

CITY OF BOULDER
PLANNING BOARD AGENDA ITEM
MEETING DATE: October 6, 2016

AGENDA TITLE:

Public hearing and actions on the following items related to development review applications for properties located at 4801, 4855, 4865 and 4885 Riverbend Road within the Riverbend Office Park:

1. Boulder Valley Comprehensive Plan (BVCP) Land Use Map Change, LUR2016-00038: Decision on proposal to change the underlying BVCP Land Use Designation on the Riverbend Road site from Transitional Business to Public;
2. Rezoning, LUR2016-00038: Recommendation to City Council on request to rezone the properties from BT-2 (Business Transitional – 2) to P (Public);
3. Amendment to Ordinance No. 8028: Recommendation to City Council on a request to amend Ordinance No. 8028 to allow consideration of a height modification to up to 55 feet;
4. Site Review, LUR2016-00040: Decision on request to amend the Riverbend Office Park Planned Unit Development (PUD) to build a new 70,342 sq. ft., 3-story medical center to include inpatient behavioral health, inpatient rehabilitation and neurology facilities as part of the Boulder Community Health functions at the corner of Arapahoe Ave. and 48th Street. The proposal also includes a new, 6-story parking structure containing 406 parking spaces with first floor accessory uses including office and hospital-oriented retail. The proposal would require a height modification to permit the medical and parking garage buildings at 55-feet where 35-feet is the by-right limit, and
5. Use Review, LUR2016-00040: Decision on request for automobile parking lots, garages or car pool lots as a principal use on the site to permit a parking garage that serves the proposed medical office building and accessory retail uses as well as overflow parking from the Boulder Community Health Foothills Hospital.

Applicant: Darryl Brown for Boulder Community Health
Property Owner: Boulder Community Health & Riverbend Sleep, LLC

REQUESTING DEPARTMENT:

Planning, Housing & Sustainability
David Driskell, Executive Director
Susan Richstone, Deputy Director
Charles Ferro, Land Use Review Manager
Karl Guiler, Senior Planner/Code Amendment Specialist

OBJECTIVE:

1. Hear applicant and staff presentations
2. Hold public hearing
3. Planning Board to ask questions of applicant, the public and staff

4. Planning Board discussion and decision on the BVCP Land Use Map change, Site Review and Use Review and recommendation to City Council on the proposed rezoning and amendment to Ordinance. No. 8028.

SUMMARY:

Proposal: Redevelop the properties located at 4801, 4855, 4865 and 4885 Riverbend Road. within the Riverbend Office Park with a new 70,342 sq. ft., 55-foot medical building and a 6-story, 406-stall parking structure with accessory commercial space. The new facility would house BCH’s relocated inpatient behavioral health, inpatient rehab and neurology department.

Project Name: Boulder Community Health (BCH) Riverbend Medical Pavilion and Parking Garage

Location: 4801, 4855, 4865 and 4885 Riverbend Rd.

Size of Tract: 2.25 acres (97,887 sq. ft.)

Zoning: Business – Transitional 2 (BT-2)

Comprehensive Plan: Transitional Business

Key Issues for Discussion:

Staff is recommending the following key issues for the Planning Board’s discussion and analysis:

1. Is the proposal to change the Boulder Valley Comprehensive Plan (BVCP) land use map designation from Transitional Business to Public consistent with the applicable criteria?
2. Is the proposal to rezone the properties from BT-2 (Business Transitional – 2) to P (Public) consistent with the criteria of Section 9-2-19(e), B.R.C. 1981?
3. Does Planning Board support the proposed ordinance to enable an exemption from Ordinance No. 8028 to permit a height modification on the site to permit two buildings at 55-feet?
4. Does the proposal for a height modification meet the criteria of Section 9-2-14(h), B.R.C. 1981?
5. Is the proposed site layout and building design consistent with the Site Review criteria of Section 9-2-14(h), B.R.C. 1981?
6. Does the proposal for parking as a principal use meet the Use Review criteria of Section 9-2-15(e), B.R.C. 1981?

I. INTRODUCTION AND BACKGROUND

PROCESSES

The following requests are required for the project to proceed. After each is an explanation of the required process and applicable criteria:

- BVCP Land Use Map change: A land use designation change from Transitional Business to Public is necessary to permit the hospital/medical uses on the property. Land Use Map changes require approval from both Planning Board and City Council and are subject to procedures and criteria within the [BVCP](#) (see page 58). Land Use Map change requests requires approval from both Planning Board and City Council.

- Rezoning: Rezoning requests require Planning Board review and recommendation to City Council and require final approval by council. Rezoning requests are subject to the criteria within [Section 9-2-19, "Rezoning," B.R.C. 1981 within the Land Use Code](#).
- Amendment to Ordinance No. 8028: Ordinance No. 8028 was passed by City Council on April 7, 2015 and restricted areas within the city where height modifications could be considered. The standards amended the Site Review section of the Land Use Code (Section 9-2-14, B.R.C. 1981) and areas where height modifications can be considered are outlined on Appendix J and include the Downtown (once the guidelines are complete, which is the case now), University Hill, the Frazier Meadows senior housing development, Boulder Junction, Gunbarrel Center, portions of the Boulder Valley Regional Center (BVRC), the Armory site (the applicant of the recent application did not make a height modification request), and the Boulder Community Health (BCH) Foothills facility site at 4747 Arapahoe, which does not include the subject properties. Appendix J of the ordinance and Land Use Code would need to be amended to include the subject properties with the adjacent BCH site to allow the height modification to be requested. The ordinance may be reviewed [here](#).
- Site Review: Site Review is required because the BT-2 site is over 2 acres in size, the project is over 30,000 square feet in floor area and, in addition, the project includes a proposal for a height modification and setback modifications. Site Review is also required since the subject properties are subject to an existing Planned Unit Development (PUD) entitled the Riverbend Office Park. This Site Review is considered an amendment to that PUD. Site Reviews can only be approved if the Site Review criteria of Section 9-2-14(h), B.R.C. 1981 are met. The Site Review thresholds and criteria can be found at this [link](#).
- Use Review: Use Review is required because the applicant proposes a parking garage that will provide parking to an off-site location, the Boulder Community Health facility, in addition to the parking for the on-site uses. Because parking would serve an off-site location, the use is considered 'Automobile parking lots, garages or car pool lots as a principal use.' This use requires Use Review per Table 6-1: Use Table of [Section 9-6-1, "Schedule of Permitted Land Uses," B.R.C. 1981](#) and is subject to the Use Review criteria of [Section 9-2-15\(e\), B.R.C. 1981](#).

BACKGROUND

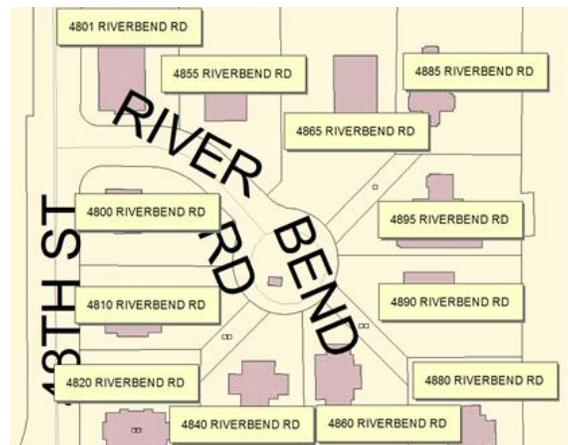
BCH plans to move all services from its Broadway location by December 2017. This will include the relocation of its inpatient behavioral health, inpatient rehab and neurology department. BCH has selected the Riverbend Office Park as the new location for the relocated inpatient behavioral health facilities due to its proximity to the existing BCH Foothills hospital and medical center facility at the corner of Arapahoe and Foothills Parkway (i.e., 4747 Arapahoe). Per the applicant, co-location of the emergency room with inpatient behavioral health is a significant benefit for the treatment of patients. The BCH Foothills hospital was approved in 2001 to construct up to 420,000 square feet of floor area in six phases for a period up to 10 years.

Site Review application #LUR2011-00043 was approved by Planning Board on Dec. 1, 2011 to expand the existing 308,255 square foot hospital by over 100,000 square feet of new floor area (totaling up to 440,000 square feet) within new three-story wings and upper floors on the existing hospital building. A height modification was also approved to build the new additions up to 52 feet (similar to existing height). Use Review application #LUR2011-00061 was also approved to permit the heliport. A rezoning was also approved to properly align the zoning with the underlying BVCP land use map designations of Public and Open Space. The BCH Foothills campus provides a total 1,166 parking spaces on the 4747 Arapahoe site.



Figure 1- Vicinity Map (subject site is 4801, 4855, 4865 and 4885 Riverbend Road)

As depicted in **Figure 1**, the 2.55-acre (gross) project site is located off of Arapahoe Ave. immediately to the east of the Boulder Community Hospital Foothills campus. The site is currently the location of the Riverbend Office Park (see addresses here right), which was originally annexed and approved as a PUD with an initial zoning designation of Industrial – Developing (“IG” under current code standards). The original approval also included a Special Review (now called Use Review) approval for an office use. Over the years, several additional Use Reviews were approved for additional office uses on specific sites within the PUD, and several other office uses were established or converted without the benefit of City review. In 2000, the Riverbend Office Park was rezoned from Industrial to Transitional Business in acknowledgment of the fact that the proliferation of office uses within the development, many of which were nonconforming or prohibited, had resulted in the development no longer being consistent with the Industrial zoning designation. Currently, the 12 existing one and two-story buildings within the Riverbend Office Park contain a mix of medical/dental, professional and technical offices and personal service uses, all of which are allowed uses in the BT-2 zone district.



The project site is located in East Boulder near the intersection of 48th Street and Arapahoe Avenue, just east of the Boulder Community Health Foothills Campus (shown below in **Figure 2**). The Boulder Community Health Foothills Campus site is the location of the Boulder Community Foothills Hospital, which was constructed as a branch hospital providing medical services to an expanded area and to take pressure



Figure 2: BCH Foothills Campus from corner of 48th & Arapahoe

off the main hospital on Broadway, which has recently been sold to the City of Boulder. Eventually, all operations from the Broadway campus will be relocated to the Foothills campus. The existing Foothill campus is nearly 50 acres in size and contains large areas designated for environmental preservation with wetlands and open space areas around Boulder Creek, which runs on the north side of the site and adjacent to the Ball Aerospace property to the north and east.

Currently, the project site is the location of the Riverbend office park, which consists of twelve individual properties containing a variety of professional and medical office uses. The park is arranged as a series of two-story office buildings arranged around a cul-de-sac with surface parking provided on each lot. The site is surrounded by large, mature trees, which gives it a somewhat secluded feel. The character of the area surrounding the site is somewhat eclectic, with the hospital facilities immediately to the west and the large, industrial buildings of the Ball Aerospace campus immediately to the north and east. The site is bordered on its east side by a large surface parking lot serving Ball Aerospace. The area across Arapahoe to the south consists of high density residential development characterized by 2 to 3-story buildings setback from the street with detached parking garages along the major frontages. The project site as seen from within Riverbend Office Park at the existing roundabout is shown in **Figure 3** below, with the Ball Aerospace building in the background. **Figure 3** shows the project site as seen from Commerce St. across the Ball Aerospace parking lot to the east of the site.



Figure 3: Project Site from within Riverbend Office Park



Figure 4: project site as seen from Commerce St. across the Ball Aerospace parking lot to the

A variety of BVCP land use designations surround the site and reflect the diversity of land uses in the area. Most land east and north of the site are designated light industrial, whereas uses south of Arapahoe are predominantly designated medium to high density residential with low density residential neighborhoods further from Arapahoe. As mentioned above, the project site is located immediately to the east of the existing BCH Foothills campus at the corner of Arapahoe and Foothills, which has a BVCP land use designation of Public. The lands southwest of Foothills and Arapahoe owned by the University of Colorado have a Public land use designation as well. **Figure 5** depicts the surrounding BVCP land use designations.

BVCP Land Use Designation

As shown below in **Figure 5**, the project site has a BVCP land use designation of Transitional Business, which is defined in the [2010 BVCP](#) as follows:

The Transitional Business designation is shown along certain major streets. These are areas usually zoned for less intensive business uses than in the General Business areas, and they often provide a transition to residential areas.

The change in the site's land use designation from Industrial to Transitional Business in 2000 was largely to acknowledge the change in character that had resulted from the proliferation of medical and professional office uses on the site. Under the current proposal, the land use designation would need to be changed from Transitional Business to Public, which is defined in the 2010 BVCP as follows:

Public/Semi-Public land use designations encompass a wide range of public and private non-profit uses that provide a community service. This category includes municipal and public utility services such as the municipal airport, water reservoirs, and water and wastewater treatment plants. Public/Semi-Public also includes: educational facilities, including public and private schools and the university; government offices such as city and county buildings, libraries, and the jail; government laboratories; and nonprofit facilities such as cemeteries, churches, hospitals, retirement complexes and may include other uses as allowed by zoning.

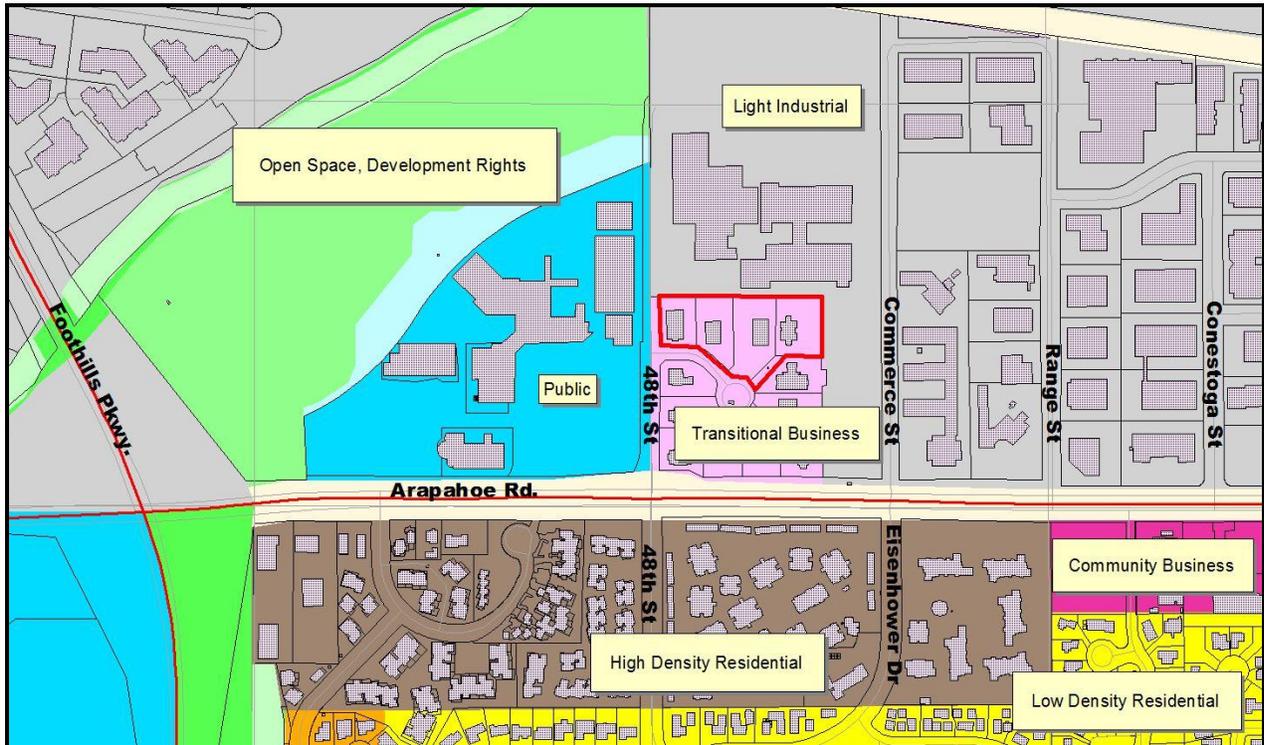


Figure 5: BVCP Land Use Map

The current proposal presents an opportunity to evaluate whether the existing land use designation for the project site should be changed to become consistent with the adjacent BCH site.

Zoning

The project site is zoned BT-2 (Business – Transitional 2). The BT-2 zone district is defined as “*Transitional business areas which generally buffer a residential area from a major street and are primarily used for commercial and complementary residential uses, including without limitation, temporary lodging and office uses*” (section 9-5-2(c), B.R.C. 1981). Please see **Figure 6** below for a zoning map of the site and surrounding area. As part of this project, the applicant would request a rezoning of the project site from BT-2 to P (Public) in order to allow for the proposed hospital use, which is prohibited in the BT-2 zone district but allowed by right within the P zone district per section 9-6-1, B.R.C. 1981. As discussed above, this would also require a change to the underlying BVCP land use designation.

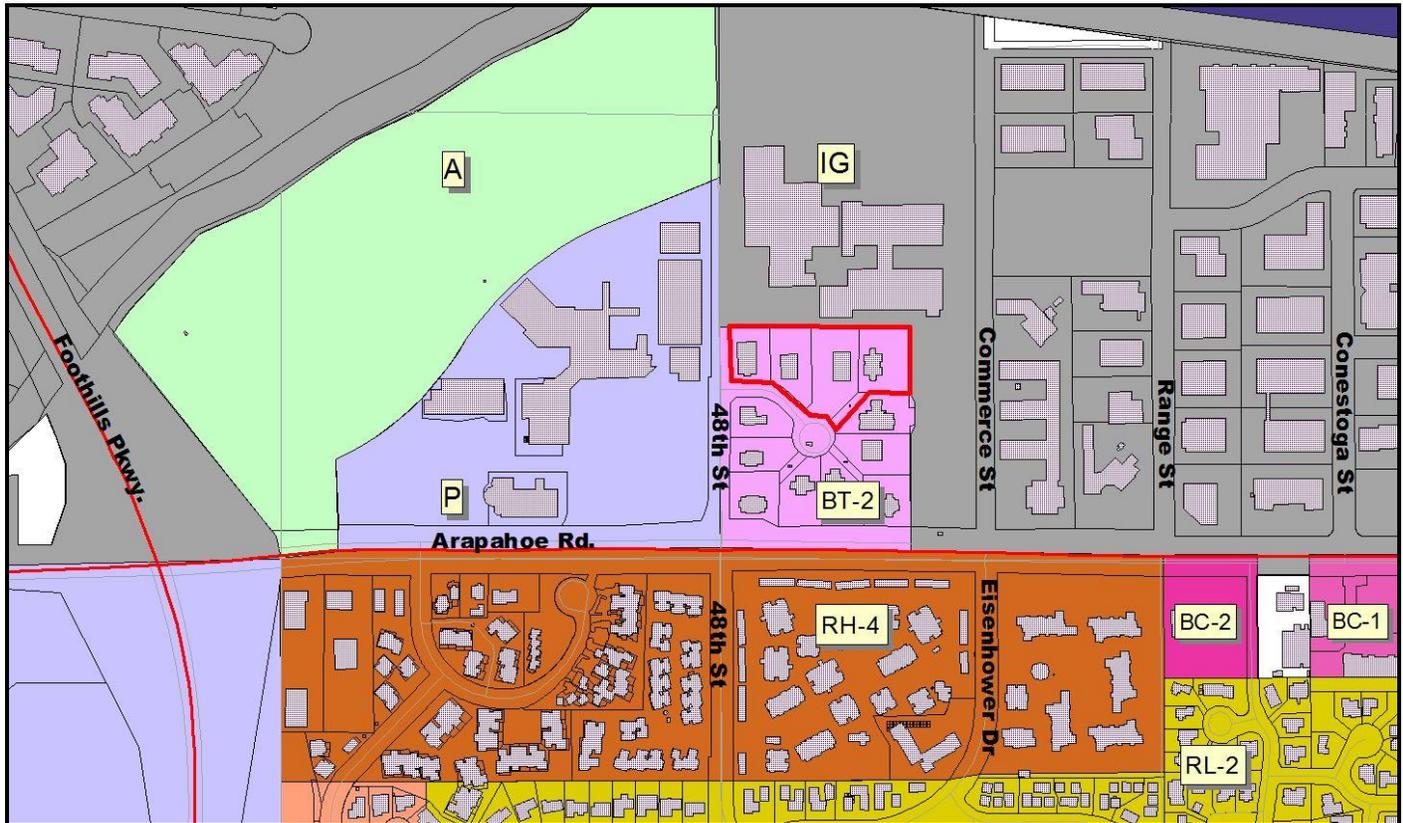


Figure 6: BVCP Land Use Map

Additional Site Characteristics

The project site has a number of unique characteristics that will need to be taken into consideration during the Site Review process. As shown in Figure 7, the site is impacted by the 100-year floodplain and as such any new development will require a floodplain development permit. In addition, because the proposed facility is considered a critical facility per section 9-16, B.R.C. 1981, an Emergency Management Plan would be required. The property is impacted by both the existing FEMA 100-year floodplain and the new mapping study 100-year floodplain. The flood elevations from the new study are generally consistent with the existing FEMA study in this area; therefore, there are no deviations that could impact the site from any changes are anticipated. The new floodplain mapping is anticipated to be effective in the fall of 2017. For additional information please visit: <https://bouldercolorado.gov/flood/boulder-creek-floodplain-mapping-update>.

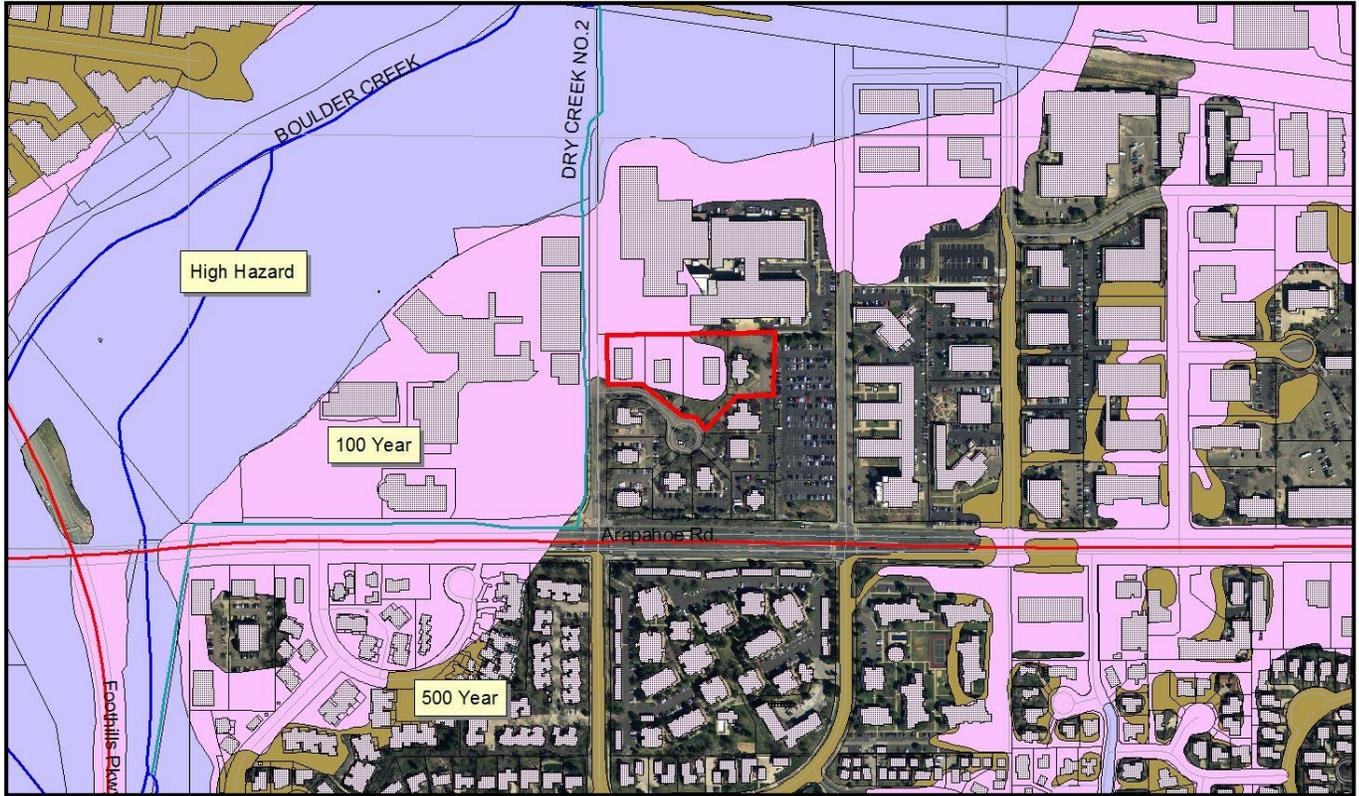


Figure 7: Floodplain Map

Concept Plan

On March 3rd of this year, Planning Board reviewed the Concept Plan proposal, which similar to the current requests, included a 76,000 square foot, four-story medical building at 55-feet on the west side of the site and a multi-story parking garage building, also at 55-feet, adjacent to it on the east side of the site. The Concept Plan identified the necessary processes that would have to be requested and which are part of the current package of applications.



Figure 8- Concept Plan

In general, the board was supportive of the proposed project’s architecture and height, but suggested that the architecture be more simplified and organized. The board also provided comments encouraging the use of renewables on the site, a more robust transportation demand (TDM) program and consideration for uses beyond just accessory uses to the hospital on the site. The staff memorandum, application materials and minutes of the meeting can be found in [here](#).

II. PROJECT DESCRIPTION

The following application requests are detailed below:

Boulder Valley Comprehensive Plan (BVCP) Land Use Map change A land use map change from Transitional Business to Public is requested. See Key Issue No. 1 for analysis of whether the applicable BVCP criteria are met.

Rezoning A rezoning pursuant to Section 9-2-19, "Rezoning," B.R.C. 1981 is requested to change the zoning from BT-2 (Business Transitional – 2) to Public (P). The P zoning would match the zoning of the existing contiguous Boulder Community Health (BCH) Foothills facility and would permit the hospital and medical uses on the site. Key Issue No. 2 includes a discussion about the rezoning. The draft ordinance to rezone can be found in [Attachment A](#).

Ordinance No. 8028 Request to amend Appendix J of Ordinance No. 8028 to add the subject properties to the map of where height modifications may be considered. Earlier this year, the City Council by a "nod of five" indicated their support of the possibility to do a height modification for the properties. The draft ordinance and revised appendix to permit this change is found in [Attachment B](#). See Key Issue No. 3.

Site Review Request for Site Review approval to permit the following:

- Construction of a new three-story, 55-foot tall, 70,342 square foot medical office building to house inpatient behavioral health, inpatient rehabilitation and neurology facilities as part of the Boulder Community Health functions at the corner of Arapahoe Ave. and 48th Street. The building is proposed on the west portion of the site.
- Construction of a new parking garage, including 406 parking spaces on six levels, up to 55-feet in height. The parking is intended to serve the on-site medical building use and accessory retail as well as for overflow parking for the Boulder Community Health Foothills facility across 48th Street. To alleviate some of the tight parking experienced on the hospital site, the applicant intends to provide employee parking (up to 160 parking spaces) within the garage to free up more parking for patients and visitors. A majority of the spaces (250 spaces) would be for visitors to the on-site facility. Solar shades installations are proposed over portions of the roof.
- Accessory retail spaces are proposed on the ground floor areas (4,829 square feet) adjacent to the street and pedestrian areas and would include uses that are accessory to the medical uses, including the sale of health and wellness products to patients, food and beverage to patients, visitors and employees or conference space for BCH. A description of the uses is found in Sheet SR-5-1 of the proposed plans.
- The buildings would orient to the south and front on an upgraded Riverbend Road. The existing cul-de-sac would be improved into a landscaped round-a-bout which would continue to provide access to the other Riverbend Office Park properties. A courtyard with seating walls and trees would be provided in between the new medical building and garage along with other seating areas and pedestrian walkways on the site.
- The new Riverbend Road would be dedicated public right-of-way up to the east property line providing access to the parking garage and the property at 4895 Riverbend Road as well as

setting up a condition where the road could be extended onto the Ball Aerospace property in the future providing a connection to Commerce Street to the east.

- Height modifications to permit both the medical and parking garage structure at 55-feet where 35-feet is the by-right maximum. A modification to permit the garage to be greater than three-stories is also requested (six levels are proposed);
- Setback modifications as follows:
 - 9-7-1- Minimum front yard landscape setback to permit a building at 21 feet where 25 feet is the code standard (west side)
 - 9-7-1- Minimum rear yard setback to permit the parking structure at 12 feet where 25 feet is required (east side)
 - 9-7-1- Minimum side yard landscaped setback from a street to permit the buildings at 9 feet and parking spaces at one foot where 12.5 feet is required (south side)
 - 9-7-1- Minimum side yard landscape setback to permit the existing structure at 4895 Riverbend as 11 feet where 15 feet is required (south side)
- The proposal also would amend the previous Riverbend Office Park PUD to allow the redevelopment of the subject four properties. Sheet SR1-1 of **Attachment D** illustrates that the remaining properties on Riverbend will continue to function similar to the previous PUD where parking would be allotted for each individual property and uses would be per the underlying BT-2 zoning. Any changes would be subject to a Site Review amendment or minor modification as applicable.

Use Review Request for Use Review approval for 'Automobile parking lots, garages or car pool lots as a principal use.' As discussed in the Site Review section above, because the parking garage would provide parking for Boulder Community Health employees from 4747 Arapahoe, in addition to the parking needs of the subject site, a portion of the parking is considered a principal use.

The applicant's written statement is within **Attachment C** and the proposed plans are in **Attachment D**. **Attachment E** contains the proposed Transportation Demand Management (TDM) plan and **Attachment F** contains the parking study done on the site. Below are some renderings of the proposed project.



Figure 8- Renderings

III. ANALYSIS

1. Is the proposal to change the Boulder Valley Comprehensive Plan (BVCP) land use map designation from Transitional Business to Public consistent with the applicable criteria?

Staff finds that the proposal to change the Boulder Valley Comprehensive Plan (BVCP) land use designation on site meets the criteria within the BVCP. Staff responses to the applicable criteria are provided below.

BVCP Land Use Map Change

The Land Use Map is not intended to be a zoning map. It is intended to provide policy direction and definition for future land uses in the Boulder Valley. Thus, a change to the land use designations may be considered at any time if it is related to a proposed change in zoning or proposed annexation and meets all of the following criteria:

(a) The proposed change is consistent with the policies and overall intent of the comprehensive plan.

The proposal to change the BVCP Land Use Map designation is consistent with the intent of the comprehensive plan to promote the physical health and well-being of residents of the Boulder Valley. The BVCP strives to “*maintain a high quality of life for all of its residents*” by “*providing facilities and services, among are human service programs and a focus on promoting cultural, social and economic equity.*” More specifically, the following policies on economic and social sustainability are relevant:

BVCP Policy 1.03 Principles of Economic Sustainability The city and county will strive to develop and maintain a healthy, adaptable economy that is vital to the community’s quality of life and high level of services and amenities by:

- a) Promoting a diverse economy that supports the needs of all community members;*
- b) Promoting a qualified and diversified work force that meets employers’ needs and supports a range of jobs; and*
- c) Providing for and investing in a quality of life, unique amenities, and infrastructure that attracts, sustains, and retains businesses and entrepreneurs.*

BVCP Policy 1.04 Principles of Social Sustainability The city and county will strive to promote a healthy community and address social and cultural inequities by:

- a) Respecting and valuing cultural and social diversity;*
- b) Ensuring the basic health and safety needs of all residents are met; and*
- c) Providing infrastructure and services that will encourage culturally and socially diverse communities to both prosper within and connect to the larger community.*

The Public Land Use Designation is described as follows:

Public/Semi-Public land use designations encompass a wide range of public and private nonprofit uses that provide a community service. This category includes municipal and public utility services such as the municipal airport, water reservoirs, and water and wastewater treatment plants. Public/Semi-Public also includes: educational facilities, including public and private schools and the university; government offices such as city and county buildings, libraries, and the jail; government laboratories; and nonprofit facilities such as cemeteries, churches, hospitals, retirement complexes and may include other uses as allowed by zoning.

The requested Public land use designation would allow for the expansion of the Boulder Community Health facility consistent with the following BVCP policies:

BVCP Policy 2.17 Variety of Activity Centers

BVCP Policy 8.01 Provide for a Broad Spectrum of Human Needs

BVCP Policy 8.07 Physical Health

BVCP Policy 8.10 Support for Community Facilities

(b) The proposed change would not have significant cross-jurisdictional impacts that may affect residents, properties or facilities outside the city.

The proposed change is meant to facilitate the expansion of health services in a single location for the Boulder Valley. The change would allow for more efficient provision of services and enhance access to services for residents of the area. There would be no significant cross-jurisdictional impacts to residents, properties or facilities outside the city.

(c) The proposed change would not materially affect the land use and growth projections that were the basis of the comprehensive plan.

The proposed land use designation change is necessary to facilitate a new hospital facility on the site and will not materially affect the land use and growth projections that were the basis of the comprehensive plan.

(d) The proposed change does not materially affect the adequacy or availability of urban facilities and services to the immediate area or to the overall service area of the City of Boulder.

The proposed land use designation change is necessary to facilitate a new hospital facility on the site and will not materially affect the adequacy or availability of urban facilities and services to the immediate area or to the overall service area of the City of Boulder. Infrastructural upgrades necessary to serve the redevelopment will be evaluated and required as part of the Site Review process.

(e) The proposed change would not materially affect the adopted Capital Improvements Program of the City of Boulder.

The proposed land use designation change is necessary to facilitate a new hospital facility on the site and will not materially affect the adopted Capital Improvements Program of the City of Boulder.

(f) The proposed change would not affect the Area II/Area III boundaries in the comprehensive plan.

The proposed change is within Area I and would have no impact on the Area II/Area III boundaries in the comprehensive plan.

In summary, allowing for the expansion of the hospital facilities in the subject location is consistent with BVCP policies and logical considering the proximity and connection to the existing Boulder Community Health facility and enabling an important human resource to better serve the Boulder Valley region.

2. Is the proposal to rezone the properties from BT-2 (Business Transitional – 2) to P (Public) consistent with the criteria of Section 9-2-19(e), B.R.C. 1981?

See [Attachment A](#) for the draft ordinance to rezone. The proposed rezoning is intrinsically connected to the policy decision to change the BVCP land use map to Public (discussed above) to allow the hospital and medical uses of the Boulder Community Health to better serve Boulder and the surrounding area. If the BVCP land use map changes is supported, it is necessary to change the zoning to Public to allow the hospital use. Rezoning would, therefore, follow a land use map change and would be consistent with the following criterion below:

(1) Is the proposed rezoning consistent with the policies and goals of the Boulder Valley Comprehensive Plan?

The proposal to change the BVCP Land Use Map designation is consistent with the intent of the comprehensive plan to promote the physical health and well-being of residents of the Boulder Valley. The BVCP strives to “maintain a high quality of life for all of its residents” by “providing facilities and services, among are human service programs and a focus on promoting cultural, social and economic equity.” More specifically, the following policies on economic and social sustainability are relevant:

BVCP Policy 1.03 Principles of Economic Sustainability *The city and county will strive to develop and maintain a healthy, adaptable economy that is vital to the community’s quality of life and high level of services and amenities by:*

- a) Promoting a diverse economy that supports the needs of all community members;*
- b) Promoting a qualified and diversified work force that meets employers’ needs and supports a range of jobs; and*
- c) Providing for and investing in a quality of life, unique amenities, and infrastructure that attracts, sustains, and retains businesses and entrepreneurs.*

BVCP Policy 1.04 Principles of Social Sustainability *The city and county will strive to promote a healthy community and address social and cultural inequities by:*

- a) *Respecting and valuing cultural and social diversity;*
- b) *Ensuring the basic health and safety needs of all residents are met; and*
- c) *Providing infrastructure and services that will encourage culturally and socially diverse communities to both prosper within and connect to the larger community.*

The Public Land Use Designation is described as follows:

Public/Semi-Public land use designations encompass a wide range of public and private nonprofit uses that provide a community service. This category includes municipal and public utility services such as the municipal airport, water reservoirs, and water and wastewater treatment plants. Public/Semi-Public also includes: educational facilities, including public and private schools and the university; government offices such as city and county buildings, libraries, and the jail; government laboratories; and nonprofit facilities such as cemeteries, churches, hospitals, retirement complexes and may include other uses as allowed by zoning.

The requested Public land use designation would allow for the expansion of the Boulder Community Health facility consistent with the following BVCP policies:

- BVCP Policy 2.17 Variety of Activity Centers
- BVCP Policy 8.01 Provide for a Broad Spectrum of Human Needs
- BVCP Policy 8.07 Physical Health
- BVCP Policy 8.10 Support for Community Facilities

(2) The applicant demonstrates by clear and convincing evidence that the proposed rezoning is necessary to come into compliance with the Boulder Valley Comprehensive Plan map;

Based on the staff recommendation to amend land use map designation to advance BVCP policies and goals and consistent with the criteria the BVCP included in the analysis above, and assuming the land use map is amended to reflect this analysis, the rezoning becomes necessary to come into compliance with the Boulder Valley Comprehensive Plan map. The Public land use map designation and P zoning would therefore match.

3. Does Planning Board support the proposed ordinance to enable an exemption from Ordinance No. 8028 to permit a height modification on the site to permit two buildings at 55-feet?

Attachment B contains the proposed ordinance and changes to Appendix J that would add the subject properties to the areas where height modifications may be requested.

The hospital site was already included in the ordinance as area where a height modification can be considered and that inclusion of these properties being added to the hospital campus would, just like the existing hospital site, implement important community values. Considering the benefits of the use, the proposed design of the buildings (discussed in Key Issues 4 and 5 below) and the context with other buildings at or greater than 55 feet in the vicinity, staff finds that the ordinance would be appropriate and thus, recommends that Planning Board recommend approval to City Council. A discussion about the proposed height modification is in Key Issue No. 4 as follows.

4. Does the proposal for a height modification meet the criteria of Section 9-2-14(h), B.R.C. 1981?

The most relevant Site Review criteria to height modifications are Section 9-2-14(h)(2)(F)(i) through (iii), B.R.C. 1981, which staff finds are met as affirmed below:

- (i) The building height, mass, scale, orientation, architecture and configuration are compatible with the existing character of the area or the character established by adopted design guidelines or plans for the area;**

The character of the area is eclectic and contains a variety of building forms, heights and uses ranging from multi-family residential, transitional business, strip commercial to light industrial and medical uses. The proposed buildings would not be unlike the scale and design of buildings present in the area and particularly near to the site on the Boulder Community Health Foothill's Hospital and the Ball Aerospace campus. The general design of the buildings borrow from the designs and materiality of the existing hospital and medical buildings to the west and are oriented in an east-west orientation much like most of the buildings on the north side of the Arapahoe Avenue. Therefore, it can be concluded that the height, mass, scale, orientation, architecture and configuration of the proposed buildings will be compatible with the existing character of the area.

- (ii) The height of buildings is in general proportion to the height of existing buildings and the proposed or projected heights of approved buildings or approved plans or design guidelines for the immediate area;**

The buildings are proposed to be a maximum of 55 feet. This height would match that of several nearby structures including the Ball Aerospace buildings immediately to north and the existing hospital complex to the south. Another Ball Aerospace building to the east exceeds the 55-foot height limit and is considered nonconforming because it predates the current height limit. Therefore, the height of the proposed buildings is in general proportion to the heights of existing buildings in the immediate area.

- (iii) The orientation of buildings minimizes shadows on and blocking of views from adjacent properties;**

The proposed buildings will not block any prominent views from adjacent properties. The buildings are proposed just to the south of a large windowless Ball Aerospace facility where satellites are constructed. Shadows would be minimized and would fall into the mostly alley-like utilitarian area between the subject property and the Ball Aerospace site discussed above.

5. Is the proposed site layout and building design consistent with the Site Review criteria of Section 9-2-14(h), B.R.C. 1981?

Staff has found that the criteria can be met. Full responses to the Site Review criteria are found in [Attachment G](#).

The proposal is required to meet the Site Design criteria of Section 9-2-14(h)(2)(A) through (E), B.R.C. 1981, which seeks to create a site plan that has useable functional open space, attractive landscaping in excess of city code minimum requirements, safe and convenient circulation and connections (pedestrian and vehicular), and parking that is well screened and does not dominate the site plan. Staff has evaluated the proposed site layout against these criteria.

Further, the proposal is required to meet the Building Design criteria of Section 9-2-14(h)(2)(F), B.R.C. 1981, which intends to create buildings that are compatible with their surroundings in terms of height, massing, scale, architecture and configuration. Key Issue No. 4 affirmed these basic aspects of the buildings compatibility with context, whereas this section focuses more on creating pedestrian interest through use of transparency along streetscapes, using high quality of materials and aiming for energy efficiency. Staff has also evaluated the proposed building design against these criteria.

The most relevant criteria are included below for the board's review:

Key Site Review criteria related to Site Design
Open Space (Sec. 9-2-14(h)(2)(B), B.R.C. 1981)
Useable open space is arranged to be accessible and functional and incorporates quality landscaping, a mixture of sun and shade and places to gather;
The site plan includes a courtyard between the medical building and parking garage that is well landscaped and with seating walls that will encourage use. Quality landscaping is found within the space as well as around a seating area and along pathways through the site. The spaces will be functional and include a mix of sun and shade.
The open space provides a relief to the density, both within the project and from surrounding development;
Open space on the site is greater than 30 percent on the site which exceeds the required 20 percent based on the building heights. The site is well landscaped and complements and surrounds the buildings providing relief to the density on the site and from surrounding development.
Open space designed for active recreational purposes is of a size that it will be functionally useable and located in a safe and convenient proximity to the uses to which it is meant to serve;
The size and location of the proposed open space is appropriate to a medical use. Active recreational uses would not be expected for the use of the property.
If possible, open space is linked to an area- or city-wide system.
The proposed pathways on the site would connect to the city's existing sidewalk system and will be

convenient access to nearby multi-use paths as well as the Boulder Creek Path.

Landscaping (Sec. 9-2-14(h)(2)(C), B.R.C. 1981)

The project provides for aesthetic enhancement and a variety of plant and hard surface materials, and the selection of materials provides for a variety of colors and contrasts and the preservation or use of local native vegetation where appropriate;

Planting areas fill the majority of areas around the buildings and along circulation ways create an attractive environment and a contrast to other hard scape areas on the site.

Landscape design attempts to avoid, minimize or mitigate impacts on and off site to important native species, healthy, long lived trees, plant communities of special concern, threatened and endangered species and habitat by integrating the existing natural environment into the project;

The four properties are already developed and therefore, there would be no impact to existing natural environment.

The project provides significant amounts of plant material sized in excess of the landscaping requirements of Sections 9-9-12, "Landscaping and Screening Standards," and 9-9-13, "Streetscape Design Standards," B.R.C. 1981; and

The proposal includes a significant amount of plantings that exceed the city landscaping requirements and with a variety that contributes to visual interest of the site.

The setbacks, yards and useable open space along public rights of way are landscaped to provide attractive streetscapes, to enhance architectural features and to contribute to the development of an attractive site plan.

As stated above, areas along the streetscape would be landscaped in excess of city requirements and will contribute to the development of an attractive site plan.

Circulation (Sec. 9-2-14(h)(2)(C), B.R.C. 1981)

High speeds are discouraged or a physical separation between streets and the project is provided;

The reconfigured Riverbend Road will relatively narrow and include curves and a round-a-bout that would not be conducive to high speeds.

Potential conflicts with vehicles are minimized;

Potential conflicts with vehicles would be minimized by slowing the speeds of vehicles with the design and placing vehicle entries to the interior of the site so that visitors can follow wayfinding signs to parking and drop-off areas. The curbs and entry points have been designed to avoid vehicle conflict points.

Safe and convenient connections are provided that support multi-modal mobility through and between properties, accessible to the public within the project and between the project and the existing and proposed transportation systems, including, without limitation, streets, bikeways, pedestrian ways and trails;

Although there is not a transportation connections plan applicable the area, Riverbend Road has been designed to enable a future connection to the Ball Aerospace property on the east side should that property redevelop and connect in the future. This would make a street connection to Commerce Street to the east possible. Further, sidewalks and walkways are provided throughout the site provided safe and convenient access to the medical pavilion and parking garage as well as to the other Riverbend properties. A new wider sidewalk and burb out of 48th Street on the west side of the site would enable a safer pedestrian connection

to the Boulder Community Health facility to the west. Pedestrian crossings are limited to key points on the site and are designed for the safety and convenience of pedestrians.

Alternatives to the automobile are promoted by incorporating site design techniques, land use patterns and supporting infrastructure that supports and encourages walking, biking and other alternatives to the single-occupant vehicle;

The site design includes wide pathways and conveniently located bike racks to encourage biking. Sidewalks provide enhanced pedestrian access to the medical use as well as the other Riverbend properties.

Where practical and beneficial, a significant shift away from single-occupant vehicle use to alternate modes is promoted through the use of travel demand management techniques;

The applicant has been required to prepare a Transportation Demand Management (TDM) plan which includes but is not limited to carpool parking, EV charging stations, a bike repair station and EcoPasses for all employees.

On-site facilities for external linkage are provided with other modes of transportation, where applicable;

Sidewalks and pathways on the site connect to existing sidewalks which enable access to a multi-use path along Arapahoe Avenue to the south and the Boulder Creek Path to the north via an existing bridge.

The amount of land devoted to the street system is minimized; and

The circulation on the site is minimum necessary to provide access to the new medical pavilion and parking and the existing Riverbend offices.

Parking (Sec. 9-2-14(h)(2)(E), B.R.C. 1981)

The project incorporates into the design of parking areas measures to provide safety, convenience and separation of pedestrian movements from vehicular movements;

Most parking will be within the proposed parking structure. Once visitors are parked they will just need to traverse the proposed courtyard space before entering the medical building. This design separates the pedestrian flow from vehicular movements outside of the garage.

The design of parking areas makes efficient use of the land and uses the minimum amount of land necessary to meet the parking needs of the project;

Surface parking is limited to four spaces within the remaining 400+ parking spaces provided within a six level parking structure. The parking needs of the project would be efficient met with this structure.

Building Design

Key Site Review criteria related to Building Design

If the character of the area is identifiable, the project is made compatible by the appropriate use of color, materials, landscaping, signs and lighting;

The character of the area is eclectic and contains a variety of building forms, heights and uses ranging from multi-family residential, transitional business, strip commercial to light industrial and medical uses. The proposed buildings would not be unlike the scale and design of buildings present in the area and particularly near to the site on the Boulder Community Health Foothill's Hospital and the Ball Aerospace campus. The general design of the buildings borrow from the designs and materiality of the existing hospital and include

similar building materials and color pallet as the Boulder Community Health Foothills hospital with its use of brick, copper and metal components. The proposed buildings will be compatible with the nearby buildings.

Projects are designed to a human scale and promote a safe and vibrant pedestrian experience through the location of building frontages along public streets, plazas, sidewalks and paths, and through the use of building elements, design details and landscape materials that include, without limitation, the location of entrances and windows, and the creation of transparency and activity at the pedestrian level;

The proposed medical building has a high level of window glazing on all levels promoting a positive pedestrian experience. The proposed parking structure, also will have a storefront system for the accessory retail that will be conducive to the pedestrian experience. Further, to mitigate the concrete structural appearance of the garage, custom perforated metal screens would be applied to the structure and etched with patterns to enhance visual interest.

