposed to a two-story house. Addition of a partial or full story is not proposed on the historic portion of the house.	Yes
.4	<i>Reflect the original symmetry or asymmetry of the historic building.</i>	The proposed addition references but does not replicate an earlier addition, and is compatible with the symmetry of the original house.	Yes
.5	<i>Preserve the vertical and horizontal proportion of a building's mass.</i>	The main house's vertical massing will not be diminished or destroyed by the construction of a one-story	Yes

		addition at the rear elevation.	
<b>4.4</b>	<b>Compatibility with Historic Site and Setting</b>		
	<i>Additions should be designed and located so that significant site features, including mature trees, are not lost or obscured. The size of the addition should not overpower the site or dramatically alter its historic character.</i>		
	<b>Guideline</b>	<b>Analysis</b>	<b>Meets Guideline?</b>
.1	<i>Design new additions so that the overall character of the site, site topography, character-defining site features and trees are retained.</i>	The overall character of the site, topography and site features will be retained. The mature trees and historic fence at the front of the property will not be affected. The construction of the addition will not require the removal of mature trees in the rear yard.	Yes
.2	<i>Locate new additions on an inconspicuous elevation of the historic building, generally the rear one. Locating an addition to the front of a structure is inappropriate because it obscures the historic facade of a building.</i>	Addition is proposed at the rear of the historic house and will not be prominently visible from Arapahoe Ave.	Yes
.3	<i>Respect the established orientation of the original building and typical alignments in the area.</i>	Addition does not affect historic orientation and alignments of building of the historic house.	Yes
.4	<i>Preserve a backyard area between the house and the garage, maintaining the general proportion of built mass to open space found within the area. See Guideline 2.1.1.</i>	Lot was subdivided in 2007, altering the historic pattern of the building lot and creating a unique relationship between the lot and house. However, the addition will not detract from the historic character of the main house, as the open space will be maintained on the east and north areas.	Maybe
<b>4.5</b>	<b>Key Building Elements</b>		
	<i>Roofs, porches, dormers, windows and doors are some of the most important character-defining elements of any building. As such, they require extra attention to assure that they complement the historic architecture. In addition to the guidelines below, refer also to Section 3.0 Alterations for related suggestions.</i>		

	<b>Guideline</b>	<b>Analysis</b>	<b>Meets Guideline?</b>
.1	<i>Maintain the dominant roofline and orientation of the roof form to the street.</i>	The one-story, gable and shed roofline of the addition will not affect the orientation of the dominant low-pitched hip roof of the house.	Yes
.2	<i>Rooflines on additions should be lower than and secondary to the roofline of the original building.</i>	The one-story roofline of the addition is lower than and secondary to the two-story historic building.	Yes
.3	<i>The existing roof form, pitch, eave depth, and materials should be used for all additions.</i>	The proposed gable and shed roof form differs from but is compatible with the existing hipped roof form. The addition referenced but does not replicate and earlier rear addition.	Maybe
.5	<i>Maintain the proportion, general style, and symmetry or asymmetry of the existing window patterns.</i>	The window pattern on the main house is symmetrical, typical of the Italianate style. The window pattern on the south elevation of the house and on the addition maintains this symmetry, proportion and general style of the existing window pattern.	Yes
.6	<i>Use window shapes that are found on the historic building. Do not introduce odd-shaped windows such as octagonal, triangular, or diamond-shaped</i>	Odd window shapes are not proposed; proportion of double-hung windows are compatible with the tall, narrow double-hung windows found on the historic building.	Yes
.7	<i>Do not add divided light windows to structures that historically did not have divided light windows.</i>	2-over-2 double-hung windows proposed, referencing the window pattern of the original building.	Yes
.8	<i>Use materials and construction similar to historic windows. Do not use snap-in mullions.</i>	Snap-in mullions not proposed.	Yes

<b>3.2</b>	<b>Roof Decks and Balconies</b>
	<i>Roof decks are deck areas above the first floor that are contained completely or partially in a roof mass. Balconies are railed or balustraded platforms that project from the building. Second story roof decks or balconies are characteristic of only a few architectural styles found in Boulder. <b>They may be compatible additions, however, if located on the rear and if they are integrated into the primary structure.</b> Second story roof decks or balconies are not appropriate for free-standing accessory buildings and garages. Any decks or balconies above the</i>

	<i>second story are inappropriate unless based on historic precedent.</i>		
	<b>Guideline</b>	<b>Analysis</b>	<b>Meets Guideline?</b>
.1	<i>Locate roof decks or balconies on the rear, not on the front, of the building. Front roof decks or balconies are appropriate only if recreating a documented historic element.</i>	Roof deck is proposed at the rear of the building, located above the proposed addition.	Yes
.2	<i>Integrate the roof deck or balcony into the structure either by setting it into the building or by incorporating it into the roof structure.</i>	Staff recommends the deck be further integrated into the roof structure of the addition to meet this guideline. Resolve at LDRC.	Yes
.3	<i>Avoid cantilevered projections from the building, and use appropriately scaled brackets or supports.</i>	Roof deck is not cantilevered from the building.	Yes
.4	<i>While current code requirements must be met, new railings should be as close as possible to historic heights. In addition, sensitive design may give the appearance of the lower railing heights found on historic structures.</i>	The proposed railing is simply detailed, and does not appear to be overscaled.	Yes

## SITE DESIGN AND NEW ACCESSORY STRUCTURES

### SITE DESIGN 2.0

<b>2.4</b>	<b>Parking, Driveways</b>		
	<i>Historically, private parking was limited to the rear of the lot with access from the alley. There are instances where curb cuts have been added in the front yards, but these are generally later alterations and do not represent traditional parking patterns.</i>		
	<b>Guideline</b>	<b>Analysis</b>	<b>Meets Guideline?</b>
.1	<i>Maintain the traditional pattern of parking at the rear of the lot.</i>	Parking is proposed at the rear of the lot. Due to the subdivision of the lot in 2007, parking is not possible along the alley.	<b>Yes</b>
.2	<i>Access to parking should be from the alleys whenever possible.</i>	Access is from the alley.	<b>Yes</b>

.3	<i>Parking in the front yard is inappropriate.</i>	Parking is not proposed in the front yard.	<b>No</b>
.4	<i>New curb cuts from the street are inappropriate. When adding a garage or significantly altering an existing garage on the alley any front curb cut should be vacated and closed.</i>	Curb cut not proposed.	<b>N/A</b>
.6	<i>Historically appropriate paving materials, such as flagstone or brick, can be used to visually break up larger parking areas.</i>	Paving material is not indicated in application.	<b>Maybe</b>
.7	<i>Paving driveways or garage access areas with asphalt or concrete gives a modern look and is generally inappropriate, particularly when adjacent to unpaved alleys. Flagstone or brick wheel strips are the preferred alternative.</i>	Paving material is not indicated in application.	<b>Maybe</b>