To the extent practical, the project provides public amenities and planned public facilities;

As a hospital, the use is a critical public facility, the expansion of which will better provide for the needs of the community in a highly accessible location.

Buildings minimize or mitigate energy use; support on-site renewable energy generation and/or energy management systems; construction wastes are minimized; the project mitigates urban heat island effects; and the project reasonably mitigates or minimizes water use and impacts on water quality;

The project includes solar panels on the roof of the medical building and parking structure and EV charging stations within the parking garage. An efficient heating and cooling system intended to preserve energy is intended to be implemented as part of the project.

Exteriors of buildings present a sense of permanence through the use of authentic materials such as stone, brick, wood, metal or similar products and building material detailing;

The buildings will be constructed with brick, concrete, metal and wood and will appear substantial and evoke a sense of permanence akin to the quality seen in the Boulder Community Health Foothills facility.

6. Does the proposal for parking as a principal use meet the Use Review criteria of Section 9-2-15(e), B.R.C. 1981?

The proposed parking garage use, which serves the parking needs of the on-site medical uses at Riverbend in addition to some parking needs of the adjacent Boulder Community Health Foothills hospital, would meet the Use Review criteria principally because its location, size, design and operating characteristics would be compatible with other uses in the area consistent with Section 9-2-15(e)(3), B.R.C. 1981 and also because it would *"provide a direct service or convenience to or reduces adverse impacts to the surrounding uses or neighborhood"* per Section 9-2-15(e)(2)(A), B.R.C. 1981 by relieving some of the constrained parking conditions of the adjacent hospital by providing additional parking for hospital employees on the site and thereby reducing adverse impacts on parking in the area. For these reasons, staff recommends approval of the Use Review request. Full responses to the criteria can be found in [Attachment G](#).

IV. PUBLIC COMMENT AND PROCESS

Required public notice was given in the form of written notification mailed to all property owners and renters within 600 feet of the subject site and a sign was posted on the property for at least 10 days. All notice requirements of Section 9-4-10(g), B.R.C. 1981 have been met. Staff has been in contact with two interested parties who have expressed concerns related to increased traffic on Arapahoe and within the Riverbend Office Park PUD.

V. STAFF RECOMMENDATION

Staff recommends that the Planning Board recommend to City Council approval of Rezoning (LUR2016-00039) and adoption of the proposed ordinance to add the Riverbend project site to Appendix J of Title 9 and that the Planning Board approve the BVCP Land Use Map change (LUR2016-00038), and the Site and Use Review application LUR2016-00040, incorporating this staff memorandum and the attached criteria checklists as findings of fact, and subject to the following recommended conditions of approval.

Proposed Conditions of Approval for Case No. LUR2016-00040

Site Review Conditions of Approval

1. The Applicant shall ensure that the **development shall be in compliance with all plans prepared by the Applicant** on September 26, 2016 ("Plans"), the Applicant's written statement dated May 16, 2016, and the Transportation Demand Management (TDM) Plan dated September 1, 2016 on file in the City of Boulder Planning Department, except to the extent that the development may be modified by the conditions of this approval.
2. The Applicant shall **comply with all previous conditions** contained in any previous approvals, except to the extent that any previous conditions may be modified by this approval, including, but not limited to, the following: Riverbend Office Park Planned Unit Development #P-76-29 and Special Review #SR-76-24.
3. Prior to a building permit application for any building, the Applicant shall submit, and obtain City Manager approval of, a Technical Document Review application for the following items:
 - a. **Final architectural plans**, including material samples and colors, to insure compliance with the intent of this approval and compatibility with the surrounding area.
 - b. A **final site plan** which includes detailed floor plans and section drawings. The final site plan shall include an emergency access turnaround or other emergency access route for emergency vehicles meeting Boulder Revised Code or City of Boulder Design and Construction standards.
 - c. A **final utility plan** meeting the City of Boulder Design and Construction Standards.

- d. A **final storm water report and plan** meeting the City of Boulder Design and Construction Standards.
 - e. **Final transportation plans** meeting the City of Boulder Design and Construction Standards for all transportation improvements. These plans must include, but are not limited to: street / cul-de-sac plan and profile drawings; multi-use path plan and profile drawings; profile drawings for the flow-line of all the new curb-and-gutter and cross-pave where its being constructed or re-constructed and extending twenty-five feet beyond the existing curb-and-gutter to verify positive drainage; cross-sections at fifty-foot intervals or where required by staff for the new street, cul-de-sac and multi-use path; typical sections for the street, cul-de-sac and multi-use path; transportation detail drawings of the 48th Street curb extensions; signage and striping plan in conformance with Manual on Uniform Traffic Control Devices (MUTCD) standards, street lighting details, transportation detail drawings required by staff, geotechnical soils report and pavement analysis.
 - f. A **detailed landscape plan**, including size, quantity, and type of plants existing and proposed; type and quality of non-living landscaping materials; any site grading proposed; and any irrigation system proposed, to insure compliance with this approval and the City's landscaping requirements. Landscape plans shall provide significant amounts of plant material sized in excess of the landscaping requirements of Sections [9-9-12](#), "Landscaping and Screening Standards," and [9-9-13](#), "Streetscape Design Standards," B.R.C. 1981. Removal of trees must receive prior approval of the Planning Department. Removal of any tree in City right of way must also receive prior approval of the City Forester.
 - g. A **detailed outdoor lighting plan** showing location, size, and intensity of illumination units, indicating compliance with section 9-9-16, B.R.C.1981.
 - h. A **detailed shadow analysis** to insure compliance with the City's solar access requirements of section 9-9-17, B.R.C.
4. Prior to a building permit application, the Applicant shall submit an application for and receive approval of a **Preliminary Plat** and submit a Technical Document Review application and receive approval for a **Final Plat**, subject to the review and approval of the City Manager and execute a subdivision agreement meeting the requirements of chapter 9-12, "Subdivision," B.R.C. 1981 and which provides, without limitation and at no cost to the City, for the following, unless otherwise approved by the City Manager:
- a. The dedication, to the City, of all right-of-way and easements necessary to serve the development.
 - b. The vacation of all easements where vacation is necessary for construction of the development.
 - c. The construction of all public improvements necessary to serve the development, including but not limited to: the new Riverbend Road; the Riverbend Road cul-de-sac; the 48th Street curb

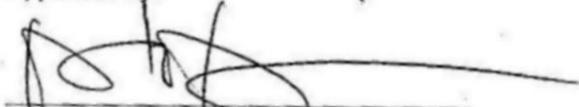
extensions, the multi-use path and all sidewalks; street lighting; stormwater detention facilities; and water and sanitary sewer mains.

- d. The construction of an emergency access turnaround or other exit route and dedication of an emergency access easement, subject to review and approval of the city manager, to provide a turnaround or other exit route for emergency vehicles meeting Boulder Revised Code and City of Boulder Design and Construction standards until Riverbend Road is extended east and connects to Commerce Street or until another code-compliant emergency access route is provided.
 - e. A financial guarantee, in a form acceptable to the Director of Public Works, in an amount equal to the cost of constructing all public improvements necessary to serve the development.
5. Prior to issuance of a building permit, the Applicant shall submit a **financial guarantee**, in a form acceptable to the Director of Public Works, in an amount equal to the cost of providing eco-passes to the employees of the development for three years after the issuance of a certificate of occupancy for each medical / commercial / retail unit as proposed in the Applicant's Transportation Demand Management (TDM) plan.
 6. This approval is **contingent upon the approval of an ordinance authorizing consideration of a height modification** pursuant to Section 9-2-14(c), B.R.C. 1981, on the Property. The Applicant assumes the risk that failure to obtain approval of such ordinance will result in the lapse of this approval. The Applicant shall not file a Technical Document Review application unless and until such ordinance is approved and effective.
 7. This approval is **contingent upon approval of an ordinance rezoning the Property from the Business – Transitional 2 (BT-2) to the Public (P) zoning district**. The Applicant assumes the risk that failure to obtain approval of such rezoning ordinance will result in the lapse of this approval. The Applicant shall not file a Technical Document Review application unless and until such rezoning is approved and the rezoning ordinance is in effect.
 8. Prior to a building permit application, the Applicant shall **obtain revocable permits** or leases, as applicable, pursuant to section 8-6-6, B.R.C. 1981 for the proposed awnings, as shown on the Plans, that project into the public access easement along the north side of Riverbend Road. The Applicant assumes the risk that failure to obtain said revocable permits will result in the lapse of this approval and any modifications to the said awnings will be subject to the modification and amendment procedures set forth in section 9-2-14(k) and (l), B.R.C. 1981 depending on the extent of the necessary changes.
 9. The Applicant shall allow any visitors, tenants, owners, and occupants of the entire Riverbend Office Park PUD to use and access the trash enclosure area shown on the 4800 Riverbend property.

Use Review Conditions of Approval

1. The Applicant shall ensure that the **development shall be in compliance with all plans prepared by the Applicant** on September 26, 2016 ("Plans") and the Applicant's written statement dated May 16, 2016, on file in the City of Boulder Planning Department, except to the extent that the development may be modified by the conditions of this approval. Further, the Applicant shall ensure that the approved use is operated in compliance with the following restrictions:
 - a. The number of the parking spaces available for the principal use as parking on the site is 160 parking spaces, as shown on the Plans. The remaining 250 spaces are for the Riverbend Medical Center and accessory retail uses.
2. The Applicant **shall not expand or modify the approved use**, except pursuant to subsection 9-2-15(h), B.R.C. 1981.
3. The Applicant shall **comply with all previous conditions** contained in any previous approvals, except to the extent that any previous conditions may be modified by this approval, including, but not limited to, the following: Riverbend Office Park Planned Unit Development #P-76-29 and Special Review #SR-76-24.

Approved By:



David Driskell, Executive Director
Department of Community Planning and Sustainability

ATTACHMENTS:

- A. Draft Ordinance to rezone properties from BT-2 to P
- B. Draft Ordinance related to Height Modification Request
- C. Applicant's written statement
- D. Proposed Plans
- E. Transportation Demand Management (TDM) plan
- F. Parking Study
- G. Staff responses to Code Criteria
- H. Development Review Committee (DRC) comments on the proposal

ORDINANCE NO.

AN ORDINANCE REZONING 2.25 ACRES OF LAND LOCATED AT 4801, 4855, 4865, AND 4855 RIVERBEND ROAD FROM THE BUSINESS - TRANSITIONAL 2 (BT-2) TO PUBLIC (P) ZONING DISTRICT AS DESCRIBED IN CHAPTER 9-5, "MODULAR ZONE SYSTEM," B.R.C. 1981, AND SETTING FORTH RELATED DETAILS.

THE CITY COUNCIL OF THE CITY OF BOULDER, COLORADO FINDS:

A. A public hearing before the Planning Board of the City of Boulder was duly held on October 6, 2016, in consideration of rezoning approximately 2.25 acres of land from the Business – Transitional 2 (BT-2) to the Public (P) zoning district generally located at 4801 Riverbend Road, Boulder, CO as more particularly described as Lot 1, Riverbend First Replat, County of Boulder, State of Colorado; 4855 Riverbend Road, Boulder, CO as more particularly described as Lot 1, Riverbend Second Replat, County of Boulder, State of Colorado; 4865 Riverbend Road, Boulder, CO as more particularly described as Lot 2, Riverbend Second Replat, County of Boulder, State of Colorado; and 4885 Riverbend Road, Boulder, CO as more particularly described as Lot 9, Riverbend, County of Boulder, State of Colorado (collectively hereafter referred to as the "Property") and as shown on Exhibit A attached hereto and incorporated herein.

B. The Planning Board found that the rezoning of the Property from the Business – Transitional 2 (BT-2) to the Public (P) zoning district is consistent with the policies and goals of the Boulder Valley Comprehensive Plan; is necessary to bring the Property into compliance with the Boulder Valley Comprehensive Plan map; and meets the criteria for rezoning as provided in Chapter 9-2, "Review Processes," B.R.C. 1981.

C. The Planning Board recommended that the City Council amend the zoning district map to include the Property in the Public (P) zoning district as provided in Chapter 9-5, “Modular Zone System,” B.R.C. 1981.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF BOULDER,
COLORADO:

Section 1. Chapter 9-5, “Modular Zone System,” B.R.C. 1981, and the zoning Public (P) district map forming a part thereof are amended to include the Property within the zoning district.

Section 2. The City Council finds that the rezoning of the Property from the Business – Transitional 2 (BT-2) to the Public (P) zoning district is consistent with the policies and goals of the Boulder Valley Comprehensive Plan, is necessary to bring the Property into compliance with the Boulder Valley Comprehensive Plan map, and meets the criteria for rezoning as provided in Chapter 9-2, “Review Processes,” B.R.C. 1981. The City Council adopts the recitals as a part of this ordinance.

Section 3. The City Council has jurisdiction and legal authority to rezone the Property.

Section 4. This ordinance is necessary to protect the public health, safety, and welfare of the residents of the city, and covers matters of local concern. The rezoning of the Property bears a substantial relation to, and will enhance the general welfare of, the Property and of the residents of the City of Boulder.

Section 5. The City Council deems it appropriate that this ordinance be published by title only and orders that copies of this ordinance be made available in the office of the city clerk for public inspection and acquisition.

INTRODUCED, READ ON FIRST READING, AND ORDERED PUBLISHED
BY TITLE ONLY this 18th day of October, 2016.

Mayor

Attest:

City Clerk

READ ON SECOND READING, PASSED, ADOPTED, AND ORDERED
PUBLISHED BY TITLE ONLY this 1st day of November, 2016.

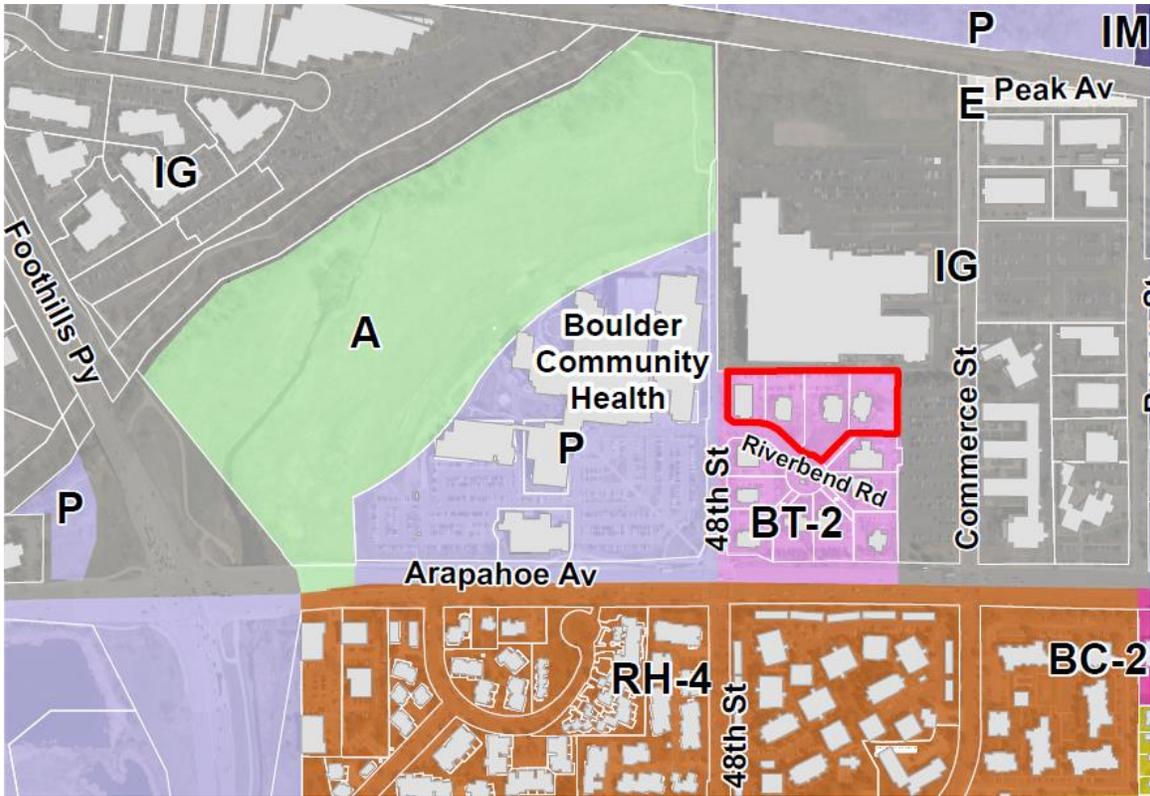
Mayor

Attest:

City Clerk

EXHIBIT A

MAP OF AREAS TO BE REZONED



ORDINANCE NO. ____

AN ORDINANCE AMENDING TITLE 9, “LAND USE CODE” B.R.C. 1981, AND ORDINANCE 8028 BY AMENDING APPENDIX J TO TITLE 9 ADDING ADDITIONAL BOULDER COMMUNITY HOSPITAL PROPERTIES TO THE AREAS WHERE HEIGHT MODIFICATIONS MAY BE CONSIDERED, AND SETTING FORTH RELATED DETAILS.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF BOULDER,
COLORADO:

Section 1. The city council finds and recites the following facts leading to the adoption of this ordinance amending interim development regulations related to the height of buildings.

a. On April 7, 2015, the city council adopted Ordinance 8028 amending Title 9, “Land Use Code,” B.R.C. 1981, by adopting interim development regulations related to the height of buildings.

b. With Ordinance 8028 the council intended to limit the areas where buildings can be up to fifty-five feet in height to those areas where previous planning efforts have resulted in the adoption of a plan or clear policy intent that supports more intensive forms of development or in instances where important community values are implemented or site topography may result in height-compliance hardship.

c. The provisions of Ordinance 8028 remain in effect until April 19, 2017.

d. The Boulder Community Health has sold its campus near Broadway and Balsam Avenue in an effort to move and centralize its services at and near the location of its hospital campus at 4747 Arapahoe Avenue. As part of this effort, Boulder Community Health is expanding its services to the properties located at 4801, 4855, 4865, and 4885 Riverbend. Co-location of the emergency room with other health services to be located at the Riverbend Office Park, including inpatient behavioral health, would improve the quality and access to health care services provided within the community.

e. The Boulder Community Health hospital and its related services provide important services for the health and wellbeing of the community and thereby implements important community values consistent with the goals and policies of the Boulder Valley Comprehensive Plan.

Section 2. The council repeals “Appendix J to Title 9 - Areas Where Height Modifications May Be Considered,” and hereby adopts Attachment A to this ordinance, titled, “Appendix J to

Title 9 - Areas Where Height Modifications May Be Considered,” as an amendment to Title 9, “Land Use Code,” B.R.C. 1981.

Section 3. The provisions of this ordinance shall amend Ordinance 8028 and shall along with Ordinance 8028 expire on April 19, 2017. The council intends that this ordinance will expire, be amended, or replaced with subsequent legislation after further study of appropriate building heights in the city.

Section 4. This ordinance shall apply to building permits or land use approvals for which an application is made following the effective date of this ordinance and building permits and land use applications pending at the time of the adoption of this ordinance.

Section 5. If any section, paragraph, clause, or provision of this ordinance shall for any reason be held to be invalid or unenforceable, such decision shall not affect any of the remaining provisions of this ordinance.

Section 6. This ordinance is necessary to protect the public health, safety, and welfare of the residents of the city, and covers matters of local concern.

Section 7. The council deems it appropriate that this ordinance be published by title only and orders that copies of this ordinance be made available in the office of the city clerk for public inspection and acquisition.

INTRODUCED, READ ON FIRST READING, AND ORDERED PUBLISHED BY
TITLE ONLY this __ day of _____, 2016.

Mayor

Attest:

City Clerk

READ ON SECOND READING, PASSED, ADOPTED, AND ORDERED PUBLISHED
BY TITLE ONLY this __ day of _____, 2016.

Mayor

Attest:

City Clerk

WRITTEN STATEMENT & SITE REVIEW CRITERIA RESPONSE

(CITY REQUIRED STATEMENT IN BLACK – CUT/PASTED FROM CITY DOCUMENTS)

(APPLICANT RESPONSES IN BLUE)

WRITTEN STATEMENT

A) Statement of current ownership:

Boulder Community Health (BCH) is the current land and building owner of all properties requesting redevelopment under this LUR application (4801, 4855, 4865, 4885). The project will also be improving City of Boulder Right-of-Way.

B) Explanation of the objectives to be achieved by the project, including without limitation building descriptions, sketches, or elevations that may be required to describe the objectives:

Boulder Community Health (BCH) is actively pursuing the completion of its move from the Broadway complex with redevelopment of its properties at the Riverbend site at Arapahoe and 48th St. This site was chosen to be developed by BCH because of its proximity to the existing Foothills Hospital campus. The Riverbend development will allow for BCH to relocate crucial patient departments currently in the Broadway Campus to Riverbend and consolidate their patient services to a common area.

The proposed development is a 3-story medical pavilion, approximately 70,000sf, with an exterior public courtyard. The services that will be provided at the new medical pavilion include inpatient behavioral health, inpatient rehab and neurology department. These are the patient care departments that currently reside at the Broadway facility and need to be relocated. To the west of the medical pavilion a 6-level parking structure will be constructed with a ground-level storefront area of accessory uses that may include small campus oriented service retail. This accessory retail component is intended to provide services within a walkable distance to the Riverbend properties, BCH Foothills occupants as well as Ball Aerospace employees, creating a localized urban center in an otherwise vehicle dependent area.

In addition to developing the 4 northernmost properties at Riverbend (4801, 4855, 4865, 4885), this project will be redesigning Riverbend Road to accommodate the needs of BCH's new medical pavilion & garage, improve the access to the existing properties to the south and provide a potential connection point east.

Building Design:

The buildings on the BCH Foothills campus each have a unique character however are linked to each other through the use of a common material palette. The same approach is proposed in the design at Riverbend. The new medical pavilion and parking garage will feel familiar enough that it fits within the

BCH family but unique in its own right to establish the new 'front door' to the Riverbend complex. Brick, copper and glass will be the dominant materials on the medical center building and the parking garage will use concrete, brick and metal panel screens with glass storefront at the accessory retail frontage.

The proposed buildings engage the public at the ground level through the use of storefront glass and the placement of an exterior courtyard garden between the medical pavilion lobby and retail spaces. The building mass is broken up to respond to interior spatial planning needs as well as addressing site context. The first floor pushes out to the south to break up the scale of the building and provide a more relatable context at the pedestrian level at both the medical pavilion and parking garage.

The medical pavilion facade will be articulated by punched openings and larger storefront conditions at the first floor to balance the three stories and provide appropriate daylighting needs for the interior spaces. The main lobby entry and the west corner of the building have been articulated with vertical curtainwall and copper elements which signify the public prominence of these spaces and establishes their hierarchy in the design. There are a handful of exterior design elements that have been incorporated to contribute to the energy saving goals of the building such as photovoltaic panels on the roof, exterior sunshades and high-performance glazing.

The parking garage is located on the east side of the property with accessory use space along the south side at the ground floor level. The parking garage levels are wrapped in a metal screen with custom perforations that display a graphic representative of the cottonwood tree canopy along the Boulder Creek. The accessory use space breaks up the mass of the parking garage and activates the pedestrian realm. There is a plaza space to the south and to the west which are populated with site furnishings to encourage use by the public. Short term bicycle racks are provided along this south edge and near entrances and the long term bike parking is within the first floor level of the parking garage with a bike tool/repair station. The covered and enclosed space for the long term bike parking, along with showers and locker rooms in the medical pavilion will serve the needs of staff commuting to work.

The parking garage will provide the code required parking count (1/300sf) to meet the needs of the new medical pavilion as well as provide secondary parking support for the overflow from the Foothills campus. BCH conducts routine patient surveys, and the limited parking availability at the Foothills campus is a constant area of patient dissatisfaction. BCH is looking to improve patients' experiences as well as maximize development, and therefore determined that providing additional parking at the Riverbend site was the most effective way in satisfying both requirements, coupled with a more aggressive alternate transportation mode program. Accessible stalls (van & standard ADA) are provided at every level of the garage and the amount is above the code minimum to serve the needs of this specific patient population in the medical pavilion. Additional information about BCH transportation strategies is located below under section '*E) Additional Information*'.

The building height maximum will be 55' for this property, requiring a modification to the existing Height Ordinance. Additional information to support this modification can be found in the '*Height Ordinance Requirement: Written Statement*' document as well as within the 24x36 drawing set.

Site Design:

Riverbend Road, the primary access point into the site, will remain in its current location off of 48th street. The Riverbend Road street section has been narrowed, eliminating the on-street parallel

parking, which increases the visibility to the existing properties, allows for more generous landscaping areas and provides additional safety measures to avoid pedestrian and vehicle conflicts. Riverbend road extends to the east edge of the site, providing new access to the parking garage and maintaining access to the existing surface parking at the east edge of the Riverbend complex. In addition to this, the new road alignment provides a point of connection for future development through to Commerce Street. A realigned roundabout connects to the south off of Riverbend Road maintaining access to the existing properties. Site directional signage has also been incorporated to improve way-finding within the development.

Pedestrian circulation was an important design consideration in the site development. A sidewalk has been provided on-axis (east/west) with the existing Foothills campus path to provide a visual and physical connection across 48th street from the new BCH Riverbend development. This sidewalk, which runs just to the south of the medical pavilion and parking garage/retail space, extends all the way to the easternmost point of the site allowing for a future connection through to Commerce Street. The project proposes adding curb 'bulb-outs' at the intersection of 48th St. and Riverbend to make the crosswalk more visible and encourage a reduction in vehicle speeds to increase the safety for the pedestrians.

Providing public outdoor space in a garden setting was important to the development of the medical pavilion for its patients, families and visitors, physicians and staff. The new courtyard sits between the intersection of the garage and medical pavilion. Its south facing location is ideal for year round sunlight. The design, layout and placement of trees and plants in the courtyard was influenced by a holistic symbol of healing – hands gently enfolding the health of people around the world. The garden was designed as a focal point, a place that invites you to come out side, a place that can provide a sense of privacy, protection and intimacy. The courtyard was designed to provide both an active edge incorporating moveable tables and chairs with a more passive interior highlighted by a central lawn, comfortable seat walls, flowering perennials and shrubs and a tight canopy of shade trees. The courtyard provides safe pedestrian connections between the medical office building and parking garage, and neighboring facilities. The overall site landscape and planting design was developed to be attractive, useful, in context with its surroundings, a connection to the main campus and safe. It is based on principles of sustainable landscape design and construction including reduction of storm water runoff, reduction of water use through the selection of low water plants, bio-filtering of roof runoff, efficient irrigation, soil management techniques to maintain healthy soil and a design that is maintainable.

See full 24x36 drawing set for plans, elevations and renderings that support the proposal above.

- C) Development schedule indicating the approximate date when construction of the project or phases of the project can be expected to begin and be completed:

Construction and development of the property is dependent on the Site Review and Tech Docs entitlements process. BCH is anticipating a December 2016 Tech Doc approval, with site mobilization commencing shortly thereafter. Demolition of the current structures is projected for the fall of 2016. Construction is expected to continue from December of 2016 through spring of 2018.

- D) Copies of any special agreements, conveyances, restriction, or covenants that will govern the use, maintenance, and continued protection of the goals of the project and any related parks, recreation areas, playgrounds, outlots, or open space:

With the original development of the Foothills Hospital campus, the City and hospital agreed to a 17+ acre conservation easement on the Foothills campus.

E) Additional information:

BCH Alternative Modes of Transportation and Parking Demand Management Plan

Boulder Community Health is committed to ongoing efforts to increase our employee and physician use of alternative modes of transportation to and from the campus as well as improving the parking management for the foothills campus. Over the next few years, we will build on our existing programs evaluate and consider additional efforts and incentives to reduce the number of employees who drive individually to work each day. These efforts will be facilitated through the BCH Sustainability Coordinator and are consistent with our other health and wellness activities.

- We were the first employer in Boulder to purchase RTD EcoPasses for our employees free of charge. Employees continue to experience barriers to using RTD services to accommodate their work and life schedule. We will facilitate “commuter consultations” to identify and reduce these barriers for employees.
- BCH has a guaranteed ride home program to facilitate an unexpected need for employees who do not drive a car to work to respond to these events, such as picking up an ill child from school. This service needs to be publicized more broadly amongst our staff.
- There is a strong cycling culture at BCH and in the Boulder area. We provide bike racks throughout the campus, including an underground secure area. We will explore additional secure, covered bicycle parking facilities on the Foothills campus. In addition, we have initial plans for showers and a changing area for cyclists, pedestrians, and those exercising before and after work and during break times in our proposed Riverbend building.
- We need to continue to partner with community resources and neighbors to continue to reduce barriers for commuters and provide additional means of access to our campus from a regional perspective.
 - Boulder Transit Connections (BCH is a founding member)
 - Via Mobility Services (patients)
 - Go Boulder
 - RTD
 - Ball Aerospace
 - City of Boulder
 - Boulder County
- We will do a thoughtful review of our policies to assure we are reducing barriers for our employees to choose alternative modes of transportation to the campus:
 - Flexible work schedules
 - Telecommuting options
 - Other incentives identified from employees
- We believe there is more opportunity to encourage employee carpools.
 - Enhance the virtual “bulletin board” for employees to identify other employees from their home locations that have similar work schedules.
 - Identify designated parking spaces for car pool vehicles
 - Ensure the guaranteed ride home for unexpected needs
- Identify opportunities for accessing the campus from satellite parking areas and popular transit stops.
- Evaluate the needs of the Non-BCH employees on campus and how they might integrate into the BCH programs and plans.

During the recent expansion of the Foothills Hospital in 2014, BCH was granted a parking deferral. Over the course of two years of operating the hospital, it is clear from our patients and physicians that additional 'close in' parking is merited. Therefore, we propose additional parking spaces in the new Riverbend parking structure. These spaces will be assigned for employee use, thus enabling the closer parking spaces to the main hospital to be available for patient use.

BCH prefers to implement the 'carrot' approach as described above in the Parking Demand Management Plan (PDMP), incentivizing and educating our employees about alternatives to the use of single occupancy vehicles for getting to and from work. While we have researched some of the 'stick' approaches to PDM, such as charging employees to park on campus, we note that this approach is more typically found in congested, urban medical centers where more robust public transportation exists. Competition for quality medical personnel, especially physicians, nurses, technicians and specialists is fierce and shortages for critical care professionals exists. Nearby competitive facilities, hospitals and medical centers do not charge for parking, and doing so at BCH would place them at a competitive disadvantage for attracting and keeping high-quality personnel. Again, we are committed to a robust Parking Demand Management Plan and incentivizing employees to make use of alternative modes of transportation to and from work.

Additional parking utilization data and analysis for the Foothills campus has been provided, in memo form, as a part of the Transportation Demand Management Plan by Fox Tuttle Hernandez Transportation Group. This information can be found in Packet #1.

BOULDER VALLEY COMPREHENSIVE PLAN - LAND USE MAP CHANGE

The Land Use Map is not intended to be a zoning map. It is intended to provide policy direction and definition for future land uses in the Boulder Valley. Thus, a change to the land use designations may be considered at any time if it is related to a proposed change in zoning or proposed annexation and meets all of the following criteria:

- (a) The proposed change is consistent with the policies and overall intent of the comprehensive plan.
See responses below under Site Review Criteria Response
- (b) The proposed change would not have significant cross-jurisdictional impacts that may affect residents, properties or facilities outside the city.
The proposed Map change will not have this impact
- (c) The proposed change would not materially affect the land use and growth projections that were the basis of the comprehensive plan.
The proposed Map change will not have this impact
- (d) The proposed change does not materially affect the adequacy or availability of urban facilities and services to the immediate area or to the overall service area of the City of Boulder.
The proposed Map change will not have this impact
- (e) The proposed change would not materially affect the adopted Capital Improvements Program of the City of Boulder.
The proposed Map change will not have this impact
- (f) The proposed change would not affect the Area II/Area III boundaries in the comprehensive plan.
The proposed Map change will not have this impact

SITE REVIEW CRITERIA RESPONSE

No site review application shall be approved unless the approving agency finds that:

(1) Boulder Valley Comprehensive Plan:

- (A) The proposed site plan is consistent with the land use map and the service area map and, on balance, the policies of the Boulder Valley Comprehensive Plan.

The proposed project is requesting a Boulder Valley Comprehensive Plan (BVCP) land use map change from TB to Public, as well as a rezoning from BT-2 to Public to allow for hospital use on the site. The proposed land use map change to P meets the needs of the BVCP by directly addressing the following policies:

1. **1.03 Principles of Economic Sustainability & 1.04 Principles of Social Sustainability:** Better enabling a concentration of BCH-related uses near the Foothills campus will help ensure the community's basic health needs are being met, and continued high quality of life.
2. **2.03 Compact Development Pattern:** The project will enable a concentration of BCH-related land uses for a more contiguous development pattern near the Foothills campus. Without enabling this concentration of land uses, BCH-related uses may, over time, locate in a more disconnected, spread out pattern from the Foothills campus.
3. **2.17 Variety of Activity Centers, 2.21 Commitment to a Walkable and Accessible City & 2.22 Improve Mobility Grid:** Enabling a concentration of BCH related land uses near the Foothills campus supports BVCP goals and policies around accessibility to activity centers. Staff, patients and visitors will be able to walk between the campuses for their medical services. By consolidating the hospital services, this will also create an attractive area for ancillary uses to locate to take advantage of the density and further reduce the reduction in vehicle miles traveled.
4. **2.30 Sensitive Infill and Redevelopment:** The current land uses include Medical Office, which will also be included in the new development with the addition of supportive hospital modalities that directly related to the adjacent Foothills campus. The redevelopment to Public also acts as a buffer to the industrial uses designated to the north and east. BCH is already a well-established contributor to the community in the services it provides as well as the level of design commitment they maintain with their developments.
5. **2.34 Importance of Street Trees and Streetscapes:** The Riverbend development will be meeting and exceeding the City standards for providing a well-balanced landscaped environment for the public enjoyment. Detached sidewalks separating vehicles from pedestrians with an eight foot wide plant bed and avenue of shade trees, generous pedestrian walkways and off-street parking will enhance the pedestrian experience. Public landscaped areas and safe walkway connections feed into the main outdoor open space – the courtyard garden. All open space landscaped areas are designed to be visually inviting and to provide encouragement for use by the public, patients, visitors and staff to who appreciate the benefits of the great outdoor environment that Boulder offers.
6. **2.35 Outdoor Lighting/Light Pollution:** All lighting shall meet or exceed City standards. To provide public safety, there will be light bollards placed at the main sidewalk connecting the parking garage to the western edge of the site where staff and visitors will be using to connect back to the Foothills campus. The parking garage will be supplied with daylighting and occupancy sensors to reduce lighting levels when no motion is detected, and the ceilings will be painted bright white to increase the safety levels for the visitors which also reduces the need for supplemental lighting.
7. **6.01 All-Mode Transportation System, 6.02 Reduction of Single Occupancy Auto Trips, 6.05 Accessibility, 6.06 Mobility Services & 6.09 Integration with Land Use:** The East Arapahoe Transportation Plan includes the potential for enhanced multimodal facilities that would integrate well with an intensification of the Foothills campus for BCH-related uses. The

section of East Arapahoe in front of the Riverbend Office park and Foothills campus is getting particular attention in assessing opportunities to integrate land use and transportation planning.

8. **6.08 Transportation Impact:** By consolidating BCH services near the Foothills campus, this reduces vehicle miles between facilities by staff, support services as well as patients. There are close RTD stops as well as a B-cycle station and direct connection to the Boulder Creek Path system and other bike trails providing easy access for alternated modes of transportation to the site. Within the site an uninterrupted east-west path has been provided as well as improved sidewalks to the south of Riverbend Road to help circulate pedestrians around the site and connect them back to the Arapahoe transportation corridor. In addition, eco passes will be issued to all employees, long term bike storage is provided and staff showers have been added to the medical pavilion to encourage alternate modes of transportation to the site.
9. **8.01 Providing for a Broad Spectrum of Human Needs, 8.07 Physical Health & 8.10 Support for Community Facilities:** BCH is a vital community institution with a need to expand its Foothills campus operation and concentrated BCH-related activities in one area. A BVCP land use amendment and zoning change support related health policies in BVCP Chp 8.

(B) The proposed development shall not exceed the maximum density associated with the Boulder Valley Comprehensive Plan residential land use designation. Additionally, if the density of existing residential development within a three-hundred-foot area surrounding the site is at or exceeds the density permitted in the Boulder Valley Comprehensive Plan, then the maximum density permitted on the site shall not exceed the lesser of:

- (i) The density permitted in the Boulder Valley Comprehensive Plan, or
Does not apply. No residential units are a part of this project.
- (ii) The maximum number of units that could be placed on the site without waiving or varying any of the requirements of chapter 9-8, "Intensity Standards," B.R.C. 1981.
Does not apply. No residential units are a part of this project.

(C) The proposed development's success in meeting the broad range of BVCP policies considers the economic feasibility of implementation techniques required to meet other site review criteria.

The proposed project provides facility space for the medical services currently located on the former BCH Broadway campus. The City of Boulder purchased the Broadway site and the proceeds from this sale enable BCH to construct the proposed project. Future operations of the facility at Riverbend will be financed by BCH through contracts and reimbursements from various health insurance providers combined with general operating income of BCH operations and service.

(2) Site Design: Projects should preserve and enhance the community's unique sense of place through creative design that respects historic character, relationship to the natural environment, multi-modal transportation connectivity and its physical setting. Projects should utilize site design techniques which are consistent with the purpose of site review in Subsection (a) of this section and enhance the quality of the project. In determining whether this subsection is met, the approving agency will consider the following factors:

(A) Open Space: Open space, including, without limitation, parks, recreation areas and playgrounds:

- (i) Useable open space is arranged to be accessible and functional and incorporates quality landscaping, a mixture of sun and shade and places to gather;

Useable open space is arranged and designed to be both accessible and functional, visible from within the buildings and to be enjoyed by everyone. It incorporates quality hardscape, paving materials and landscaping including trees for shade, ornamental trees with seasonal color, evergreen trees for year round appeal, flowering shrubs perennials, and ornamental grasses. The open space provides a mixture of sun and shade and places for both active and passive use, social interaction and private reflection. It provides protection and minimizes conflicts with

vehicular traffic and pedestrians. It provides a physical and visual connection between buildings and the main BCH campus.

- (ii) Private open space is provided for each detached residential unit;

Not applicable. No residential units are a part of this project.

- (iii) The project provides for the preservation of or mitigation of adverse impacts to natural features, including, without limitation, healthy long-lived trees, significant plant communities, ground and surface water, wetlands, riparian areas, drainage areas and species on the federal Endangered Species List, "Species of Special Concern in Boulder County" designated by Boulder County, or prairie dogs (*Cynomys ludovicianus*), which is a species of local concern, and their habitat;

The project will provide for the preservation of or mitigation of adverse impacts to natural features as required.

- (iv) The open space provides a relief to the density, both within the project and from surrounding development;

Open space is provided in and around the medical pavilion and parking garage in a balanced distribution. The more heavily concentrated pedestrian spaces are to the south, in a more desirable solar orientation for outdoor public enjoyment as well as creating a better physical connection to the other Riverbend properties. In addition, a central landscaped courtyard is provided between the medical center building and the parking garage, providing a public space for gathering and buffer between the two buildings. There is open space provided along the north edge of the property, however it is minimized to a degree due to the industrial nature of the adjacent property to the north, Ball Aerospace, and the scale of the existing building. This pushes the daily public occupied spaces to more desirable locations around the site and preserves the north edge as a transition zone.

- (v) Open space designed for active recreational purposes is of a size that it will be functionally useable and located in a safe and convenient proximity to the uses to which it is meant to serve;

The opens space is designed to accommodate all users of the medical center, parking garage and adjacent Riverbend properties. It is designed to provide safe connections and efficient circulation while significantly reducing conflicts with vehicular traffic and parked vehicles.

- (vi) The open space provides a buffer to protect sensitive environmental features and natural areas; and

The project does not contain any existing sensitive environmental features and natural areas. With the original development of the Foothills Hospital campus, the City and hospital agreed to a 17+ acre conservation easement on the Foothills campus.

- (vii) If possible, open space is linked to an area- or city-wide system.

The public paths provide for protected pedestrian circulation within the site as well as connect back to 48th & Arapahoe, linking the project site back to the extensive bike trail and open space system throughout the City.

(B) Open Space in Mixed Use Developments (Developments That Contain a Mix of Residential and Nonresidential Uses): Not applicable. No residential units are a part of this project.

- (i) The open space provides for a balance of private and shared areas for the residential uses and common open space that is available for use by both the residential and nonresidential uses that will meet the needs of the anticipated residents, occupants, tenants and visitors of the property; and Not applicable. No residential units are a part of this project.

- (ii) The open space provides active areas and passive areas that will meet the needs of the anticipated residents, occupants, tenants and visitors of the property and are compatible with the surrounding area or an adopted plan for the area. Not applicable. No residential units are a part of this project.

(C) Landscaping:

- (i) The project provides for aesthetic enhancement and a variety of plant and hard surface materials, and the selection of materials provides for a variety of colors and contrasts and the preservation or use of local native vegetation where appropriate;

The landscape design incorporates durable hardscape paving with special enhancements to open plaza areas, outdoor seating areas and the main courtyard garden. The paving materials includes textured, integral colored concrete and natural clay pavers. The planting design is a colorful array of ornamental trees, shrubs, perennials, grasses and foliage. Plant species were selected based on suitability and appropriateness to location, (size, shape, similar water requirements), low water usage after establishment, adjacency to pedestrian and vehicular circulation and impact of road de-icing salts.

- (ii) Landscape design attempts to avoid, minimize or mitigate impacts on and off site to important native species, healthy, long lived trees, plant communities of special concern, threatened and endangered species and habitat by integrating the existing natural environment into the project;

The landscape design will incorporate existing long-lived trees where it is possible to do so. All off-site trees will be protected from the impact of the development.

- (iii) The project provides significant amounts of plant material sized in excess of the landscaping requirements of Sections 9-9-12, "Landscaping and Screening Standards," and 9-9-13, "Streetscape Design Standards," B.R.C. 1981; and

A majority of the specified plant material are sized in excess of the requirements. Plant material is also specified and sized based on a continual review of plant availability and quality of stock at Front Range commercial nurseries. An emphasis is put on plant species that are successful in the Boulder environment and predominant soil type, pH, and mineral levels.

- (iv) The setbacks, yards and useable open space along public rights of way are landscaped to provide attractive streetscapes, to enhance architectural features and to contribute to the development of an attractive site plan.

All open space areas that are appropriate for landscaping are important to the overall quality of the development and are landscaped accordingly.

(D) Circulation: Circulation, including, without limitation, the transportation system that serves the property, whether public or private and whether constructed by the developer or not:

- (i) High speeds are discouraged or a physical separation between streets and the project is provided;

The project is proposing curb 'bulb-outs' at the intersection of 48th and Riverbend to encourage reduction in vehicle speed at that intersection as well as bring a higher visibility to the crossing point for pedestrians. The road section of Riverbend is reduced in width to 22' and there are curves in the roadway alignment which will help to reduce vehicle speed.

- (ii) Potential conflicts with vehicles are minimized;

Pedestrian crossings have been strategically placed to reduce vehicle/pedestrian conflicts. A continuous east-west pedestrian path has been provided in the project site, with only one driveway crossing at the entry to the parking garage. The stair and elevator core to the parking garage have been placed on the west side of the parking garage entry to eliminate all vehicle/pedestrian conflicts that would occur with those persons parking in the garage and making their way to the front entry of the medical pavilion.

- (iii) Safe and convenient connections are provided that support multi-modal mobility through and between properties, accessible to the public within the project and between the project and the existing and proposed transportation systems, including, without limitation, streets, bikeways, pedestrian-ways and trails;

A future multi-use path will be partially constructed on the north side of the project. This multi-use path will extend from 48th Street to the transformer enclosure between the garage and medical office building, and provide pedestrian and bike access to the central plaza of the project. The path will not extend to the eastern property line due to concerns over the grade difference between the BCH property and the Ball property to the north. If constructed solely on the BCH property, the path would require a retaining wall at the property line with a rail required on the north side to protect users from the grade drop. This would limit access to the north and decrease the usability of the path. This portion of the multi-use path should be constructed with Ball's input with grading and/or easement accommodations upon redevelopment of the Ball property to provide a usable multi-use path for both properties.

- (iv) Alternatives to the automobile are promoted by incorporating site design techniques, land use patterns and supporting infrastructure that supports and encourages walking, biking and other alternatives to the single-occupant vehicle;

Short term bicycle parking is provided near the front entry of the medical pavilion and retail space at the garage which are both connected with the uninterrupted east/west pedestrian path. This pedestrian path extends to the eastern most edge of the Riverbend complex, providing for a potential future connection point through to Commerce Street. This path also extends west to 48th Street, and then south to Arapahoe, linking the site to the Arapahoe transportation corridor and Boulder Creek path system. Long term bike parking is provided at the ground level of the parking garage, with overhead cover and an enclosure to enhance security measures. Staff lockers and showers are located in the medical pavilion to further facilitate bicycle commuting to the site by employees. There are RTD bus stops within close range along Arapahoe Ave, and all BCH employees are provided with an EcoPass to take advantage of these local services.

- (v) Where practical and beneficial, a significant shift away from single-occupant vehicle use to alternate modes is promoted through the use of travel demand management techniques;

See the statement provided by BCH on Page 3: '*E) Additional Information: BCH Alternative Modes of Transportation and Parking Demand Management Plan*'

- (vi) On-site facilities for external linkage are provided with other modes of transportation, where applicable;

As mentioned previously, short term and long term bicycle parking will be provided and easily accessible. In addition, staff showers & lockers will be incorporated into the interior space of the medical pavilion to further encourage and facilitate the ability of staff to bike to work, or use a bike to commute to other facilities throughout the day. There is also a dedicated drop-off loop which will allow for Via vans, taxis/ubers and other transportation services to be accommodated. In this drop-off loop, as well as in the garage, we are providing electric vehicle charging stations to support and promote alternative-fuel vehicle use.

- (vii) The amount of land devoted to the street system is minimized; and

By reducing the street section to 22'-0", eliminating the on-street parking and improving the roundabout design, we have increased the area to which can be dedicated to landscaping and pedestrian access.

- (viii) The project is designed for the types of traffic expected, including, without limitation, automobiles, bicycles and pedestrians, and provides safety, separation from living areas and control of noise and exhaust.

Service vehicles & ambulances have dedicated access off of 48th Street which will reduce vehicle trips, noise and exhaust from entering further into the site. Two curb cuts are provided at this service area off of 48th Street. The south, narrower curb cut is dedicated to one-way ambulance traffic only and will be signed as such. The ambulance will use this driveway as one-way exit point out of a sally-port (secured entryway with garage doors on two ends to prevent patient elopement). The ambulance will use the northern service drive curb cut as the entry drive. This dual access will allow for free and unobstructed movement at all times in emergent situations. No more than one ambulance will occupy the area at a time, and the path of travel will only be between the Riverbend medical pavilion and the ambulance drop-off at the north

side of the emergency department at Foothills (therefore no sirens will be used for inbound or outbound vehicles). The northern curb cut off of 48th (which utilizes an existing curb cut) is for service vehicles, trash collection, deliveries and ambulance traffic. Because this driveway needs to allow for free egress and entry into the sally-port for ambulances at all times, the width needs to be able to accommodate a double loaded drive in the event that a delivery or service vehicle is accessing the site at the same time. Again, by consolidating these services on the west side of the building, and off of 48th, we increase the safety of pedestrians, as most pedestrian traffic is anticipated to be traveling east-west along Riverbend and not as heavily trafficked along 48th.

Bike traffic will be directed to the multi-use path along the northern property line which will provide access to the interior courtyard between the two buildings. The multi-use path will be accessible via 48th Street curb ramps. 48th Street from Arapahoe Ave to Riverbend Rd is wider than standard street without on-street parking, which makes for safe bicycle connection from the Arapahoe multi-use path. Additionally, the existing sidewalk on the west side of Arapahoe Ave is wider than standard and could serve as a bicycle connection if pedestrians are not present.

The dedicated drop-off loop at the entry to the medical pavilion provides convenient access to Via vans, taxis as well as mobility limited visitors needing pick-up/drop-off close to the front entry. See also above responses to the convenience and safety that the east-west pedestrian path provides along the south side of the medical center & garage.

(E) Parking:

- (i) The project incorporates into the design of parking areas measures to provide safety, convenience and separation of pedestrian movements from vehicular movements;

On-street parking has been eliminated to increase the visibility to the existing property access points, and eliminates potential conflicts with passengers leaving their cars and crossing the street at undesignated points. The parking garage entry consolidates vehicle access to one location and is located to the east of the stair and elevator core, which allows pedestrians to travel between the garage and the medical center without having to cross a road or driveway.

- (ii) The design of parking areas makes efficient use of the land and uses the minimum amount of land necessary to meet the parking needs of the project;

The parking garage stacks the required parking, thus reduces the site footprint dedicated to parking to meet the needs of the medical center. This also consolidates vehicle access to a designated entry/exit point establishing efficiency in road design and required paving. In addition, the roundabout has been reconfigured to eliminate surface parking, providing for a less congested flow to the existing properties and increasing the landscaped area.

- (iii) Parking areas and lighting are designed to reduce the visual impact on the project, adjacent properties and adjacent streets; and

The parking garage uses daylighting and occupancy sensors to reduce the visual impact of the lighting provided to serve the parking volume for the project. There are decorative metal screens which wrap the east, south and west elevations which add visual interest to the garage structure as well as mitigate any light spill from the deck mounted lights or vehicle headlights. In addition to this, the accessory use/retail wrap on the south face of the garage reduces the overall impact of the visibility of the parking from the pedestrian level and from adjacent sites, placing an emphasis on this frontage and reducing the visual impact of the garage.

- (iv) Parking areas utilize landscaping materials to provide shade in excess of the requirements in Subsection 9-9-6(d), and Section 9-9-14, "Parking Lot Landscaping Standards," B.R.C. 1981.

There are only 4 surface parking stalls for the project (Van Accessible), the remainder are located within the parking garage. These 4 stalls are located just to the south of the main entry to the medical center at the drop-off loop. The landscape islands will be planted with shade trees and low planting including ornamental shrubs and groundcover. Shrub species will be selected so that mature height does not exceed 36". This is to allow for clear visibility across the parking and pedestrian areas and to the front entry of the medical center.

(F) Building Design, Livability and Relationship to the Existing or Proposed Surrounding Area:

- (i) The building height, mass, scale, orientation, architecture and configuration are compatible with the existing character of the area or the character established by adopted design guidelines or plans for the area;

The building height maximum will be 55' for this property, requiring a modification to the existing Height Ordinance. The surrounding context and programmatic needs of this type of facility support this increase in allowable height. The necessity of the height stems from the constructability needs when building for inpatient medical services. The floor-to-floor heights tend to be greater than a standard commercial building or even medical office building because of the required mechanical and electrical services, fire and life safety needs as well as minimum ceiling height requirements that are dictated by the state health department. While the building will only be three stories above grade (allowed per zoning), these stories each require a certain overall height to be functionally relevant, which takes the building roof height up to the 55' envelope. This is in alignment with the hospital use allowed in a Public zone. The proposed development will also help transition from the scale and starkness of the Ball Aerospace building to the north (@ +55'), to the smaller Riverbend structures to the south.

- (ii) The height of buildings is in general proportion to the height of existing buildings and the proposed or projected heights of approved buildings or approved plans or design guidelines for the immediate area;

Ball Aerospace to the north and east are at and above the 55' height. BCH Foothills Hospital to the west is also 55' in height and sits higher than that of the Riverbend site because of the rising topography to the west. In addition to this, the perceived height of the medical pavilion and garage will be much less than the 55' height suggests because of the immediate topography and neighboring buildings. The Riverbend development slopes significantly from south to north which positions the building's first floor elevation 10'-0" + below the traffic along Arapahoe Avenue.

- (iii) The orientation of buildings minimizes shadows on and blocking of views from adjacent properties;

The site and building orientation and positioning do not have any shadow impacts on the Riverbend properties to the south and minimal impacts to the Ball Aerospace parking lot to the east. Most of the shadows will occur to the north, however this adjacent property, Ball Aerospace, has no windows or required views out of that portion of their building. It is a service edge that is dominated by a 55' tall solid wall and industrial level uses.

- (iv) If the character of the area is identifiable, the project is made compatible by the appropriate use of color, materials, landscaping, signs and lighting;

BCH Foothills Hospital campus has an established material palette (brick, glass, copper) and that architectural character is directly addressed in the design and planning of the Riverbend medical center. The new building and parking garage will feel familiar enough that it fits within the BCH family but unique in its own right to establish the new 'front door' to the medical center in Riverbend.

- (v) Projects are designed to a human scale and promote a safe and vibrant pedestrian experience through the location of building frontages along public streets, plazas, sidewalks and paths, and through the use of building elements, design details and landscape materials that include, without limitation, the location of entrances and windows, and the creation of transparency and activity at the pedestrian level;

The south side of the medical pavilion and parking garage have been specifically designed to encourage and improve the pedestrian. Both the medical pavilion and the accessory retail space at the garage have a 1-story volume that pushes out to the south from the main mass of the buildings, which creates a more comfortable pedestrian experience. The building designs engage the public at the ground level through the use of storefront glass and the placement of an exterior courtyard garden between the lobby and retail spaces. The transparency at the ground level creates a connection between indoors and outdoors and subsequently a more approachable building.

- (vi) To the extent practical, the project provides public amenities and planned public facilities;

The courtyard garden and various seating areas to the south of the garage are intended and encouraged to be used by the public, including patients, visitors, employees and those accessing the retail areas.

- (vii) For residential projects, the project assists the community in producing a variety of housing types, such as multifamily, townhouses and detached single family units, as well as mixed lot sizes, number of bedrooms and sizes of units; **Does not apply. No residential units are a part of this project.**

- (viii) For residential projects, noise is minimized between units, between buildings and from either on-site or off-site external sources through spacing, landscaping and building materials; **Does Not Apply. No residential uses are a part of this project.**

- (ix) A lighting plan is provided which augments security, energy conservation, safety and aesthetics;

The exterior site lighting package will consist of Full cut-off 18'-0" pole mounted fixtures approximately 7000 lumens @ 4000K, a full cut-off illuminated bollard with light source approximately 4'-0" approximately 1200 lumens at 4000K, and a fully recessed can light in the main canopies approximately 3000 lumens at 4000K. Regulations defining maximum allowed foot candle reading and maximum lighting uniformity shall be maintained. See the landscape plans for site lighting locations.

- (x) The project incorporates the natural environment into the design and avoids, minimizes or mitigates impacts to natural systems;

The exterior courtyard garden is a large contributor to the usable open space and incorporating the natural environment into the design. In addition, there is a 3-floor open-air courtyard providing fresh air and natural space for the patients/occupants of that floor.

- (xi) Buildings minimize or mitigate energy use; support on-site renewable energy generation and/or energy management systems; construction wastes are minimized; the project mitigates urban heat island effects; and the project reasonably mitigates or minimizes water use and impacts on water quality;

Photovoltaic panels will be installed on the roof of the medical pavilion as an alternative energy source. There are electric vehicle charging stations in the parking garage. The parking garage also uses daylighting and occupancy sensors to reduce the amount of energy used to light the structure. Rain gardens are located around the perimeter of the building to provide a natural, and visually appealing way to filter and discharge the water flowing off of the roofs. The central courtyard and 3rd floor roof garden on the medical pavilion (see roof plan) will help to reduce the heat island effect as will light colored roofing materials. The medical center will also have various energy saving systems such as daylighting controls, high performance glazing and exterior sunshades which all contribute to improved performance of the building systems and a reduction in power consumption.

- (xii) Exteriors of buildings present a sense of permanence through the use of authentic materials such as stone, brick, wood, metal or similar products and building material detailing;

The primary building materials for the medical pavilion include brick, copper and metal panel with the use of storefront and curtainwall glazing. These materials are located on the east, south and west facades, presenting a sense of permanence as well as connecting to the BCH Foothills campus palette. Secondary materials, located on the north side of the building facing Ball Aerospace, include stucco with small quantities of brick, copper and metal accents. The accessory retail space on the south façade of the garage mimics the palette of the medical pavilion with the use of brick, painted steel and storefront glazing. The parking garage has a primary structure of concrete which is layered with custom perforated metal screen panels. These panels are perforated in lieu of being painted (or an 'applied graphic) to increase the durability of the material and ensure the custom tree graphic will remain as-is throughout the material lifespan. Additional brick elements are also used at the corners and stair/elevator cores.

- (xiii) Cut and fill are minimized on the site, the design of buildings conforms to the natural contours of the land, and the site design minimizes erosion, slope instability, landslide, mudflow or subsidence, and minimizes the potential threat to property caused by geological hazards;

Grading is determined by the finished floor elevations of the structures. These will be set 2-ft above the 100-year flood elevation to protect the buildings from flooding. There will be minor filling to obtain this building elevation, however this will be offset by foundation excavation.

- (xiv) In the urbanizing areas along the Boulder Valley Comprehensive Plan boundaries between Area II and Area III, the building and site design provide for a well-defined urban edge; and **Does not apply. Project site is in Area I.**
- (xv) In the urbanizing areas located on the major streets shown on the map in Appendix A to this title near the Boulder Valley Comprehensive Plan boundaries between Area II and Area III, the buildings and site design establish a sense of entry and arrival to the City by creating a defined urban edge and a transition between rural and urban areas. **Does not apply. Project site is in Area I.**

- (G) Solar Siting and Construction:** For the purpose of ensuring the maximum potential for utilization of solar energy in the City, all applicants for residential site reviews shall place streets, lots, open spaces and buildings so as to maximize the potential for the use of solar energy in accordance with the following solar siting criteria:

Does Not Apply. No residential uses are a part of this project.

- (i) Placement of Open Space and Streets: Open space areas are located wherever practical to protect buildings from shading by other buildings within the development or from buildings on adjacent properties. Topography and other natural features and constraints may justify deviations from this criterion. **Does Not Apply. No residential uses are a part of this project.**
- (ii) Lot Layout and Building Siting: Lots are oriented and buildings are sited in a way which maximizes the solar potential of each principal building. Lots are designed to facilitate siting a structure which is unshaded by other nearby structures. Wherever practical, buildings are sited close to the north lot line to increase yard space to the south for better owner control of shading. **Does Not Apply. No residential uses are a part of this project.**
- (iii) Building Form: The shapes of buildings are designed to maximize utilization of solar energy. Buildings shall meet the solar access protection and solar siting requirements of Section 9-9-17, "Solar Access," B.R.C. 1981. **Does Not Apply. No residential uses are a part of this project.**
- (iv) Landscaping: The shading effects of proposed landscaping on adjacent buildings are minimized. **Does Not Apply. No residential uses are a part of this project.**

- (H) Additional Criteria for Poles Above the Permitted Height:** No site review application for a pole above the permitted height will be approved unless the approving agency finds all of the following:

- (i) The light pole is required for nighttime recreation activities which are compatible with the surrounding neighborhood, light or traffic signal pole is required for safety or the electrical utility

pole is required to serve the needs of the City; and **Does Not Apply. No poles requested above permitted height.**

- (ii) The pole is at the minimum height appropriate to accomplish the purposes for which the pole was erected and is designed and constructed so as to minimize light and electromagnetic pollution. **Does Not Apply. No poles requested above permitted height.**

(I) Land Use Intensity Modifications:

- (i) Potential Land Use Intensity Modifications:

- a. The density of a project may be increased in the BR-1 district through a reduction of the lot area requirement or in the Downtown (DT), BR-2 or MU-3 districts through a reduction in the open space requirements.

Does Not Apply. Not in BR-1 district.

- b. The open space requirements in all Downtown (DT) districts may be reduced by up to one hundred percent.

Does Not Apply. Not in (DT) district.

- c. The open space per lot requirements for the total amount of open space required on the lot in the BR-2 district may be reduced by up to fifty percent.

Does Not Apply. Not in BR-2 district.

- d. Land use intensity may be increased up to twenty-five percent in the BR-1 district through a reduction of the lot area requirement.

Does Not Apply. Not in BR-1 district.

- (ii) Additional Criteria for Land Use Intensity Modifications: A land use intensity increase will be permitted up to the maximum amount set forth below if the approving agency finds that the criteria in paragraph (h)(1) through Subparagraph (h)(2)(H) of this section and following criteria have been met:

- a. Open Space Needs Met: The needs of the project's occupants and visitors for high quality and functional useable open space can be met adequately;

The needs of the Open Space requirement have been met by providing 37% open space. 20% is required.

- b. Character of Project and Area: The open space reduction does not adversely affect the character of the development or the character of the surrounding area; and

Does Not Apply. No open space reduction being requested.

- c. Open Space and Lot Area Reductions: The specific percentage reduction in open space or lot area requested by the applicant is justified by any one or combination of the following site design features not to exceed the maximum reduction set forth above:

Does Not Apply. No open space reduction being requested.

- 1. Close proximity to a public mall or park for which the development is specially assessed or to which the project contributes funding of capital improvements beyond that required by the parks and recreation component of the development excise tax set forth in chapter 3-8, "Development Excise Tax," B.R.C. 1981: maximum one hundred percent reduction in all Downtown (DT) districts and ten percent in the BR-1 district; **Does Not Apply. No open space reduction being requested.**

- 2. Architectural treatment that results in reducing the apparent bulk and mass of the structure or structures and site planning which increases the openness of the site: maximum five percent reduction; **Does Not Apply. No open space reduction being requested.**

3. A common park, recreation or playground area functionally useable and accessible by the development's occupants for active recreational purposes and sized for the number of inhabitants of the development, maximum five percent reduction; or developed facilities within the project designed to meet the active recreational needs of the occupants: maximum five percent reduction; [Does Not Apply. No open space reduction being requested.](#)
4. Permanent dedication of the development to use by a unique residential population whose needs for conventional open space are reduced: maximum five percent reduction; [Does Not Apply. No open space reduction being requested.](#)
5. The reduction in open space is part of a development with a mix of residential and nonresidential uses within a BR-2 zoning district that, due to the ratio of residential to nonresidential uses and because of the size, type and mix of dwelling units, the need for open space is reduced: maximum fifteen percent reduction; and [Does Not Apply. No open space reduction being requested.](#)
6. The reduction in open space is part of a development with a mix of residential and nonresidential uses within a BR-2 zoning district that provides high quality urban design elements that will meet the needs of anticipated residents, occupants, tenants and visitors of the property or will accommodate public gatherings, important activities or events in the life of the community and its people, that may include, without limitation, recreational or cultural amenities, intimate spaces that foster social interaction, street furniture, landscaping and hard surface treatments for the open space: maximum twenty-five percent reduction. [Does Not Apply. No open space reduction being requested.](#)

(J) Additional Criteria for Floor Area Ratio Increase for Buildings in the BR-1 District:

- (i) Process: For buildings in the BR-1 district, the floor area ratio ("FAR") permitted under Table 8-2, Section 9-8-2, "Floor Area Ratio Requirements," B.R.C. 1981, may be increased by the city manager under the criteria set forth in this subparagraph. [Does Not Apply. Not in BR-1 District.](#)
- (ii) Maximum FAR Increase: The maximum FAR increase allowed for buildings thirty-five feet and over in height in the BR-1 district shall be from 2:1 to 4:1. [Does Not Apply. Not in BR-1 District.](#)
- (iii) Criteria for the BR-1 District: The FAR may be increased in the BR-1 district to the extent allowed in subparagraph (h)(2)(J)(ii) of this section if the approving agency finds that the following criteria are met: [Does Not Apply. Not in BR-1 District.](#)
 - a. Site and building design provide open space exceeding the required useable open space by at least ten percent: an increase in FAR not to exceed 0.25:1.
[Does Not Apply. Not in BR-1 District.](#)
 - b. Site and building design provide private outdoor space for each office unit equal to at least ten percent of the lot area for buildings twenty-five feet and under and at least twenty percent of the lot area for buildings above twenty-five feet: an increase in FAR not to exceed 0.25:1.
[Does Not Apply. Not in BR-1 District.](#)
 - c. Site and building design provide a street front facade and an alley facade at a pedestrian scale, including, without limitation, features such as awnings and windows, well-defined building entrances and other building details: an increase in FAR not to exceed 0.25:1.
[Does Not Apply. Not in BR-1 District.](#)
 - d. For a building containing residential and nonresidential uses in which neither use comprises less than twenty-five percent of the total square footage: an increase in FAR not to exceed 1:1.
[Does Not Apply. Not in BR-1 District.](#)

- e. The unused portion of the allowed FAR of historic buildings designated as landmarks under chapter 9-11, "Historic Preservation," B.R.C. 1981, may be transferred to other sites in the same zoning district. However, the increase in FAR of a proposed building to which FAR is transferred under this subparagraph may not exceed an increase of 0.5:1.

Does Not Apply. Not in BR-1 District.

- f. For a building which provides one full level of parking below grade, an increase in FAR not to exceed 0.5:1 may be granted.

Does Not Apply. Not in BR-1 District.

(K) Additional Criteria for Parking Reductions: The off-street parking requirements of Section 9-9-6, "Parking Standards," B.R.C. 1981, may be modified as follows:

- (i) Process: The city manager may grant a parking reduction not to exceed fifty percent of the required parking. The planning board or city council may grant a reduction exceeding fifty percent. Does Not Apply. Not requesting a parking reduction.
- (ii) Criteria: Upon submission of documentation by the applicant of how the project meets the following criteria, the approving agency may approve proposed modifications to the parking requirements of Section 9-9-6, "Parking Standards," B.R.C. 1981 (see tables 9-1, 9-2, 9-3 and 9-4), if it finds that:
 - a. For residential uses, the probable number of motor vehicles to be owned by occupants of and visitors to dwellings in the project will be adequately accommodated; Does Not Apply. Not a residential use.
 - b. The parking needs of any nonresidential uses will be adequately accommodated through on-street parking or off-street parking; Does Not Apply. Not requesting a parking reduction.
 - c. A mix of residential with either office or retail uses is proposed, and the parking needs of all uses will be accommodated through shared parking; Does Not Apply. Not a residential use.
 - d. If joint use of common parking areas is proposed, varying time periods of use will accommodate proposed parking needs; and Does Not Apply. Not requesting a parking reduction.
 - e. If the number of off-street parking spaces is reduced because of the nature of the occupancy, the applicant provides assurances that the nature of the occupancy will not change. Does Not Apply. Not requesting a parking reduction.

(L) Additional Criteria for Off-Site Parking: The parking required under Section 9-9-6, "Parking Standards," B.R.C. 1981, may be located on a separate lot if the following conditions are met:

- (i) The lots are held in common ownership; Does Not Apply. No joint parking.
- (ii) The separate lot is in the same zoning district and located within three hundred feet of the lot that it serves; and Does Not Apply. No joint parking.
- (iii) The property used for off-site parking under this subparagraph continues under common ownership or control. Does Not Apply. No joint parking.

BOULDER COMMUNITY HEALTH RIVERBEND MEDICAL PAVILION AND PARKING GARAGE

RIVERBEND ROAD AND 48TH STREET
BOULDER, CO 80303



SITE REVIEW

PROJECT NUMBER
152699.01

DRAWN BY
AW

DATE
9/26/2016

REVISIONS

NO.	DESCRIPTION	DATE
1	REVISION #1	07/29/2016
2	REVISION #2	09/02/2016
3	REVISION #3	09/26/2016

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CONTRACTOR
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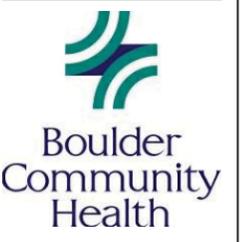
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PROJECT
BOULDER COMMUNITY HEALTH
RIVERBEND MEDICAL PAVILION AND PARKING GARAGE

SITE REVIEW

LUR2016-00038-40

SHEET TITLE
COVER SHEET

SHEET NUMBER

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GENERAL PROJECT DATA

OVERALL SITE: 97,725 SF / 2.24 ACRES

BUILDING COVERAGE (FOOTPRINTS):

NAME	AREA
BOULDER COMMUNITY HEALTH MEDICAL PAVILION	
FIRST FLOOR	25,247 SF
BOULDER COMMUNITY HEALTH PARKING GARAGE	
FIRST FLOOR	26,446 SF
RETAIL 1	701 SF
RETAIL 2	1,583 SF
RETAIL 3	2,545 SF
TOTAL SITE BUILDING FOOTPRINT	56,523 SF

BUILDING HEIGHT: MEDICAL PAVILION 55'
PARKING GARAGE 55'

NUMBER OF STORIES: MEDICAL PAVILION 3 STORIES
PARKING GARAGE 1 LEVEL @ GRADE / 5 STRUCTURED LEVELS
RETAIL SPACE 1 STORY

OCCUPANCY CLASSIFICATION (IBC):

LEVEL	CLASSIFICATION
MEDICAL PAVILION	
FIRST FLOOR	B BUSINESS - MEDICAL OFFICE
SECOND FLOOR	B BUSINESS - MEDICAL OFFICE
	I-2 HOSPITAL, INPATIENT
THIRD LEVEL	I-2 HOSPITAL, INPATIENT
PARKING GARAGE	
FIRST FLOOR:	S-2 LOW-HAZARD STORAGE
	B BUSINESS - RETAIL
SECOND FLOOR:	S-2 LOW-HAZARD STORAGE
THIRD FLOOR:	S-2 LOW-HAZARD STORAGE
FOURTH FLOOR:	S-2 LOW-HAZARD STORAGE
FIFTH FLOOR:	S-2 LOW-HAZARD STORAGE
SIXTH FLOOR:	S-2 LOW-HAZARD STORAGE

GROSS MEDICAL PAVILION AREA

NAME	AREA
FIRST FLOOR	25,247 SF
SECOND FLOOR	22,851 SF
THIRD FLOOR	22,244 SF
TOTAL	70,342 SF

GROSS PARKING GARAGE AREA

NAME	AREA
FIRST FLOOR	20,557 SF
SECOND FLOOR	29,686 SF
THIRD FLOOR	29,686 SF
FOURTH FLOOR	29,686 SF
FIFTH FLOOR	29,686 SF
SIXTH FLOOR	29,268 SF
TOTAL	168,568 SF

GROSS RETAIL AREA

NAME	AREA
RETAIL 1	701 SF
RETAIL 2	1,583 SF
RETAIL 3	2,545 SF
TOTAL	4,829 SF

GENERAL PARKING DATA

REQUIRED PARKING:
REQUIRED MEDICAL PAVILION PARKING (70,342 SF AT 1/300) 234 SPACES
REQUIRED RETAIL PARKING (4,829 SF AT 1/300) 16 SPACES
TOTAL REQUIRED PARKING 250 SPACES

PROVIDED PARKING:

TYPE	COUNT	COMMENTS
GARAGE		
8' x 19' (8' AISLE)	8	ADA
9' x 16' GARAGE PARKING COMPACT STALL	108	COMPACT
9' x 16' GARAGE PARKING COMPACT STALL - PATIENT	65	COMPACT - PATIENT
9' x 16' GARAGE PARKING COMPACT STALL - RETAIL	7	COMPACT - RETAIL
9' x 19' (5' AISLE) ADA GARAGE PARKING	6	ADA
9' x 19' (5' AISLE) ADA GARAGE PARKING - EV	1	ONE EV CAPABLE
9' x 19' EV GARAGE PARKING STANDARD STALL	5	EV CAPABLE
9' x 19' GARAGE PARKING STANDARD STALL	131	STANDARD
9' x 19' GARAGE PARKING STANDARD STALL - PATIENT	65	STANDARD - PATIENT
9' x 19' GARAGE PARKING STANDARD STALL - RETAIL	10	STANDARD - RETAIL
	406	
SITE		
8' x 19' (8' AISLE) ADA EV SITE PARKING	1	VAN ACCESSIBLE ADA AND EV CAPABLE
8' x 19' (8' AISLE) ADA SITE PARKING	3	VAN ACCESSIBLE ADA
	4	
TOTAL: 410	410	

COMPACT PARKING STALLS (9-9-6; TABLE 9-7; B.R.C. 1981)
TOTAL SPACES REQUIRED 250
5-49 40 PERCENT
50-100 50 PERCENT
101 OR GREATER 60 PERCENT

REQUIRED BIKE PARKING (PER LAND USE - OFFICE, MEDICAL, & FINANCIAL USES):
REQUIRED LONG TERM (75% OF TOTAL) 38 BIKE SPACES
REQUIRED SHORT TERM (25% OF TOTAL) 13 BIKE SPACES
TOTAL REQUIRED (75,171 SF @ 1/1500SF) 51 BIKE SPACES

PROVIDED BIKE PARKING:

TYPE	COUNT	COMMENTS
LONG TERM BIKE PARKING	40	BIKE PARKING LOCATED AT FIRST FLOOR OF PARKING GARAGE
SHORT TERM BIKE PARKING	22	BIKE PARKING LOCATED OUTSIDE ENTRY OF MEDICAL PAVILION
SHORT TERM BIKE PARKING WITH TRAILER	6	BIKE PARKING LOCATED OUTSIDE ENTRY OF MEDICAL PAVILION
TOTAL: 68	68	

PLANNING & ZONING DATA

ZONING DESIGNATION:

CURRENT (BT-2) BUSINESS TRANSITIONAL 2
PROPOSED (P) PUBLIC

LAND USE DESIGNATION:

CURRENT (TB) TRANSITIONAL BUSINESS
PROPOSED (P) PUBLIC

SETBACKS (PUBLIC ZONING DESIGNATION):

FRONT YARD (WEST PROPERTY LINE):	REQ. 25'	PROV. 21'
REAR YARD (EAST PROPERTY LINE):	25'	12'
SIDE YARD - INTERIOR LOT LINE (NORTH PROPERTY LINE):	10'	10'
SIDE YARD - FROM A STREET (SOUTH PROPERTY LINE):	12.5'	9' FOR BUILDING 1' FOR PARKING SPACES

SETBACK MODIFICATION FOR PROPERTY 4895 (BT-2 ZONING DESIGNATION):

SIDE YARD LANDSCAPE SETBACK	REQ. 15'	PROV. 11'
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OPEN SPACE:

REQUIRED 20% (PER 9-9-11(C)(3))
PROVIDED 36%
*SEE "OPEN SPACE DIAGRAM" ON ARCHITECTURAL SHEET SR7

STAFF LOCKERS:

PROVIDED ON SECOND FLOOR OF THE MEDICAL PAVILION

WOMEN'S LOCKER ROOM: 14 LOCKERS, 1 SHOWER
MEN'S LOCKER ROOM: 14 LOCKERS, 1 SHOWER

REQUESTED MODIFICATIONS FROM THE LAND USE REGULATIONS:

- 9-7-1 MINIMUM SIDE YARD LANDSCAPED SETBACK FROM A STREET TO PERMIT A BUILDING AT 9 FEET AND PARKING SPACES AT 1 FEET WHERE 12.5 FEET IS REQUIRED
- 9-7-1 MINIMUM FRONT YARD SETBACK TO PERMIT THE BUILDING AT 21 FEET WHERE 25 FEET IS REQUIRED
- 9-7-1 MINIMUM REAR YARD SETBACK TO PERMIT THE PARKING STRUCTURE AT 12 FEET WHERE 25 FEET IS REQUIRED
- 9-7-1 MINIMUM SIDE YARD LANDSCAPE SETBACK TO PERMIT THE EXISTING STRUCTURE AT 4895 RIVERBEND AS 11 FEET WHERE 15 FEET IS REQUIRED
- 9-7-1 MAXIMUM PERMITTED HEIGHT TO PERMIT 55 FEET WHERE 35 FEET IS THE BY-RIGHT LIMIT (REQUIRES CITY COUNCIL APPROVAL)
- 9-7-1 MAXIMUM NUMBER OF STORIES TO PERMIT 6 GARAGE PARKING LEVELS WHERE 3 IS THE LIMIT

PROJECT NUMBER
152699.01

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DATE
9/26/2016

REVISIONS

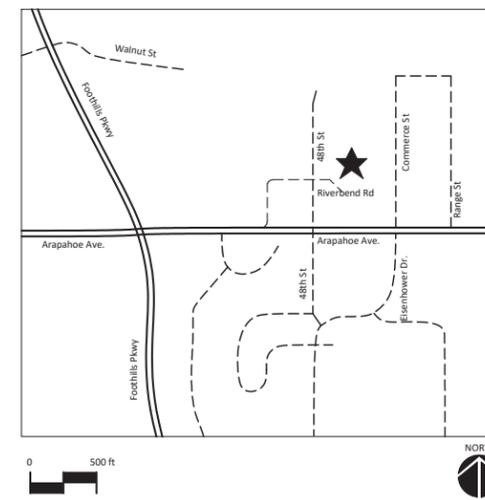
NO.	DESCRIPTION	DATE
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3	REVISION #3	09/26/2016

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SITE CONTEXT PLAN



VICINITY MAP



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 - C1.0 GRADING AND DRAINAGE PLAN
 - C1.1 RIVERBEND ROAD PLAN AND PROFILE
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 - C3.1 ENLARGED 48TH STREET INTERSECTION PLAN
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 - SR7 HEIGHT MODIFICATION DEMONSTRATION
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 - SR9 CHARACTER RENDERINGS

SITE REVIEW

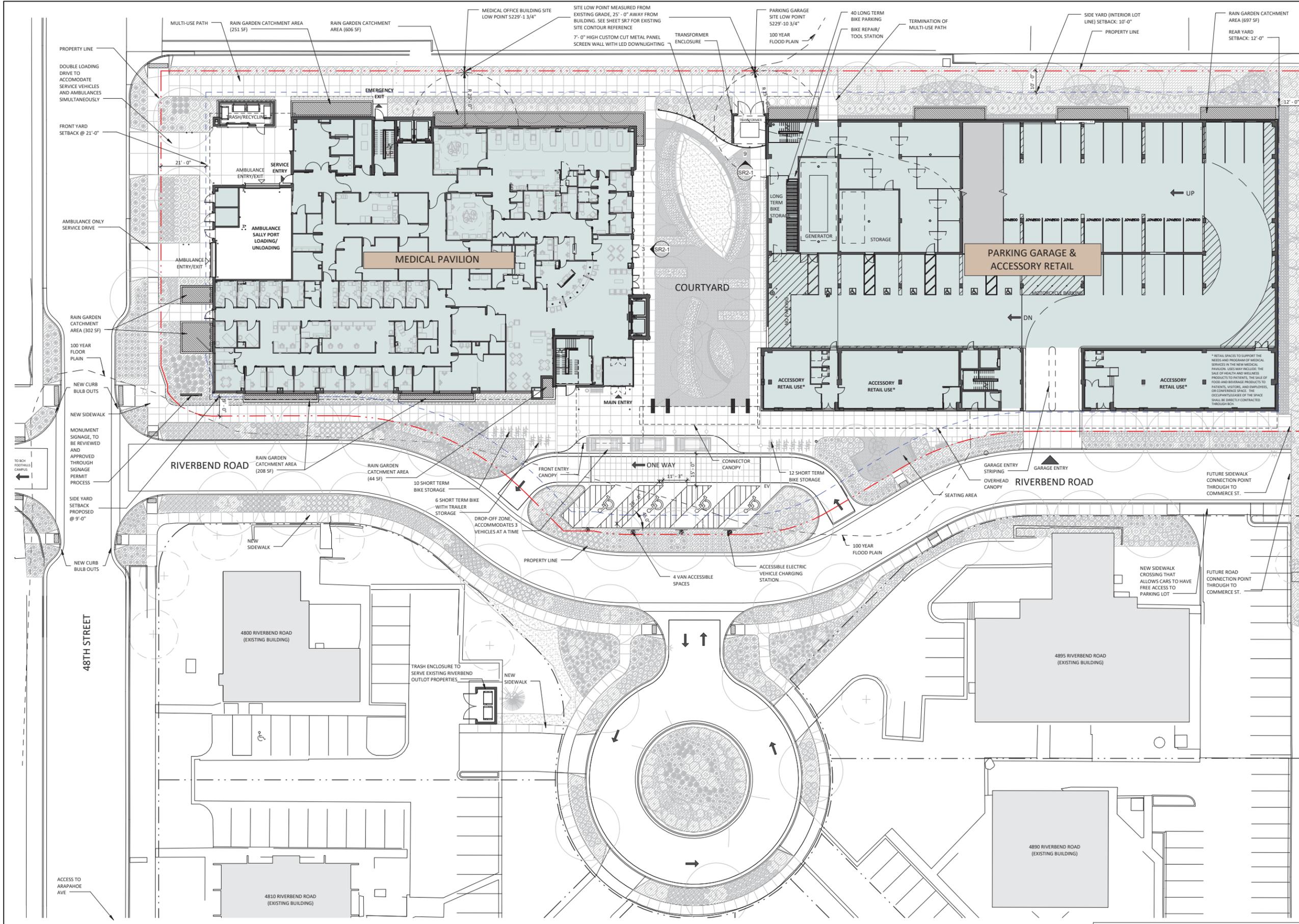
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SHEET TITLE
PROJECT DATA

SHEET NUMBER

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PROJECT NUMBER
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REVISIONS

NO.	DESCRIPTION	DATE
1	REVISION #1	07/29/2016
2	REVISION #2	09/02/2016
3	REVISION #3	09/26/2016



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PROJECT
BOULDER COMMUNITY HEALTH RIVERBEND MEDICAL PAVILION AND PARKING GARAGE

SITE REVIEW

LUR2016-00038-40

SHEET TITLE
SITE DEVELOPMENT PLAN

SHEET NUMBER

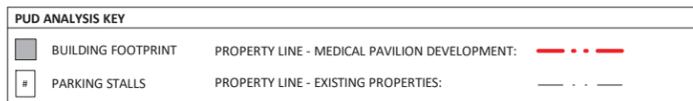
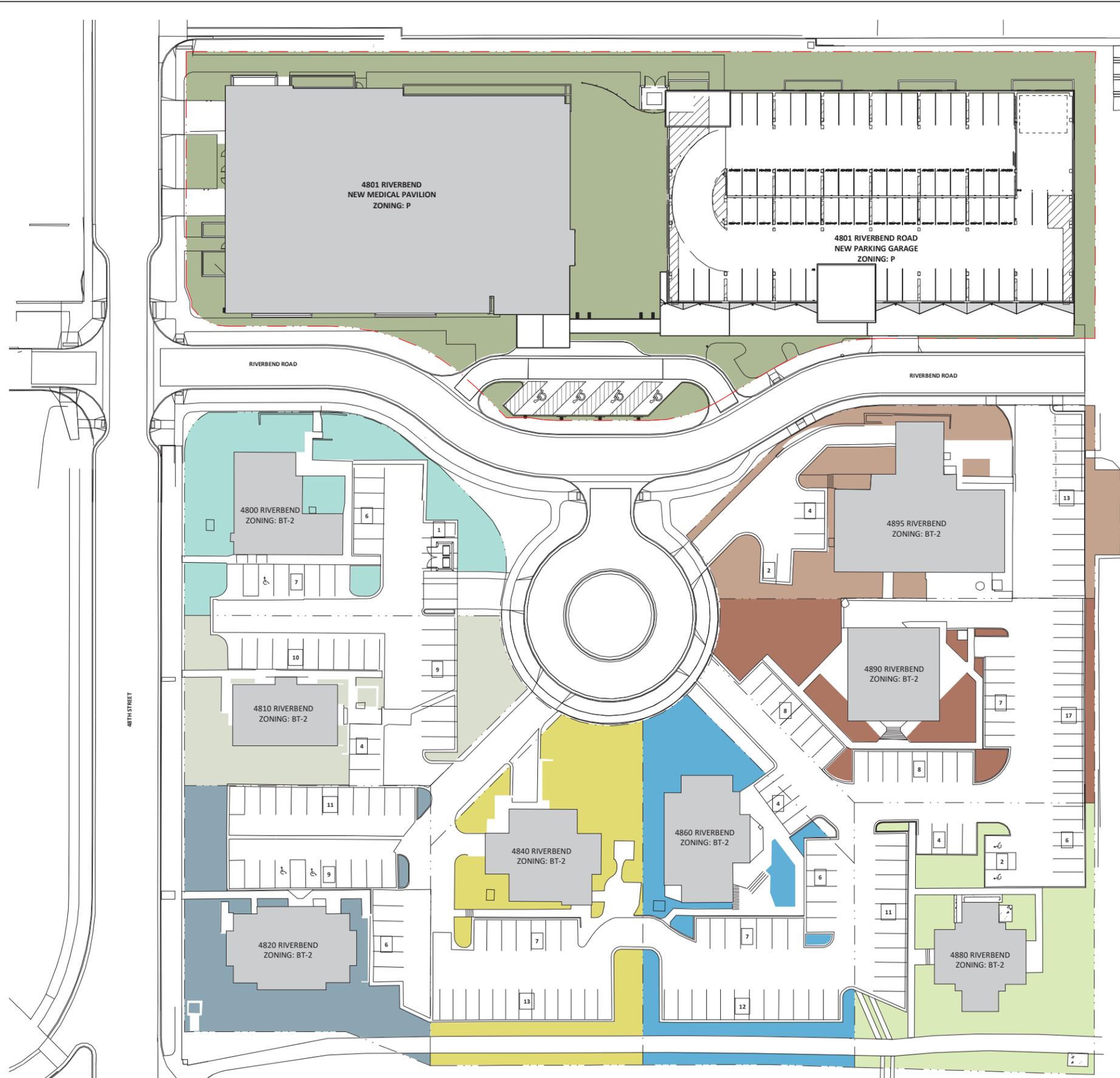
1 SITE DEVELOPMENT PLAN
 1" = 20'-0"

SITE DEVELOPMENT PLAN LINETYPES

PROPERTY LINE - MEDICAL PAVILION DEVELOPMENT:	---
PROPERTY LINE - EXISTING PROPERTIES:	---
SETBACK:	---
100 YEAR FLOOD PLAIN:	---

SR1

C:\Revit\Local\Files\152699.00_BCH Riverbend-A16 Central_awards.rvt 9/26/2016 3:38:11 PM TTLBv_110221



1 PUD ANALYSIS PLAN
1" = 30'-0"

AN ANALYSIS OF THE RIVERBEND DEVELOPMENT HAS BEEN PROVIDED BASED ON THE CITY RECORDS SUPPLIED TO THE APPLICANT. RELEVANT DOCUMENTS HAVE BEEN REFERENCED BELOW.

LEGAL DESCRIPTION
ALL OF RIVERBEND SUBDIVISION, IN THE SW 1/4 OF THE SE 1/4 OF SECTION 28, T1N, R70W OF THE 6TH P.M., CITY OF BOULDER, COUNTY OF BOULDER, STATE OF COLORADO

EXISTING PUD APPROVAL: ORDINANCE NO. 7095
(PER CITY COUNCIL SECOND READING, NOVEMBER 14, 2000)
AN ORDINANCE REZONING APPROXIMATELY 7.0 ACRES OF LAND GENERALLY LOCATED EAST OF 48TH STREET AND NORTH OF ARAPAHOE ROAD AND KNOWN AS THE RIVERBEND OFFICE PARK FROM THE IG-D TO TB-E ZONING CLASSIFICATION AS DESCRIBED IN CHAPTER 9-2, BOULDER REVISED CODE, 1981, AND SETTING FORTH DETAIL IN RELATION HERETO.

PROPOSED AMENDMENT TO PUD:
REZONING FROM BT-2 (FORMERLY TB-E) TO P FOR THE REDEVELOPED PROPERTY 4801 RIVERBEND RD.

BOULDER MUNICIPAL CODE REQUIREMENTS FOR OPEN SPACE CALC:
9-8-1. SCHEDULE OF INTENSITY STANDARDS:
BT-2 REQUIREMENT FOR OPEN SPACE ON LOTS = 10-20%
P REQUIREMENT FOR OPEN SPACE ON LOTS = 10-20%
9-9-11(c) - USEABLE OPEN SPACE:
(1) NONRESIDENTIAL BUILDINGS UP TO THIRTY-FIVE FEET IN HEIGHT: ANY BUILDING THAT CONTAINS A BUSINESS OR INDUSTRIAL USE WHICH IS UP TO THIRTY-FIVE FEET IN HEIGHT SHALL PROVIDE AT LEAST TEN PERCENT OF THE TOTAL LAND AREA AS USABLE OPEN SPACE.
(2) BUILDINGS BETWEEN THIRTY-FIVE AND FORTY-FIVE FEET IN HEIGHT: ANY BUILDING OVER THIRTY-FIVE FEET IN HEIGHT SHALL PROVIDE AT LEAST FIFTEEN PERCENT OF THE TOTAL LAND AREA AS USABLE OPEN SPACE.
(3) BUILDINGS OVER FORTY-FIVE FEET IN HEIGHT: ANY BUILDING OVER FORTY-FIVE FEET IN HEIGHT BUT LESS THAN FIFTY-FIVE FEET IN HEIGHT SHALL PROVIDE AT LEAST TWENTY PERCENT OF THE TOTAL LAND AREA AS USABLE OPEN SPACE.

- KEY**
- 4800 RIVERBEND
 - 4801 RIVERBEND
 - 4810 RIVERBEND
 - 4820 RIVERBEND
 - 4840 RIVERBEND
 - 4860 RIVERBEND
 - 4880 RIVERBEND
 - 4890 RIVERBEND
 - 4895 RIVERBEND

RIVERBEND SURROUNDING PROPERTIES (OPEN SPACE CALC)			
PROPERTY	PROPERTY AREA	OPEN SPACE AREA	OPEN SPACE CALC %
EXISTING PROPERTY			
4800 RIVERBEND	19784 SF	7794 SF	39
4810 RIVERBEND	18110 SF	6666 SF	37
4820 RIVERBEND	21497 SF	7351 SF	34
4840 RIVERBEND	22580 SF	8536 SF	38
4860 RIVERBEND	22082 SF	6873 SF	31
4880 RIVERBEND	22307 SF	8917 SF	40
4890 RIVERBEND	23415 SF	5904 SF	25
4895 RIVERBEND	24492 SF	7194 SF	29
NEW MEDICAL PAVILION DEVELOPMENT			
4801 RIVERBEND	97725 SF	33568 SF	34

BOULDER MUNICIPAL CODE REQUIREMENTS FOR PARKING:
TABLE 9-3: NONRESIDENTIAL MOTOR VEHICLE PARKING REQUIREMENTS BY ZONING DISTRICT
MINIMUM NUMBER OF OFF STREET PARKING SPACES PER SQUARE FOOT OF FLOOR AREA FOR NONRESIDENTIAL USES AND THEIR ACCESSORY USES: 1:300 FOR BT-2 & P

NEW (P) RIVERBEND MEDICAL PAVILION				
TOTAL BUILDING AREA	REQUIRED MEDICAL PARKING	REQUIRED RETAIL PARKING	TOTAL REQUIRED PARKING	PARKING PROVIDED
4801 RIVERBEND: 75,171 SF	234 STALLS	16 STALLS	250 STALLS	410 STALLS

EXISTING (BT-2) RIVERBEND PROPERTIES			
BUILDING AREA*	PARKING REQUIRED (PER CURRENT BT-2 STANDARD OF 1:300)	EXISTING PARKING COUNT** (PRE-DEVELOPMENT OF MEDICAL PAVILION, GARAGE & NEW RIVERBEND RD ALIGNMENT)	PROPOSED PARKING COUNT*** (POST-DEVELOPMENT OF MEDICAL PAVILION, GARAGE & NEW RIVERBEND RD ALIGNMENT)
4800 RIVERBEND: 3,476 SF	11 STALLS	19 STALLS	14 STALLS
4810 RIVERBEND: 5,568 SF	18 STALLS	23 STALLS	23 STALLS
4820 RIVERBEND: 5,900 SF	19 STALLS	26 STALLS	26 STALLS
4840 RIVERBEND: 5,484 SF	18 STALLS	20 STALLS	20 STALLS
4860 RIVERBEND: 5,820 SF	19 STALLS	29 STALLS	29 STALLS
4880 RIVERBEND: 4,780 SF	15 STALLS	23 STALLS	23 STALLS
4890 RIVERBEND: 6,030 SF	20 STALLS	40 STALLS	40 STALLS
4895 RIVERBEND: 5,800 SF	19 STALLS	19 STALLS	19 STALLS

*REFLECT ABOVE GRADE AREAS. PER ATTACHMENT B OF CITY COUNCIL AGENDA ITEM #15, DATED OCTOBER 17, 2000, F.A.R. DOES NOT INCLUDE BELOW GRADE OCCUPANCY FOR TB-E (NOW BT-2)
**EXISTING PARKING COUNT REFLECTS THE STALLS CONSTRUCTED AS OF JULY 2016, AND NOT THE STALL COUNT PROVIDED IN THE ATTACHMENT B SCHEDULE OF CITY COUNCIL AGENDA ITEM #15, DATED OCTOBER 17, 2000.
***PROPOSED PARKING WILL NOT BE SHARED BETWEEN THE PROPERTIES.
(EXPANSIONS AND CHANGES ARE SUBJECT TO THE CITY SITE REVIEW AMENDMENT OR MINOR MODIFICATION PROCESSES AS APPLICABLE)

BOULDER MUNICIPAL CODE REQUIREMENTS FOR ALLOWABLE USES
ALLOWABLE USES ARE IN ACCORDANCE TO THE UNDERLYING BT-2 REQUIREMENTS. ANY EXISTING NON-CONFORMING USES WOULD BE REGULATED ACCORDING TO CHAPTER 9-10 "NONCONFORMANCE STANDARDS".