## **GARAGES & OTHER ACCESSORY STRUCTURES**

<b>7.2</b>	<b>New Accessory Buildings</b>		
<p><i>New accessory buildings should follow the character and pattern of historic accessory structures. While they should be take design clues from the primary structure, they must be subordinate to the primary structure in size, massing and detailing. Alley buildings should maintain a scale that is pleasant to walk along and comfortable for pedestrians.</i></p>			
	<b>Guideline</b>	<b>Analysis</b>	<b>Meets Guideline?</b>
.1	<i>It is inappropriate to introduce a new garage or accessory building if doing so will detract from the overall historic character of the principal building and the site, or if it will require the removal of a significant historic building element or site feature, such as a mature tree.</i>	The diminutive size of the one-story, one-car garage will not detract from the overall historic character of the principal building and site. Proposed construction will to require the removal of mature trees or building elements.	Yes
.2	<i>New garages and accessory buildings should generally be located at the rear of the lot, respecting the traditional relationship of such buildings to the</i>	Due to the subdivision of the lot in 2007, parking is not possible along the alley. The accessory building is set back 46-48 ft. from the north	Maybe

	<i>primary structure and the site.</i>	property line, in the side yard of the designated property. Staff recommends the applicant explore the possibility of locating the garage as close to the rear property line as possible. Resolve at LDRC.	
.3	<i>Maintain adequate spacing between accessory buildings so alleys do not evolve into tunnel-like passageways.</i>	Parking along alley not possible due to 2007 subdivision of the lot.	N/A
.4	<i>Preserve a backyard area between the house and the accessory buildings, maintaining the general proportion of built mass to open space found within the area.</i>	Lot was subdivided in 2007, altering the historic pattern of the building lot and creating a unique relationship between the lot and house. However, the addition will not detract from the historic character of the main house, as the open space will be maintained on the east and north areas.	Maybe
.5	<i>New accessory structures should take design cues from the primary structure on the site, but be subordinate to it in terms of size and massing.</i>	The new building is clearly contemporary but generally compatible with the primary building in terms of architectural details and materials.	Yes
.7	<i>Roof form and pitch should be complimentary to the primary structure.</i>	The form and pitch of roof complimentary with the main house.	Yes
.8	<i>Accessory structures should be simpler in design and detail than the primary building.</i>	The proposed garage is simpler than house in scale and detail.	Yes
.9	<i>Materials for new garages and accessory structures should be compatible with those found on the primary structure and in the district. Vinyl siding and prefabricated structures are inappropriate.</i>	Materials as proposed, including wood lap siding, windows and doors are appropriate. Provide material/color details to Ldrc for review and approval.	Yes
.10	<i>Windows, like all elements of accessory</i>	The proportions, design and	Yes

<p><i>buildings, should be simpler in detailing and smaller in scale than similar elements on primary structures.</i></p>	<p>materials of proposed are generally consistent.</p>	
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**Reconfiguration of Fenestration on South (Rear) Elevation**

Staff considers the proposed reconfiguration of the fenestration on the south elevation to be inconsistent with the historic preservation ordinance and Section 3.7 of the *General Design Guidelines* and the three window openings on the south elevation to be “Historically Important Windows” as they are likely original to the construction of the house and have not been significantly altered. The General Design Guidelines defines a Secondary Elevation as “typically a side of a building that has less public visibility, and may have fewer significant character defining features than on the façade. An elevation that has visibility from an alley may be considered a secondary elevation.” Staff considers the south elevation to meet this definition.

Staff considers that the removal of the three window openings will adversely affect the historic integrity of the property, as the window openings are original to the house and the design guidelines discourages the removal or relocation of window openings. Staff considers that a single opening to access the roof deck would be appropriate on the west side of the south elevation. Staff suggests that the door opening be simplified to avoid confusion about the date of the proposed modification. This may include removing the decorative sills.

**Construction of Rear Addition**

Staff considers that the proposed construction of a rear addition is generally consistent with Sections 3.2 and 4.0 of the *General Design Guidelines*. The one-story, 405 sq. ft. addition to the two-story, 2,300 sq. ft. addition will not detract from the overall historic character of the building and will not require the removal of significant building elements or site features. The proposed addition references, but does not replicate an earlier addition and is compatible with the symmetry of the original house. The addition is not prominently visible from Arapahoe Ave., and its scale and massing will not visually overwhelm the historic building. The proposed materials are appropriate, and the addition will be discernable from the historic portion of the building through simplification of window openings and material detailing. Staff recommends that the roof deck be further integrated into the roof structure of the proposed addition to meet Guideline 3.2.2.

### **Construction of a New Accessory Building**

Staff considers that the proposed construction of the new accessory building to be generally consistent with Sections 2.0 and 7.2 of the *General Design Guidelines*. Due to the configuration of the lot, the proposed location is as close to the rear property line as possible to achieve the required 24' vehicle back out distance. The one-story, 317 sq. ft. garage is diminutive in size and simple in detailing. Staff considers that the construction of the garage will not damage or destroy the architectural or historic character of the landmarked site. Staff recommends that the applicant explore locating the garage as close to the rear property line as possible to further lessen the visual impact from Arapahoe Ave.

### **REQUEST FOR SUPPORT OF A BOZA VARIANCE**

Section 9-2-3(h)(4) of the Boulder Revised Code states that a variance should be considered by the Board of Zoning Adjustment (BOZA) if the property is historically designated and that, if the property were developed in conformity with the provisions of the code, the resulting development would have "an adverse impact" upon the historic character of the building. If the Landmarks Board finds that the proposed addition and garage meet the standards for a Landmark Alteration Certificate, staff recommends that the board express support for a BOZA variance.

Staff considers that locating the addition and garage in a conforming location would be inappropriate as it would result in a building that does not match the proportions of the historic house and would detract from the character of the primary house. Staff considers that these "by right" alternatives would have an adverse affect upon the house per Section 9.2.3(h)(4) of the B.R.C. The current proposal is consistent with the historic preservation ordinance and the *General Design Guidelines*. To this end, staff recommends that the Landmarks Board express support for the requested variance from Board of Zoning Adjustment (BOZA) under criterion 4.

### **PUBLIC COMMENT**

Historic Boulder, Inc. has submitted a letter of support for the proposed construction of an addition and new garage. *See Attachment E: Historic Boulder Letter*

### **FINDINGS:**

Provided the conditions outlined in the staff recommendation are met, staff recommends that the Landmarks Board approve the application and adopt the following findings:

1. The proposed new construction meets the standards in Section 9-11-18, B.R.C. 1981.

Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for 800 Arapahoe Ave.

2. The proposed new construction will not have an adverse effect on the value of the landmark property, as it will be generally compatible in terms of mass, scale, and orientation of the landmark site.
3. In terms of mass, scale, and orientation, the proposal will be generally consistent with Section 9-11-18 B.R.C.1981, and the *General Design Guidelines*.

**ATTACHMENTS:**

- A: Background Information
- B: Applicant Letter
- C: Existing and Proposed Plans
- D: Photographs
- E: Letter of Support from Historic Boulder, Inc.