PROJECT NUMBER
152699.01

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SITE REVIEW

LUR2016-00038-40
SHEET TITLE
PUD ANALYSIS

SHEET NUMBER
SR1-1

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PROJECT
BOULDER COMMUNITY HEALTH RIVERBEND MEDICAL PAVILION AND PARKING GARAGE

SITE REVIEW

LUR2016-00038-40

SHEET TITLE
ELEVATIONS
MEDICAL PAVILION

SHEET NUMBER

SR2-1

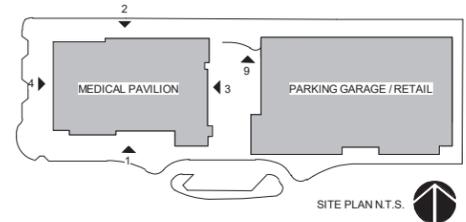


1 MEDICAL PAVILION SOUTH ELEVATION
1/16" = 1'-0"

MEDICAL PAVILION MATERIALS LEGEND	
	BRICK RUNNING BOND, TRI-COLOR BLEND: CANYON ROSE, DESERT ROSE, PINK GRAIN
	COPPER PANEL 8" INTERLOCKING PANELS, PATINA TO MATCH EXISTING CONDITION AT FOOTHILLS CAMPUS
	VISION PANEL VIRACON VUE 1-40
	SPANDREL PANEL VIRACON VUE 1-40
	MULLION COLOR AND PAINTED STEEL CHARCOAL
	CUSTOM ETCHED RAIN SCREEN PANEL
	CUSTOM CUT METAL PANEL AT GROUND FLOOR COURTYARD ONLY
	STUCCO AT 3RD FLOOR COURTYARD ONLY



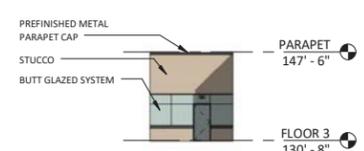
2 MEDICAL PAVILION NORTH ELEVATION
1/16" = 1'-0"



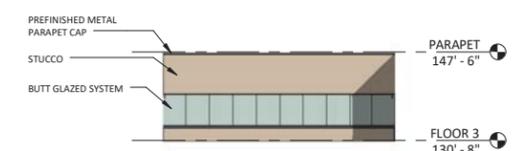
3 MEDICAL PAVILION EAST ELEVATION
1/16" = 1'-0"



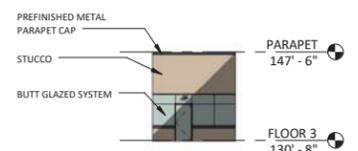
4 MEDICAL PAVILION WEST ELEVATION
1/16" = 1'-0"



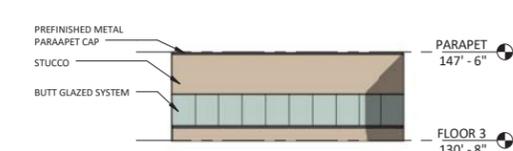
5 ROOF GARDEN - NORTH ELEVATION
G2.3A | SR2-1 | 1/16" = 1'-0"



6 ROOF GARDEN - EAST ELEVATION
G2.3A | SR2-1 | 1/16" = 1'-0"



7 ROOF GARDEN - SOUTH ELEVATION
G2.3A | SR2-1 | 1/16" = 1'-0"



8 ROOF GARDEN - WEST ELEVATION
G2.3A | SR2-1 | 1/16" = 1'-0"



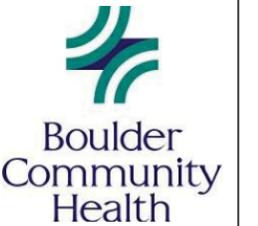
9 COURTYARD SITE WALL - SOUTH ELEVATION
A2 | SR2-1 | 1/16" = 1'-0"

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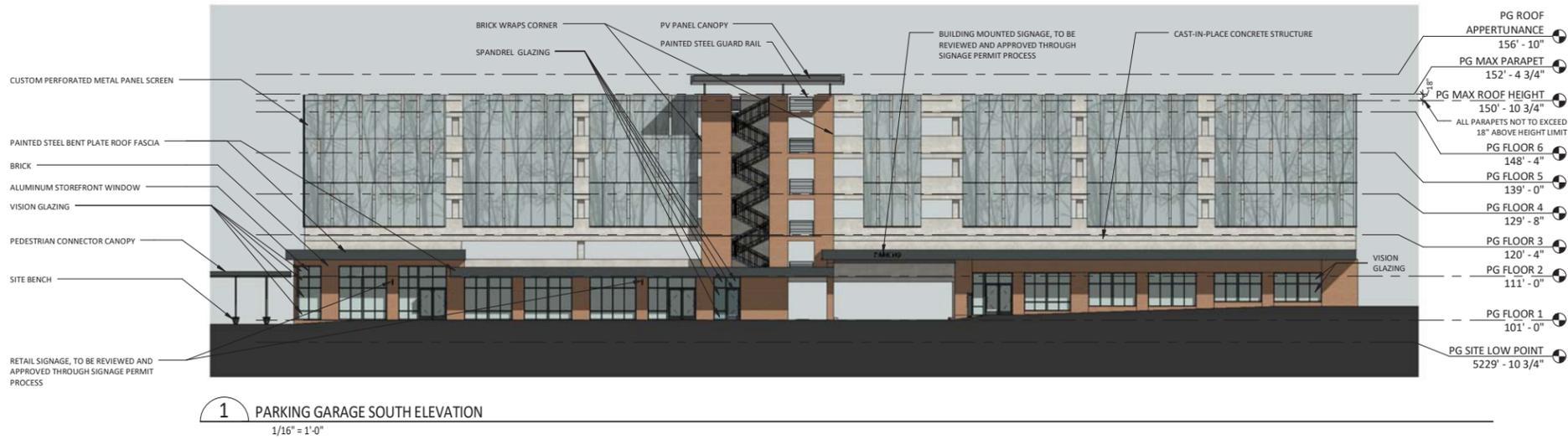
SITE REVIEW

LUR2016-00038-40

SHEET TITLE
ELEVATIONS PARKING GARAGE

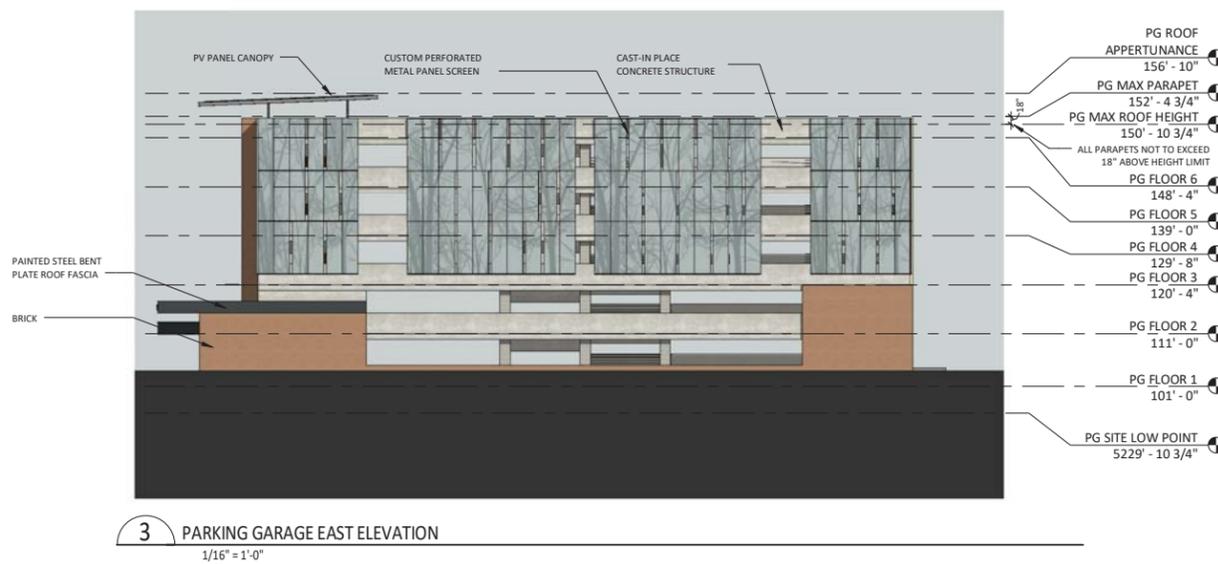
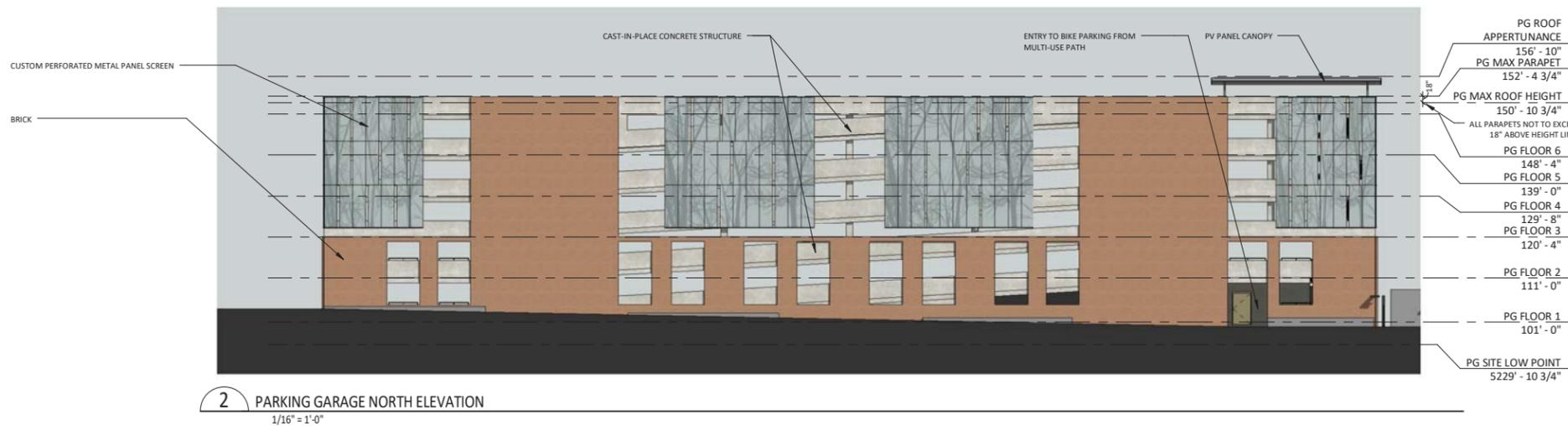
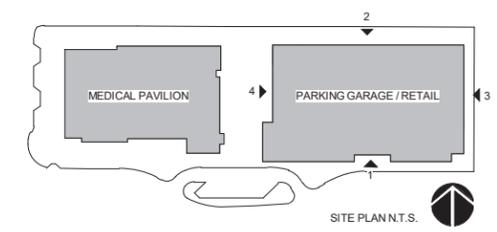
SHEET NUMBER

SR2-2



PARKING GARAGE / RETAIL MATERIALS LEGEND

- BRICK RUNNING BOND, TRI-COLOR BLEND: CANYON ROSE, DESERT ROSE, PINK GRAIN
- GLAZING VISION VIRACON VUE 1-40
- GLAZING SPANDREL VIRACON VUE 1-40
- CONCRETE CAST IN PLACE
- MULLION COLOR AND PAINTED STEEL CHARCOAL
- CUSTOM PERFORATED METAL PANEL SCREEN
- PLANTED GREEN WALL



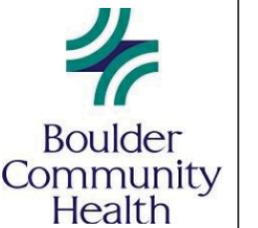
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REVISIONS

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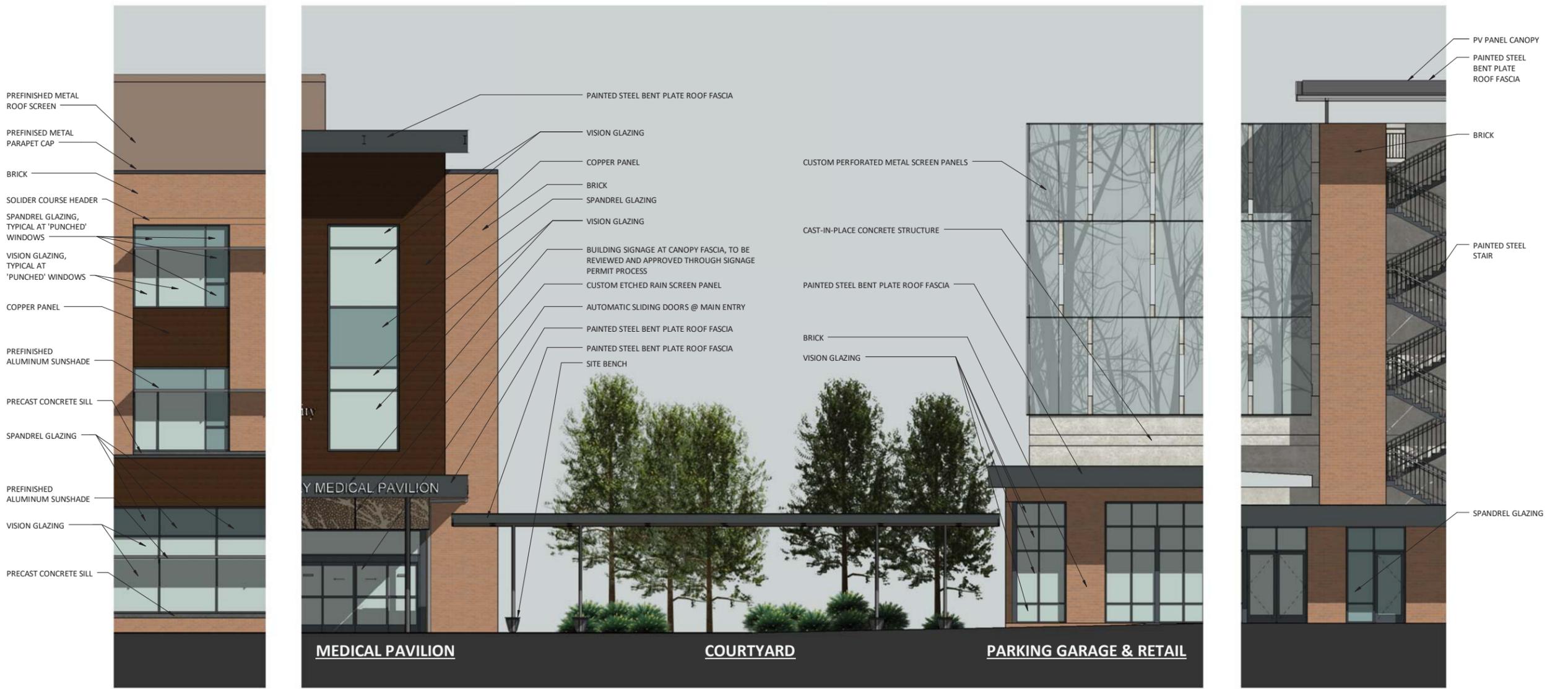
SITE REVIEW

LUR2016-00038-40

SHEET TITLE
ENLARGED ELEVATION

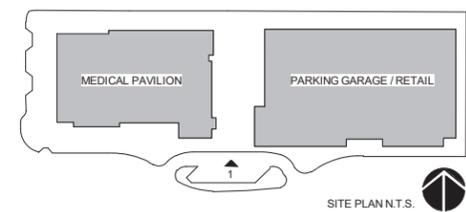
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SR2-3



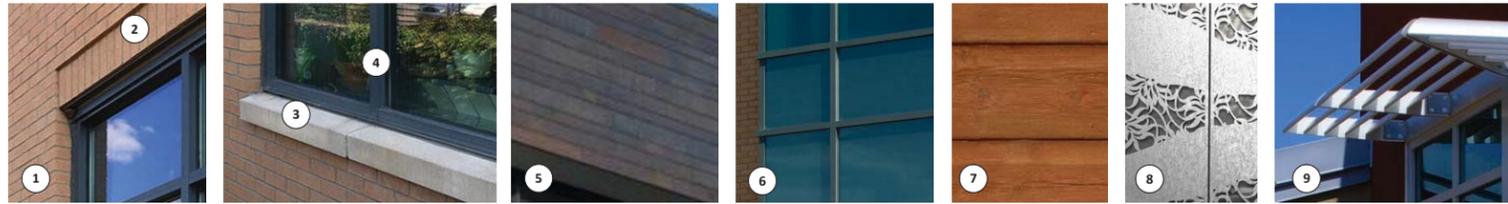
MEDICAL PAVILION AND PARKING GARAGE MATERIALS

BRICK CANYON ROSE, DESERT ROSE, AND PINK GRAIN	VISION PANEL VIRACON VUE 1-40	MULLION AND PAINTED STEEL CHARCOAL	CONCRETE CAST IN PLACE
COPPER PANEL 8" INTERLOCKING PANELS, PATINA TO MATCH EXISTING CONDITION AT FOOTHILLS CAMPUS	SPANDREL PANEL VIRACON VUE 1-40	CUSTOM ETCHED RAIN SCREEN PANEL	CUSTOM PERFORATED METAL PANEL SCREEN

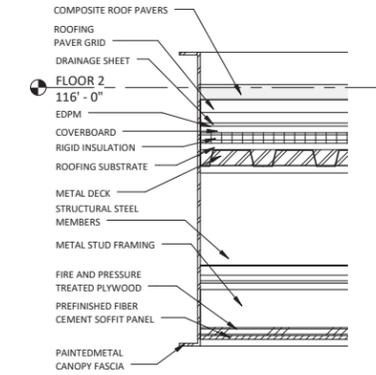


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MATERIAL LEGEND - MEDICAL PAVILION



- 1 BRICK
TRI-BLEND COLOR PER PHYSICAL MATERIALS BOARD
- 2 SOLDIER COURSE HEADER
- 3 PRECAST CONCRETE SILL
- 4 MULLION COLOR AND PAINTED STEEL
- 5 COPPER PANEL
- 6 SPANDREL AND VISION PANEL
- 7 FIBER CEMENT PANEL
ALLURA LAP SIDING; COLOR: CEDAR
- 8 CUSTOM ETCHED RAIN SCREEN PANEL
- 9 PREFINISHED ALUMINUM SUNSHADE



PROJECT NUMBER
152699.01

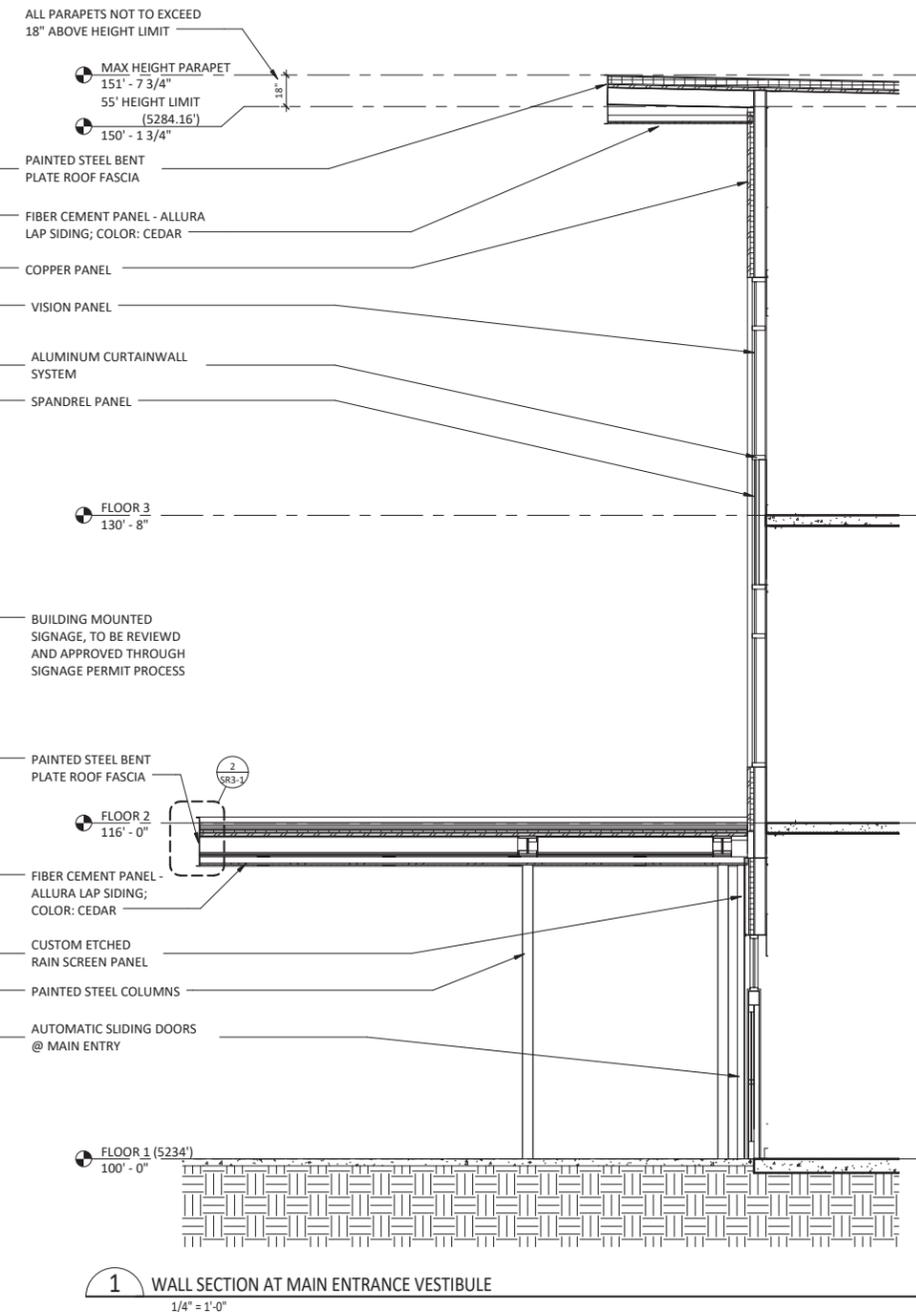
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2 PAINTED STEEL CANOPY FASCIA AT ENTRY CANOPY
1 1/2" = 1'-0"



1 WALL SECTION AT MAIN ENTRANCE VESTIBULE
1/4" = 1'-0"

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Boulder Community Health

PROJECT
BOULDER COMMUNITY HEALTH RIVERBEND MEDICAL PAVILION AND PARKING GARAGE

SITE REVIEW

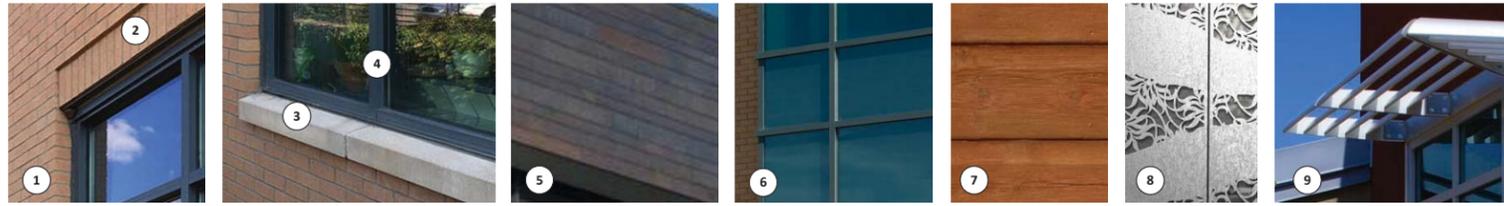
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SHEET TITLE
BUILDING SECTIONS - MEDICAL PAVILION

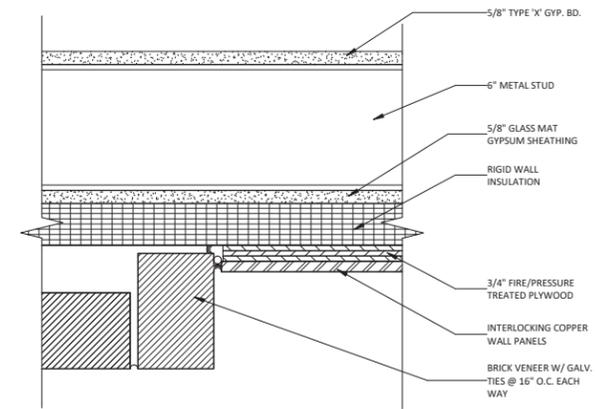
SHEET NUMBER

SR3-1

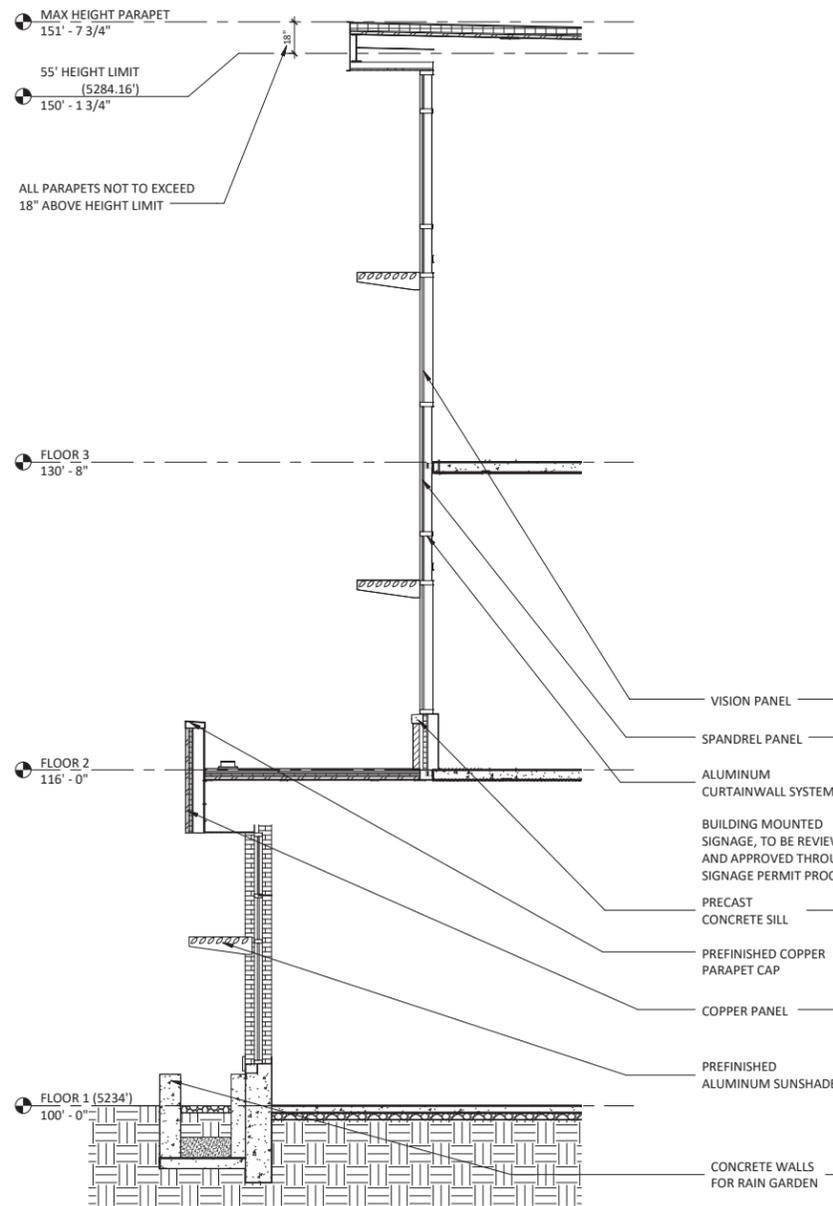
MATERIAL LEGEND - MEDICAL PAVILION



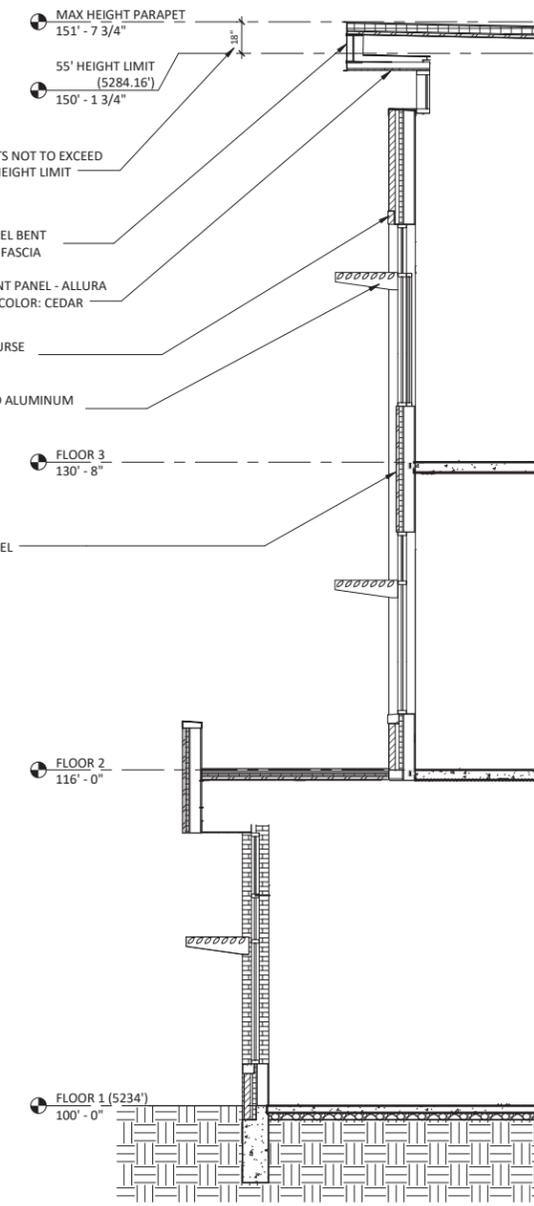
- 1 BRICK
TRI-BLEND COLOR PER PHYSICAL MATERIALS BOARD
- 2 SOLDIER COURSE HEADER
- 3 PRECAST CONCRETE SILL
- 4 MULLION COLOR AND PAINTED STEEL
- 5 COPPER PANEL
- 6 SPANDREL AND VISION PANEL
- 7 FIBER CEMENT PANEL
ALLURA LAP SIDING; COLOR: CEDAR
- 8 CUSTOM ETCHED RAIN SCREEN PANEL
- 9 PREFINISHED ALUMINUM SUNSHADE



3 PLAN DETAIL - BRICK TO COPPER TRANSITION
3" = 1'-0"



1 WALL SECTION AT RAIN GARDEN
1/4" = 1'-0"



2 WALL SECTION AT HIGH CURTAINWALL
1/4" = 1'-0"

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SITE REVIEW

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SHEET TITLE
BUILDING SECTIONS - MEDICAL PAVILION

SHEET NUMBER

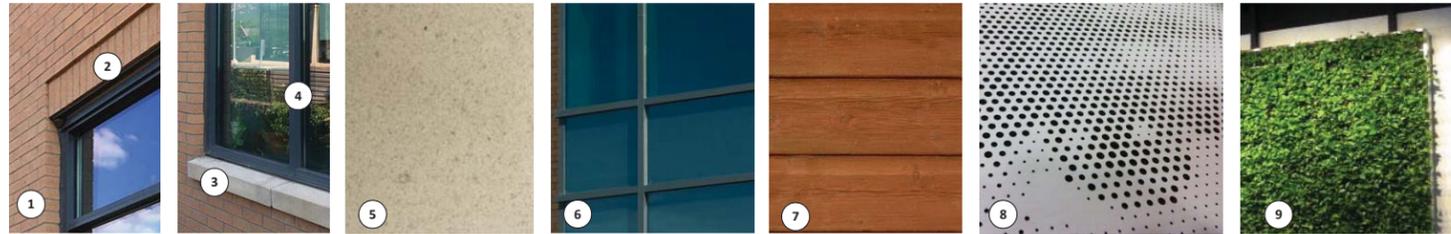
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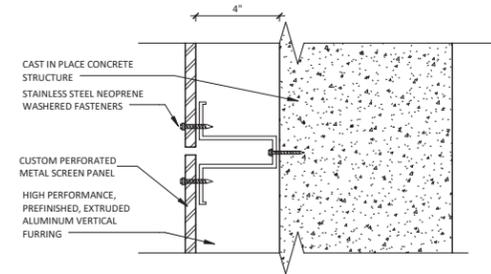
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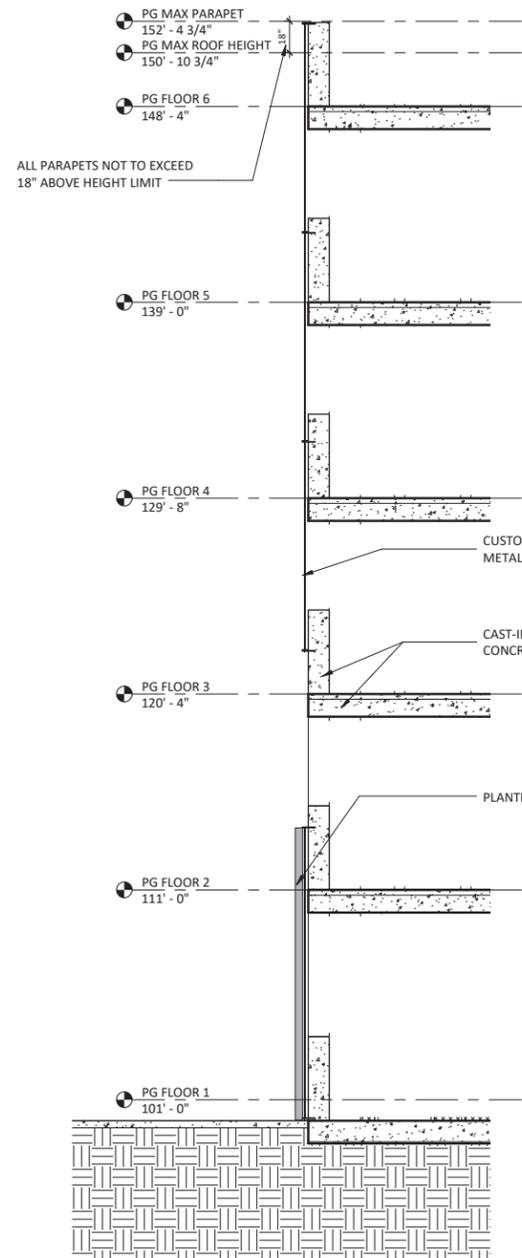
MATERIAL LEGEND - PARKING GARAGE



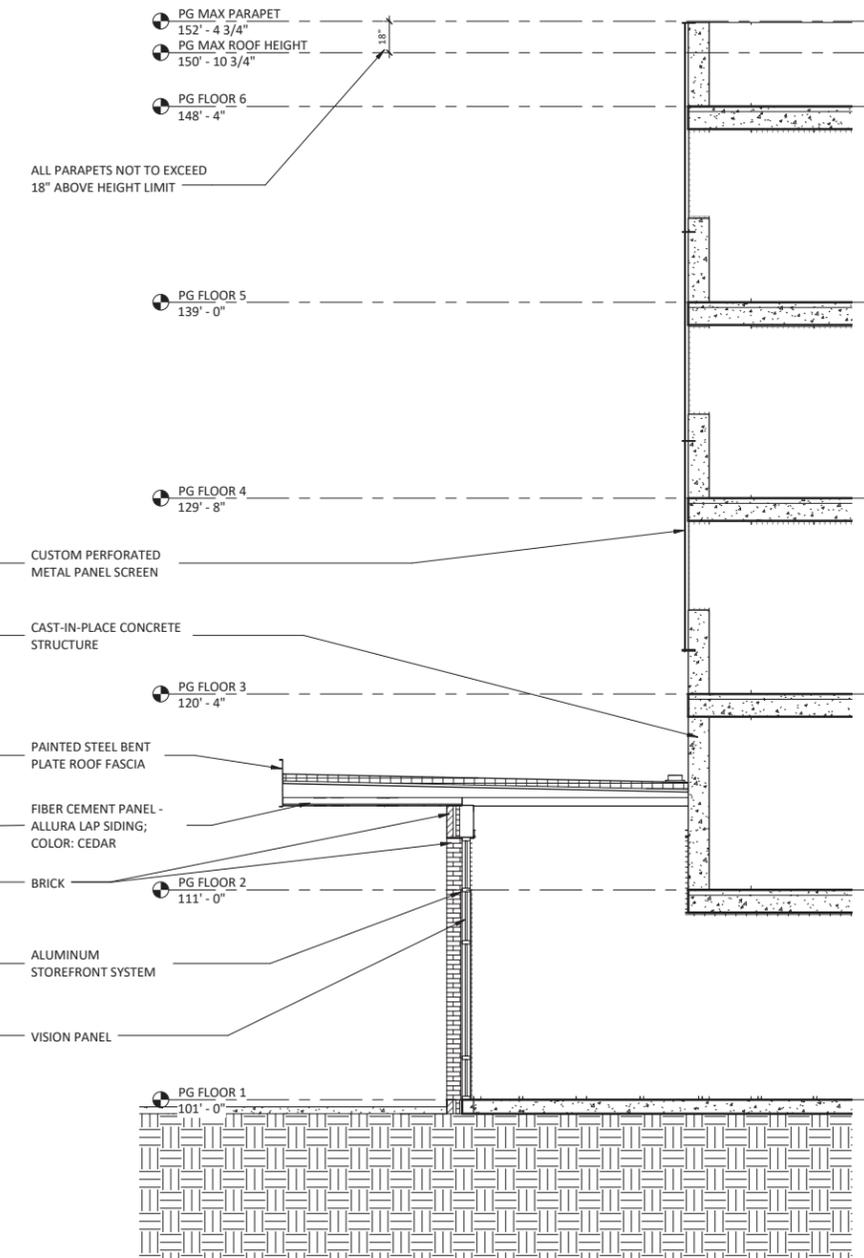
- 1 BRICK
TRI-BLEND COLOR PER PHYSICAL MATERIALS BOARD
- 2 SOLDIER COURSE HEADER
- 3 PRECAST CONCRETE SILL
- 4 MULLION COLOR AND PAINTED STEEL
- 5 CAST-IN-PLACE CONCRETE STRUCTURE
- 6 SPANDEL AND VISION GLAZING
- 7 FIBER CEMENT PANEL
ALLURA CEDAR SOFFIT PANEL - MAPLE
- 8 CUSTOM PERFORATED METAL PANEL SCREEN
- 9 PLANTED GREEN WALL



3 PLAN DETAIL - PARKING GARAGE SCREEN ATTACHMENT
3" = 1'-0"



1 WALL SECTION AT EAST WALL WITH PLANTED GREEN WALL
1/4" = 1'-0"



2 WALL SECTION AT PARKING GARAGE RETAIL
1/4" = 1'-0"

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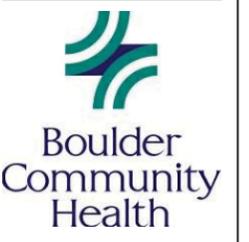
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SITE REVIEW

LUR2016-00038-40

SHEET TITLE
BUILDING SECTIONS - PARKING GARAGE

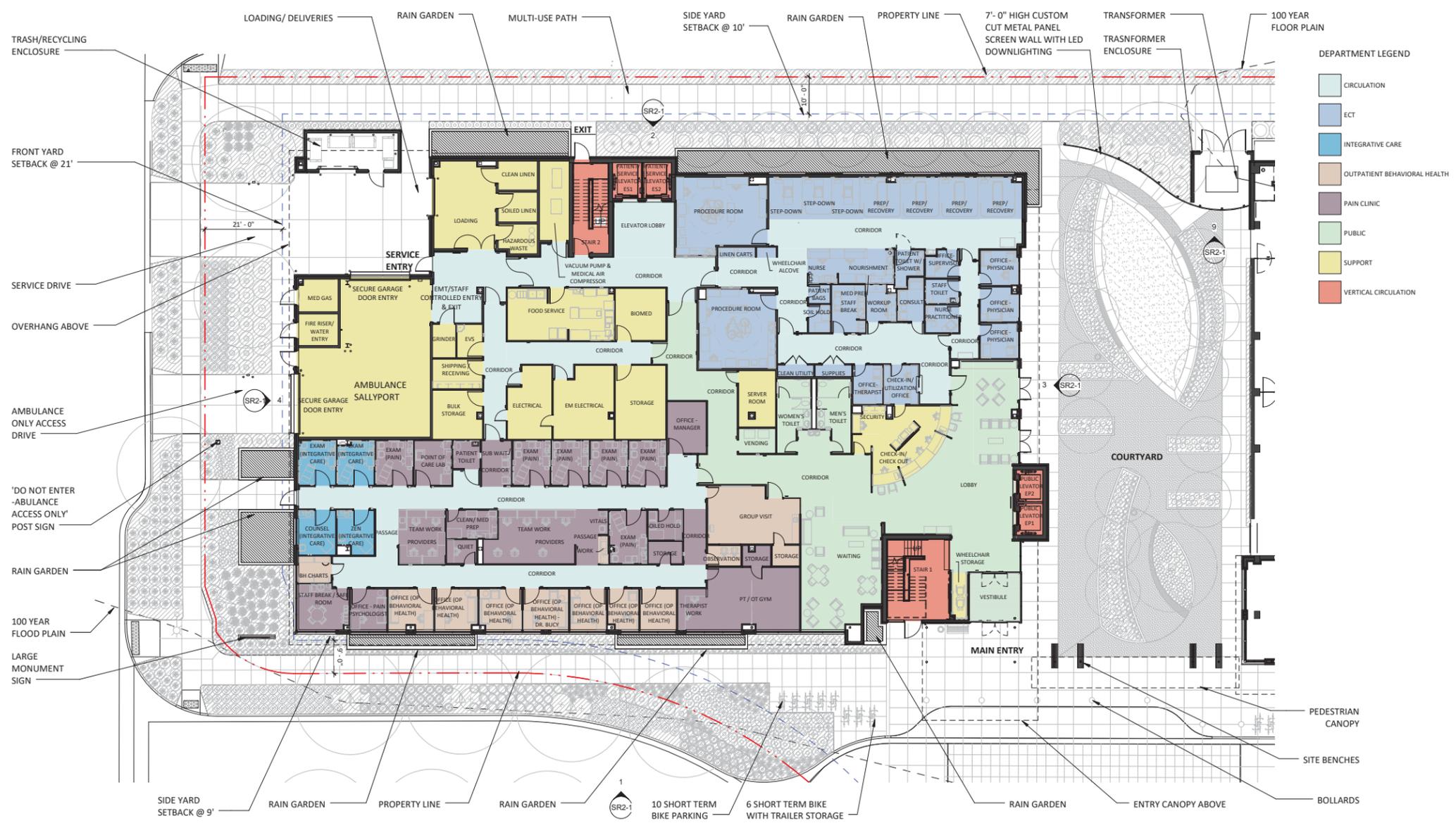
SHEET NUMBER

SR3-3

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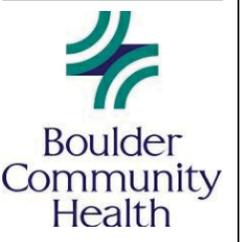


- DEPARTMENT LEGEND
- CIRCULATION
 - ECT
 - INTEGRATIVE CARE
 - OUTPATIENT BEHAVIORAL HEALTH
 - PAIN CLINIC
 - PUBLIC
 - SUPPORT
 - VERTICAL CIRCULATION

1 MEDICAL PAVILION FIRST FLOOR PLAN
1/16" = 1'-0"



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SITE REVIEW

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SHEET TITLE
MEDICAL PAVILION FIRST FLOOR PLAN

SHEET NUMBER

SR4-1

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PROJECT NUMBER
152699.01

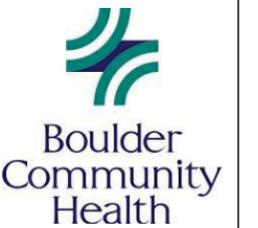
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PROJECT
BOULDER
COMMUNITY
HEALTH
RIVERBEND
MEDICAL PAVILION
AND PARKING
GARAGE

SITE REVIEW

LUR2016-00038-40

SHEET TITLE
MEDICAL PAVILION
SECOND AND
THIRD FLOOR
PLAN

SHEET NUMBER

SR4-2



1 MEDICAL PAVILION SECOND FLOOR PLAN
1/16" = 1'-0"



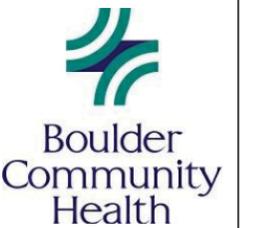
2 MEDICAL PAVILION THIRD FLOOR PLAN
1/16" = 1'-0"

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PROJECT
BOULDER COMMUNITY HEALTH RIVERBEND MEDICAL PAVILION AND PARKING GARAGE

SITE REVIEW

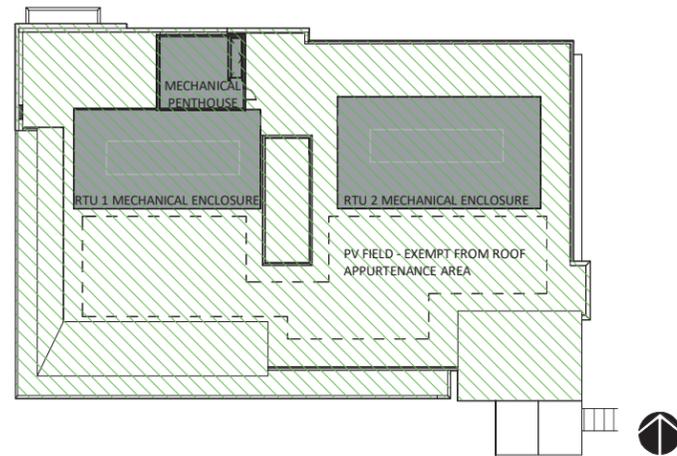
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SHEET TITLE
MEDICAL PAVILION ROOF PLAN