**Attachment A: Background Information**

**Hannah Barker and 800 Arapahoe Ave.**

**The following is an excerpt from the Landmarks Board Designation Memo dated 2008.**



*Ezra K. Barker, undated.  
Carnegie Branch Library for  
Local History*

In 1872, Marinus “Marine” Smith platted the Smith’s Addition to West Boulder, which included the land upon which the house at 800 Arapahoe now stands. In 1877, the property was purchased by Ezra K. Barker, a well-known builder and real estate and mining investor in Boulder. Ezra K. Barker married Hannah Connell on November 30, 1877, in Valmont, Colorado. Hannah was born in 1844 in Ireland, and immigrated to Springfield, Massachusetts with her parents at the age of six. In 1867, at the age of 23, she began traveling west from Iowa with William and Mary K. Davidson (for whom Davidson Mesa is named) and arrived in Ward, Colorado, where she began teaching. After two years, she moved to Boulder, and began teaching in the Boulder Valley School District. Following her marriage to Ezra, she retired from teaching and took up philanthropic and civic affairs. After only 6 years of marriage, Ezra died in 1883, and Hannah inherited the extensive land holdings and wealth that Ezra had amassed.

Hannah continued to develop the Barker land holdings, including platting the town of Highland Lawn in 1884. Highland Lawn was annexed into the city of Boulder in 1891. Hannah was active in many community affairs, including the Literary Society (later the Fortnightly Club, which evolved into the Boulder Public Library), the Boulder Women’s Club, and was a founder of the Boulder Creamery in 1887. She also gave liberally to the Congregational Church, including writing the church history, and donating half the \$2,500 needed to purchase an organ. She also contributed financially to the University to construct a new wing to the Hospital, Chautauqua, and the YMCA. In 1911, she

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Re: Landmark Alteration Certificate for 800 Arapahoe Ave.

donated half a city block at the corner of 15<sup>th</sup> and Spruce Streets for use as a city park and public facility. The site continues today as the Boulder Day Nursery and Public Park and playground. In 1907, she sold her summer home and ranch in Nederland to the city of Boulder for \$23,000, to make way for the construction of a reservoir and dam, which were named in her and Ezra's honor. From 1898 until her death in 1918, Hannah served as a director of the Boulder Bank. Prior to 1900, Hannah lived in her house with her close friend and fellow widow Mary K. Davidson, as well as Vina Knowles, who may have been Mary's sister. Hannah died in 1918 after suffering from poor health for more than two years. She died as a result of influenza, one of many who lost their lives as part of the 1918 flu pandemic. She is buried in Green Mountain Cemetery. Hannah left behind an estate valued at \$62,400, and left her home to her lifelong friend Mary Knowles Davidson. Mary died five years later in 1923. The house passed to her heirs, and in 1927 the estate was finally settled in court, and the house sold to William I. Reynolds. The house at 800 Arapahoe is significant for the association with the Barkers and Mary Davidson as persons of local significance, and moreover to the association with Hannah Barker, one of the most significant pioneer women in Boulder.

Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for 800 Arapahoe Ave.

**Attachment B: Applicant Letter**

## Dodd — Studio

1701 15th Street  
Boulder, CO 80302  
T 303 440-7957  
[steve@dodd-studio.com](mailto:steve@dodd-studio.com)  
[dodd-studio.com](http://dodd-studio.com)

**Date: September 16, 2015 r**

### Written Statement

Hannah Barker House Addition and Detached Garage Addition  
800 Arapaho, Boulder, CO 80302

Variance Request:

1. Principal Building rear yard setback reduction from 25'-0" to 9'-2"
2. Accessory Building Front Yard setback reduction from 55'-0" to 46'-0"

### Project Description

The Hannah Barker house is an individual historic landmark built in 1875 and consisting of 1192 sf on the main level and 1068 sf on the upper level. The house was in a state of near total ruin when Historic Boulder purchased the property in 2010 and embarked on a multi-year restoration of the home with help from a broad sector of the community. To date, the house has been structurally stabilized and all of the exterior details have been restored, except for the windows and doors. Historic Boulder is in the process of selling the property to a private party who will complete the window and door restoration as well as a full interior renovation.

As part of the full restoration of the property, it is proposed to add a one story addition of approximately 402 sf attached to the south end of the existing house as well as a one story detached garage of approximately 280 sf to the west of the house toward the rear of the lot. The proposed design was developed in consultation with Historic Boulder and City of Boulder Historic Preservation staff and is in compliance with the City of Boulder Design Guidelines for Individual Landmarks. The project was reviewed by the Landmarks Design Review Committee on September 2, and although there is conceptual support for the proposal, the LDRC decided the significance of the building warranted review by the full Landmarks Board. This meeting is scheduled for October 7.

The location of the attached addition on the south end of the existing house minimizes visual impacts from Arapaho Avenue. This addition will enclose a new kitchen and mud room that will match the roof line and massing of an historic portion of the building at this location, which was demolished as part of the current restoration undertaken by Historic Boulder. The kitchen addition will dramatically improve the live-ability of the existing floor plan and allow preservation of most of the existing interior masonry and wood frame walls. The 15 foot depth of the addition is the minimum required to provided a functional kitchen layout. The proposed attached addition will result in a rear yard setback varying from 9'-2" to 10'-1", where 25 feet is required in the RMX-1 zoning district.

The detached garage is located to minimize driveway length and turnaround area. Vehicle access to the property is from the alley via a 15 foot access easement on the western edge of the adja-

**Memo to the Landmarks Board**  
**Re: Landmark Alteration Certificate for 800 Arapahoe Ave.**

cent property to the south. The required minimum 24 foot back up distance is provided between the garage and the property line. The single car detached garage has a minimal depth of 21'-0" to maximize the front yard setback and minimize visual impact from the street. Even so, a variance is requested to reduce the front yard setback requirement for the accessory building from 55 feet to a setback varying from 46'-0" to 48'-7". This variance is necessary due to the shallow 90 ft. depth of the lot.

The project is in compliance with all other zoning requirements for the RMX-1 zoning district including FAR, Building Coverage, Height, Garage to House separation, Bulk Plane, Side Yard Wall Articulation, and Solar Shadow. Zoning information is summarized in Attachment 1. The variances requested will allow for modest expansion of an historically significant property and contribute to its long term care and maintenance by creating a home which more practically accommodates the needs of modern families.

**Site Conditions**

The Hannah Barker House was originally sited on a lot which extended from Arapaho Avenue south to the alley between Arapaho and Marine Streets. The property was subsequently subdivided in the early 2000's to create two separate parcels. The southern parcel includes a flag extension across the eastern edge of the Barker parcel to meet the City of Boulder street frontage requirement. In addition, a 15 foot access easement along the western edge of the southern parcel provides alley access to the Barker property. A portion of the original Hannah Barker House had to be demolished at the time of the subdivision.

The resulting rather unusual lot configuration has created a hardship for the Barker property with regard to expanding it's modest 1192 sf footprint. Historic considerations prevent building to the east or west, leaving only the south of the house as a possibility. But the subdivision has resulted in the existing house located at the rear yard setback. Any addition to this side of the house requires a variance.



**Neighborhood Conditions**

The property is bounded by another large, historic single family home to the west, and by multi-family (primarily) student housing on all other sides. The adjacent lot to the south is currently vacant but is planned for additional multi-family, student housing.



**Existing Building**

The existing house is currently nearing completion of Phase 3 of the restoration undertaken by Historic Boulder. Phase 1 included emergency protection of the existing building and was completed in 2011. Phase 2 stabilized the foundation and masonry and included structural improvements to the interior, completed in 2012. Phase 3 includes the restoration of the front porch, chimneys, cupola, exterior trim details, and exterior painting.

The next phase of work, to be undertaken by the new owner, will be the restoration of the exterior windows and doors, followed by a complete interior renovation and, if approved, the additions described in this application.

The current condition of the house, as of June 2015, is shown in the attached photos. Exterior painting of the house is now complete.

Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for 800 Arapahoe Ave.



**Main Level Interior**



**Upper Level Interior**



**Front View from Northwest**

Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for 800 Arapahoe Ave.



**Front View from Northeast**



**Rear View from southwest showing outline of demolished portion of house**



**Rear View from southeast showing outline of demolished portion of house**

### **Proposed Design**

The current proposal is a direct result of a meeting with Boulder Historic Preservation staff. The proposed addition has the same width and roof profile as the demolished portion of the house, and extends approximately 15 ft. into the rear yard setback. It provides a service/mudroom entry directly into a new kitchen featuring natural light from the east and south, as well as access to the southeast portion of the yard. The kitchen/mudroom addition allows for the development of a well proportioned main level floor plan and dramatic interior stair in keeping with the stature of the historic house. The proposed window and door proportions are sympathetic to the existing house but do not include head or sill details so that a distinction can be made between the original house and the addition. The design intent is to clad the addition with the original salvaged brick for the demolished structure.

The detached garage has a single 9 foot wide garage door and is clad in white horizontal clap-board siding. It is situated on the west side of the house, which has less visibility than the east side, and is located as far back on the lot as possible while still allowing for minimal turnaround space. A 5 1/2 in 12 hipped roof is proposed, as well as a pair of windows centered on the north and east elevations.

**Variance Criteria**

The site complies with all the criteria of Paragraphs 4 and 5 of the BOZA Variance Criteria:

Paragraph 4 -

City of Boulder Historic Preservation staff planner James Hewat will provide interim documentation with regard to this criteria. A final Landmarks Board determination will be made at the Oct. 7 meeting, and a resolution specifically addressing the setback variance will be put before the board.

As outlined in the project description above, adding to the east or west side of the house would have a detrimental effect on the historic character of the property. The only location suitable for an attached addition is in the rear yard setback.

The detached garage is located as far back on the property as possible while still maintaining the required 24 feet backing distance to the property line. The depth of the garage is a minimal 21 feet to maximize the remaining front yard setback.

Paragraph 5 -

(A) - The proposal does not alter the essential character of the neighborhood. The 800 and 900 blocks of Arapaho Avenue consists of 22 properties fronting the street - 8 single family, 5 duplex/triplex, 8 condo/apartment, and 1 office. This is a neighborhood primarily of mixed single family and higher density housing. The reduced setback at an interior lot line will have no discernible impact on the character of the neighborhood.



(B) - The variance would not impair the use of adjacent properties. The only significant impact is on the property to the south, which is planned for duplex/triplex student housing. This property

**Memo to the Landmarks Board**  
**Re: Landmark Alteration Certificate for 800 Arapahoe Ave.**

will be required to have a rear yard setback of 25 feet. The proposed setback encroachments for the attached addition and detached garage do not adversely affect solar access, views, or any of the other requirements from Chapter 7 - Form and Bulk Standards, B.R.C. 1981. A public good is served by allowing this variance as it supports the continued occupation, care and maintenance of a significant Boulder historic landmark.

(C) - The proposed attached addition extends 15 feet into the rear yard setback and represents the minimum dimension for a practical layout of a kitchen. It should be noted that this portion of the property had, until quite recently, been occupied by a portion of the original Hannah Barker House of similar form and massing (See image below). The detached garage is set back as far as possible on the site while still allowing for a 25 foot back up distance from the garage. The garage is at a minimum depth to provide one required off street parking space. The width of 13'-4" provides 1 car parking with minimal additional storage capacity to compensate for the lack of basement storage in the existing house. Therefore, the proposed additions represent the minimum variance to afford relief and are the least modification of the applicable provisions to allow for reasonable development of the property.



(D) - The maximum proposed height of the ridge line of the attached addition is 15'-6" above grade. The maximum proposed height of the detached garage is 13'-6". The subject property is in the RMX-1 zoning district, solar access area II, which is protected by a 25 foot high solar fence. Since none of the proposed additions exceed the height of the solar fence, there is no conflict with Section 9-9-17 "Solar Access", B.R.C. 1981.