SHEET NUMBER

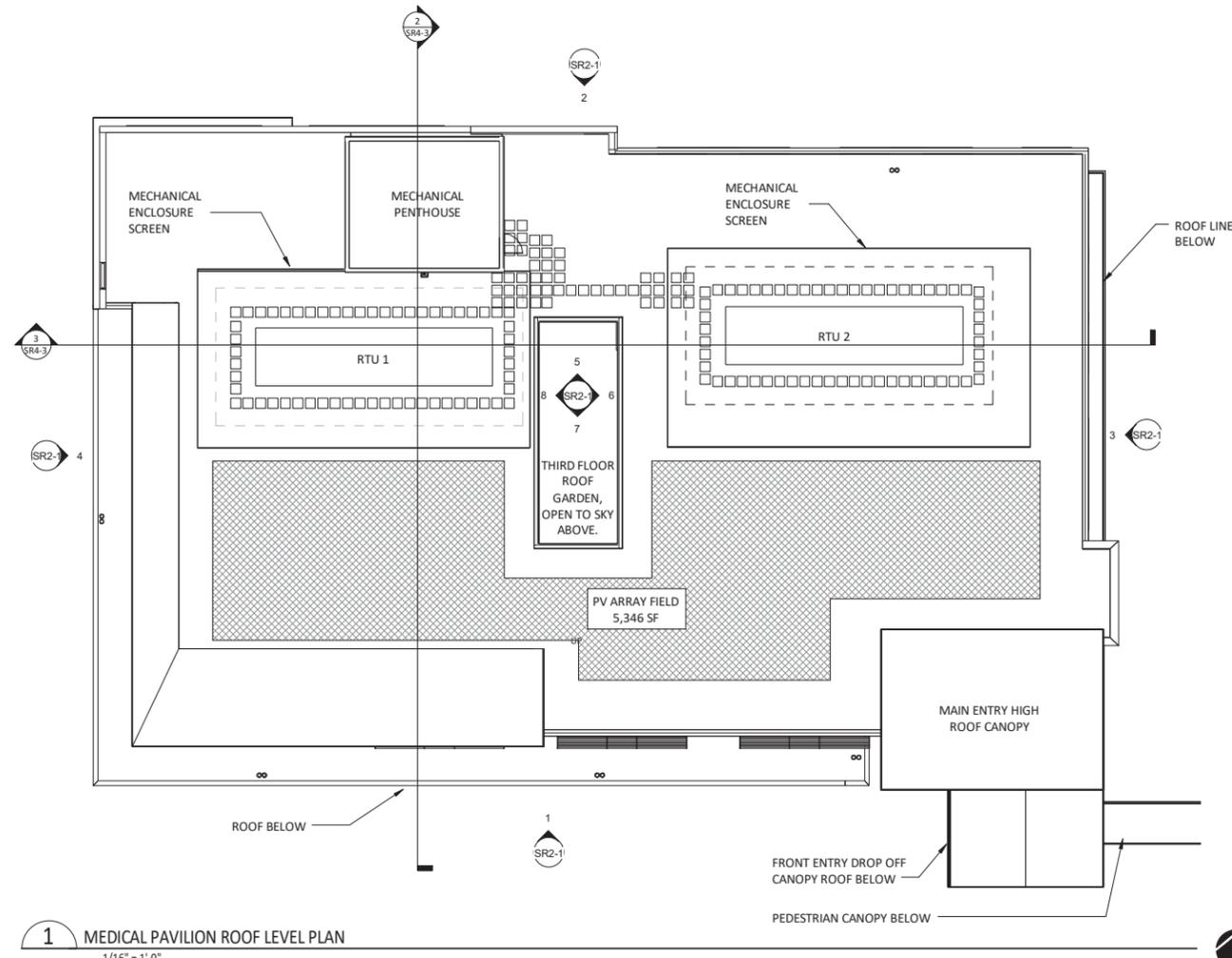
SR4-3

ROOF APPURTENANCE DIAGRAM

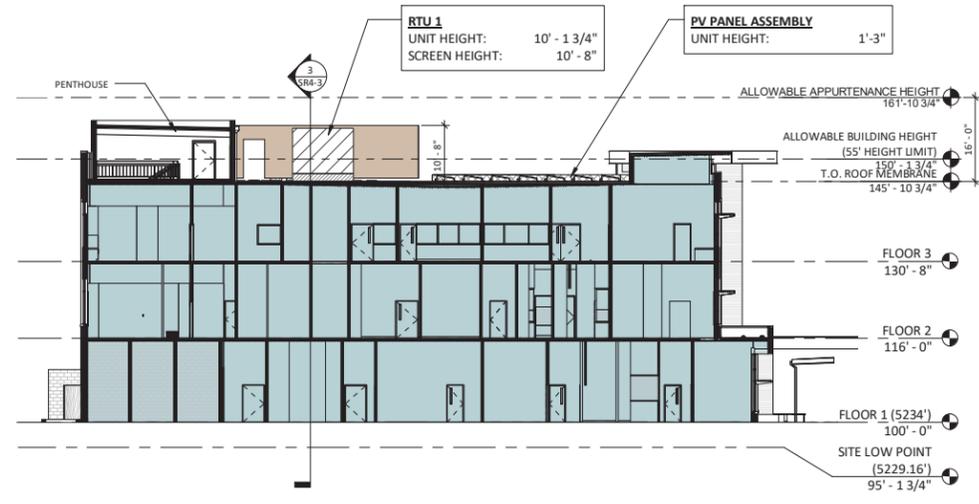


ROOF APPURTENANCE LEGEND	
	ROOF APPURTENANCE AREA - INCLUDES MECHANICAL PENTHOUSE AND SCREEN ENCLOSURES.
	OVERALL ROOF AREA
	PV FIELD

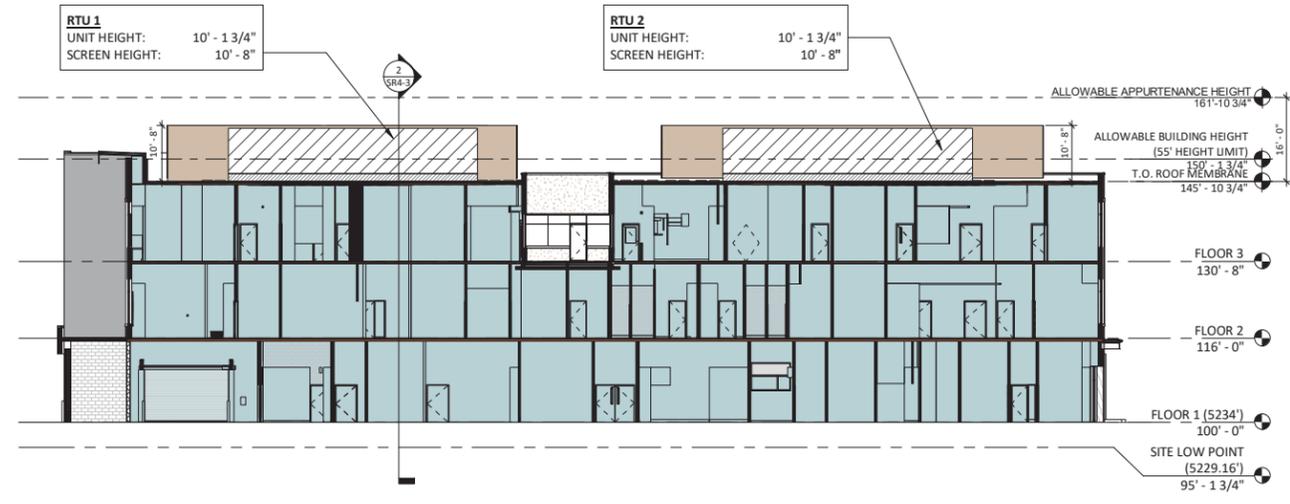
OVERALL ROOF AREA: 26,368 SF
ROOF APPURTENANCE AREA: 6,171 SF
MAXIMUM ROOF APPURTENANCE AREA (25%): 6,592 SF
PROVIDED ROOF APPURTENANCE AREA (23%): 6,171 SF



1 MEDICAL PAVILION ROOF LEVEL PLAN
1/16" = 1'-0"



2 ROOF APPURTENANCE DIAGRAM - NORTH/SOUTH BUILDING SECTION
1/16" = 1'-0"

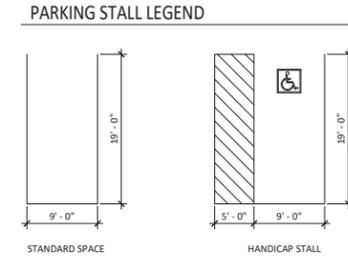
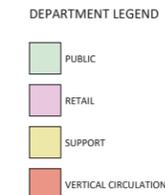
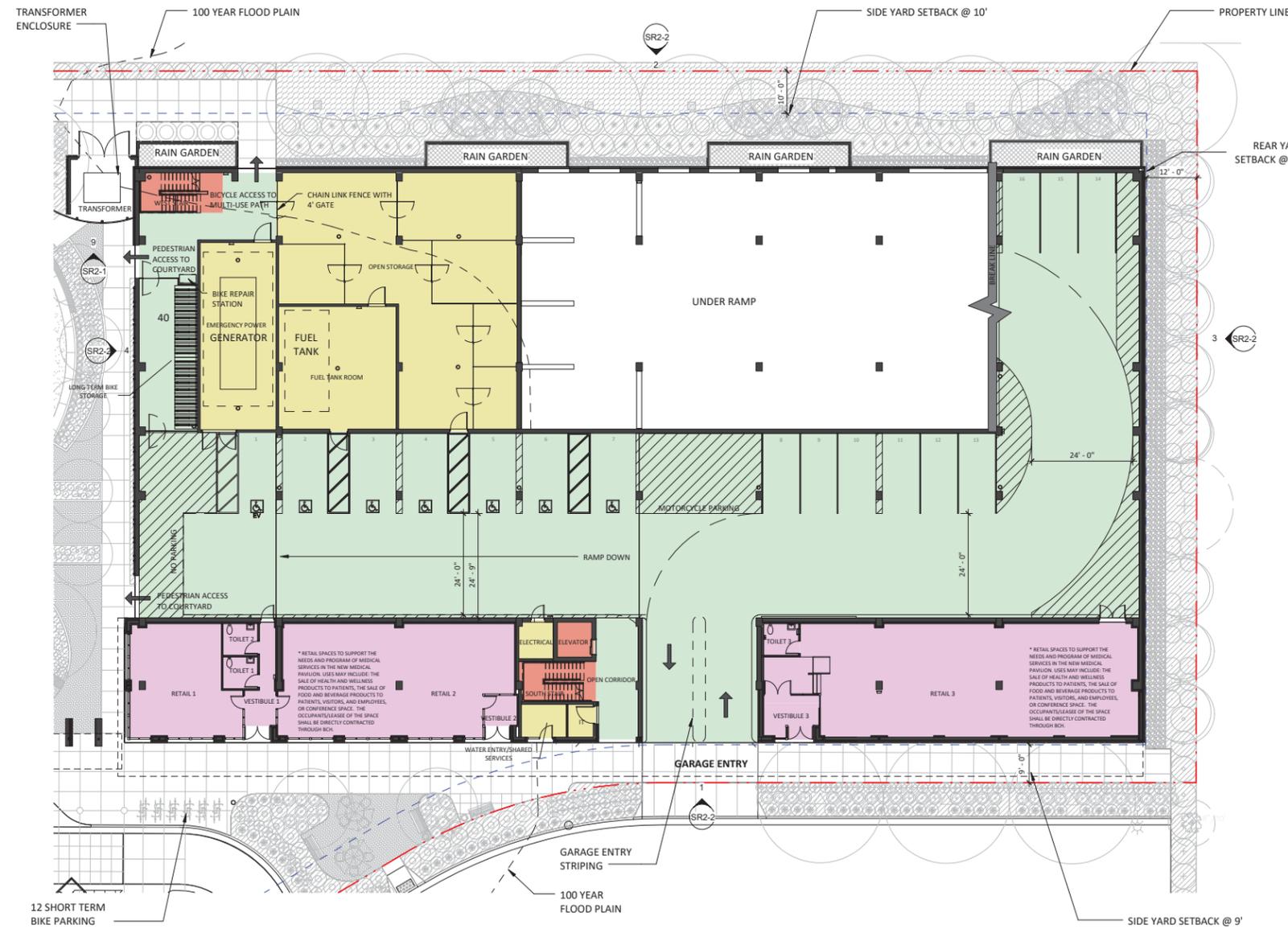


3 ROOF APPURTENANCE DIAGRAM - EAST/WEST BUILDING SECTION
1/16" = 1'-0"

BUILDING SECTION LEGEND	
	CONDITIONED (INTERIOR) BUILDING SPACE
	RTU SCREEN EXTENTS
	RTU
	RTU CURB
	PV PANEL ASSEMBLY

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3	REVISION #3	09/26/2016



TYPE	COUNT	COMMENTS
GARAGE		
8' x 19' (8' AISLE)	8	ADA
9' x 16' GARAGE PARKING COMPACT STALL	108	COMPACT
9' x 16' GARAGE PARKING COMPACT STALL - PATIENT	65	COMPACT - PATIENT
9' x 16' GARAGE PARKING COMPACT STALL - RETAIL	7	COMPACT - RETAIL
9' x 19' (5' AISLE) ADA GARAGE PARKING	6	ADA
9' x 19' (5' AISLE) ADA GARAGE PARKING - EV	1	ONE EV CAPABLE
9' x 19' EV GARAGE PARKING STANDARD STALL	5	EV CAPABLE
9' x 19' GARAGE PARKING STANDARD STALL	131	STANDARD
9' x 19' GARAGE PARKING STANDARD STALL - PATIENT	65	STANDARD - PATIENT
9' x 19' GARAGE PARKING STANDARD STALL - RETAIL	10	STANDARD - RETAIL
	406	
SITE		
8' x 19' (8' AISLE) ADA EV SITE PARKING	1	VAN ACCESSIBLE ADA AND EV CAPABLE
8' x 19' (8' AISLE) ADA SITE PARKING	3	VAN ACCESSIBLE ADA
	4	
TOTAL: 410	410	

1 PARKING GARAGE FIRST FLOOR PLAN
1/16" = 1'-0"



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PROJECT
BOULDER COMMUNITY HEALTH RIVERBEND MEDICAL PAVILION AND PARKING GARAGE

SITE REVIEW

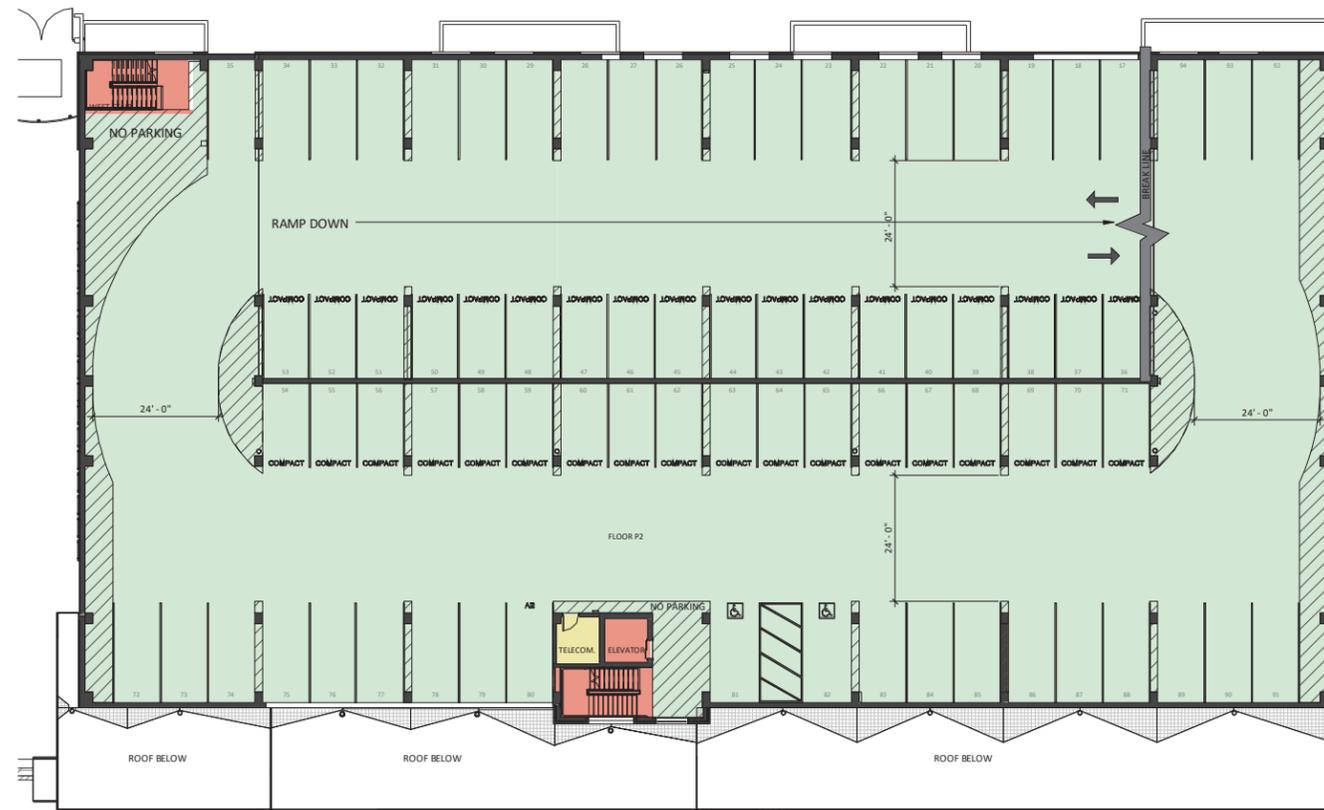
LUR2016-00038-40

SHEET TITLE
PARKING GARAGE GROUND FLOOR PLAN

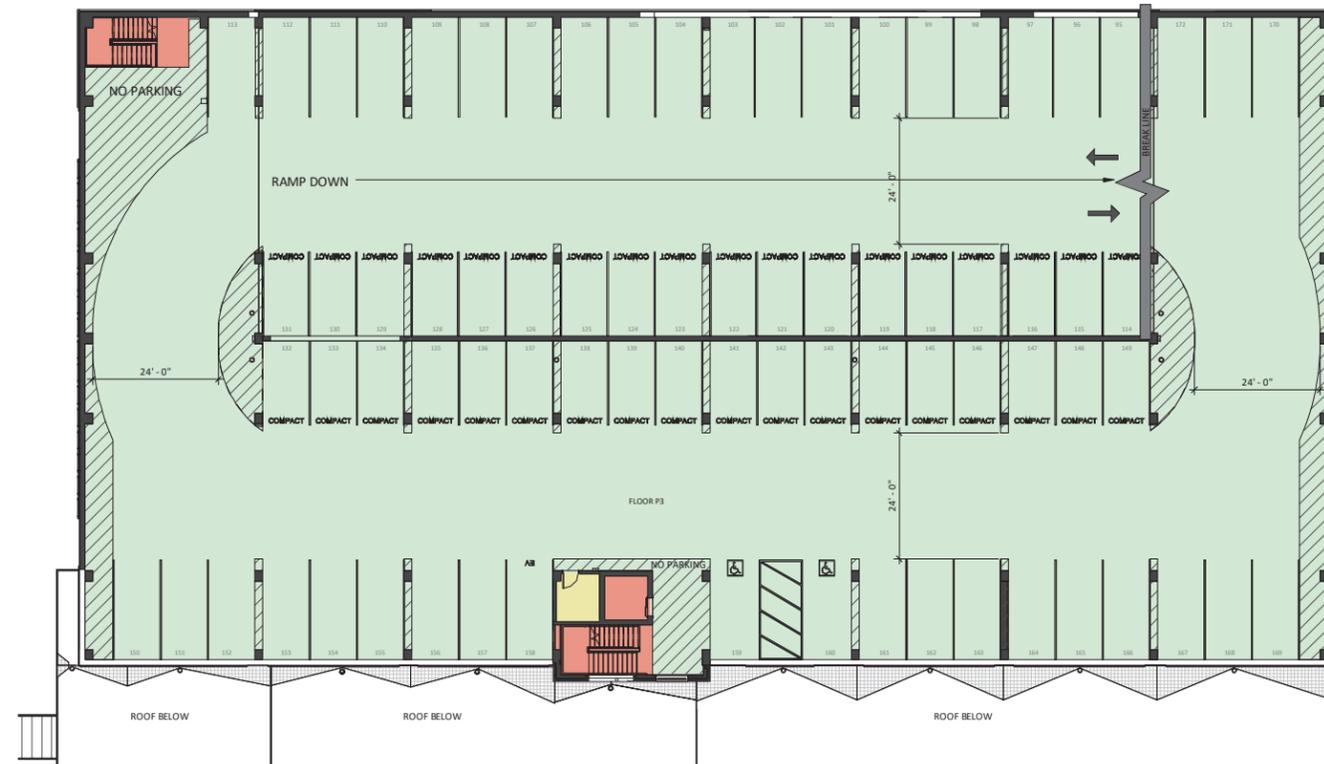
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SR5-1

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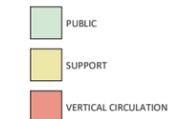


1 PARKING GARAGE SECOND FLOOR PLAN
1/16" = 1'-0"

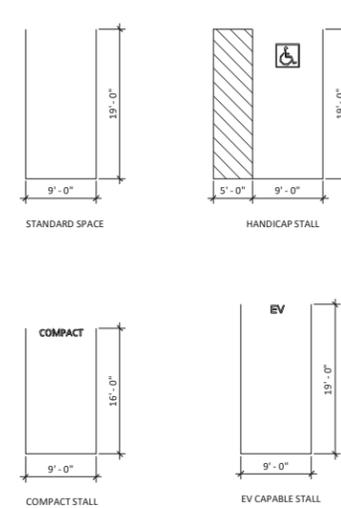


2 PARKING GARAGE THIRD FLOOR PLAN
1/16" = 1'-0"

DEPARTMENT LEGEND



PARKING STALL LEGEND



TYPE	COUNT	COMMENTS
GARAGE		
8' x 19' (8' AISLE)	8	ADA
9' x 16' GARAGE PARKING COMPACT STALL	108	COMPACT
9' x 16' GARAGE PARKING COMPACT STALL - PATIENT	65	COMPACT - PATIENT
9' x 16' GARAGE PARKING COMPACT STALL - RETAIL	7	COMPACT - RETAIL
9' x 19' (5' AISLE) ADA GARAGE PARKING	6	ADA
9' x 19' (5' AISLE) ADA GARAGE PARKING - EV	1	ONE EV CAPABLE
9' x 19' EV GARAGE PARKING STANDARD STALL	5	EV CAPABLE
9' x 19' GARAGE PARKING STANDARD STALL	131	STANDARD
9' x 19' GARAGE PARKING STANDARD STALL - PATIENT	65	STANDARD - PATIENT
9' x 19' GARAGE PARKING STANDARD STALL - RETAIL	10	STANDARD - RETAIL
	406	
SITE		
8' x 19' (8' AISLE) ADA EV SITE PARKING	1	VAN ACCESSIBLE ADA AND EV CAPABLE
8' x 19' (8' AISLE) ADA SITE PARKING	3	VAN ACCESSIBLE ADA
	4	
TOTAL: 410	410	

PROJECT NUMBER
152699.01

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DATE
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RIVERBEND
MEDICAL PAVILION
AND PARKING
GARAGE**

SITE REVIEW

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SHEET TITLE
**PARKING GARAGE
SECOND AND
THIRD FLOOR
PLAN**

SHEET NUMBER

SR5-2

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1	REVISION #1	07/29/2016
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MEDICAL PAVILION
AND PARKING
GARAGE

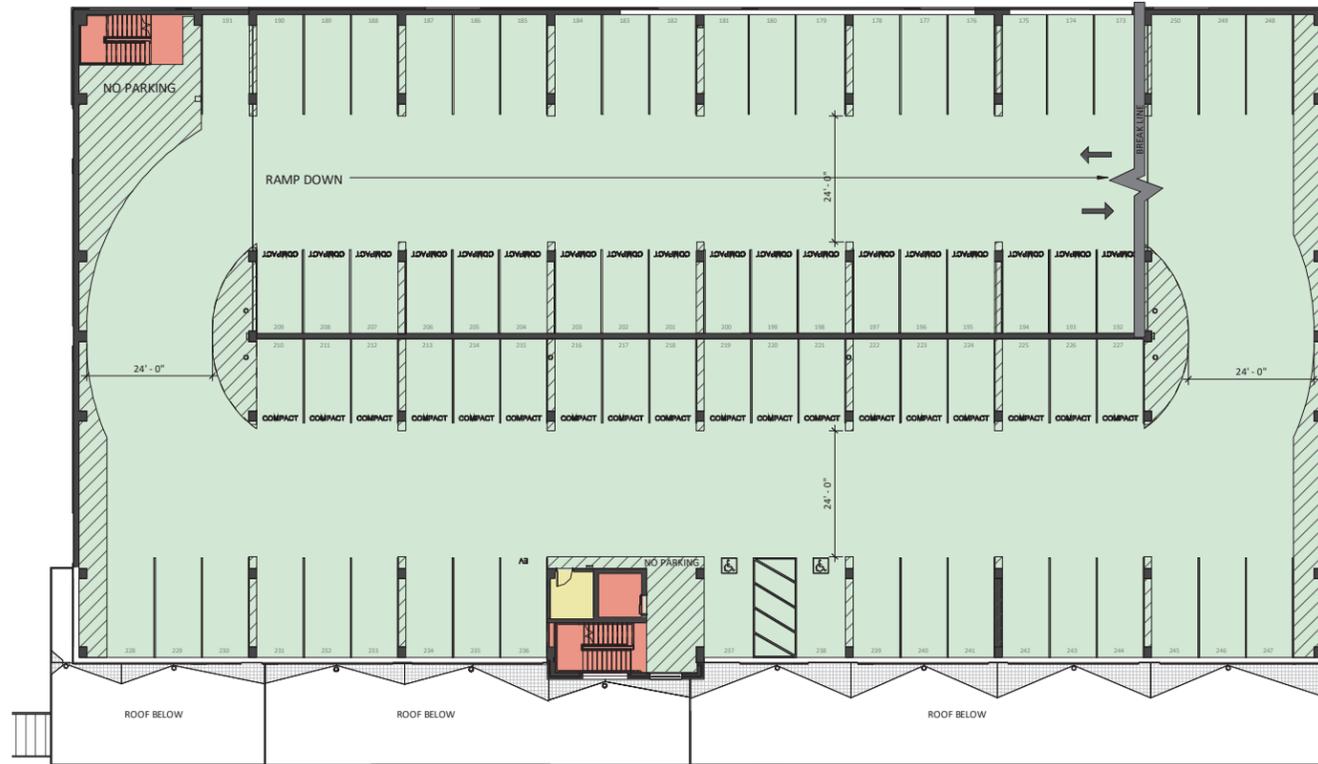
SITE REVIEW

LUR2016-00038-40

SHEET TITLE
PARKING GARAGE
FOURTH AND
FIFTH FLOOR
PLAN

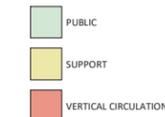
SHEET NUMBER

SR5-3

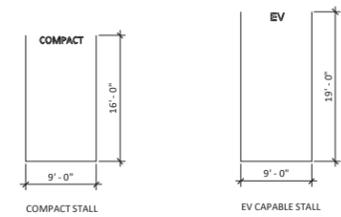
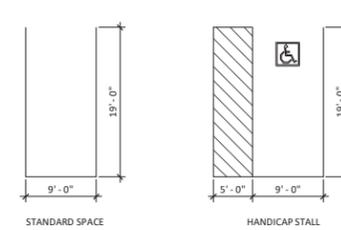


1 PARKING GARAGE FOURTH FLOOR
1/16" = 1'-0"

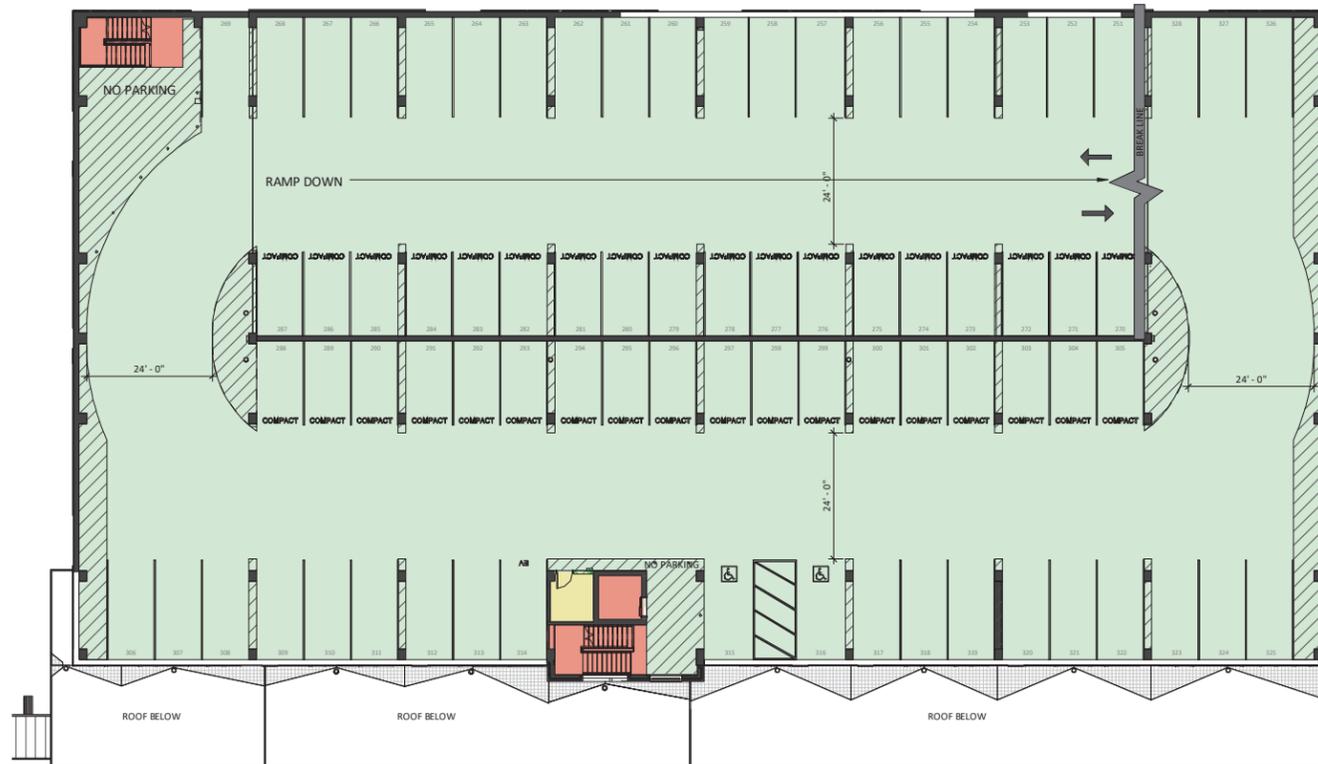
DEPARTMENT LEGEND



PARKING STALL LEGEND



TYPE	COUNT	COMMENTS
GARAGE		
8' x 19' (8' AISLE)	8	ADA
9' x 16' GARAGE PARKING COMPACT STALL	108	COMPACT
9' x 16' GARAGE PARKING COMPACT STALL - PATIENT	65	COMPACT - PATIENT
9' x 16' GARAGE PARKING COMPACT STALL - RETAIL	7	COMPACT - RETAIL
9' x 19' (5' AISLE) ADA GARAGE PARKING	6	ADA
9' x 19' (5' AISLE) ADA GARAGE PARKING - EV	1	ONE EV CAPABLE
9' x 19' EV GARAGE PARKING STANDARD STALL	5	EV CAPABLE
9' x 19' GARAGE PARKING STANDARD STALL	131	STANDARD
9' x 19' GARAGE PARKING STANDARD STALL - PATIENT	65	STANDARD - PATIENT
9' x 19' GARAGE PARKING STANDARD STALL - RETAIL	10	STANDARD - RETAIL
	406	
SITE		
8' x 19' (8' AISLE) ADA EV SITE PARKING	1	VAN ACCESSIBLE ADA AND EV CAPABLE
8' x 19' (8' AISLE) ADA SITE PARKING	3	VAN ACCESSIBLE ADA
	4	
TOTAL: 410	410	

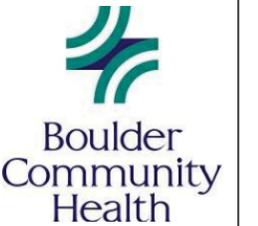


2 PARKING GARAGE FIFTH FLOOR PLAN
1/16" = 1'-0"

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PROJECT
BOULDER COMMUNITY HEALTH RIVERBEND MEDICAL PAVILION AND PARKING GARAGE

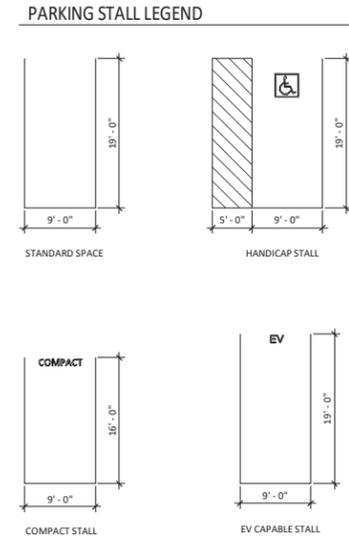
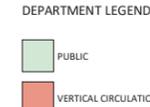
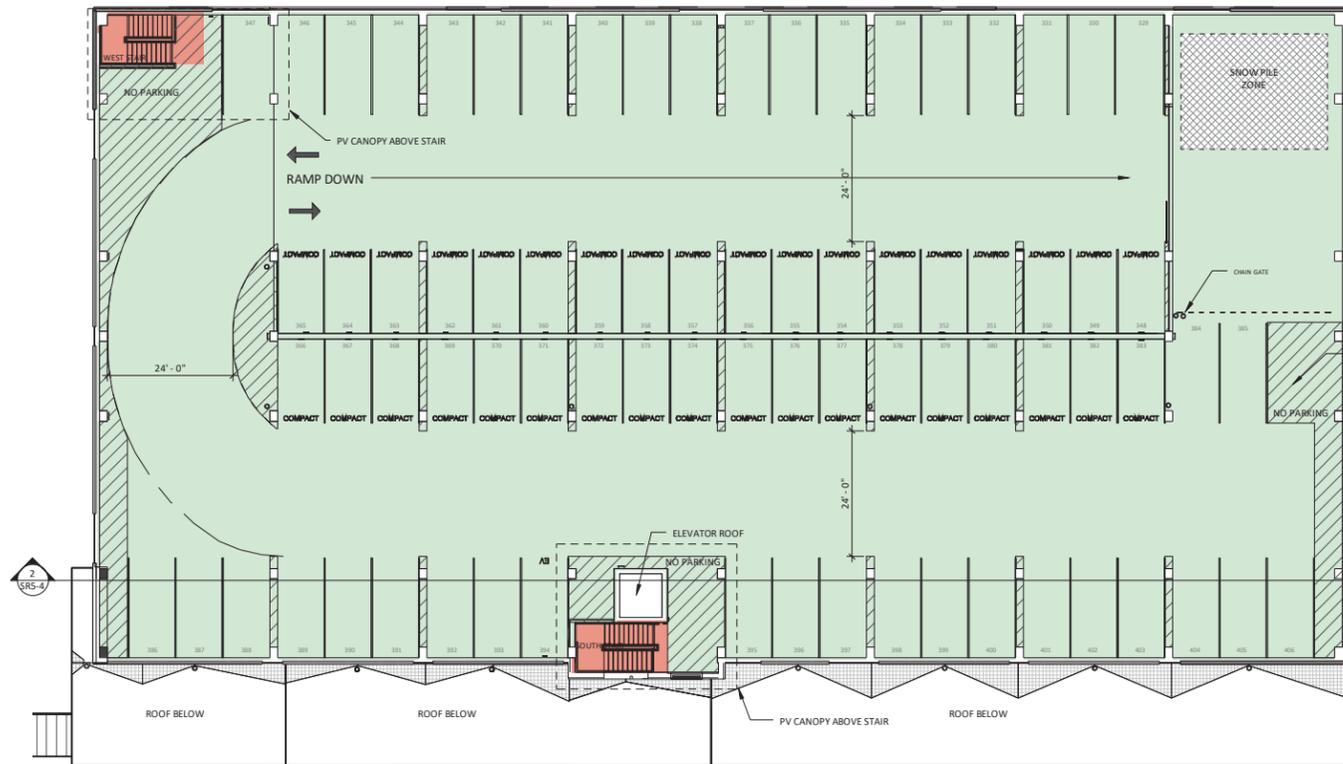
SITE REVIEW

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SHEET TITLE
PARKING GARAGE ROOF PLAN

SHEET NUMBER

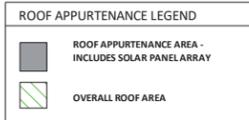
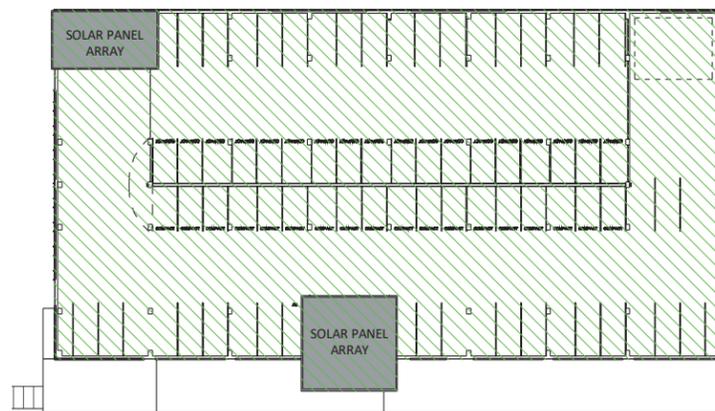
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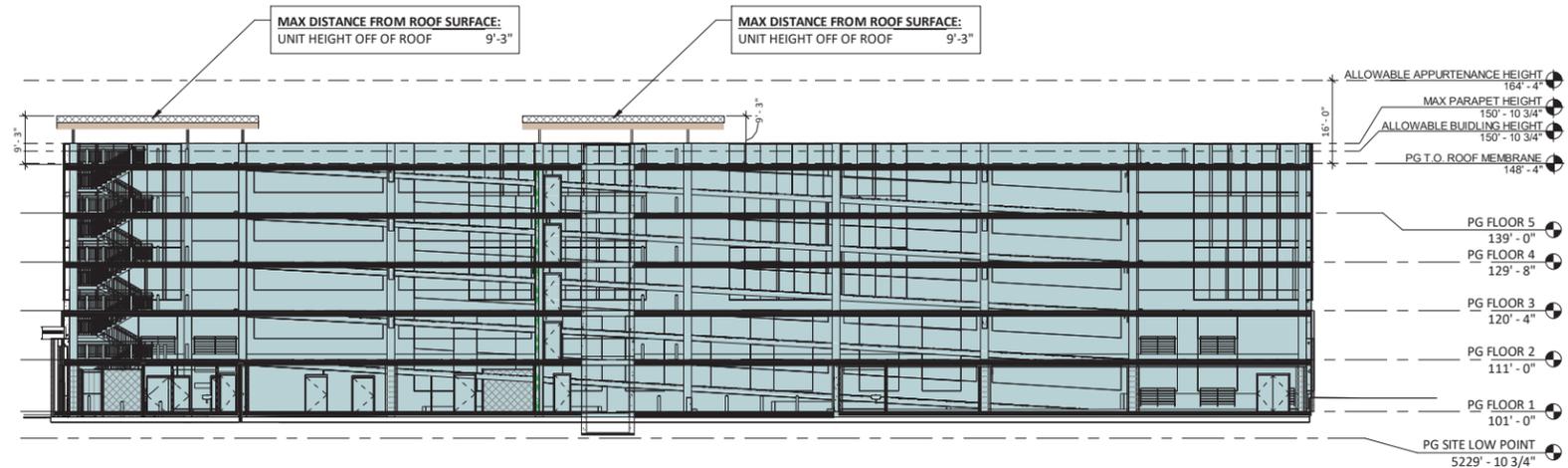
TYPE	COUNT	COMMENTS
GARAGE		
8' x 19' (8' AISLE)	8	ADA
9' x 16' GARAGE PARKING COMPACT STALL	108	COMPACT
9' x 16' GARAGE PARKING COMPACT STALL - PATIENT	65	COMPACT - PATIENT
9' x 16' GARAGE PARKING COMPACT STALL - RETAIL	7	COMPACT - RETAIL
9' x 19' (5' AISLE) ADA GARAGE PARKING	6	ADA
9' x 19' (5' AISLE) ADA GARAGE PARKING - EV	1	ONE EV CAPABLE
9' x 19' EV GARAGE PARKING STANDARD STALL	5	EV CAPABLE
9' x 19' GARAGE PARKING STANDARD STALL	131	STANDARD
9' x 19' GARAGE PARKING STANDARD STALL - PATIENT	65	STANDARD - PATIENT
9' x 19' GARAGE PARKING STANDARD STALL - RETAIL	10	STANDARD - RETAIL
	406	
SITE		
8' x 19' (8' AISLE) ADA EV SITE PARKING	1	VAN ACCESSIBLE ADA AND EV CAPABLE
8' x 19' (8' AISLE) ADA SITE PARKING	3	VAN ACCESSIBLE ADA
	4	
TOTAL: 410	410	

1 PARKING GARAGE SIXTH FLOOR ROOF LEVEL PLAN
1/16" = 1'-0"

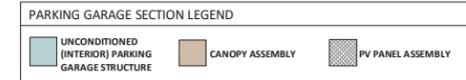
ROOF APPURTENANCE DIAGRAM PARKING GARAGE



OVERALL ROOF AREA: 30,514 SF
ROOF APPURTENANCE AREA: 1,995 SF
MAXIMUM ROOF APPURTENANCE AREA (25%): 7,629 SF
PROVIDED ROOF APPURTENANCE AREA (7%): 1,995 SF



2 ROOF APPURTENANCE DIAGRAM - EAST/WEST PARKING GARAGE SECTION
1/16" = 1'-0"



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Boulder Community Health

PROJECT
BOULDER COMMUNITY HEALTH RIVERBEND MEDICAL PAVILION AND PARKING GARAGE

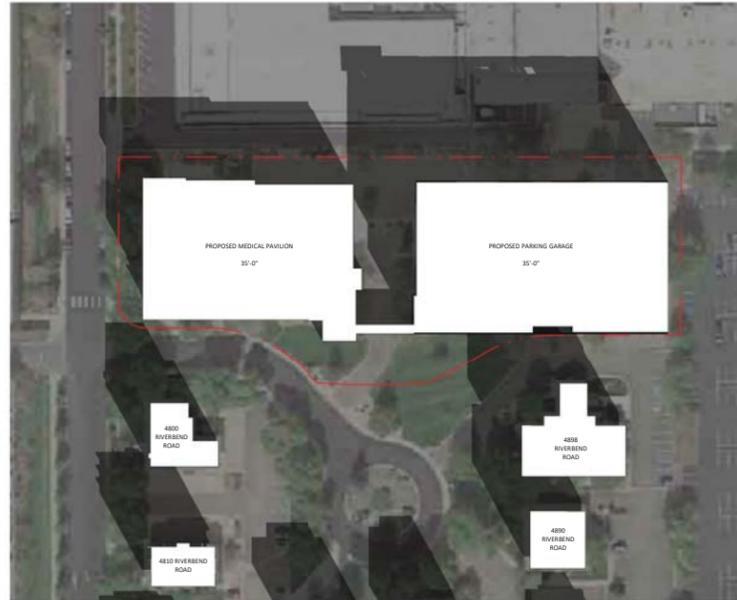
SITE REVIEW

LUR2016-00038-40

SHEET TITLE
SHADOW ANALYSIS

SHEET NUMBER

SR6



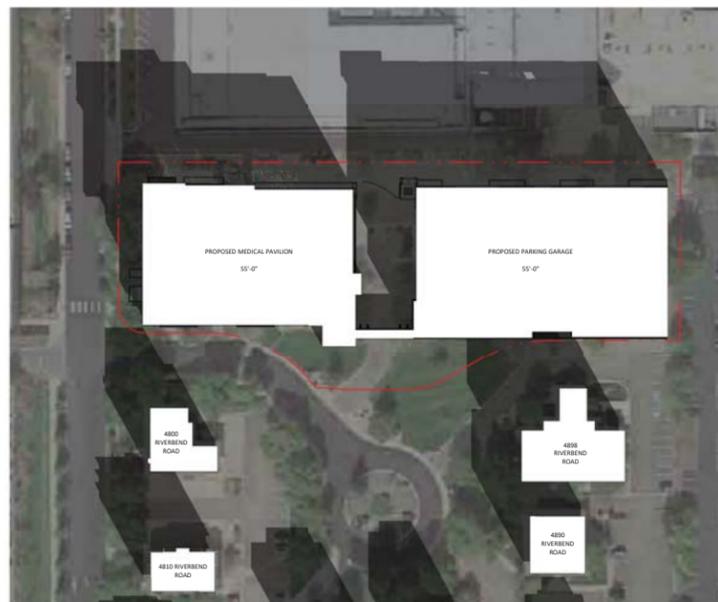
1 SHADOWS @ 35 FT BUILDING HEIGHT - DECEMBER 21ST 10 AM
1" = 80'-0"



2 SHADOWS @ 35 FT BUILDING HEIGHT - DECEMBER 21ST 12 PM
1" = 80'-0"



3 SHADOWS @ 35 FT BUILDING HEIGHT - DECEMBER 21ST 2PM
1" = 80'-0"



4 SHADOWS @ PROPOSED BUILDING HEIGHT - DECEMBER 21ST 10 AM
1" = 80'-0"



5 SHADOWS @ PROPOSED BUILDING HEIGHT - DECEMBER 21ST 12 PM
1" = 80'-0"



6 SHADOWS @ PROPOSED BUILDING HEIGHT - DECEMBER 21ST 2 PM
1" = 80'-0"

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EXISTING CONTEXT PHOTOGRAPHS



BCH Foothills Hospital



EXISTING BUILDING (4855 RIVERBEND RD.) WITH BALL AEROSPACE BUILDING TO THE NORTH



ANDERSON MEDICAL CENTER



EXISTING BUILDING - 4810 RIVERBEND ROAD



TEBO MEDICAL CENTER



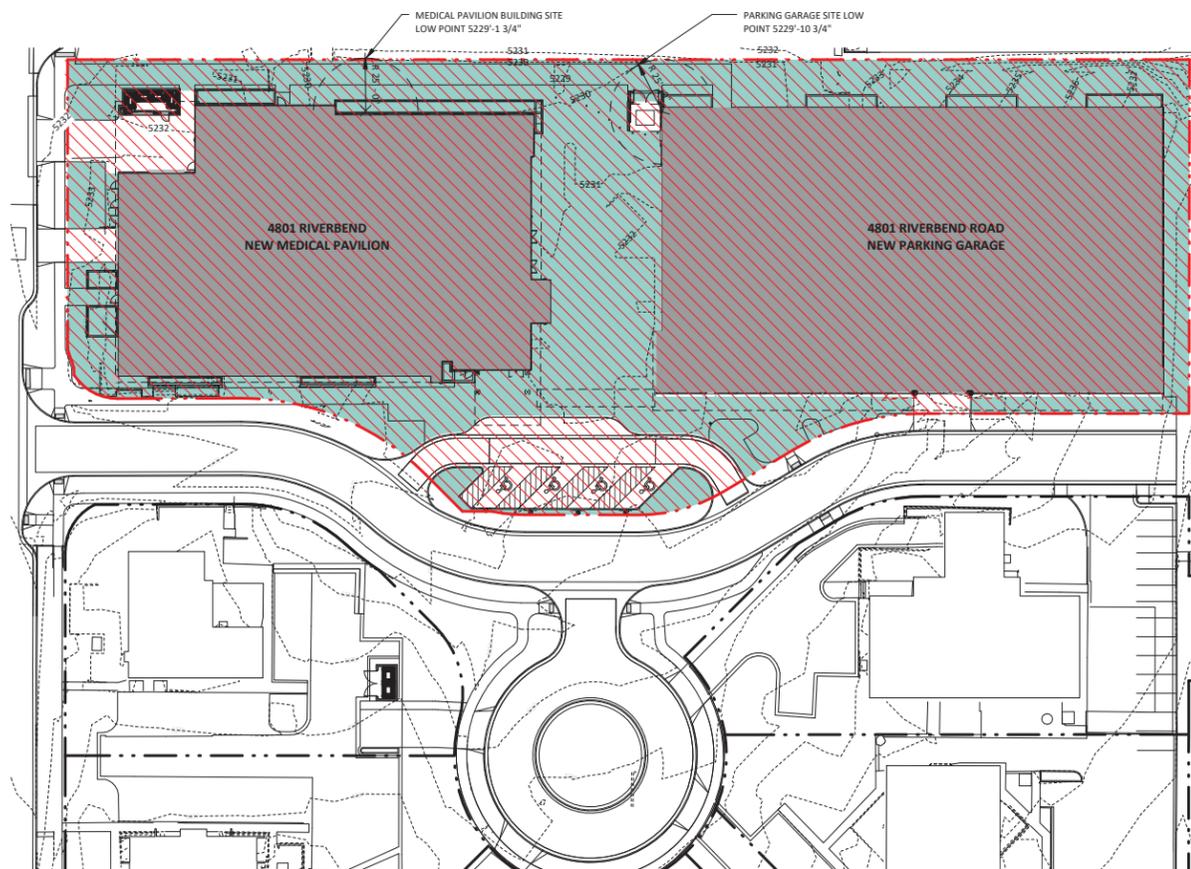
BALL AEROSPACE - VIEW FROM 48TH STREET LOOKING EAST