**Attachment 1**

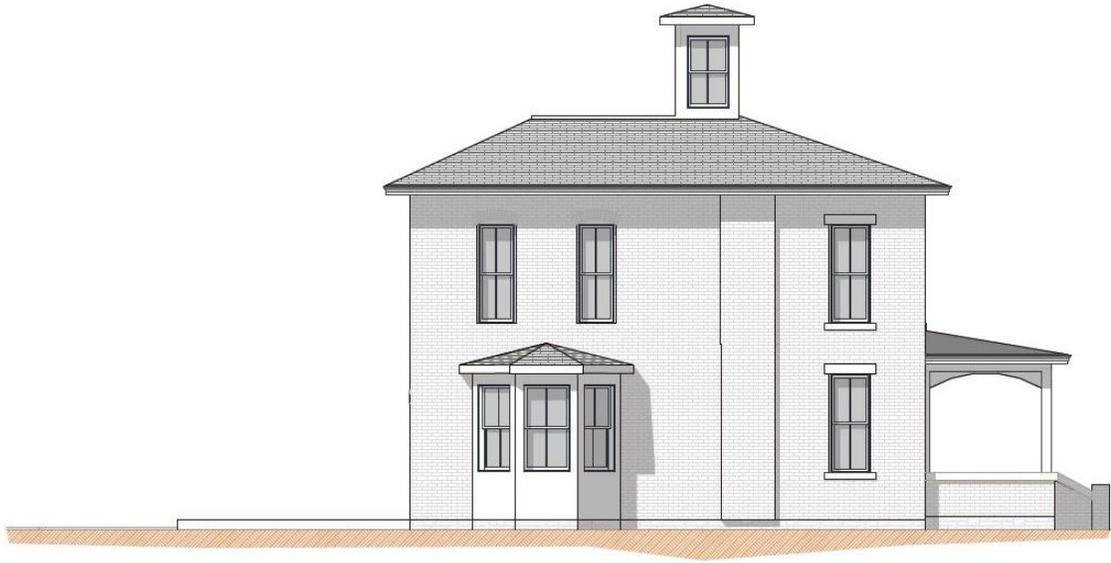
Property Data

<b>SITE/ZONING DATA</b>	
ZONING	FMX-1
LOT AREA	7,600
OFF STREET PARKING	1 IN GARAGE
MAXIMUM BUILDING HEIGHT	34'-9"
YEAR BUILT	1975
ALTERATION CERTIFICATE REQ'D	YES
<b>BUILDING AREAS</b>	
<b>PRINCIPAL STRUCTURE</b>	
<b>EXISTING CONDITIONED FLR AREA</b>	<b>2,260</b>
MAIN LEVEL	1,192
UPPER LEVEL	1,068
<b>NEW CONDITIONED FLR AREA</b>	
MAIN LEVEL	402
UPPER LEVEL	0
<b>TOTAL CONDITIONED FLR AREA</b>	<b>2,662</b>
<b>ACCESSORY STRUCTURE</b>	
NEW DETACHED GARAGE	280
<b>SETBACKS</b>	
<b>PRINCIPAL STRUCTURE</b>	
SIDE YARD - MIN 5 FT, COMBINED 15 FT	<b>MET</b>
FRONT YARD - 25 FT	<b>MET</b>
REAR YARD - 25 FT	<b>VARIANCE REQUEST</b>
PROVIDE 9'-2" WHERE 25'-0" REQ'D	
<b>ACCESSORY STRUCTURE</b>	
SIDE YARD - MIN 3 FT OR 0 FT	<b>MET</b>
REAR YARD - MIN 3 FT OR 0 FT	<b>MET</b>
FRONT YARD - 55 FT	<b>VARIANCE REQUEST</b>
PROVIDE 46'-0" WHERE 55'-0" REQ'D	
<b>COMPATIBLE DEVELOPMENT</b>	
BULK PLANE REQUIREMENT	<b>MET</b>
SIDE YARD WALL ARTICULATION	<b>MET</b>
<b>ALLOWABLE FAR FLOOR AREA</b>	<b>3,932</b>
<b>PROPOSED FLOOR AREA (FAR)</b>	<b>2,942</b>
MAIN LEVEL	1,974
UPPER LEVEL	1,068
<b>ALLOWABLE BUILDING COVERAGE</b>	<b>2,570</b>
<b>PROPOSED BUILDING COVERAGE</b>	<b>1,874</b>
<b>SOLAR</b>	<b>MET</b>
<b>SOLAR FENCE HEIGHT</b>	<b>25'-0"</b>
MAXIMUM PROPOSED HEIGHT	<b>15'-6"</b>

**Attachment C: Plans and Elevations**



Site Plan - Proposed



East – Existing

SCALE: 3/16" = 1'-0"

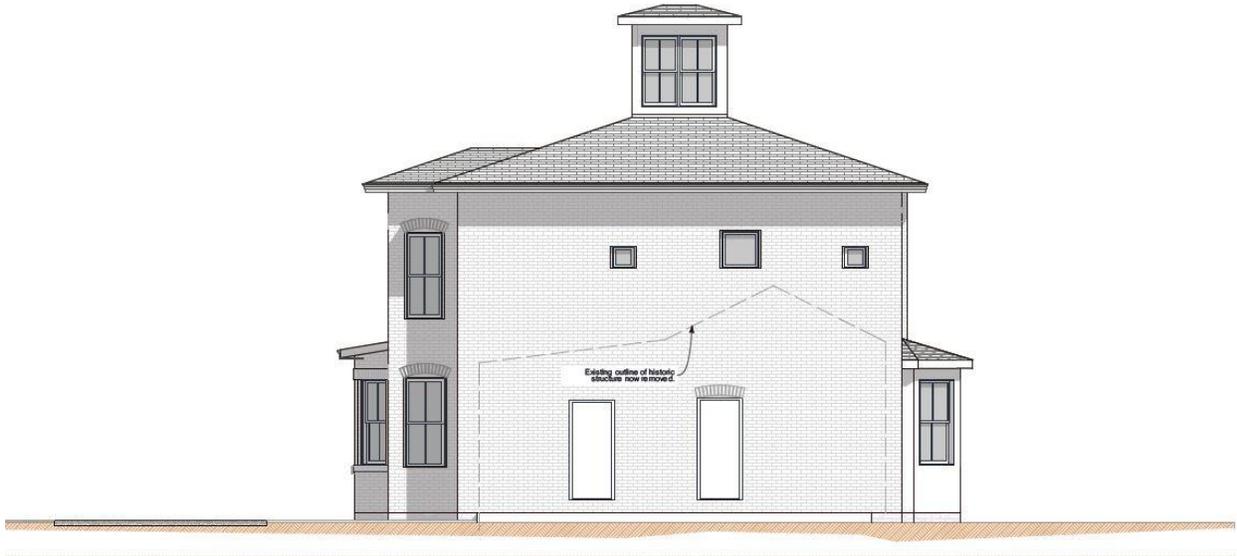
Existing East Elevation



North – Existing

SCALE: 3/16" = 1'-0"

Existing North Elevation



South – Existing  
SCALE: 3/16" = 1'-0"

Existing South Elevation



West – Existing  
SCALE: 3/16" = 1'-0"

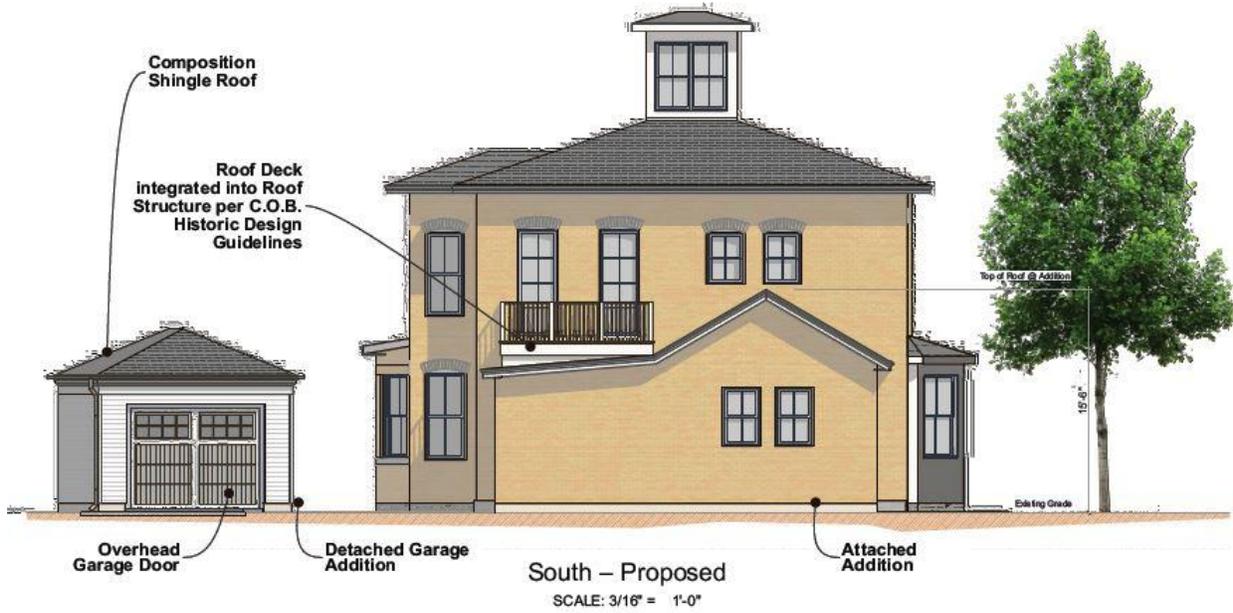
Existing West Elevation



Proposed east elevation



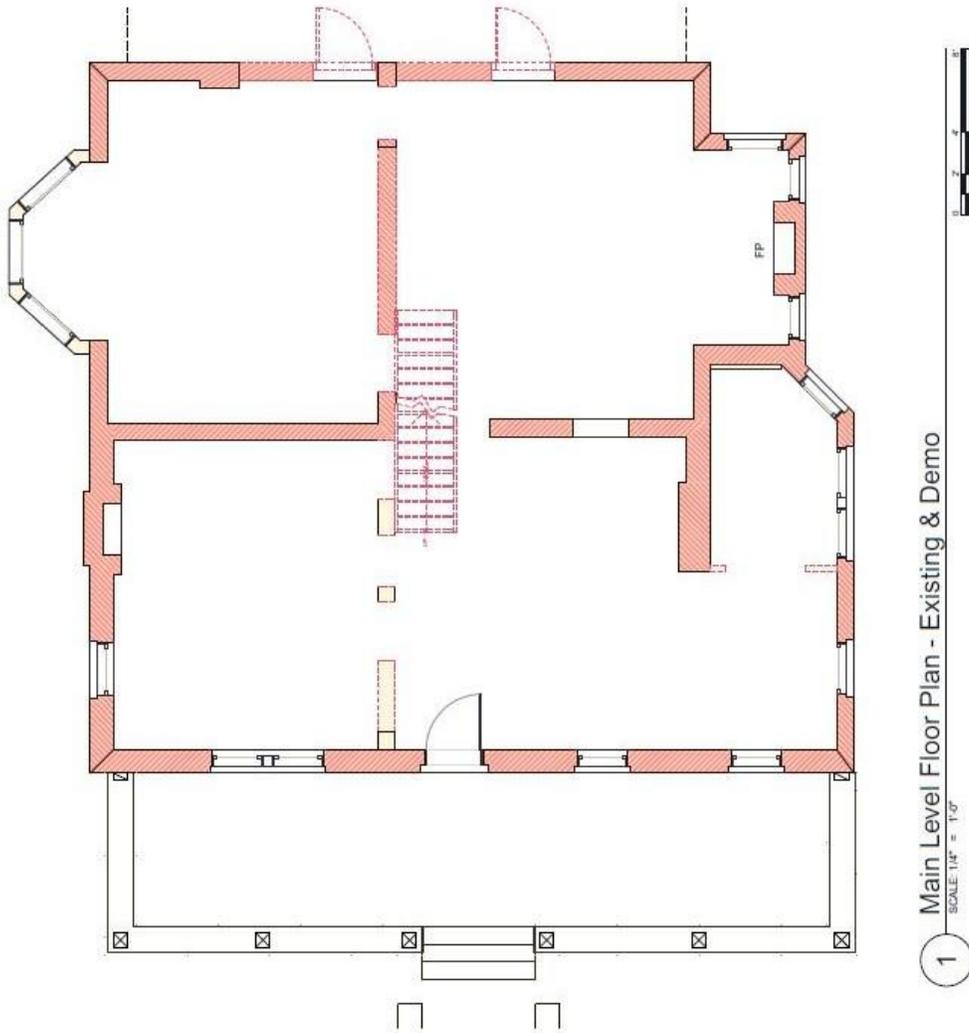
Proposed north elevation



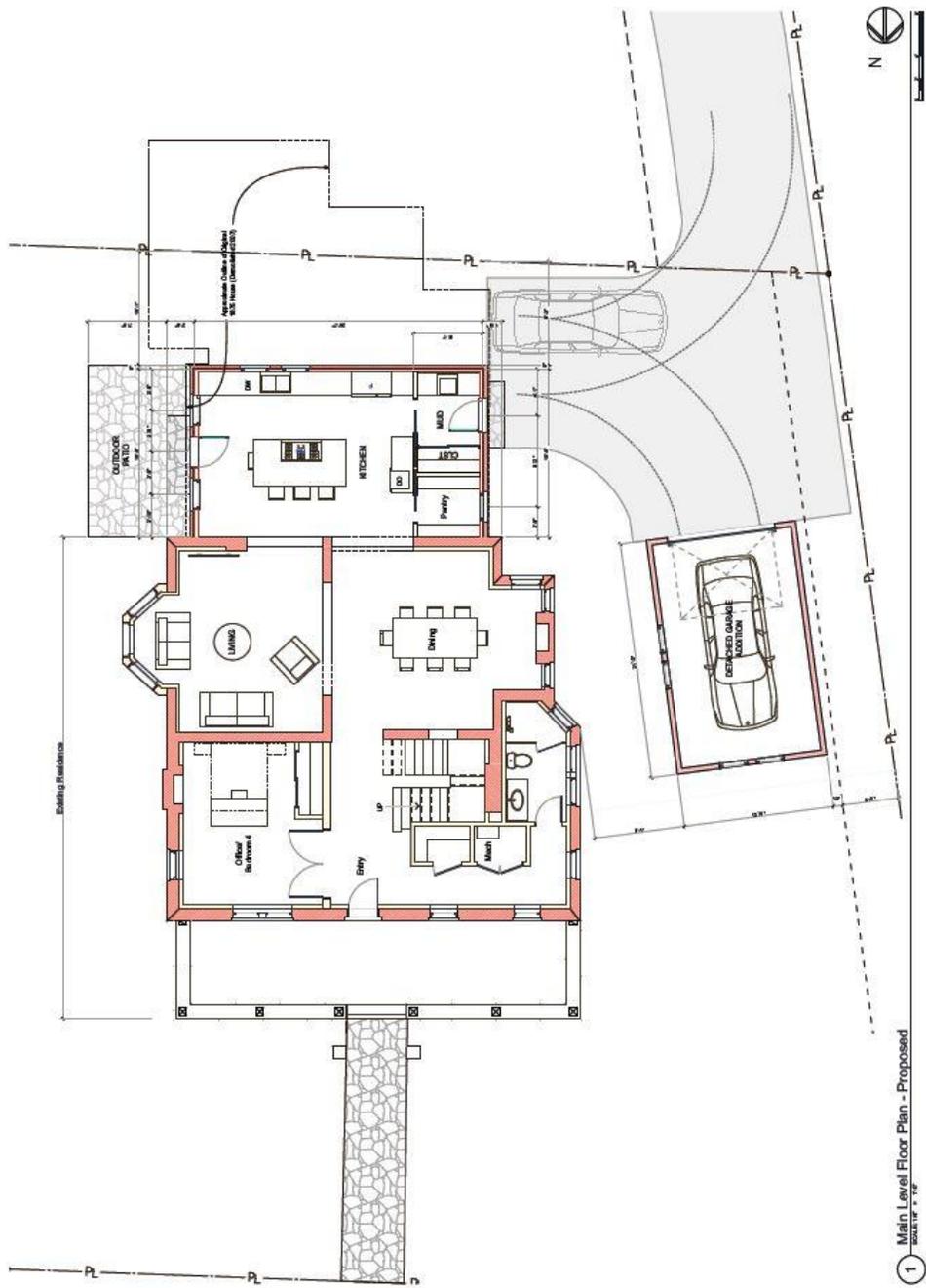
Proposed South elevation



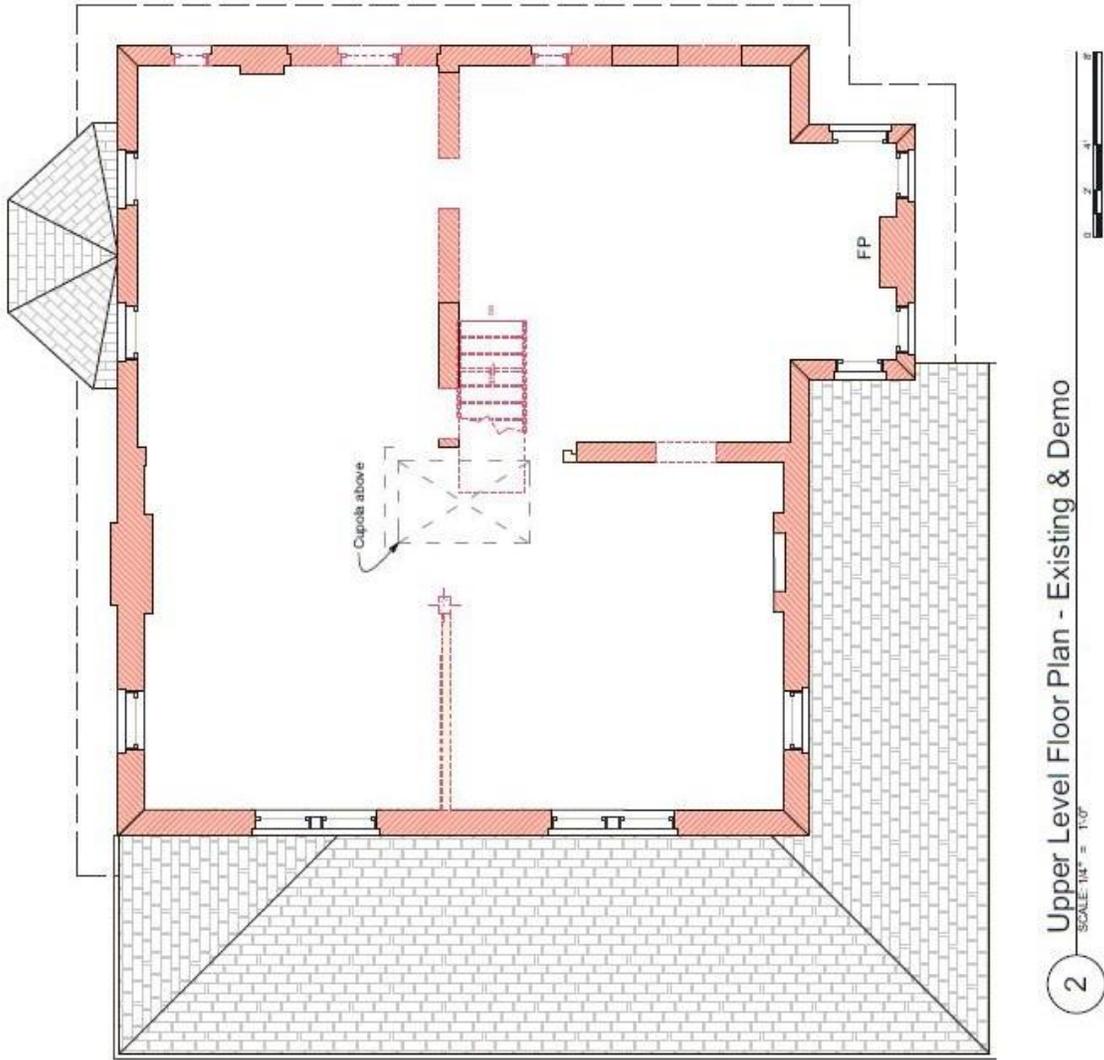