1 - AERIAL VIEW LOOKING NORTH TOWARDS SITE FROM ARAPAHOE AVE



2 - BIRD'S EYE VIEW LOOKING NORTH TOWARDS BALL AEROSPACE THROUGH THE COURTYARD GARDEN



OPEN SPACE CALC DIAGRAM AND SITE LOW POINT EXHIBIT

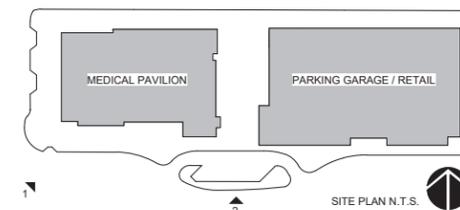
SITE REVIEW LEGEND

- OPEN SPACE
- SITE
- PROPOSED BUILDINGS

OPEN SPACE CALCULATION

NAME	AREA
4801 RIVERBEND	33568 SF

SITE AREA: 97,725 SF / 2.24 ACRES
 REQUIRED OPEN SPACE (20%): 19,545 SF / .45 ACRES
 PROVIDED OPEN SPACE (34%): 33,568 SF / .77 ACRES



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PROJECT
BOULDER COMMUNITY HEALTH RIVERBEND MEDICAL PAVILION AND PARKING GARAGE

SITE REVIEW

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SHEET TITLE
HEIGHT MODIFICATION DEMONSTRATION

SHEET NUMBER

SR7

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SITE REVIEW

LUR2016-00038-40

SHEET TITLE
CHARACTER RENDERINGS

SHEET NUMBER

SR8



A - VIEW FROM 48TH ST



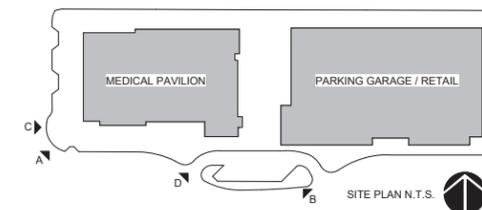
B - VIEW FROM RIVERBEND ROAD



C - APPROACH VIEW FROM 48TH ST



D - VIEW FROM RIVERBEND ROAD



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SITE REVIEW

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SHEET TITLE
CHARACTER RENDERINGS

SHEET NUMBER

SR9



E - RETAIL SEATING



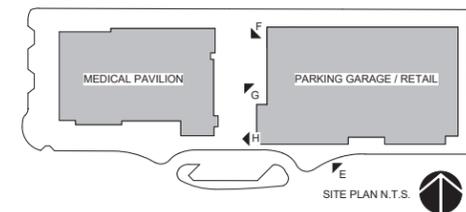
F - COURTYARD VIEW



G - COURTYARD VIEW



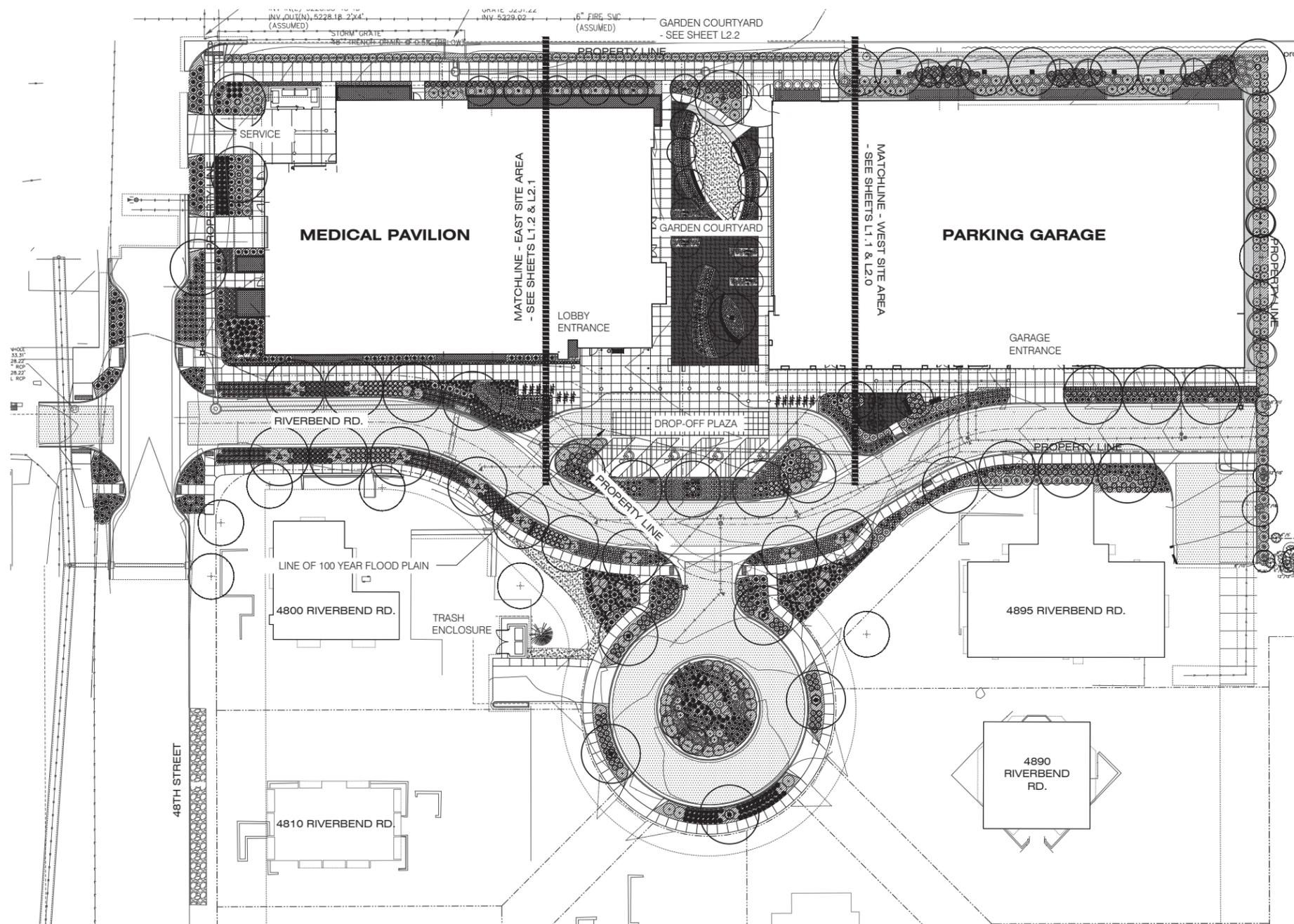
H - MEDICAL PAVILION ENTRANCE AND CONNECTOR CANOPY



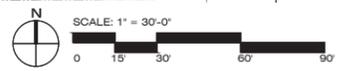
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1 OVERALL LANDSCAPE PLAN
SCALE: 1" = 30'-0"



GENERAL LANDSCAPE NOTES

- IMPORTED, SCREENED TOPSOIL IS REQUIRED TO ALL LANDSCAPE AREAS AT THE FOLLOWING DEPTHS: CONTINUOUS PLANT BEDS, 8"; TREE PIT EXCAVATION, 12"; TREE PITS IN PAVED AREAS - 36"; TURF LAWN AREAS, 4".
- TOPSOIL SHALL BE FURNISHED BY THE CONTRACTOR AND SHALL BE A NATURAL, FRIABLE SOIL REPRESENTATIVE SOURCES AND BLENDED FROM PRODUCTIVE SOILS LOCALLY.
- TOPSOIL SHALL BE FERTILE, FRIABLE, LOAMY OR SANDY LOAM SOIL, REASONABLY FREE FROM SUBSOIL, REFUSE, ROOTS, HEAVY OR STIFF CLAY, STONES LARGER THAN 1 INCH, COARSE SAND, NOXIOUS SEEDS, STICKS, BRUSH, LITTER, AND OTHER DELETERIOUS SUBSTANCES. IT MUST BE SUITABLE FOR THE GERMINATION OF SEEDS AND THE SUPPORT OF VEGETATIVE GROWTH. THE PH VALUE SHALL BE BETWEEN 7.0 AND 8.0.
- AT LEAST 10 DAYS PRIOR TO TOPSOIL DELIVERY, NOTIFY LANDSCAPE ARCHITECT OF THE SOURCE(S) FROM WHICH TOPSOIL IS TO BE FURNISHED.
- IMPORTED SOIL TEXTURE: SAND, 30 TO 50 PERCENT; SILT, 30 TO 50 PERCENT; CLAY, 5 TO 30 PERCENT; COMPOST TYPE AND FERTILIZER ADDITIVES: AS DETERMINED BY SOIL FERTILITY TESTS; PERCENTAGE ORGANIC CONTENT: 2.0% MINIMUM; SOLUBLE SALTS: ELECTRIC CONDUCTIVITY SHALL BE LESS THAN 3.3 MMHOS/CM FOR DRYLAND AREAS AND LESS THAN 5.1 MMHOS/CM FOR IRRIGATED LANDS.
- PLANTING CULTIVATION: SCARIFY COMPACTED SUB-GRADE TO A 6-INCH DEPTH TO BOND IMPORTED TOPSOIL TO SUBSOIL. PLACE TOPSOIL TO MINIMUM DEPTHS NOTED ABOVE AFTER SETTLEMENT. TOPSOIL SHALL BE FREE FROM WEEDS, SOD, CLODS AND STONES LARGER THAN 1-INCH, TOXIC SUBSTANCES, LITTER AND OTHER DELETERIOUS MATERIAL. SPREAD EVENLY AND GRADE TO ELEVATIONS AND SLOPES SHOWN. HAND RAKE AREAS INACCESSIBLE TO MACHINE GRADING.
- COMPOST AMENDMENT FOR TREE, SHRUB, ORNAMENTAL GRASSES AND PERENNIAL PLANT BEDS: CONTRACTOR IS TO ROTO-TILL TO A DEPTH OF EIGHT (8) INCHES INTO THE IMPORTED SOIL OF FIVE (5) CUBIC YARDS OF ORGANIC COMPOST PER 1,000 SQUARE FEET OF AREA. EXCAVATE TREE AND SHRUB PITS AND BLEND SUBSOIL FROM PITS WITH COMPOST & EXISTING SOIL AND RETURN TO PIT. CONTRACTOR IS TO APPLY TOP DRESSING OF FOUR (4) CUBIC YARDS OF COMPOST TO PLANT BED AREA PRIOR TO PLANTING.
- COMPOST AMENDMENT FOR LAWN AREAS: CONTRACTOR IS TO ROTO-TILL TO A DEPTH OF EIGHT (8) INCHES INTO THE IMPORTED TOPSOIL OF 5 CUBIC YARDS OF ORGANIC COMPOST PER 1,000 SQUARE FEET OF AREA. PRIOR TO SOD INSTALLATION CONTRACTOR IS TO APPLY THREE (3) YARDS OF COMPOST PER 1,000 SQUARE FEET TO SOIL AND MAKE FINAL PREPARATIONS.
- ORGANIC MULCH TYPE: WASHINGTON RED CEDAR (GORILLA HAIR), PLACED LOOSELY TO A DEPTH OF 3 INCHES.
- LANDSCAPE EDGING IS GALVANIZED STEEL EDGING, 6" WIDE x 14 GAUGE THICK WITH MANUFACTURER'S RECOMMENDED STAKES AND ACCESSORIES.
- AUTOMATIC IRRIGATION SYSTEM: PERMANENT, UNDERGROUND IRRIGATION WILL BE PROVIDED TO ALL LANDSCAPE AREAS. TURF AREAS WILL BE ZONED SEPARATELY FROM BED AREAS; THE CONTROLLER WILL INCLUDE A RAIN & WIND SHUT-OFF SYSTEM; IRRIGATION ZONES WILL BE DESIGNED BASED ON HYDRO ZONES ACCORDING TO WATER-DEMAND.
- PLANT SIZE MINIMUM STANDARDS:
 EVERGREEN TREES: 6' HEIGHT
 DECIDUOUS SHADE TREES: 2.5" CALIPER
 ORNAMENTAL TREES: 2" CALIPER
 SHRUBS: #5 CONTAINER
 GROUNDCOVERS: F15, 4" POTS
 PERENNIALS: #1 CONTAINER
 ORNAMENTAL GRASSES: #1 CONTAINER
- TREES IN PAVEMENT: ALL TREES IN PAVEMENT TO RECEIVE A MINIMUM OF 750 CU. FT. OF GROWING MEDIUM PER TREE TO A DEPTH OF 3'-0". GROWING MEDIUM IS TO INCLUDE AMENDED TOPSOIL WITHIN PLANT BED AND CU STRUCTURAL SOIL UNDER PAVEMENT.

SUMMARY CHART

TOTAL LOT SIZE:	97,725 SF	
TOTAL PARKING LOT SIZE (EAST LOT): (INCLUDING DRIVES & DRIVEWAYS)	2,025 SF	
TOTAL BUILDING FOOTPRINT:	25,247 SF	
TOTAL GARAGE FOOTPRINT:	26,446 SF	
TOTAL AREA NOT COVERED BY BUILDING OR PARKING LOT:	45,007 SF	
	<u>REQUIRED</u>	<u>PROVIDED</u>
TOTAL NUMBER OF PARKING STALLS	---	6
TOTAL INTERIOR PARKING LOT LANDSCAPED AREA (5%)	N/A	N/A (EAST PARKING)
TOTAL INTERIOR PARKING LOT LANDSCAPED AREA AS A PERCENTAGE OF TOTAL PARKING LOT AREA	N/A	N/A
TOTAL NUMBER OF TREES IN INTERIOR LOT LANDSCAPED AREA	0	0
TOTAL PERIMETER PARKING LOT LANDSCAPE AREA (5%)	102 SF	290 SF
TOTAL NUMBER OF STREET TREES	22	13 (EAST SIDE 48TH/NORTH SIDE RIVERBEND) 13 (SOUTH SIDE RIVERBEND)
(48TH STREET FRONTAGE=185 L.F.; RIVERBEND FRONTAGE=583 L.F. DIVIDED BY 35 L.F.= 22 TREES)		
TOTAL QUANTITY OF PLANT MATERIAL ON SITE PLAN (TREES & SHRUBS)	29 TREES 143 SHRUBS	83 TREES 2,736 SHRUBS

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152699.01

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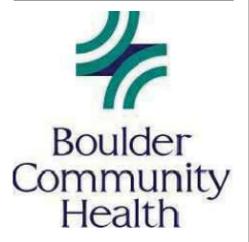
DATE
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PROJECT
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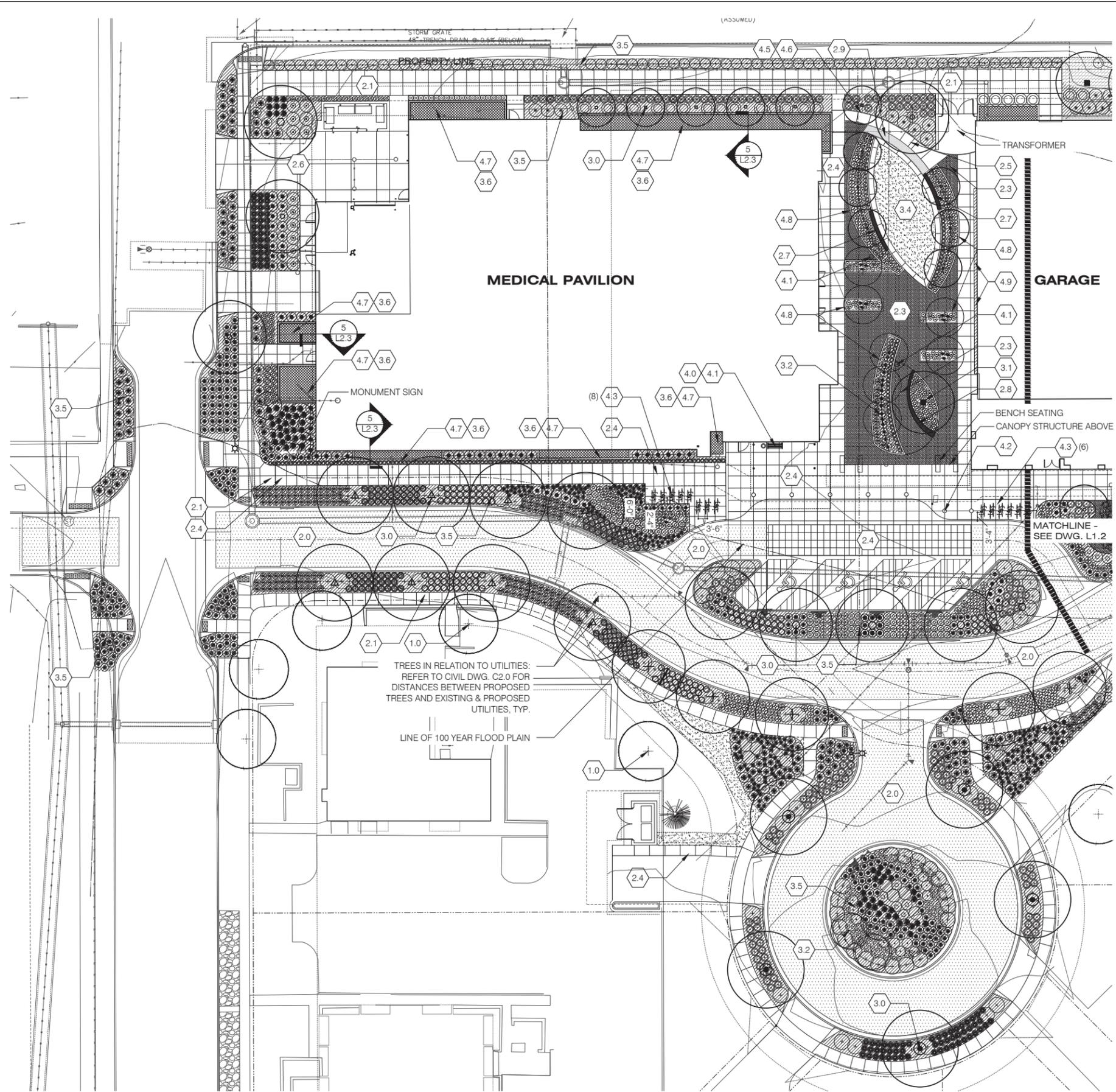
SITE REVIEW

LUR 2016-00038-40

SHEET TITLE
OVERALL LANDSCAPE PLAN

SHEET NUMBER

L1.0



1 MATERIALS PLAN - WEST
SCALE: 1" = 20'-0"

LANDSCAPE MATERIAL KEYNOTES

- EXISTING LANDSCAPE**
- 1.0 EXISTING TREE TO BE PROTECTED - TREES TO REMAIN ARE TO BE EVALUATED BASED ON TREE INVENTORY & ARBORIST RECOMMENDATIONS, INPUT FROM CITY OF BOULDER FORESTRY, RISK TO TREE FROM NEW CONSTRUCTION, ABILITY TO PROTECT TREE FROM DRIFLINE & OVERALL HEALTH OF THE TREE: TREE PROTECTION DETAIL - SEE DWG. L2.3
- HARDSCAPE / PAVING LOCATION & MATERIALS**
- 2.0 ASPHALT PAVING, RE CIVIL DWGS.
 - 2.1 SIDEWALKS: NATURAL GRAY CONCRETE PAVEMENT BROOM FINISH, HAND TOOLED JOINTS
 - 2.2 DROP-OFF LANE & HANDICAP PARKING: INTEGRAL COLORED CONCRETE PAVEMENT W/ SAW CUT - V-GROOVE JOINTS; NATURAL GRAY; LIGHT BROOM FINISH
 - 2.3 PERMEABLE PAVERS: NATURAL CLAY, 4 x 8 x 2 3/8", COLOR: MEDIUM IRONSPOT, NO CHAMFER, SAND SET ON ENGINEERED SUB BASE
 - 2.4 INTEGRAL COLORED CONCRETE PAVEMENT W/ SAW CUT - V-GROOVE JOINTS; SAND TEXTURE FINISH
 - 2.5 THERAPY RAMP & STEPS: C.I.P CONCRETE, BROOM FINISH
 - 2.6 SERVICE AREA: NATURAL GRAY CONCRETE; MEDIUM BROOM FINISH - HAND JOINTS
 - 2.7 SEAT WALL TYPE 1: 20" HIGH x 15" WIDE, PRECAST CONCRETE WITH HARDWOOD SLAT SEAT SURFACE
 - 2.8 SEAT WALL TYPE 2: 20" HIGH x VARYING WIDTH, PRECAST CONCRETE WITH HARDWOOD SLAT SEAT SURFACE
 - 2.9 THERAPY GARDEN PATHWAY: 4" COMPACTED, GRAY CRUSHER FINES
 - 2.10 NON-IRRIGATION ZONE: 3" - 6", SPECKLED WHITE RIVER COBBLES ON WEED BARRIER FABRIC - SEE DETAIL 8, SHEET L4.0 & SPECS.
 - 2.11 STEEL EDGER: 6" DEEP x 14 GA. GALVANIZED STEEL EDGER
- PLANTING**
- 3.0 DECIDUOUS SHADE TREE: 2.0-2.5" CALIPER, B&B
 - 3.1 ACCENT TREE IN COURTYARD: 3" CALIPER, SPECIMEN, B&B, DECIDUOUS TREE
 - 3.2 ORNAMENTAL FLOWERING TREE: CLUMP/MULTI-STEM, 8", B&B
 - 3.3 ORNAMENTAL FLOWERING TREE: 2" CALIPER, B&B
 - 3.4 TURF GRASS - DROUGHT TOLERANT BLUE GRASS VARIETY - TEXAS HYBRID - 'BANDERA', 'SPITFIRE', 'THERMAL BLUE' - T.B.D.
 - 3.5 DECIDUOUS AND EVERGREEN SHRUBS, ORNAMENTAL GRASSES, GROUND COVERS, PERENNIAL PLANTING IN SHREDDED NATURAL CEDAR MULCH, 3" DEPTH
 - 3.6 RAIN GARDEN PLANTING: ORNAMENTAL GRASSES AND GROUNDCOVERS IN 2" WHITE RIVER COBBLES.
 - 3.7 EVERGREEN TREES: 7", B&B, MATURE SIZE SHOWN
- SITE ELEMENTS AND AMENITIES**
- 4.0 BENCH SEATING: DUMOR 160 SERIES, 6'-0" BENCH TO MATCH MAIN CAMPUS BY DUMOR SITE FURNISHINGS; 1/L2.3
 - 4.1 TRASH RECEPTACLE: DUMOR RECEPTACLE W/ 32 GALLON LINER TO MATCH MAIN CAMPUS; 2 / L2.3
 - 4.2 CONCRETE BOLLARD: 18" DIA. x 36" HIGH, PRECAST CONCRETE BY PETERSEN MANUFACTURING, TYPE B11, LIGHTLY EXPOSED AGGREGATE FINISH
 - 4.3 BICYCLE RACK: U-LOOP BIKE RACK; 3 / L2.3
 - 4.4 THERAPY GARDEN RAMP & STEPS W/ RAILING
 - 4.5 COURTYARD GARDEN SCREEN WALL: 7' HIGH STEEL DECORATIVE STEEL PANELS W/ LASER CUT PERFORATED PATTERN; RE ARCH DWGS.; MANUFACTURED BY PARASOLEIL, BOULDER, CO.
 - 4.6 SCREEN WALL LIGHTING - LED STRIP LIGHTING MOUNTED INSIDE FACING MATERIAL PROVIDING CONTINUOUS 'WASH' OF LIGHTING ALONG LENGTH OF STEEL PANELS
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 - 4.8 RAISED PLANT BED EDGE FOR PROTECTION : 5" WIDE x 12" DEEP C.I.P. CONCRETE CURB
 - 4.9 GREEN SCREEN MODULAR TRELLIS SYSTEM: CLIMBING PLANT SPECIES TO BE DETERMINED.

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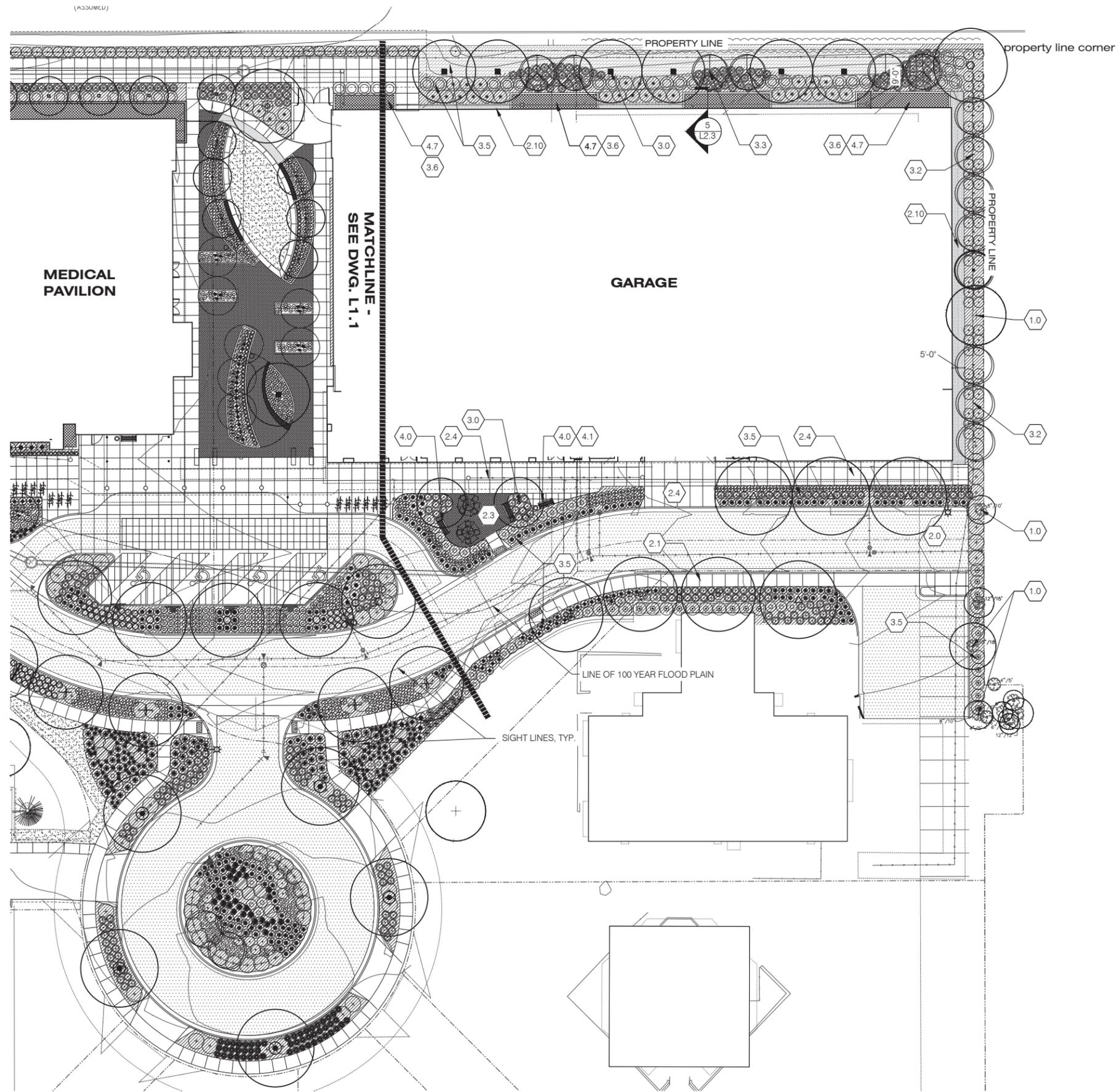
SITE REVIEW

LUR 2016-00038-40

SHEET TITLE
LANDSCAPE MATERIALS PLAN - WEST

SHEET NUMBER

L1.1



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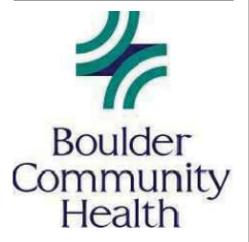
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BOULDER COMMUNITY HEALTH RIVERBEND MEDICAL PAVILION AND PARKING GARAGE

SITE REVIEW

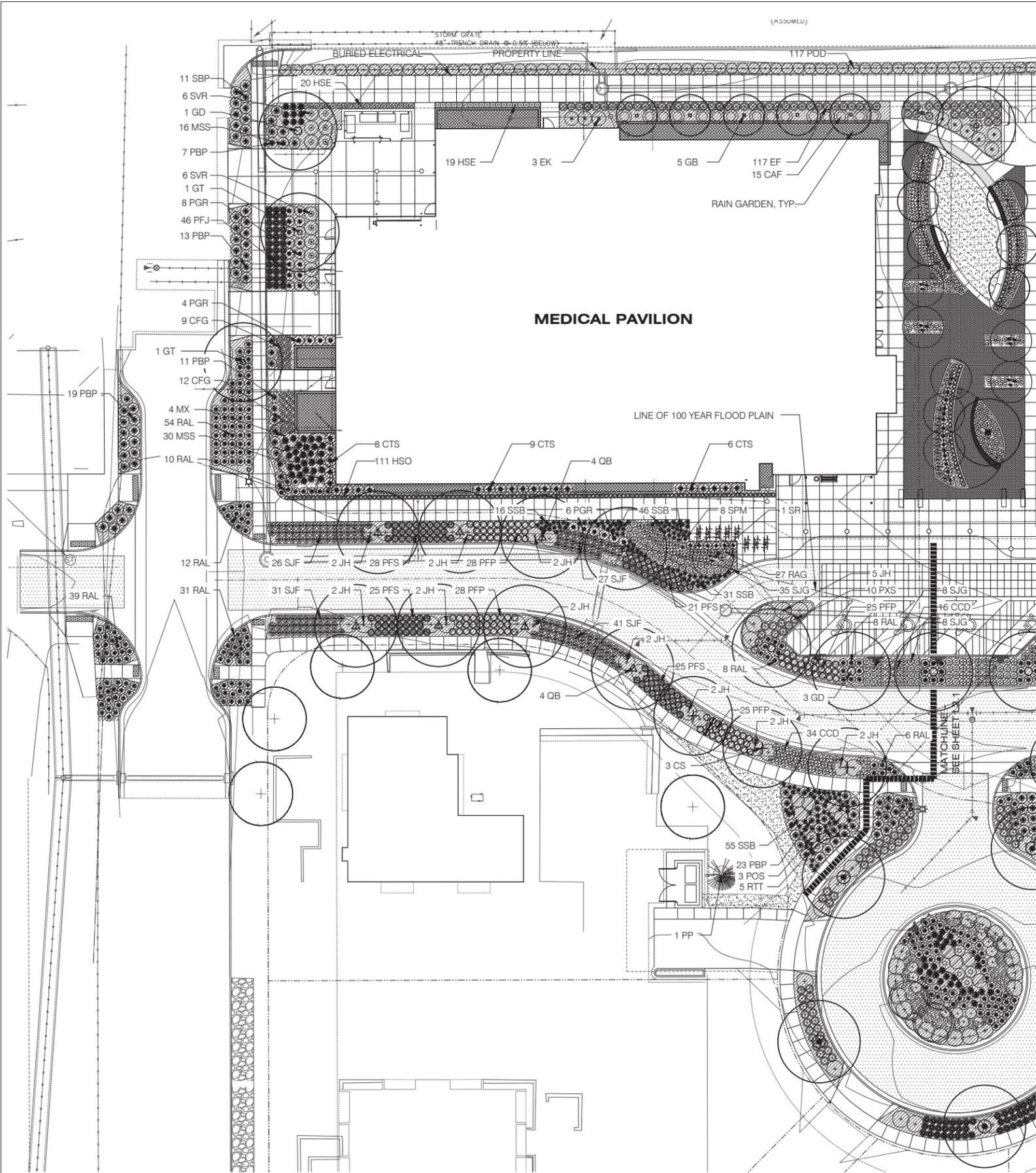
LUR 2016-00038-40

SHEET TITLE
LANDSCAPE MATERIALS PLAN - EAST

SHEET NUMBER

L1.2

1 MATERIALS PLAN - EAST
 SCALE: 1" = 20'-0"



1 PLANTING PLAN - WEST
SCALE: 1" = 20'-0"

PLANT LEGEND

ABBR.	QTY	BOTANICAL NAME/COMMON NAME	SIZE	COMMENTS
DECIDUOUS TREES				
AC	11	AMELANCHIER CANADENSIS	8' CLUMP	B&B
		SHADBLow SERVICEBERRY	15' O.C.	15-25-S
CS	6	CATALPA SPECIOSA	2'0"	B&B
		WESTERN CATALPA	35' O.C.	40' - Su
CO	6	CELTIS OCCIDENTALIS	2.5' CAL	B&B
		WESTERN HACKBERRY	35' O.C.	50-S
CC	6	CERCIS CANADENSIS	2.5' CAL	B&B
		EASTERN REDBUD	15' O.C.	25-FSh-Sh
GB	6	GINGKO BILOBA 'PRINCETON SENTRY'	2'0" CAL	B&B
		PRINCETON SENTRY GINKGO	15' O.C.	35-S
GTI	3	GLEDITSIA TRIACANTHOS INERMIS IMPERIAL	2.5' CAL	B&B
		IMPERIAL HONEYLOCUST	30' O.C.	35' - Su
GD	9	GYMNOCLADUS DIOICUS 'ESPRESSO'	2.5' CAL	B&B
		KENTUCKY COFFEETREE (SEEDLESS)	35' O.C.	50-S
MP	3	MALUS 'PROFUSION'	2' CAL	B&B
		PROFUSION CRABAPPLE	15' O.C.	25-S
MX	4	MALUS x 'CORALCOLE'	2' CAL	B&B
		CORALBURST CRAB APPLE	12' O.C.	12-15-S
PC	8	PYRUS CALLERYANA 'CHANTICLEER'	2.5' CAL	B&B
		CHANTICLEER PEAR	15' O.C.	20-30-S
QB	14	QUERCUS BICOLOR	2.5' CAL	B&B
		SWAMP WHITE OAK	30' O.C.	30-40-S
SR	6	SYRINGA RETICULATA	2.5' CAL	B&B
		JAPANESE TREE LILAC	15' O.C.	15-25-S-FSh
TC	7	TILIA CORDATA 'GREENSPIRE'	2.5' O.C.	B&B
		GREENSPIRE LINDEN	25' O.C.	30-40-S
EVERGREENS				
EF	--	EUONYMUS FORTUNEI 'COLORATUS'	#1	CONTAINER
		PURPLELEAF WINTERCREEPER	3' O.C.	1-1.5-FSh-Sh
EK	--	EUONYMUS KIAUTSCHOVICA 'MANHATTAN'	#5	CONTAINER
		MANHATTAN EUONYMUS	5' O.C.	4-6-Sh
JH	--	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	#5	CONTAINER
		BLUE CHIP JUNIPER	6' O.C.	<1'-S
PP	1	PICEA PUNGENS 'HOOPSII'	7'	B&B
		HOOPSII SPRUCE	12' O.C.	25-ADAPT
DECIDUOUS SHRUBS				
CFG	--	CARAGANA FRUTEX 'GLOBOSA'	#5	CONTAINER
		GLOBE RUSSIAN PEA SHRUB	30' O.C.	3-4-Su
CCD	--	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT'	#5	CONTAINER
		DARK KNIGHT BLUE MIST SPIREA	30' O.C.	3-4-Su
CTS	--	CHAENOMELES SPECIOSA 'TEXAS SCARLET'	#5	CONTAINER
		TEXAS SCARLET QUINCE	48' O.C.	3-4-Su-PSh
CAF	--	CORNUS SERICEA 'ISANTI'	#5	CONTAINER
		ISANTI DOGWOOD	5' O.C.	5-ADAPT
HAA	--	HYDRANGEA ARBORESCENS 'ANNABELLE'	#5	CONTAINER
		ANNABELLE SMOOTH HYDRANGEA	36' O.C.	3-4-FSh-Sh
PXS	--	PHILADELPHUS X 'SNOWBELLE'	#5	CONTAINER
		SNOWBELLE MOCKORANGE	36' O.C.	3-4-Su
POS	--	PHYSOCARPUS OPULIFOLIUS 'SUMMER WINE'	#5	CONTAINER
		SUMMER WINE NINEBARK	48' O.C.	4-6-Su
POD	--	PHYSOCARPUS OPULIFOLIUS 'DART'S GOLD'	#5	CONTAINER
		DART'S GOLD NINEBARK	48' O.C.	3-5-Su
PFJ	--	POTENTILLA FRUTICOSA 'JACKMANNII'	#5	CONTAINER
		JACKMANN POTENTILLA	30' O.C.	2-3-Su
PFS	--	POTENTILLA FRUTICOSA 'McKAY'S WHITE'	#5	CONTAINER
		McKAY'S WHITE POTENTILLA	30' O.C.	2-3-Su
PBP	--	PRUNUS BESSEYI PAWNEE BUTTES	#5	CONTAINER
		CREeping WESTERN SAND CHERRY	36' O.C.	2-2.5-Su
PGR	--	PRUNUS GLANDULOSA 'ROSEA PLENA'	#5	CONTAINER
		PINK FLOWERING ALMOND	48' O.C.	4-6-Su
PFP	--	POTENTILLA FRUTICOSA 'PINK BEAUTY'	#5	CONTAINER
		PINK BEAUTY POTENTILLA	30' O.C.	2-3-Su
RAG	--	RIBES ALPINUM 'GREEN MOUND'	#5	CONTAINER
		GREEN MOUND CURRANT	30' O.C.	3-4-Su-FSh
RAL	--	RHUS AROMATICA 'GRO-LOW'	#5	CONTAINER
		GROW LOW SUMAC	36' O.C.	2-3-Su
RTT	--	RHUS TYPHINA 'TIGER EYES'	#5	CONTAINER
		TIGER EYES SUMAC	6' O.C.	6' - Su
SNB	--	SAMBUCUS NIGRA 'BLACK LACE'	#5	CONTAINER
		BLACK LACE ELDER	6'-0" O.C.	6-10'-Su
SJF	--	SPIRAEA JAPONICA 'FROEBELII'	#5	CONTAINER
		FROEBEL SPIREA	30' O.C.	3-4-Su-FSh
SJG	--	SPIRAEA JAPONICA 'GOLD FLAME'	#5	CONTAINER
		GOLDFLAME SPIREA	30' O.C.	2-3-Su-FSh
SVR	--	SPIRAEA x VANHOUTTEI 'RENAISSANCE'	#5	CONTAINER
		RENAISSANCE VANHOUTTE SPIREA	60' O.C.	5-7-S-FSh
SPM	--	SYRINGA PATULA 'MISS KIM'	#5	CONTAINER
		MISS KIM DWARF LILAC	24' O.C.	3-5-S
ORNAMENTAL GRASSES / PERENNIALS / GROUNDCOVERS				
HSB	--	HELIOTRICHON SEMPERVIRENS	#5	CONTAINER
		BLUE OAT (AVENA) GRASS	24' O.C.	2-3-S
HPB	--	HEMEROCALLIS 'PRAIRIE BLUE EYES'	#1	CONTAINER
		LAVENDER DAYLILY	18' O.C.	2-S
HSO	--	HEMEROCALLIS 'STELLA DE ORO'	#2	CONTAINER
		DWARF GOLD DAYLILY	18' O.C.	2-S
HXF	--	HOSTA x FORTUNEI 'FRANCEE'	#1	CONTAINER
		FRANCEE HOSTA	30' O.C.	1.5-2'-FSh-Sh-WG
HSE	--	HOSTA SIEBOLDIANA 'ELEGANS'	#1	CONTAINER
		BLUE GIANT PLANTAIN LILY	24' O.C.	2-3-FSh-Sh - WG
MSS	--	MISCANTHUS SINENSIS 'MORNING LIGHT'	#5	CONTAINER
		MORNING LIGHT MAIDEN GRASS	30' O.C.	4-S
IPA	--	IRIS PALLIDA - IRIS ENSATA - IRIS x SIBERICA	#1	CONTAINER
		VARIEGATED, JAPANESE, BEARDED IRIS MIX	15' O.C.	2-S-FSh-MIXED-WG
SSB	--	SCHIZACHYRIUM SCOPARIUM 'BLAZE'	#5	CONTAINER
		BLAZE LITTLE BLUESTEM GRASS	24' O.C.	3-4-S - WG
VMB	--	VINCA MINOR 'BOWLES VARIETY'	#1	CONTAINER
		BOWLES PERIWINKLE	18' O.C.	6-ADAPT

PROJECT NUMBER
152699.01

DRAWN BY
AW

DATE
9/26/2016

REVISIONS

REV.	DESCRIPTION	DATE
1	REVISION 1	7/29/2016
2	REVISION 2	09/02/2016
3	REVISION 3	09/26/2016

OUELLETTE & ASSOCIATES
LANDSCAPE ARCHITECTURE

Ouellette & Associates, Inc.
605 Ithaca Drive
Boulder, CO 80305 - 303-245-4255
Colorado Licensed Landscape Architect
Registration # 301

BOULDER ASSOCIATES
ARCHITECTS

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Boulder Community Health

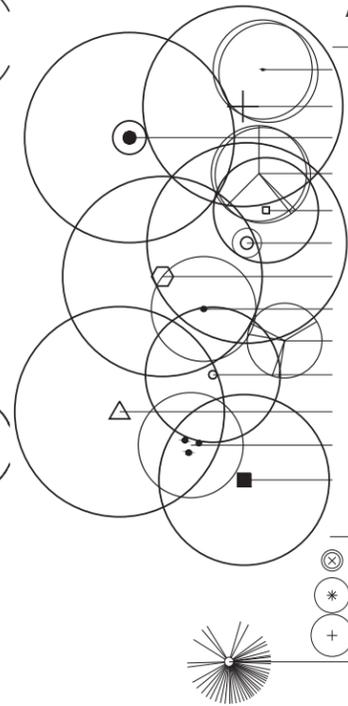
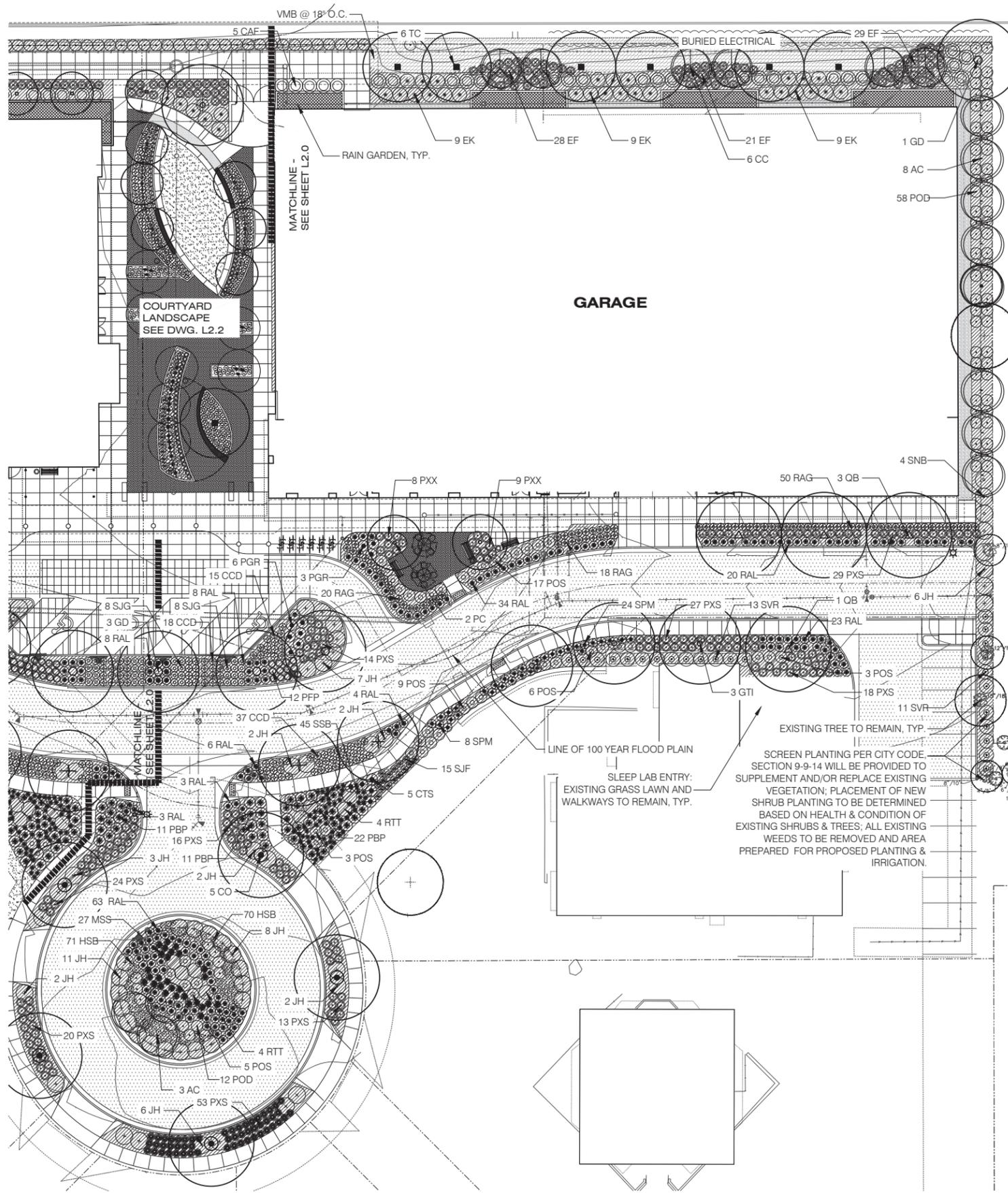
PROJECT
BOULDER COMMUNITY HEALTH RIVERBEND MEDICAL PAVILION AND PARKING GARAGE