Proposed West elevation



Main Level Existing

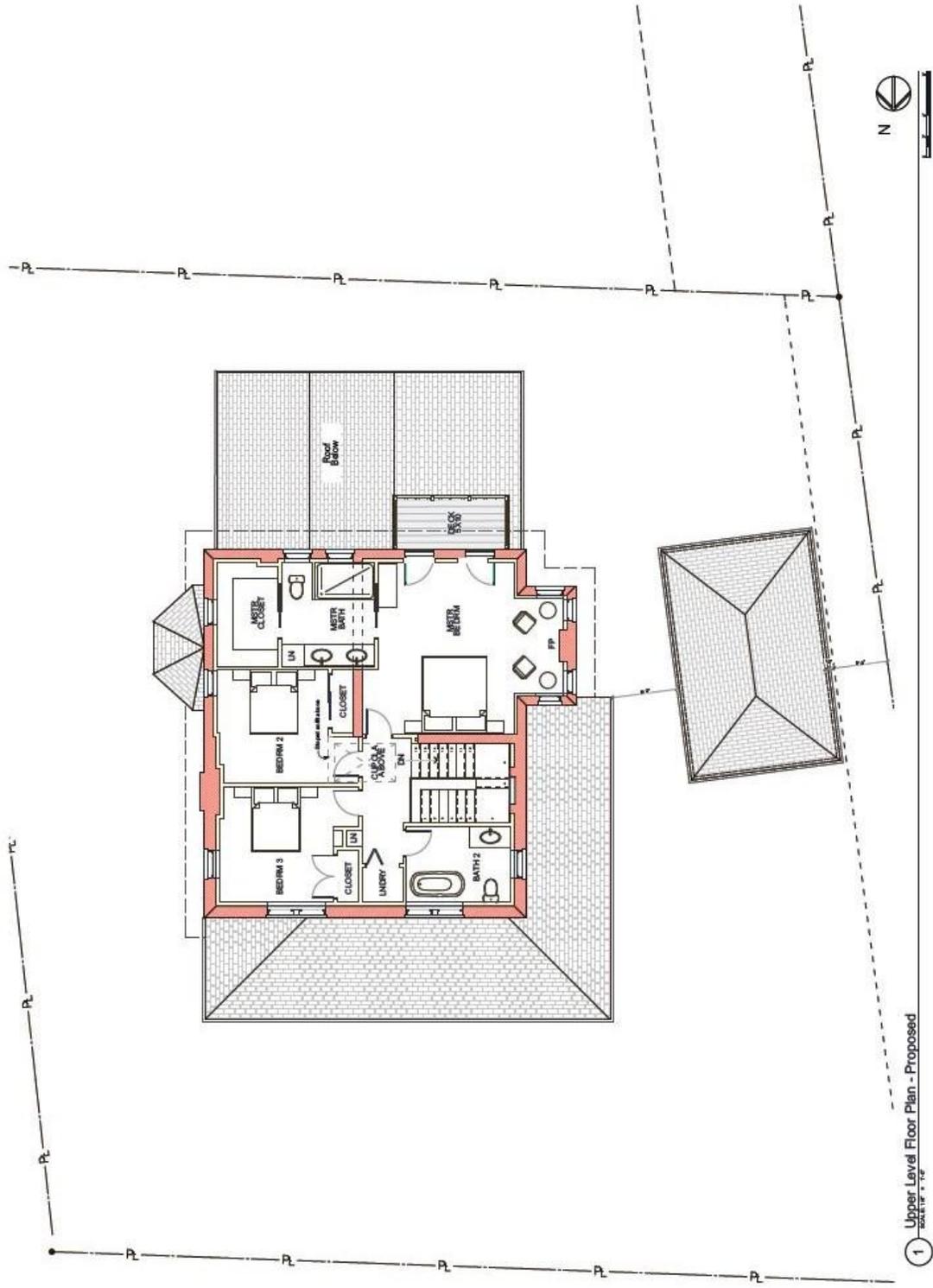


Main Level proposed



2 Upper Level Floor Plan - Existing & Demo  
SCALE: 1/4" = 1'-0"

Upper Level existing



Upper Level proposed



**East Garage**

SCALE: 1/4" = 1'-0"