SITE REVIEW

LUR 2016-00038-40

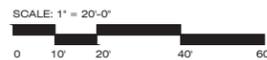
SHEET TITLE
PLANTING PLAN - WEST

SHEET NUMBER
L2.0



ABBR.	QTY	BOTANICAL NAME/COMMON NAME	SIZE	COMMENTS
DECIDUOUS TREES				
AC	11	AMELANCHIER CANADENSIS	8' CLUMP	B&B
CS	6	SHADBLOW SERVICEBERRY	15' O.C.	15-25'-S
CO	6	CATALPA SPECIOSA	2.0'	B&B
CC	6	WESTERN CATALPA	35' O.C.	40' - Su
GB	6	CELTIS OCCIDENTALIS	2.5' CAL	B&B
GTI	3	WESTERN HACKBERRY	35' O.C.	50'-S
GD	9	CERCIS CANADENSIS	2.5' CAL	B&B
MP	3	EASTERN REDBUD	15' O.C.	25'-FSh-Sh
MX	4	GINKGO BILOBA 'PRINCETON SENTRY'	2.0' CAL	B&B
PC	8	PRINCETON SENTRY GINKGO	15' O.C.	35'-S
QB	14	GLEDTISIA TRIACANTHOS 'INERMIS IMPERIAL'	2.5' CAL	B&B
SR	6	IMPERIAL HONEYLOCUST	30' O.C.	35' - Su
TC	7	GYMNOCLADUS DIOICUS 'ESPRESSO'	2.5' CAL	B&B
		KENTUCKY COFFEETREE (SEEDLESS)	35' O.C.	50'-S
		MALUS 'PROFUSION'	2' CAL	B&B
		PROFUSION CRABAPPLE	15' O.C.	25'-S
		MALUS x 'CORALCOLE'	2' CAL	B&B
		CORALBURST CRAB APPLE	12' O.C.	12-15'-S
		PYRUS CALLERYANA 'CHANTICLEER'	2.5' CAL	B&B
		CHANTICLEER PEAR	15' O.C.	20-30'-S
		QUERCUS BICOLOR	2.5' CAL	B&B
		SWAMP WHITE OAK	30' O.C.	30'-40'-S
		SYRINGA RETICULATA	2.5' CAL	B&B
		JAPANESE TREE LILAC	15' O.C.	15-25'-S-FSh
		TILIA CORDATA 'GREENSPIRE'	2.5' O.C.	B&B
		GREENSPIRE LINDEN	25' O.C.	30-40'-S
EVERGREENS				
EF	--	EUONYMUS FORTUNEI 'COLORATUS'	#1	CONTAINER
EK	--	PURPLELEAF WINTERCREEPER	3' O.C.	1-1.5'-FSh-Sh
JH	--	EUONYMUS KIAUTSCHOVICA 'MANHATTAN'	#5	CONTAINER
PP	1	MANHATTAN EUONYMUS	5' O.C.	4-6'-Sh
		JUNIPERUS HORIZONTALIS 'BLUE CHIP'	#5	CONTAINER
		BLUE CHIP JUNIPER	6' O.C.	<1'-S
		PICEA PUNGENS 'HOOPSII'	7'	B&B
		HOOPSII SPRUCE	12' O.C.	25'-ADAPT
DECIDUOUS SHRUBS				
CFG	--	CARAGANA FRUTEX 'GLOBOSA'	#5	CONTAINER
CCD	--	GLOBE RUSSIAN PEA SHRUB	30' O.C.	3-4'-Su
CTS	--	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT'	#5	CONTAINER
CAF	--	DARK KNIGHT BLUE MIST SPIREA	30' O.C.	3-4'-Su
HAA	--	CHAENOMELES SPECIOSA 'TEXAS SCARLET'	#5	CONTAINER
PXS	--	TEXAS SCARLET QUINCE	48' O.C.	3-4'-Su-PSh
POS	--	CORNUS SERICEA 'ISANTI'	#5	CONTAINER
POD	--	ISANTI DOGWOOD	5' O.C.	5'-ADAPT
PFJ	--	HYDRANGEA ARBORESCENS 'ANNABELLE'	#5	CONTAINER
PFS	--	ANNABELLE SMOOTH HYDRANGEA	36' O.C.	3-4'-FSh-Sh
PBP	--	PHILADELPHUS X 'SNOWBELLE'	#5	CONTAINER
PGR	--	SNOWBELLE MOCKORANGE	36' O.C.	3-4'-Su
PFP	--	PHYSOCARPUS OPULIFOLIUS 'SUMMER WINE'	#5	CONTAINER
RAG	--	SUMMER WINE NINEBARK	48' O.C.	4-6'-Su
RAL	--	PHYSOCARPUS OPULIFOLIUS 'DART'S GOLD'	#5	CONTAINER
RTT	--	DART'S GOLD NINEBARK	48' O.C.	3-5'-Su
SNB	--	POTENTILLA FRUTICOSA 'JACKMANNII'	#5	CONTAINER
SJF	--	JACKMANN POTENTILLA	30' O.C.	2-3'-Su
SJG	--	POTENTILLA FRUTICOSA 'McKAY'S WHITE'	#5	CONTAINER
SVR	--	McKAY'S WHITE POTENTILLA	30' O.C.	2-3'-Su
SPM	--	PRUNUS BESSEYI 'PAWNEE BUTTES'	#5	CONTAINER
		CREeping WESTERN SAND CHERRY	36' O.C.	2-2.5'-Su
		PRUNUS GLANDULOSA 'ROSEA PLENA'	#5	CONTAINER
		PINK FLOWERING ALMOND	48' O.C.	4-6'-Su
		POTENTILLA FRUTICOSA 'PINK BEAUTY'	#5	CONTAINER
		PINK BEAUTY POTENTILLA	30' O.C.	2-3'-Su
		RIBES ALPINUM 'GREEN MOUND'	#5	CONTAINER
		GREEN MOUND CURRANT	30' O.C.	3-4'-Su-FSh
		RHUS AROMATICA 'GRO-LOW'	#5	CONTAINER
		GROW LOW SUMAC	36' O.C.	2-3'-Su
		RHUS TYPHINA 'TIGER EYES'	#5	CONTAINER
		TIGER EYES SUMAC	6' O.C.	6' - Su
		SAMBUCUS NIGRA 'BLACK LACE'	#5	CONTAINER
		BLACK LACE ELDER	6-0' O.C.	6-10'-Su
		SPIRAEA JAPONICA 'FROEBELII'	#5	CONTAINER
		FROEBEL SPIREA	30' O.C.	3-4'-Su-FSh
		SPIRAEA JAPONICA 'GOLD FLAME'	#5	CONTAINER
		GOLDFLAME SPIREA	30' O.C.	2-3'-Su-FSh
		SPIRAEA x VANHOUTTEI 'RENAISSANCE'	#5	CONTAINER
		RENAISSANCE VANHOUTTE SPIREA	60' O.C.	5-7'-S-FSh
		SYRINGA PATULA 'MISS KIM'	#5	CONTAINER
		MISS KIM DWARF LILAC	24' O.C.	3-5'-S
ORNAMENTAL GRASSES / PERENNIALS / GROUNDCOVERS				
HSB	--	HELICTOTRICHON SEMPERVIRENS	#5	CONTAINER
HPB	--	BLUE OAT (AVENA) GRASS	24' O.C.	2-3'-S
HSO	--	HEMEROCALLIS 'PRAIRIE BLUE EYES'	#1	CONTAINER
HXF	--	LAVENDER DAYLILY	18' O.C.	2'-S
HSE	--	HEMEROCALLIS 'STELLA DE ORO'	#2	CONTAINER
MSS	--	DWARF GOLD DAYLILY	18' O.C.	2'-S
IPA	--	HOSTA x FORTUNEI 'FRANCEE'	#1	CONTAINER
SSB	--	FRANCEE HOSTA	30' O.C.	1.5-2'-FSh-Sh-WG
VMB	--	HOSTA SIEBOLDIANA 'ELEGANS'	#1	CONTAINER
		BLUE GIANT PLANTAIN LILY	24' O.C.	2-3'-FSh-Sh - WG
		MISCANTHUS SINENSIS 'MORNING LIGHT'	#5	CONTAINER
		MORNING LIGHT MAIDEN GRASS	30' O.C.	4'-S
		IRIS PALLIDA - IRIS ENSATA - IRIS x SIBERICA	#1	CONTAINER
		VARIATED, JAPANESE, BEARDED IRIS MIX	15' O.C.	2'-S-FSh-MIXED-WG
		SCHIZACHYRIUM SCOPARIUM 'BLAZE'	#5	CONTAINER
		BLAZE LITTLE BLUESTEM GRASS	24' O.C.	3-4'-S - WG
		VINCA MINOR 'BOWLES VARIETY'	#1	CONTAINER
		BOWLES PERIWINKLE	18' O.C.	6'-ADAPT

1 PLANTING PLAN - EAST
SCALE: 1" = 20'-0"



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PROJECT
BOULDER COMMUNITY HEALTH RIVERBEND MEDICAL PAVILION AND PARKING GARAGE

SITE REVIEW

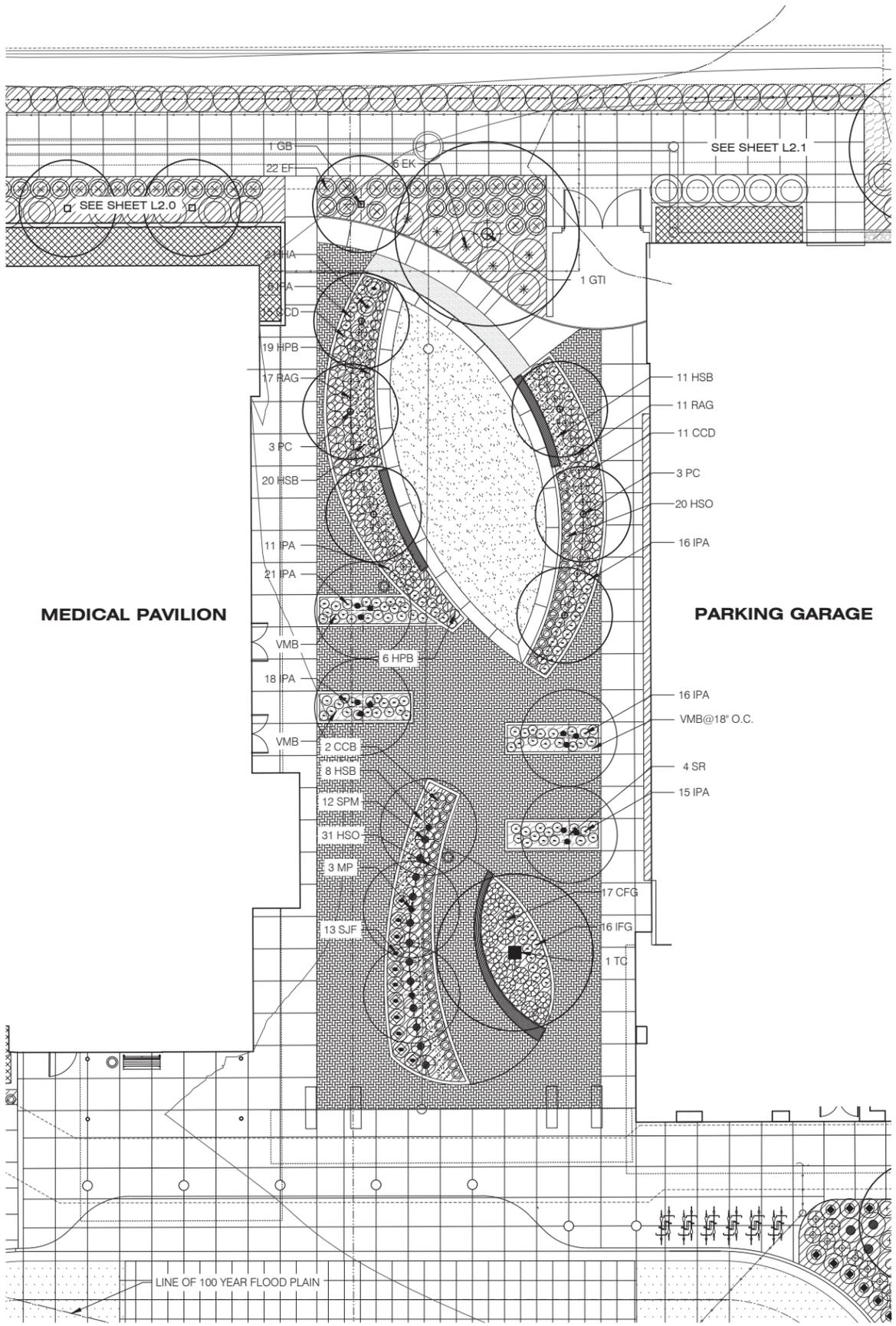
LUR 2016-00038-40

SHEET TITLE

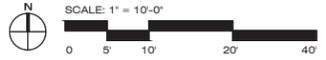
PLANTING PLAN - EAST

SHEET NUMBER

L2.1



1 PLANTING PLAN - COURTYARD GARDEN
SCALE: 1" = 10'-0"



PLANT LEGEND

ABBR.	QTY	BOTANICAL NAME/COMMON NAME	SIZE	COMMENTS
DECIDUOUS TREES				
AC	11	AMELANCHIER CANADENSIS	8' CLUMP	B&B
CS	6	SHADBLow SERVICEBERRY	15' O.C.	15-25'-S
CO	6	CATALPA SPECIOSA	2.0'	B&B
		WESTERN CATALPA	35' O.C.	40' - Su
		CELTIS OCCIDENTALIS	2.5' CAL	B&B
		WESTERN HACKBERRY	35' O.C.	50'-S
CC	6	CERCIS CANADENSIS	2.5' CAL	B&B
		EASTERN REDBUD	15' O.C.	25'-Fsh-Sh
GB	6	GINGKO BILOBA 'PRINCETON SENTRY'	2.0' CAL	B&B
		PRINCETON SENTRY GINKGO	15' O.C.	35'-S
GTI	3	GLEDTISIA TRIACANTHOS INERMIS IMPERIAL	2.5' CAL	B&B
		IMPERIAL HONEYLOCUST	30' O.C.	35' - Su
GD	9	GYMNOCLADUS DIOICUS 'ESPRESSO'	2.5' CAL	B&B
		KENTUCKY COFFEETREE (SEEDLESS)	35' O.C.	50'-S
MP	3	MALLUS 'PROFUSION'	2' CAL	B&B
		PROFUSION CRABAPPLE	15' O.C.	25'-S
MX	4	MALLUS x 'CORALCOLE'	2' CAL	B&B
		CORALBURST CRAB APPLE	12' O.C.	12-15'-S
PC	8	PYRUS CALLERYANA 'CHANTICLEER'	2.5' CAL	B&B
		CHANTICLEER PEAR	15' O.C.	20-30'-S
QB	14	QUERCUS BICOLOR	2.5' CAL	B&B
		SWAMP WHITE OAK	30' O.C.	30'-40'-S
SR	6	SYRINGA RETICULATA	2.5' CAL	B&B
		JAPANESE TREE LILAC	15' O.C.	15-25'-S-Fsh
TC	7	TILIA CORDATA 'GREENSPIRE'	2.5' O.C.	B&B
		GREENSPIRE LINDEN	25' O.C.	30-40'-S
EVERGREENS				
EF	--	EUONYMUS FORTUNEI 'COLORATUS'	#1	CONTAINER
		PURPLELEAF WINTERCREEPER	3' O.C.	1-1.5'-Fsh-Sh
EK	--	EUONYMUS KIAUTSCHOVICA 'MANHATTAN'	#5	CONTAINER
		MANHATTAN EUONYMUS	5' O.C.	4-6'-Sh
JH	--	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	#5	CONTAINER
		BLUE CHIP JUNIPER	6' O.C.	<1'-S
PP	1	PICEA PUNGENS 'HOOPSI'	7'	B&B
		HOOPSI SPRUCE	12' O.C.	25'-ADAPT
DECIDUOUS SHRUBS				
CFG	--	CARAGANA FRUTEX 'GLOBOSA'	#5	CONTAINER
		GLOBE RUSSIAN PEA SHRUB	30' O.C.	3-4'-Su
CCD	--	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT'	#5	CONTAINER
		DARK KNIGHT BLUE MIST SPIREA	30' O.C.	3-4'-Su
CTS	--	CHAENOMELES SPECIOSA 'TEXAS SCARLET'	#5	CONTAINER
		TEXAS SCARLET QUINCE	48' O.C.	3-4'-Su-PSh
CAF	--	CORNUS SERICEA 'ISANTI'	#5	CONTAINER
		ISANTI DOGWOOD	5' O.C.	5'-ADAPT
HAA	--	HYDRANGEA ARBORESCENS 'ANNABELLE'	#5	CONTAINER
		ANNABELLE SMOOTH HYDRANGEA	36' O.C.	3-4'-Fsh-Sh
PXS	--	PHILADELPHUS X 'SNOWBELLE'	#5	CONTAINER
		SNOWBELLE MOCKORANGE	36' O.C.	3-4'-Su
POS	--	PHYSOCARPUS OPULIFOLIUS 'SUMMER WINE'	#5	CONTAINER
		SUMMER WINE NINEBARK	48' O.C.	4-6'-Su
POD	--	PHYSOCARPUS OPULIFOLIUS 'DART'S GOLD'	#5	CONTAINER
		DART'S GOLD NINEBARK	48' O.C.	3-5'-Su
PFJ	--	POTENTILLA FRUTICOSA 'JACKMANNII'	#5	CONTAINER
		JACKMANN POTENTILLA	30' O.C.	2-3'-Su
PFS	--	POTENTILLA FRUTICOSA 'McKAY'S WHITE'	#5	CONTAINER
		McKAY'S WHITE POTENTILLA	30' O.C.	30' O.C.
PBP	--	PRUNUS BESSEYI PAWNEE BUTTES	#5	CONTAINER
		CREEPING WESTERN SAND CHERRY	36' O.C.	2-2.5'-Su
PGR	--	PRUNUS GLANDULOSA 'ROSEA PLENA'	#5	CONTAINER
		PINK FLOWERING ALMOND	48' O.C.	4-6'-Su
PFP	--	POTENTILLA FRUTICOSA 'PINK BEAUTY'	#5	CONTAINER
		PINK BEAUTY POTENTILLA	30' O.C.	2-3'-Su
RAG	--	RIBES ALPINUM 'GREEN MOUND'	#5	CONTAINER
		GREEN MOUND CURRRANT	30' O.C.	3-4'-Su-Fsh
RAL	--	RHUS AROMATICA 'GRO-LOW'	#5	CONTAINER
		GROW LOW SUMAC	36' O.C.	2-3'-Su
RTT	--	RHUS TYPHINA 'TIGER EYES'	#5	CONTAINER
		TIGER EYES SUMAC	6' O.C.	6' - Su
SNB	--	SAMBUCUS NIGRA 'BLACK LACE'	#5	CONTAINER
		BLACK LACE ELDER	6'-0' O.C.	6'-10'-Su
SJF	--	SPIRAEA JAPONICA 'FROEBELII'	#5	CONTAINER
		FROEBEL SPIREA	30' O.C.	3-4'-Su-Fsh
SJG	--	SPIRAEA JAPONICA 'GOLD FLAME'	#5	CONTAINER
		GOLDFLAME SPIREA	30' O.C.	2-3'-Su-Fsh
SVR	--	SPIRAEA x VANHOUTTEI 'RENAISSANCE'	#5	CONTAINER
		RENAISSANCE VANHOUTTE SPIREA	60' O.C.	5-7'-S-Fsh
SPM	--	SYRINGA PATULA 'MISS KIM'	#5	CONTAINER
		MISS KIM DWARF LILAC	24' O.C.	3-5'-S
ORNAMENTAL GRASSES / PERENNIALS / GROUNDCOVERS				
HSB	--	HELICTOTRICHON SEMPERVIRENS	#5	CONTAINER
		BLUE OAT (AVENA) GRASS	24' O.C.	2-3'-S
HPB	--	HEMEROCALLIS 'PRAIRIE BLUE EYES'	#1	CONTAINER
		LAVENDER DAYLILY	18' O.C.	2'-S
HSO	--	HEMEROCALLIS 'STELLA DE ORO'	#2	CONTAINER
		DWARF GOLD DAYLILY	18' O.C.	2'-S
HXF	--	HOSTA x FORTUNEI 'FRANCEE'	#1	CONTAINER
		FRANCEE HOSTA	30' O.C.	1.5-2'-Fsh-Sh-WG
HSE	--	HOSTA SIEBOLDIANA 'ELEGANS'	#1	CONTAINER
		BLUE GIANT PLANTAIN LILY	24' O.C.	2-3'-Fsh-Sh - WG
MSS	--	MISCANTHUS SINENSIS 'MORNING LIGHT'	#5	CONTAINER
		MORNING LIGHT MAIDEN GRASS	30' O.C.	4'-S
IPA	--	IRIS PALLIDA - IRIS ENSATA - IRIS x SIBERICA	#1	CONTAINER
		VARIEGATED, JAPANESE, BEARDED IRIS MIX	15' O.C.	2'-S-Fsh-MIXED-WG
SSB	--	SCHIZACHYRIUM SCOPARIUM 'BLAZE'	#5	CONTAINER
		BLAZE LITTLE BLUESTEM GRASS	24' O.C.	3-4'-S - WG
VMB	--	VINCA MINOR 'BOWLES VARIETY'	#1	CONTAINER
		BOWLES PERIWINKLE	18' O.C.	6'-ADAPT

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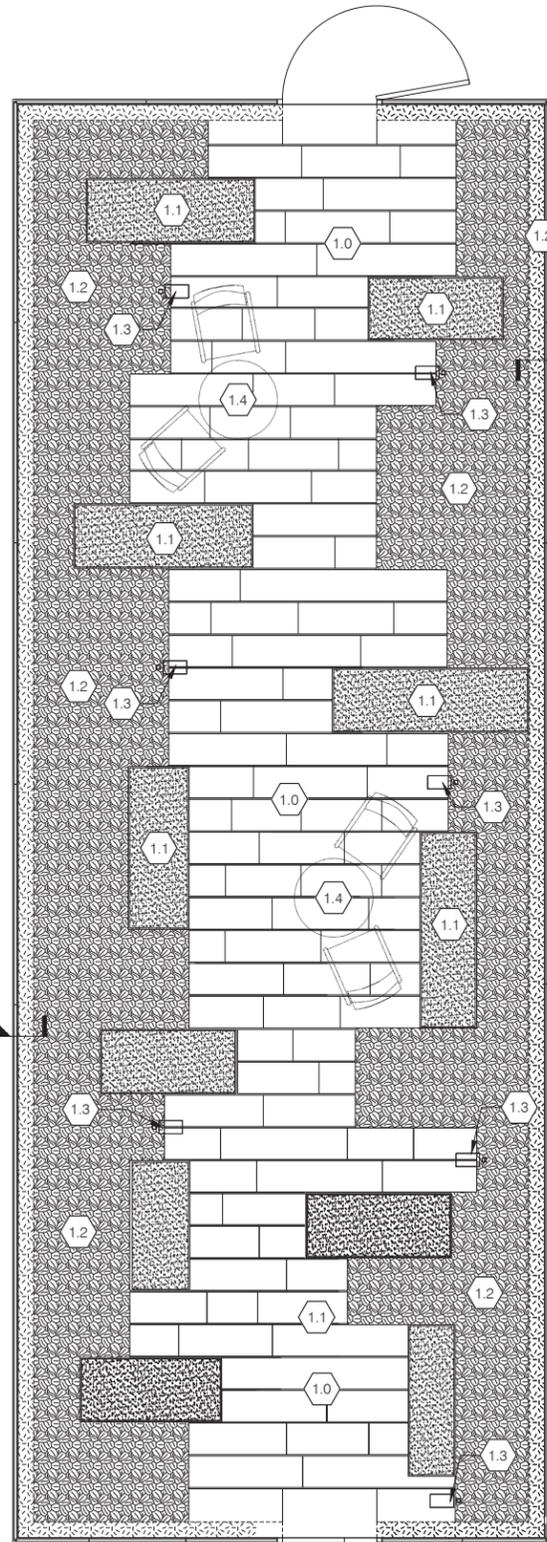
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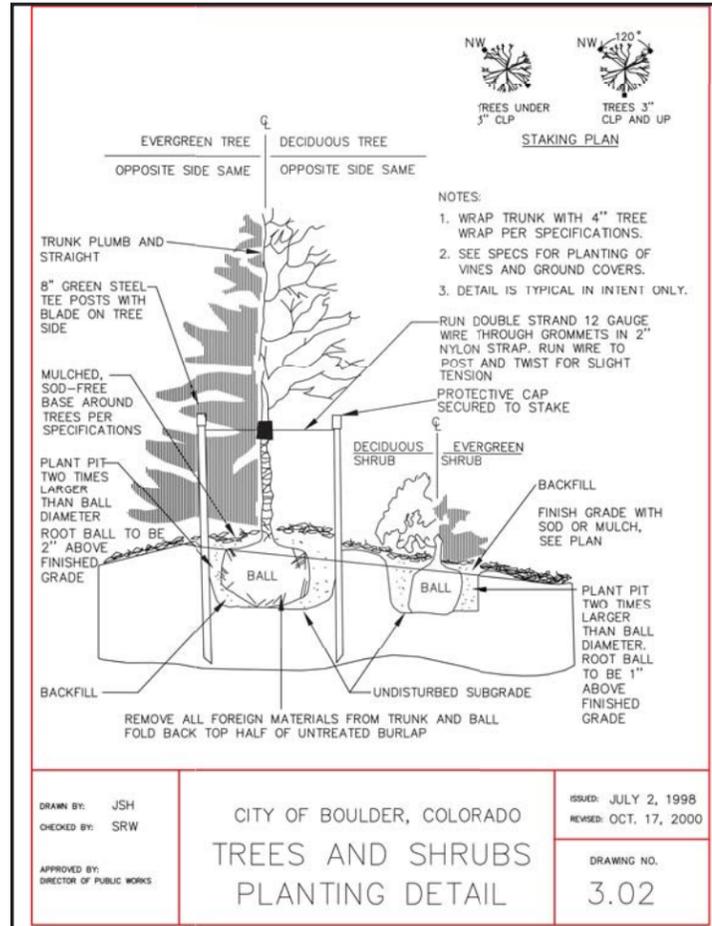
SHEET TITLE
COURTYARD PLANTING PLAN

SHEET NUMBER

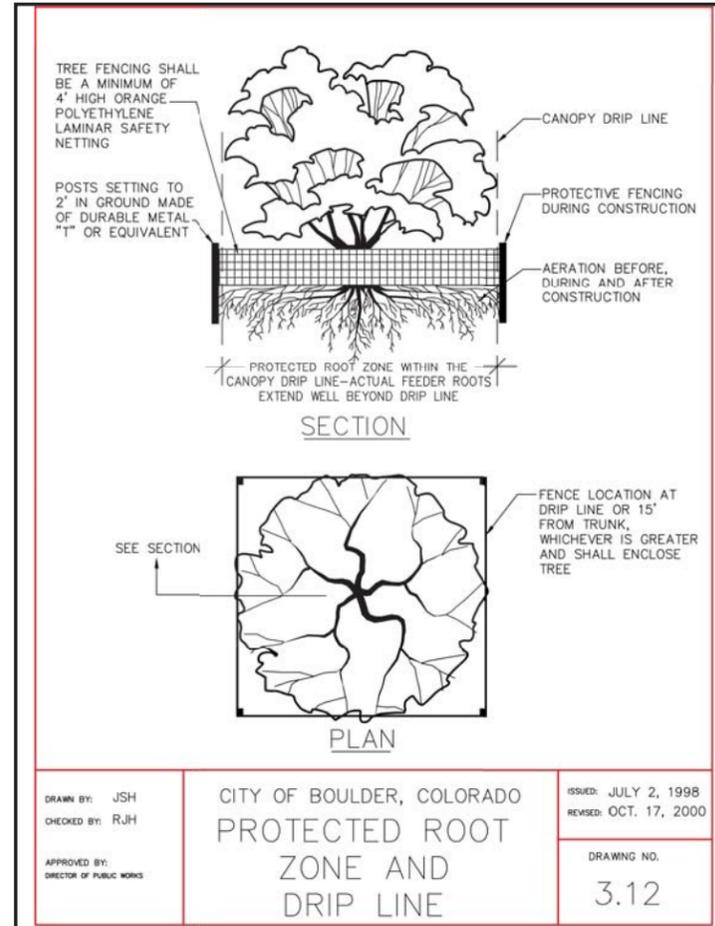
L2.2



1 THIRD FLOOR COURTYARD - SCHEMATIC PLAN
SCALE: 3/8" = 1'-0"



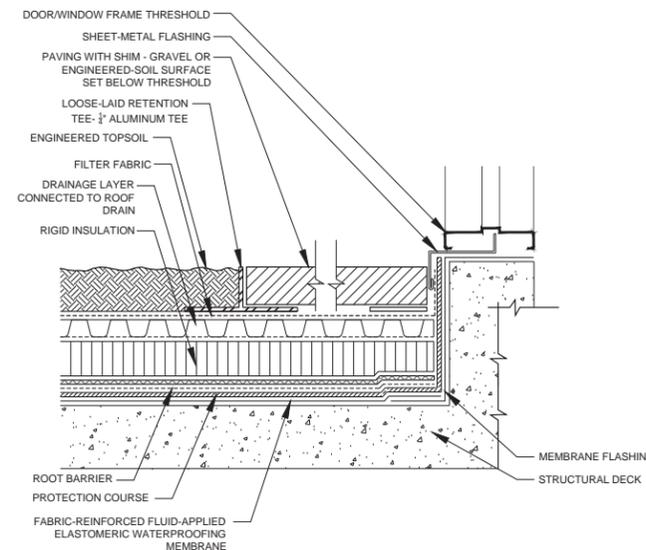
2 CITY OF BOULDER PLANTING DETAIL
SCALE: N.T.S



3 CITY OF BOULDER TREE PROTECTION DETAIL
SCALE: N.T.S

THIRD FLOOR COURTYARD LANDSCAPE MATERIAL

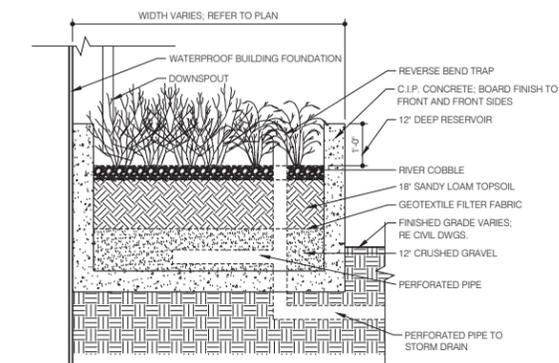
- 1.0 12" WIDE x RANDOM LENGTH x 2" THK. SAW CUT SANDSTONE PAVERS
- 1.1 SANDSTONE BENCHES: 20" HIGH x 12"-24" WIDE x RANDOM LENGTH, SAW CUT, SOLID RED SANDSTONE
- 1.2 GROUND COVER AND LOW ORNAMENTAL GRASSES IN MANUFACTURED LIGHTWEIGHT TOPSOIL
- 1.3 BOLLARD LIGHTING
- 1.4 TABLE & CHAIRS



4 THIRD FLOOR COURTYARD - SECTION DETAIL
SCALE: 3/8" = 1'-0"

RAIN GARDEN PLANTING PALETTE

AQU	--	AQUILEGIA COERULEA	#1	CONTAINER
		ROCKY MOUNTAIN COLUMBINE	12" O.C.	1'-FSh-Sh
CMO	--	CAREX MORROWII 'ICE DANCE'	#1	CONTAINER
		VARIEGATED JAPANESE SEDGE	18" O.C.	12"-FSh-Sh
DPU	--	DALEA PURPUREA	#1	CONTAINER
		PURPLE PRAIRIE CLOVER	18" O.C.	2'-S
EPU	--	ECHINACEA PURPUREA	#1	CONTAINER
		PURPLE CONEFLOWER	24" O.C.	2'-S
EGO	--	ERIOGONUM UMBELLATUM 'KANNAH CREEK'	#1	CONTAINER
		SULPHUR FLOWER	18" O.C.	6'-12"-S
GAR	--	GALLARDIA ARISTATA	#1	CONTAINER
		NATIVE BLANKET FLOWER	18" O.C.	18"-S
SPH	--	SPOROBOLUS HETEROLEPSIS	#1	CONTAINER
		PRAIRIE DROPSEED GRASS	18" O.C.	24"-S



5 RAIN GARDEN - TYPICAL SECTION DETAIL
SCALE: 3/8" = 1'-0"

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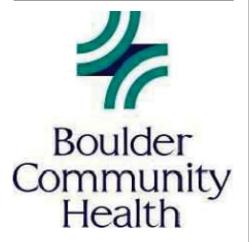
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SITE REVIEW

LUR 2016-00038-40

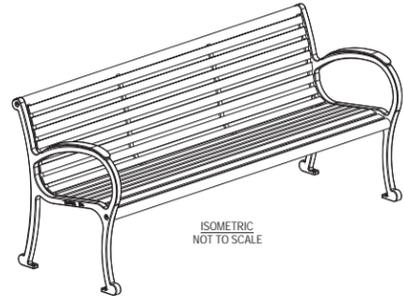
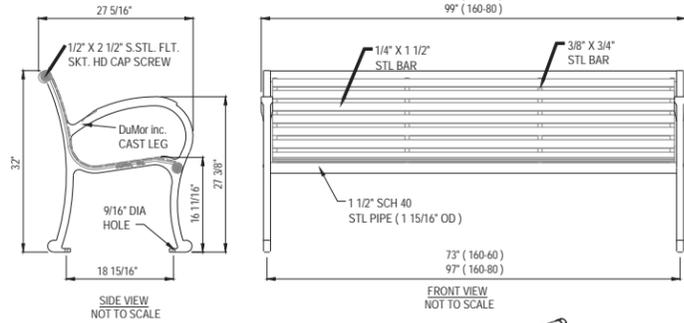
SHEET TITLE
THIRD FLOOR COURTYARD & DETAILS

SHEET NUMBER

L2.3



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15 INDUSTRIAL CIRCLE, P.O. BOX 142
MIFFLINTOWN, PA 17059-0142
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PHONE: (717) 436-2106
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www.dumor.com



- SELECT DESIRED LENGTH
 6' BENCH
 8' BENCH

NOTES:

1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. DO NOT SCALE DRAWINGS.
3. ALL STL. MEMBERS COATED W/ ZINC RICH EPOXY THEN FINISHED W/ POLYESTER POWDER COATING.
4. BENCH IS SHIPPED UNASSEMBLED.
5. 1/2" X 3/4" EXPANSION ANCHOR BOLTS PROVIDED.
6. CONTRACTOR'S NOTE: FOR PRODUCT AND PURCHASING INFORMATION VISIT www.CADdetails.com/info REFERENCE NUMBER 017-237.

160 SERIES STEEL BENCH
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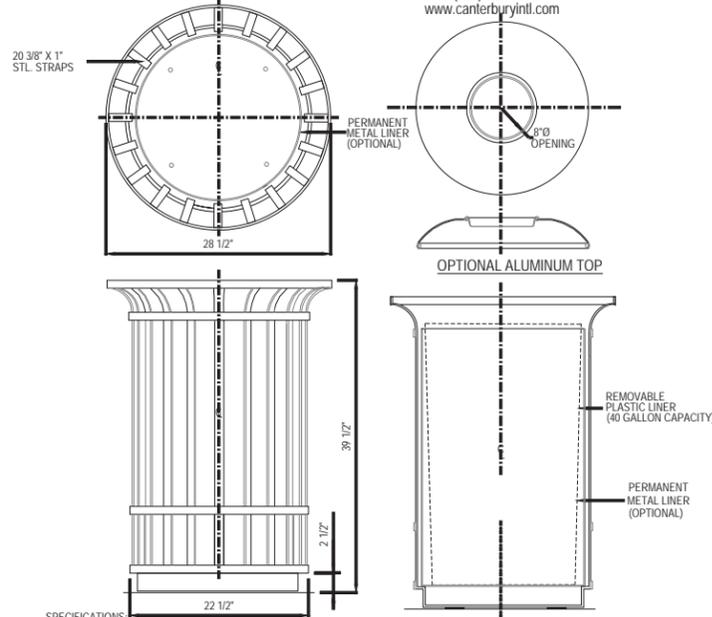
REVISION DATE 04/21/2015
CADdetails.com

1 BOULDER COMMUNITY HEALTH STANDARD BENCH

SUBJECT TO CHANGE - UNDER REVIEW - ALTERNATIVE BENCH WILL BE EQUAL OR BETTER QUALITY N.T.S.



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5632 W. WASHINGTON BLVD.
LOS ANGELES, CA 90016
1 (800) 935-7111
PHONE (323) 936-7111
FAX (323) 936-7115
www.canterburyintl.com



SPECIFICATIONS
BARREL - WELDED CONSTRUCTION WITH 1 X 3/8" STL. STRAPS
BOTTOM - STEEL CROSS BAR WITH 4 MOUNTING TABS 1/4" HOLES (4 PCS.)
PLASTIC LINER - RIGID REMOVABLE PLASTIC - 40 GALLON CAPACITY.
METAL LINER - OPTIONAL DECORATIVE PERMANENT STEEL LINER.
FINISHES: PAINTED FINISH IN COLORS PER OUR STANDARD COLOR CHART. CUSTOM COLORS AVAILABLE.

PACKAGING: UNIT SHIPPED FULLY ASSEMBLED.
ORDERING: SPECIFY "BOWERY TRASH RECEPTACLE" PLUS TOP (OPTIONAL) AND METAL LINER (OPTIONAL) AND FINISH.

NOTES:

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2. DO NOT SCALE DRAWINGS.
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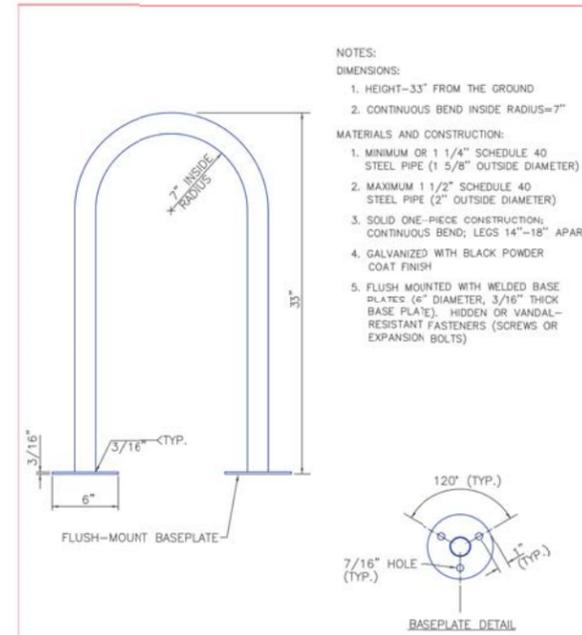
BOWERY TRASH RECEPTACLE
N.T.S.

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2 BOULDER COMMUNITY HEALTH STANDARD TRASH RECEPTACLE

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CHECKED BY: RJH

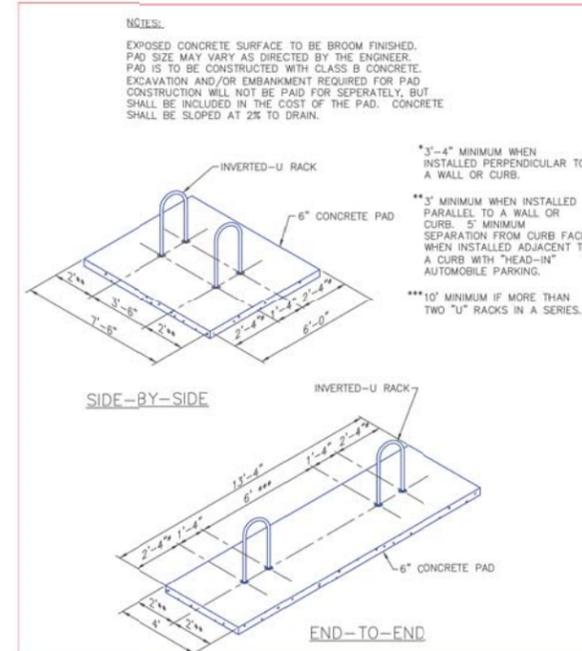
CITY OF BOULDER, COLORADO

INVERTED "U" BICYCLE RACKS

ISSUED: JULY 2, 1998
REVISED: OCT 6, 2009

DRAWING NO.
2.52.A

APPROVED BY:
DIRECTOR OF PUBLIC WORKS



DRAWN BY: JSH
CHECKED BY: RJH

CITY OF BOULDER, COLORADO

INVERTED "U" BICYCLE RACKS

ISSUED: JULY 2, 1998
REVISED: OCT 6, 2009

DRAWING NO.
2.52.B

APPROVED BY:
DIRECTOR OF PUBLIC WORKS

3 CITY OF BOULDER INVERTED U BICYCLE RACK DETAILS

SCALE: N.T.S.

PROJECT NUMBER
152699.01

DRAWN BY
AW

DATE
9/26/2016

REVISIONS

REV.	DESCRIPTION	DATE
1	REVISION 1	7/29/2016
2	REVISION 2	09/02/2016
3	REVISION 3	09/26/2016



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605 Ithaca Drive
Boulder, CO 80305 - 303-245-4255
Colorado Licensed Landscape Architect
Registration #301

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Boulder Community Health

PROJECT

BOULDER COMMUNITY HEALTH RIVERBEND MEDICAL PAVILION AND PARKING GARAGE

SITE REVIEW

LUR 2016-00038-40

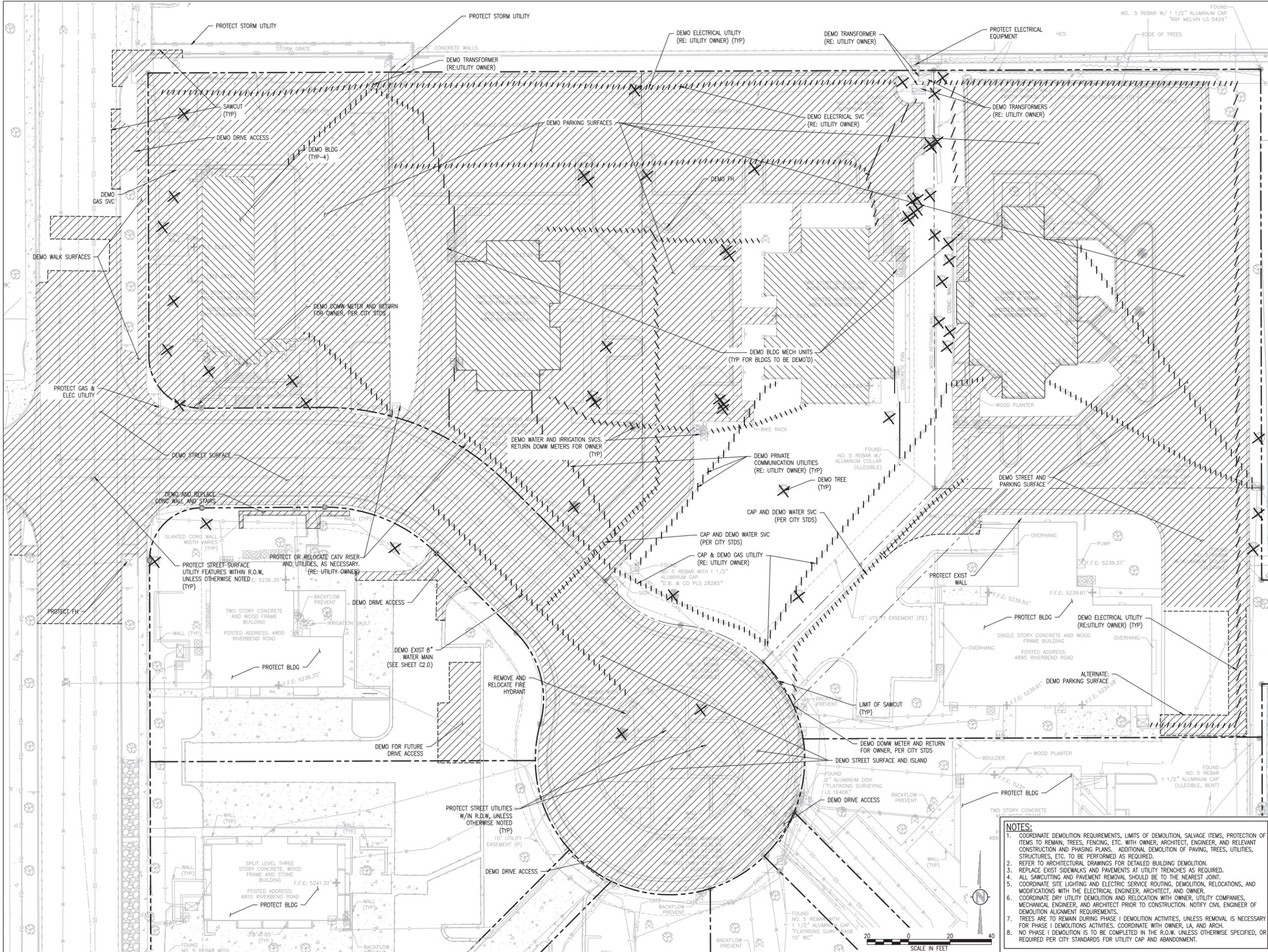
SHEET TITLE

SITE FURNISHINGS

SHEET NUMBER

L3.0

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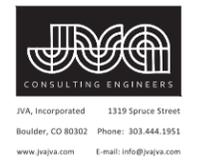


PROJECT NUMBER
152699.01

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MGR

DATE
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1	REVISION #1	07/29/2016
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Boulder Community Health

PROJECT
BOULDER COMMUNITY HEALTH RIVERBEND MEDICAL PAVILION AND PARKING GARAGE

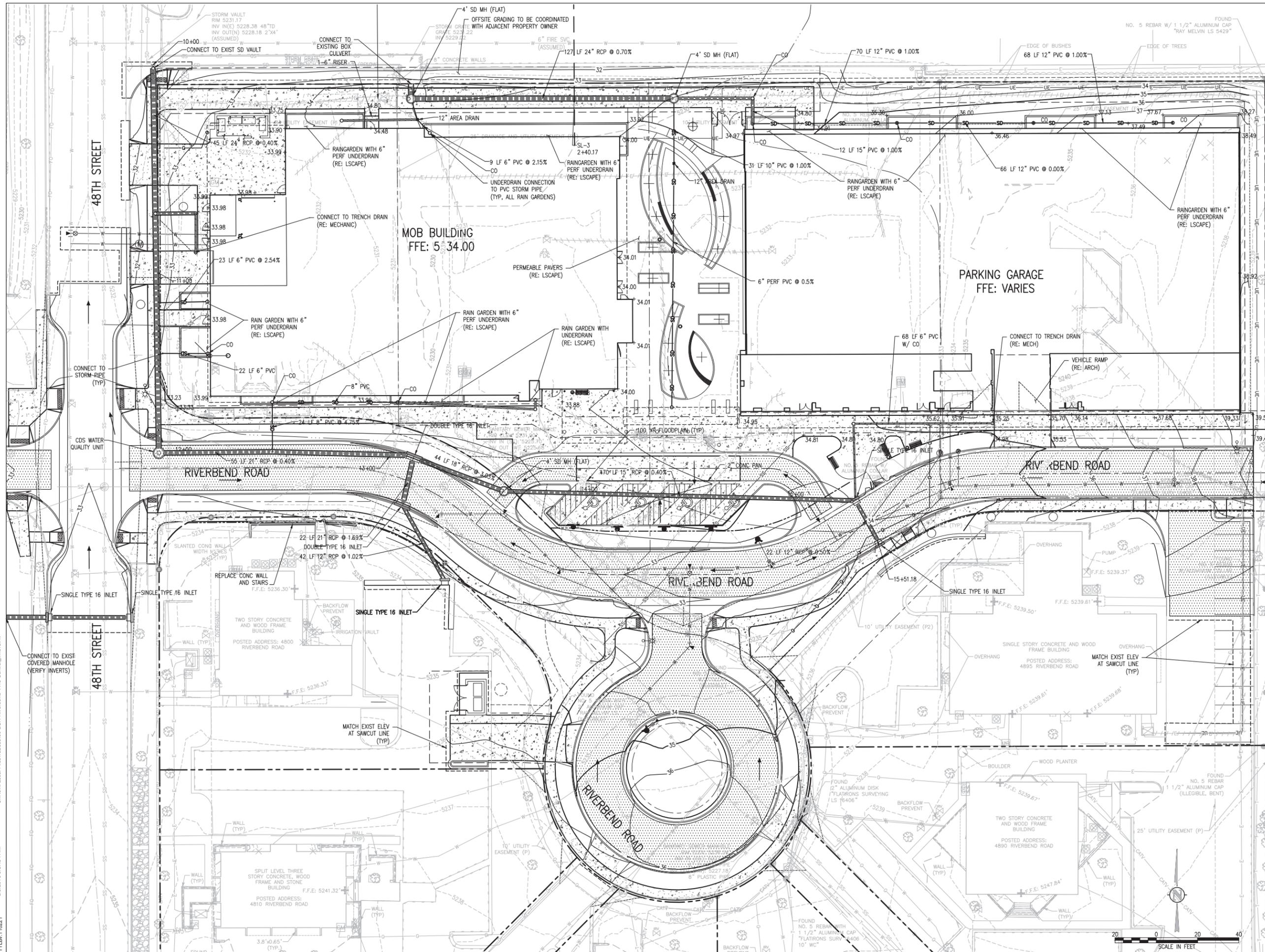
SITE REVIEW

LUR2016-00038-40

SHEET TITLE
DEMOLITION PLAN

SHEET NUMBER
C0.3

- NOTES:**
- COORDINATE DEMOLITION REQUIREMENTS, LIMITS OF DEMOLITION, SALVAGE ITEMS, PROTECTION OF ITEMS TO REMAIN, TREES, FENCING, ETC. WITH OWNER, ARCHITECT, ENGINEER, AND RELEVANT CONSTRUCTION AND PHASING PLANS. ADDITIONAL DEMOLITION OF PAVING, TREES, UTILITIES, STRUCTURES, ETC. TO BE PERFORMED AS REQUIRED.
 - REFER TO ARCHITECTURAL DRAWINGS FOR DETAILED BUILDING DEMOLITION.
 - REPLACE EXIST SIDEWALKS AND PAVEMENTS AT UTILITY TRENCHES AS REQUIRED.
 - ALL SAWCUTTING AND PAVEMENT REMOVAL SHOULD BE TO THE NEAREST JOINT.
 - COORDINATE SITE LIGHTING AND ELECTRIC SERVICE ROUTING, DEMOLITION, RELOCATIONS, AND MODIFICATIONS WITH THE ELECTRICAL ENGINEER, ARCHITECT, AND OWNER.
 - COORDINATE DRY UTILITY DEMOLITION AND RELOCATION WITH OWNER, UTILITY COMPANIES, MECHANICAL ENGINEER, AND ARCHITECT PRIOR TO CONSTRUCTION. NOTIFY CIVIL ENGINEER OF DEMOLITION ALIGNMENT REQUIREMENTS.
 - TREES ARE TO REMAIN DURING PHASE I DEMOLITION ACTIVITIES, UNLESS REMOVAL IS NECESSARY FOR PHASE I DEMOLITIONS ACTIVITIES. COORDINATE WITH OWNER, LA, AND ARCH.
 - NO PHASE I DEMOLITION IS TO BE COMPLETED IN THE R.O.W. UNLESS OTHERWISE SPECIFIED, OR REQUIRED PER CITY STANDARDS FOR UTILITY CAP AND ABANDONMENT.