Proposed garage east elevation



**North Garage**

SCALE: 1/4" = 1'-0"

Proposed garage north elevation



**West Garage**

SCALE: 1/4" = 1'-0"

Proposed garage west elevation



**South Garage**

SCALE: 1/4" = 1'-0"

Proposed garage south elevation

Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for 800 Arapahoe Ave.



Street (North) Perspective - Proposed

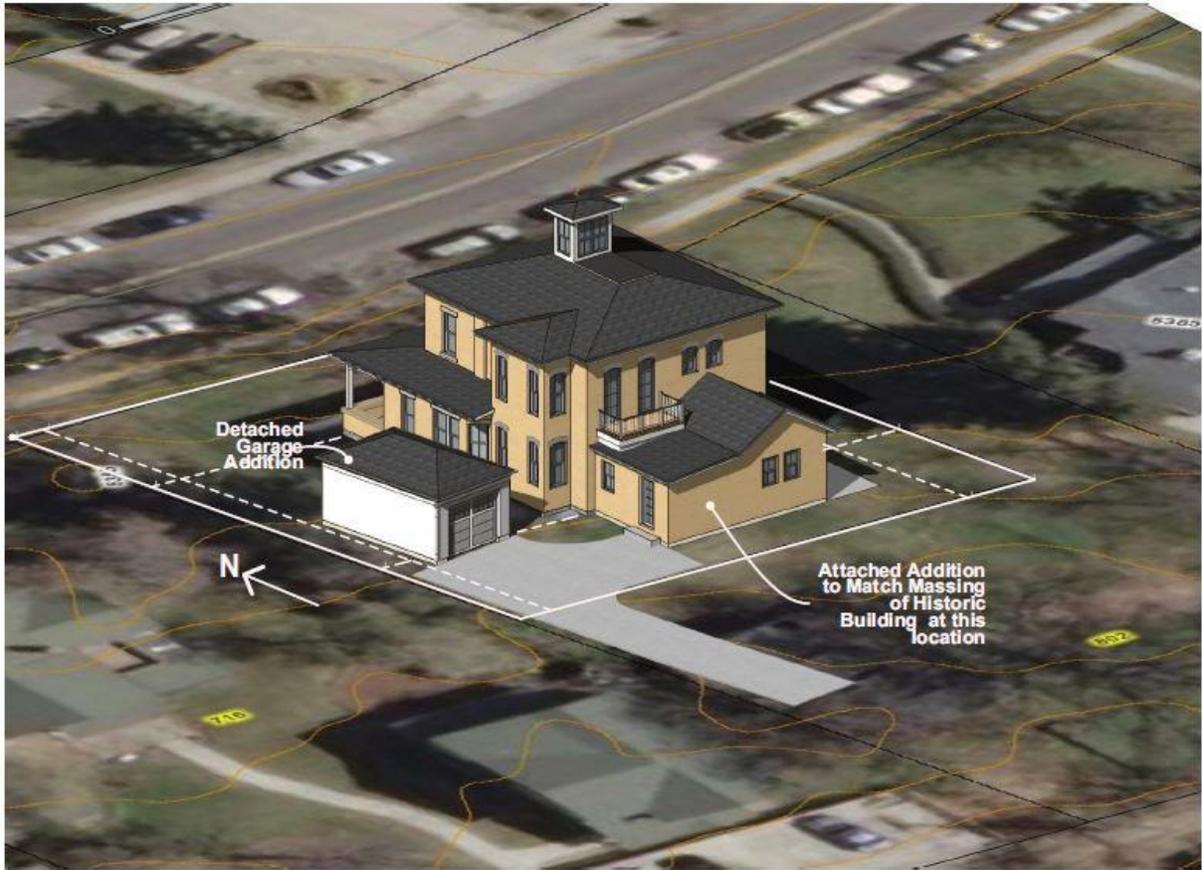
Rendering of proposed north elevation



SE Render - Proposed

Rendering of proposed south and east elevations

Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for 800 Arapahoe Ave.



SW Render - Proposed

Rendering of proposed south and west elevations

**Attachment D: Photographs**



800 Arapahoe Ave., rear addition, east elevation, 2007 (demolished in 2009)



800 Arapahoe Ave., rear addition, west elevation, 2007 (demolished in 2009)

Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for 800 Arapahoe Ave.



800 Arapahoe, northeast corner, 2015.



800 Arapahoe, north elevation (façade), 2015.

Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for 800 Arapahoe Ave.



800 Arapahoe, View of proposed location for garage, 2015.



800 Arapahoe, northwest corner, 2015.

Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for 800 Arapahoe Ave.



800 Arapahoe, view of south elevation as approached from alley, 2015.



800 Arapahoe, view of proposed location for garage, 2015.

Memo to the Landmarks Board  
Re: Landmark Alteration Certificate for 800 Arapahoe Ave.



800 Arapahoe, south elevation, 2015.



800 Arapahoe, east elevation, 2015.

**Attachment E: Letter of Support from Historic Boulder, Inc.**



September 1, 2015

To David Wein and Steve Dodd,

Thank you for meeting with Historic Boulder's Preservation Committee and presenting your recent plans for the Hannah Barker House after your review with city preservation staff.

**Garage:**

The Committee supported the garage design and felt that it was appropriate in scale and was respectful and subservient to the house.

**Rear Addition:**

We support the design concept for the rear addition. The location and scale seem to meet the General Design Guidelines, and we appreciate that the addition does not fill the back yard.

There were a few differing opinions on whether the massing and roof configuration might confuse history by creating something that is neither a restoration nor a reconstruction. The new addition should be distinguishable as new construction.

In further discussions of the roof form, it was suggested that the bedroom deck might not fit into the roof as much as the General Design Guidelines (that adhere to the Secretary of Interior's Standards) envision. A modified roof form might resolve massing concerns while also improving the deck's relationship with the roof plane.

**Summary:**

Historic Boulder's Board of Directors supports the overall design concepts presented at the August 26th Preservation Committee meeting for the detached garage and rear addition to the Hannah Barker House. As these concepts are further developed, we anticipate that detailed design issues will be resolved in your ongoing discussions with city staff and the Landmarks Design Review Committee.

Sincerely,

Kathryn Barth, Chair of HBI Preservation Committee  
Gail Gray, President on behalf of Historic Boulder's Board of Directors