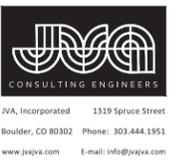
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PROJECT
BOULDER COMMUNITY HEALTH RIVERBEND MEDICAL PAVILION AND PARKING GARAGE

SITE REVIEW

LUR2016-00038-40

SHEET TITLE
GRADING AND DRAINAGE PLAN

SHEET NUMBER

C1.0



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FFE: VARIES

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Boulder Community Health

PROJECT
BOULDER COMMUNITY HEALTH RIVERBEND MEDICAL PAVILION AND PARKING GARAGE

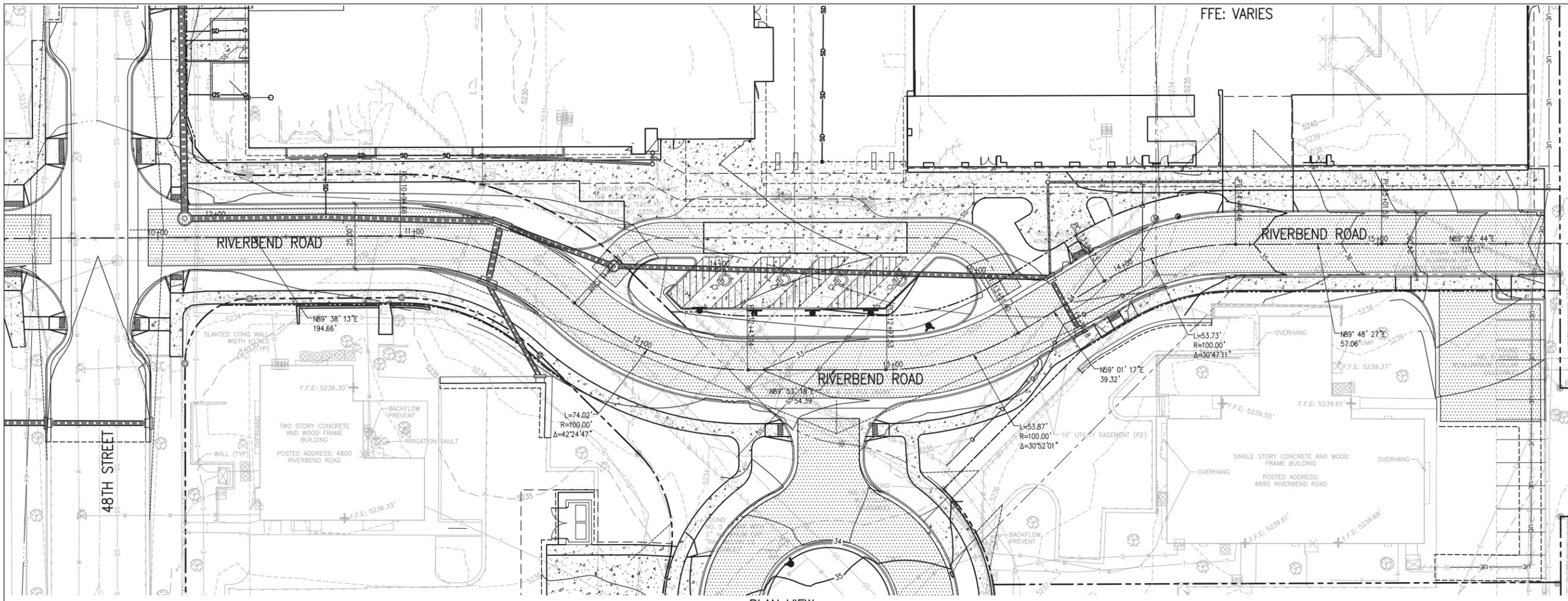
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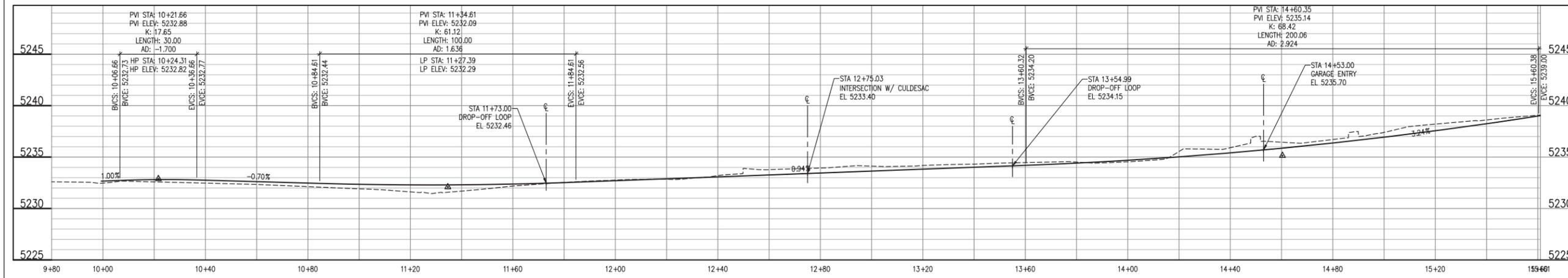
SHEET TITLE
RIVERBEND ROAD PLAN AND PROFILE

SHEET NUMBER

C1.1

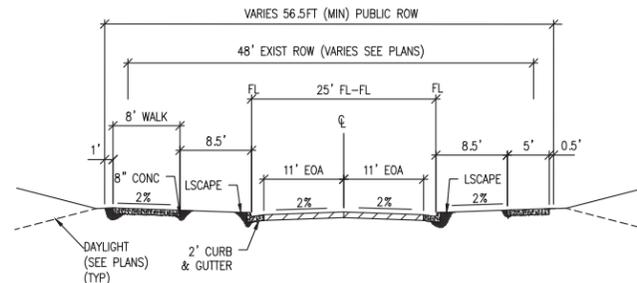


PLAN VIEW

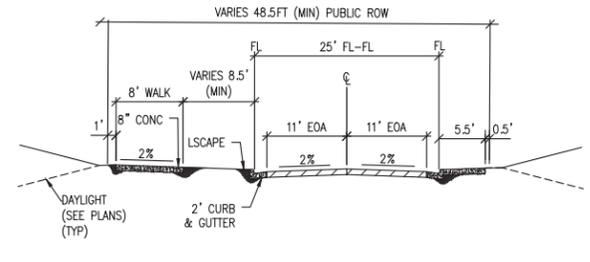


RIVERBEND ROAD PROFILE

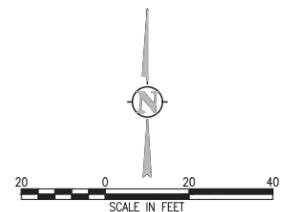
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1"=5' VERT



WEST ROAD SECTION ON RIVERBEND ROAD (PUBLIC)
N.T.S.

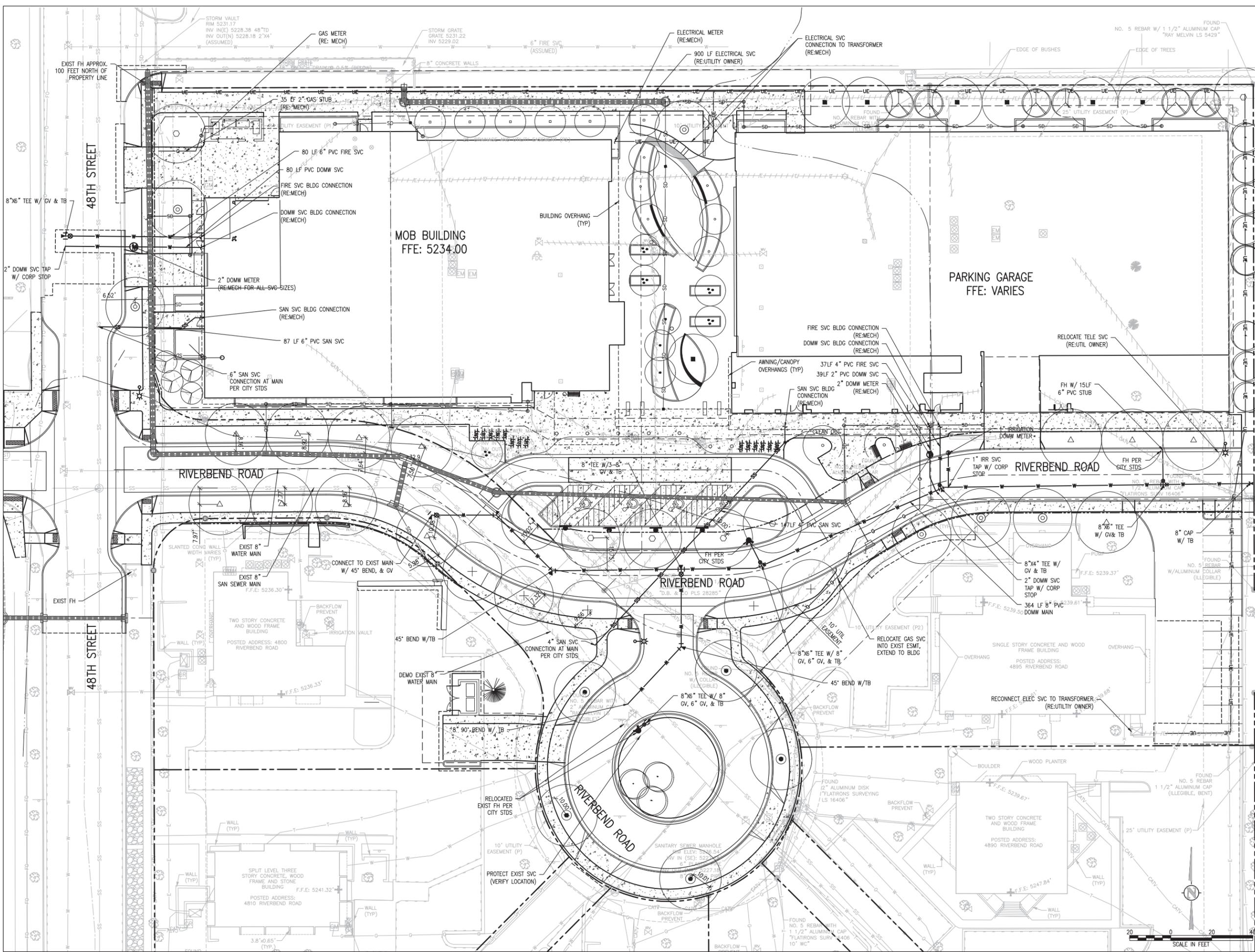


EAST ROAD SECTION ON RIVERBEND ROAD (PUBLIC)
N.T.S.



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PROJECT
BOULDER COMMUNITY HEALTH RIVERBEND MEDICAL PAVILION AND PARKING GARAGE

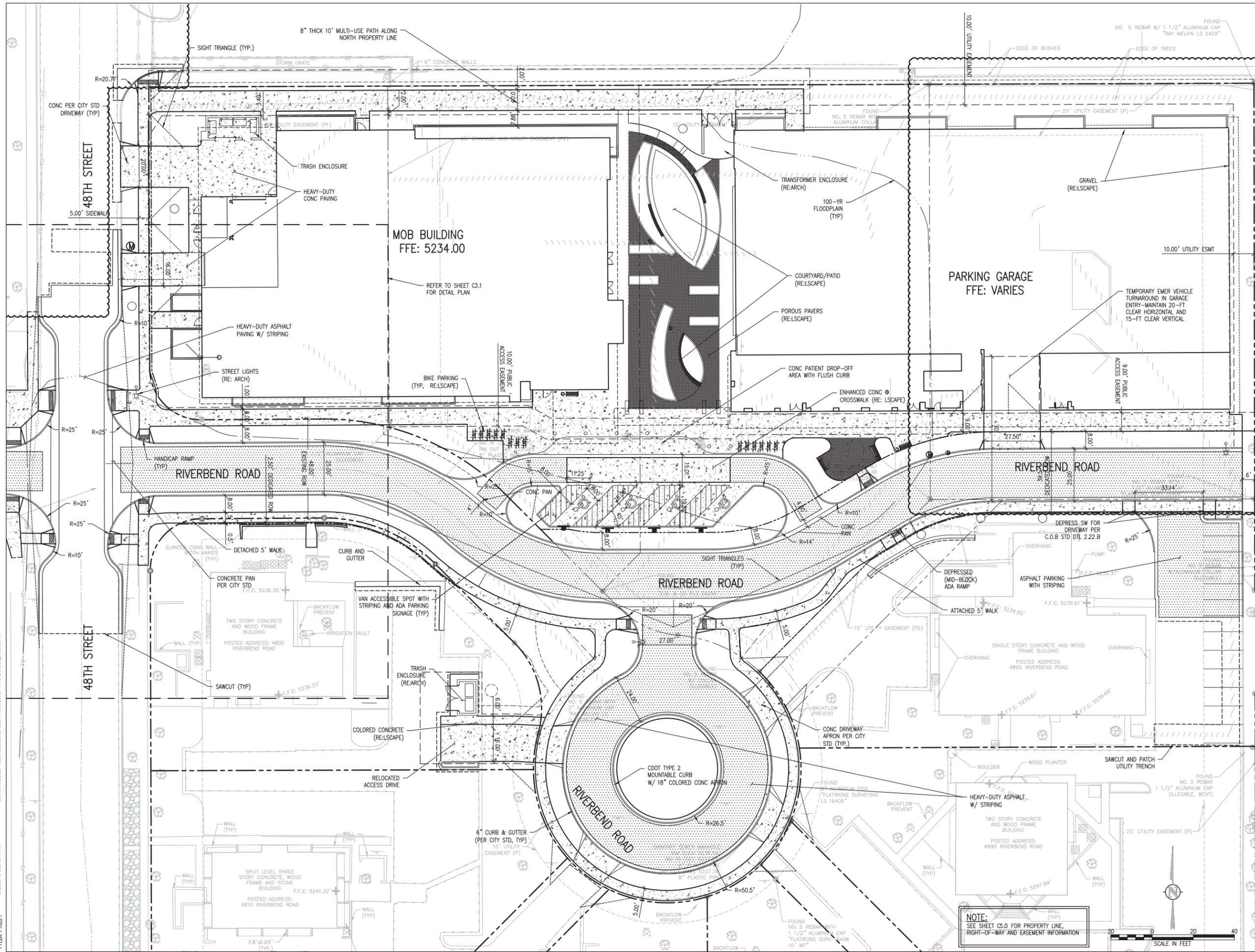
SITE REVIEW

LUR2016-00038-40

SHEET TITLE
UTILITY PLAN

SHEET NUMBER

C2.0



PROJECT NUMBER
152699.01

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Boulder Community Health

PROJECT
BOULDER COMMUNITY HEALTH RIVERBEND MEDICAL PAVILION AND PARKING GARAGE

SITE REVIEW

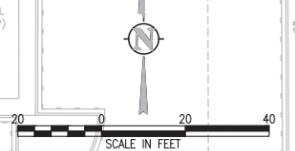
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SHEET TITLE
HORIZONTAL CONTROL PLAN

SHEET NUMBER

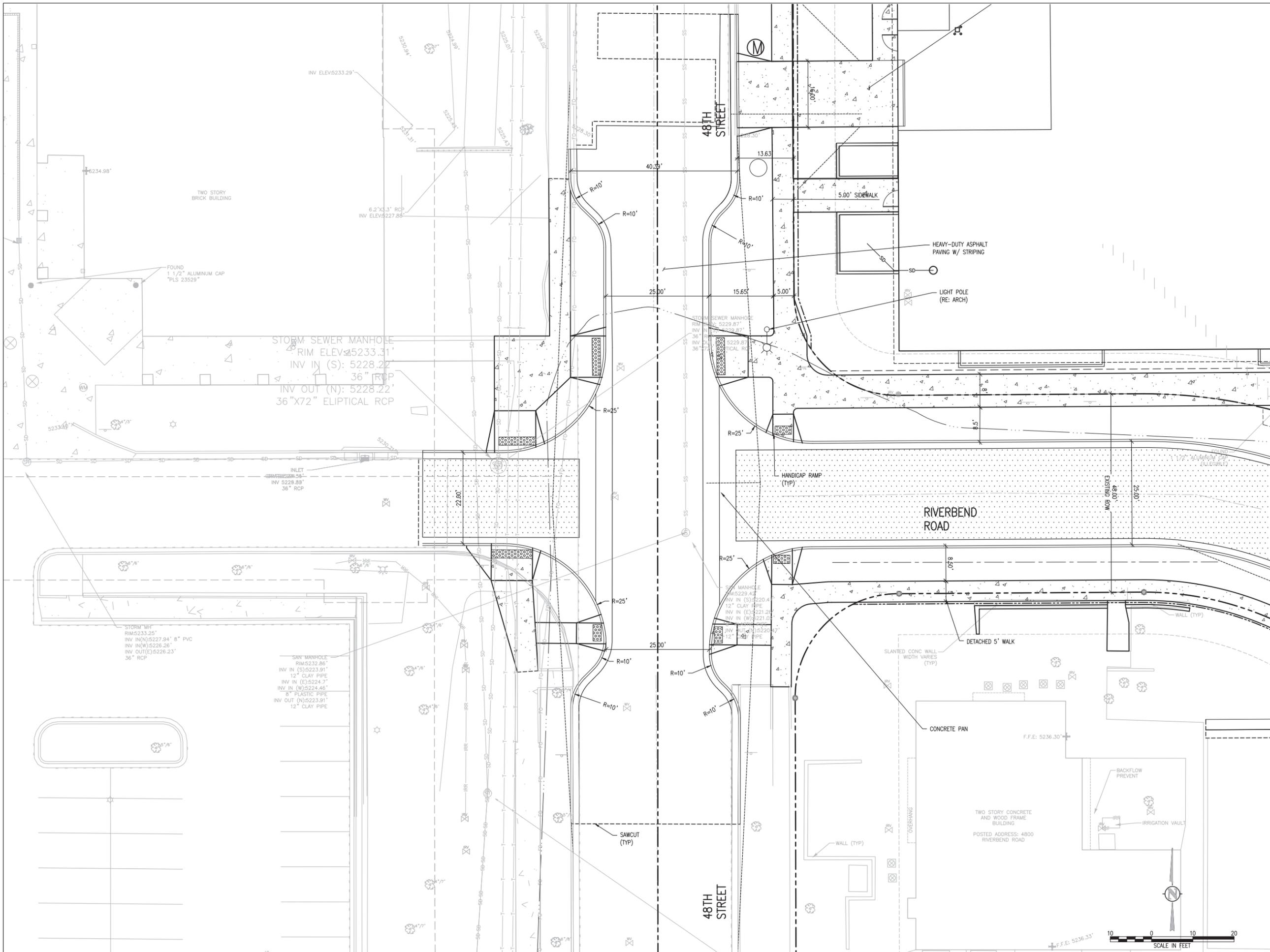
C3.0

NOTE:
SEE SHEET C5.0 FOR PROPERTY LINE,
RIGHT-OF-WAY AND EASEMENT INFORMATION



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PROJECT
BOULDER COMMUNITY HEALTH RIVERBEND MEDICAL PAVILION AND PARKING GARAGE

SITE REVIEW

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SHEET TITLE
ENLARGED 48TH STREET INTERSECTION PLAN
SHEET NUMBER

C3.1

PROJECT NUMBER
152699.01

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Boulder Community Health

PROJECT
BOULDER COMMUNITY HEALTH RIVERBEND MEDICAL PAVILION AND PARKING GARAGE

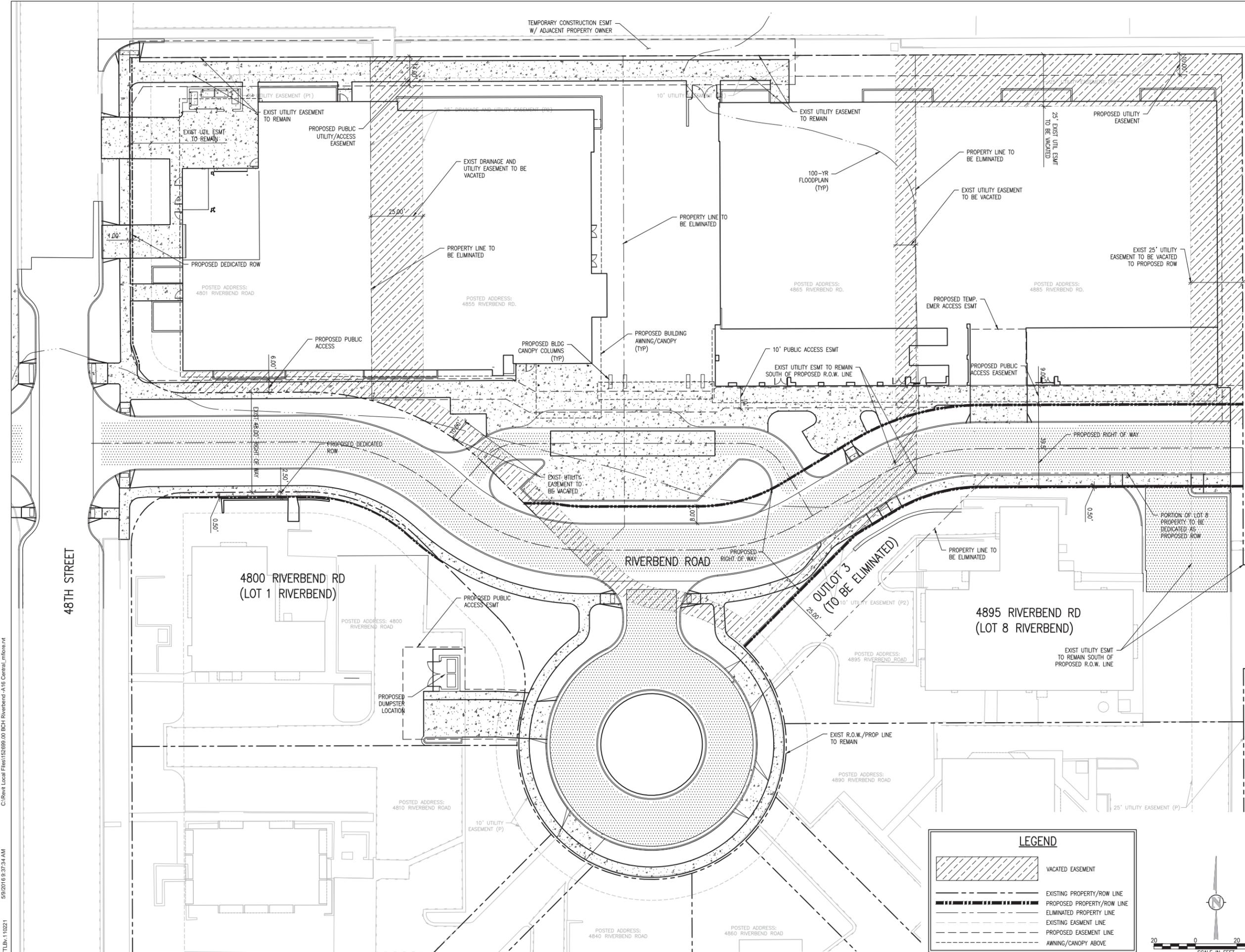
SITE REVIEW

LUR2016-00038-40

SHEET TITLE
EASEMENT AND RIGHT-OF-WAY PLAN

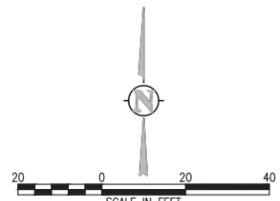
SHEET NUMBER

C5.0



LEGEND

- VACATED EASEMENT
- EXISTING PROPERTY/ROW LINE
- PROPOSED PROPERTY/ROW LINE
- ELIMINATED PROPERTY LINE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- AWNING/CANOPY ABOVE



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MEMORANDUM

To: City of Boulder Development Review

From: Bill Fox, PE and Cassie Slade, PE

Date: September 1, 2016

Project: Boulder Community Hospital Medical Pavilion and Parking Garage

Subject: Transportation Demand Management Plan (Revised August 2016)

Boulder Community Health (BCH) is committed to ongoing efforts to increase the employee and physician use of alternative modes of transportation to and from the campus as well as improving the parking management for the foothills campus. Over the next few years, the existing programs will be evaluated and additional efforts and incentives will be considered to reduce the number of employees who drive individually to work each day. These efforts will be facilitated through the BCH Sustainability Coordinator and are consistent with the other health and wellness activities.

BCH is proposing to replace four existing buildings with one larger building and a parking garage to accommodate existing and new services in the Riverbend Medical Center. The project site is located in Boulder, CO just north of Arapahoe Avenue and east of Foothills Parkway. In accordance with the City of Boulder site review process, a Transportation Demand Management (TDM) Plan is required which outlines strategies to mitigate traffic impacts created by the proposed expansion and implementable measures for promoting alternate modes of travel.

The new BCH building will be located on the north edge of Riverbend, adjacent to Ball Aerospace. BCH proposes to construct one building with approximately 70,300 gross square feet (sq. ft.) and one parking structure that will provide 406 parking spaces (250 stalls to serve the Medical Center and 160 are overflow for the BCH campus). There will also be four van accessible parking spaces within the drop-off area for a total of 410 spaces. The parking structure includes 4,829 sq. ft. of accessory/retail space. The project is located in an urban, mixed-use environment and will take advantage of nearby pedestrian, bicycle, and

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 PHONE: 303.652.3571 | WWW.FTHTRANSGROUP.COM

BCH Medical Pavilion and Parking Garage Transportation Demand Management Plan (Revised)

September 1, 2016

transit connections. Currently, there is a multi-use path on the north side of Arapahoe Avenue that services bicyclists and pedestrians. This path leads to other city and regional bike/ped facilities. Regional and local bus routes can be accessed on Arapahoe Avenue within close proximity to the project site. Arapahoe Avenue serves as major transit corridor with the JUMP and Flatiron Flyer #6 routes served directly adjacent to the site. The JUMP connects Boulder to Lafayette, while the new Flatiron Flyer #6 connects to downtown Denver. There are bus stops in both directions adjacent to the hospital.

The following text discusses specific TDM measures proposed within the context of site planning and programming for the expansion that are in addition to the strategies already implemented:

Management and Parking Strategies:

- **Sustainability Coordinator:** Continue to provide a coordinator that manages the transportation needs, barriers, incentives, programs, etc. This staff member will provide employees with important travel information including transit maps and schedules, bicycle maps, local and regional marketing campaigns, and information on the commute benefits provided to employees. They will assist in coordinating alternative modes for employees.
- **Parking:** 206 standard, 180 compact, 14 regular accessible, 5 electric vehicle, 1 electric vehicle accessible parking spaces (406 total) are proposed inside the parking garage. There will also be four van handicap parking spaces within the drop-off area (1 will have an electric vehicle charge station). There is a total of 410 parking spaces provided on-site. The code requires 250 total parking spaces (ratio of 1 per 300 square feet) section 9-9-6 (b)(3), B.R.C. 1981 and the development proposes to increase the provided parking by 160 spaces within the parking garage to accommodate some of the parking demand on the Foothills Campus of BCH.
 - Some parking spaces will be designated for carpools and vanpools within the parking garage.
 - There will be seven spaces designated as charging stations for electric vehicles (5 standard, 1 handicap, and 1 van handicap).
 - The purpose of the additional spaces is to provide a “shared” parking environment for the various uses for the entire medical campus.

BCH Medical Pavilion and Parking Garage Transportation Demand Management Plan (Revised)

September 1, 2016

Facilities and Design:

- Bicycle Parking: The entire site plan provides for a total of 68 bicycle parking spaces. Pursuant to section 9-9-6 (g)(1), B.R.C. 1981, bicycle parking requires 1 per 1,500 square feet of hospital use (P Zoning). The BCH Medical Pavilion and Parking Garage project proposes to provide more than the required number of bicycle parking spaces (50 required). There will be 40 long-term and 28 short-term bike parking spaces. The long-term parking will be located in the parking garage on the first level near the west staircase for security and easy access to the central courtyard. The short-term bike parking will be located near the main entrance, near the staff entry on the north side of the building, and near the west retail frontage by the drop-off area.
- Bicycle Access: Bicycle access to the site is provided for by an off-street multi-use path along the north side of Arapahoe Avenue. Bicyclists can reach the new building via 48th Street. There is also a direct path connection to the Boulder Creek Path from the north end of 48th Street.
- Bicycle Amenities: In addition to the range of bicycle parking spaces described above and shown on the site plan there will be a collective bike tool/repair spaces and storage for bike trailers provided near the long-term bike parking area.
- On-Site Amenities: Showers and changing facilities will be provided for employees.
- B-Cycle: Encourage bike share with the B-Cycle station that exists adjacent to the hospital.

Incentives Strategies:

The applicant will provide the following incentive strategies to reduce single-occupant vehicles:

- Employee EcoPasses: RTD EcoPasses will be provided for the employees. BCH was the first employer to provide EcoPasses for their employees free of charge. Employees continue to experience barriers in using RTD services to accommodate their work and life schedule. BCH will facilitate “commuter consultations” to identify and reduce these barriers.
- eGo Carshare: The project will consider providing one parking space that will be reserved for an eGo Carshare vehicle.
- Employee Carpools: The project proposes to enhance the virtual “bulletin board” for employees to identify other employees from their home locations that have similar work schedules. There will be parking spaces designated for carpools.

BCH Medical Pavilion and Parking Garage Transportation Demand Management Plan (Revised)

September 1, 2016

- Guaranteed Ride Home Program: This currently exists and the Sustainability Coordinator will increase the awareness of the program amongst all staff to ensure all employees can travel from the medical center when they do not have a vehicle to use.

Marketing Strategies:

- Walk and Bike Month takes place in June and is organized by GO Boulder and Community Cycles, a local non-profit that promotes a culture of cycling in Boulder. The applicant will actively encourage employees to register and participate in Bike to Work Day (June) or Winter Bike to Work Day (January).
- Orientation packets: Applicant will provide GO Boulder Orientation Packets to employers that will include bus/bike maps and other information on transportation projects.
- TDM Plan evaluation: Applicant will facilitate the distribution of GO Boulder-provided periodic surveys of employee travel behavior to evaluate the TDM Plan. The survey is designed to collect anonymous travel information and takes less than 10 minutes to complete.

Other Strategies:

BCH is committed to improving the mode share amongst the employees, patients, and visitors. The staff plan to:

- Review policies to reduce barriers for the employees by allowing choices for alternative modes of transportation to the campus:
 - Flexible work schedules
 - Telecommuting options
 - Other incentives identified from employees
- Identify opportunities for accessing the campus from satellite parking areas and popular transit stops.
- Evaluate the needs of the Non-BCH employees on campus and how they might integrate into the BCH programs and plans.

**BCH Medical Pavilion and Parking Garage
Transportation Demand Management Plan (Revised)**

September 1, 2016

- Continue to partner with community resources and neighbors to reduce barriers for commuters and provide additional means of access to the campus from a regional perspective. These partners include, but are not limited to:
 - Boulder Transit Connections (BCH is a founding member)
 - Via Mobility Services (patients)
 - Go Boulder
 - RTD
 - Ball Aerospace
 - City of Boulder
 - Boulder County
- Remove snow quickly from sidewalks and roadways to maximize access by transit users, bicyclists, and pedestrians.

/CRS

MEMORANDUM

To: City of Boulder Development Review

From: Bill Fox, PE and Cassie Slade, PE

Date: September 1, 2016

Project: Boulder Community Hospital Medical Pavilion and Parking Garage

Subject: **Existing Parking Utilization at BCH Campus and Proposed Management of New Parking at the BCH Campus and Medical Pavilion**

The proposed new 70,000 sq. ft. BCH Medical Pavilion is planned to include a 406 space parking garage, and four additional spaces near the main building entrance (total of 410 parking spaces). It is our understanding that 250 of these spaces are to serve the parking needs of the new medical facility, and the remaining 160 spaces are proposed to serve as additional parking for the existing BCH campus on the west side of 48th Street. This additional parking is being proposed in response to the fact that the parking utilization on the BCH campus is high during peak times, and complaints are frequently heard about the lack of available parking. At a recent City of Boulder Planning Board meeting the request was made to provide information about the current utilization of parking on the BCH campus to help justify the need for additional parking at the new Medical Pavilion. As a result, a parking utilization study at the existing BCH campus was completed in March of this year.

Currently the BCH campus on the west side of 48th Street has approximately 440,000 sq. ft. of floor area and 1,169 parking spaces in a variety of surface lots and parking structures. There are also 45 to 50 available on-street spaces along 48th Street that appear to be utilized by hospital employees or visitors. The parking utilization of these spaces was monitored hourly on Tuesday, March 29th from 6:00 AM until 8:00 PM to determine the existing demand for parking on the BCH campus. The results of this study are detailed on the attached parking utilization table. Key observations include:

- The existing campus has a parking supply rate of approximately 2.7 spaces per 1,000 sq. ft. of floor area. Institute of Transportation Engineers (ITE) parking supply data indicates that suburban hospitals typically provide parking at 3.0 spaces per 1,000 sq. ft. and urban hospitals typically provide parking at 4.5 spaces per 1,000 sq. ft.

- The parking utilization peaks between 10:00 AM and Noon, with a peak occupancy of 90%. During these peak hours the surface lots at the hospital are 90% to 100% full and most of the parking spaces that do exist are in the large parking structure, which to any unfamiliar visitor or patient may be difficult to find.
- Studies have shown that parking occupancies higher than 85% are perceived to be full by visitors or non-employees who are looking for a place to park.
- Parking utilization remains high (greater than 80%) from 9:00 AM through 4:00 PM.
- The BCH campus has a peak parking demand rate of 2.5 spaces per 1,000 sq. ft. of floor area. The ITE national database indicates that suburban hospitals typically demand parking at 2.5 spaces per 1,000 sq. ft., while more urban hospitals typically demand parking at 3.7 spaces per 1,000 sq. ft.
- In this context, the BCH campus has a parking supply rate that is less than the national average, while it has a parking demand rate that is equal to the national average for suburban hospitals. This helps explain the current concerns about available parking at the BCH campus.
- Given the variety of parking lots and garages on the campus and the dispersed layout of the parking supply, it is likely that at peak times the BCH parking appears full to even employees that are familiar with the campus.

In this context, the new parking garage at the Medical Pavilion could provide additional parking supply for the existing BCH campus. If employees of the existing campus park in the new parking garage at the Pavilion it will free up spaces on the existing campus for visitors and patients. For example, if 10% of the current parking demand (approx. 110 parked vehicles) were to be shifted to the new structure, then the peak parking demand at the existing campus could be maintained at approximately 80%, and unfamiliar visitors or patients would have an easier time finding a place to park at the BCH campus.

If the entire overflow capacity of 160 spaces in the new Medical Pavilion garage are considered as additional supply for the existing campus, then the BCH campus would provide parking at the lower end of the range for hospitals in the national ITE database $((1,169 + 160)/440 = 3.0$ spaces per 1,000 sq. ft. of floor area).

If these 160 spaces in the new parking structure are to provide additional parking supply and thereby increase the availability of parking for staff, patients and visitors on the existing BCH campus, then BCH management will need to institute steps to require some of the staff and

employees of the existing campus to park in the new structure. These steps are outlined below in a response to this issue provided by BCH:

Applicant Response: The parking ratio for the new medical pavilion at Riverbend results in 250 required stalls. We are providing an additional 160 stalls for a site total of 410. In the Riverbend garage there will be individual signs placed at each parking stall to reserve the first 130 stalls as 'Patient Parking Only'. The remainder of the required stalls (120) will be signed to reserve for 'Riverbend Medical Pavilion Parking Only'. The uppermost 156 garage spaces will be left unsigned and available for Foothills hospital staff with required hang-tag id provided in the vehicles.

The additional 160 parking spaces at Riverbend is enough to alleviate the parking challenges currently being experienced on the Foothills campus, as demonstrated by the memorandum ('Existing Parking Utilization at BCH Campus') included at the end of the TIS report submitted with the original Site Review application (and updated above). Since the Riverbend garage will support Foothills staff, this will alleviate the parking demands currently being experienced on the Foothills campus and will be able to dedicate more parking, closer to the end destination, for Foothills patients. The Foothills parking garage will now be reserved patient parking only, with limited stalls reserved for critical staff (i.e. on-call physicians), and the uppermost level to support the free valet program. All employees will be assigned to a parking area (i.e. Riverbend garage, west lot) and be required to display appropriate hang-tags in their vehicles. Security guards will continue to monitor the Foothills campus and garage for any violators.

BCH is committed to ongoing efforts to increase their employee and physician use of alternative modes of transportation to and from the campus as well as improving parking management for the campus. These current methods and additional measures were included on page 4 of the 'Written Statement' submitted with the original Site Review application.

It can be seen that BCH is committed to providing and managing the necessary parking on the BCH campus.

I hope this information is helpful

/BF

Case #: LUR2016-00038, 00039
& 00040

Project Name: BCH Riverbend

Date Sept. 26, 2016

CRITERIA FOR REVIEW

BVCP Land Use Map Change

The Land Use Map is not intended to be a zoning map. It is intended to provide policy direction and definition for future land uses in the Boulder Valley. Thus, a change to the land use designations may be considered at any time if it is related to a proposed change in zoning or proposed annexation and meets all of the following criteria:

(a) The proposed change is consistent with the policies and overall intent of the comprehensive plan.

The proposal to change the BVCP Land Use Map designation is consistent with the intent of the comprehensive plan to promote the physical health and well-being of residents of the Boulder Valley. The BVCP strives to “*maintain a high quality of life for all of its residents*” by “*providing facilities and services, among are human service programs and a focus on promoting cultural, social and economic equity.*” More specifically, the following policies on economic and social sustainability are relevant:

BVCP Policy 1.03 Principles of Economic Sustainability The city and county will strive to develop and maintain a healthy, adaptable economy that is vital to the community’s quality of life and high level of services and amenities by:

- a) Promoting a diverse economy that supports the needs of all community members;*
- b) Promoting a qualified and diversified work force that meets employers’ needs and supports a range of jobs; and*
- c) Providing for and investing in a quality of life, unique amenities, and infrastructure that attracts, sustains, and retains businesses and entrepreneurs.*

BVCP Policy 1.04 Principles of Social Sustainability The city and county will strive to promote a healthy community and address social and cultural inequities by:

- a) Respecting and valuing cultural and social diversity;*
- b) Ensuring the basic health and safety needs of all residents are met; and*
- c) Providing infrastructure and services that will encourage culturally and socially diverse communities to both prosper within and connect to the larger community.*

The Public Land Use Designation is described as follows:

Public/Semi-Public land use designations encompass a wide range of public and private nonprofit uses that provide a community service. This category includes municipal and public utility services such as the municipal airport, water reservoirs, and water and wastewater treatment plants. Public/Semi-Public also includes: educational facilities, including public and private schools and the university; government offices such as city and county buildings, libraries, and the jail; government laboratories; and nonprofit facilities such as cemeteries, churches, hospitals, retirement complexes and may include other uses as allowed by zoning.

The requested Public land use designation would allow for the expansion of the Boulder Community Health facility consistent with the following BVCP policies:

- BVCP Policy 2.17 Variety of Activity Centers
- BVCP Policy 8.01 Provide for a Broad Spectrum of Human Needs

(b) The proposed change would not have significant cross-jurisdictional impacts that may affect residents, properties or facilities outside the city.

The proposed change is meant to facilitate the expansion of health services in a single location for the Boulder Valley. The change would allow for more efficient provision of services and enhance access to services for residents of the area. There would be no significant cross-jurisdictional impacts to residents, properties or facilities outside the city.

(c) The proposed change would not materially affect the land use and growth projections that were the basis of the comprehensive plan.

The proposed land use designation change is necessary to facilitate a new hospital facility on the site and will not materially affect the land use and growth projections that were the basis of the comprehensive plan.

(d) The proposed change does not materially affect the adequacy or availability of urban facilities and services to the immediate area or to the overall service area of the City of Boulder.

The proposed land use designation change is necessary to facilitate a new hospital facility on the site and will not materially affect the adequacy or availability of urban facilities and services to the immediate area or to the overall service area of the City of Boulder. Infrastructural upgrades necessary to serve the redevelopment will be evaluated and required as part of the Site Review process.

(e) The proposed change would not materially affect the adopted Capital Improvements Program of the City of Boulder.

The proposed land use designation change is necessary to facilitate a new hospital facility on the site and will not materially affect the adopted Capital Improvements Program of the City of Boulder.

(f) The proposed change would not affect the Area II/Area III boundaries in the comprehensive plan.

The proposed change is within Area I and would have no impact on the Area II/Area III boundaries in the comprehensive plan.

Rezoning

Criteria: The city's zoning is the result of a detailed and comprehensive appraisal of the city's present and future land use allocation needs. In order to establish and maintain sound, stable and desirable development within the city, rezoning of land is to be discouraged and allowed only under the limited circumstances herein described. Therefore, the city council shall grant a rezoning application only if the proposed rezoning is consistent with the policies and goals of the Boulder Valley Comprehensive Plan, and, for an application not incidental to a general revision of the zoning map, meets one of the following criteria:

The proposal to change the BVCP Land Use Map designation is consistent with the intent of the comprehensive plan to promote the physical health and well-being of residents of the Boulder Valley. The BVCP strives to “*maintain a high quality of life for all of its residents*” by “*providing facilities and services, among are human service programs and a focus on promoting cultural, social and economic equity.*” More specifically, the following policies on

economic and social sustainability are relevant:

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- a) *Promoting a diverse economy that supports the needs of all community members;*
- b) *Promoting a qualified and diversified work force that meets employers' needs and supports a range of jobs; and*
- c) *Providing for and investing in a quality of life, unique amenities, and infrastructure that attracts, sustains, and retains businesses and entrepreneurs.*

BVCP Policy 1.04 Principles of Social Sustainability *The city and county will strive to promote a healthy community and address social and cultural inequities by:*

- a) *Respecting and valuing cultural and social diversity;*
- b) *Ensuring the basic health and safety needs of all residents are met; and*
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BVCP Policy 2.17 Variety of Activity Centers
BVCP Policy 8.01 Provide for a Broad Spectrum of Human Needs
BVCP Policy 8.07 Physical Health
BVCP Policy 8.10 Support for Community Facilities

(1) The applicant demonstrates by clear and convincing evidence that the proposed rezoning is necessary to come into compliance with the Boulder Valley Comprehensive Plan map;

Based on the staff recommendation to amend land use map designation to advance BVCP policies and goals and consistent with the criteria the BVCP included in the analysis above, and assuming the land use map is amended to reflect this analysis, the rezoning becomes necessary to come into compliance with the Boulder Valley Comprehensive Plan map. The Public land use map designation and P zoning would therefore match.

(2) The existing zoning of the land was the result of a clerical error;

(3) The existing zoning of the land was based on a mistake of fact;

- (4) The existing zoning of the land failed to take into account the constraints on development created by the natural characteristics of the land, including, but not limited to, steep slopes, floodplain, unstable soils and inadequate drainage;
- (5) The land or its surrounding environs has changed or is changing to such a degree that it is in the public interest to encourage a redevelopment of the area or to recognize the changed character of the area; or
- (6) The proposed rezoning is necessary in order to provide land for a community need that was not anticipated at the time of adoption of the Boulder Valley Comprehensive Plan.

Site Review

Staff's analysis of the compliance with these criteria will be completed upon submission of additional materials and modifications and at the time of staff recommendation to Planning Board.

Criteria for Review: No site review application shall be approved unless the approving agency finds that:

- (1) **Boulder Valley Comprehensive Plan:**
 - (A) **The proposed site plan is consistent with the land use map and the service area map and, on balance, the policies of the Boulder Valley Comprehensive Plan.**

The proposal requires a BVCP land use map change to apply Public land use. This is necessary to permit a hospital use on properties that are located proximate to the Boulder Community Health facility at 48th and Arapahoe. Consistent with the analysis for the BVCP Land Use Map change, the proposal to develop the properties with a new medical/hospital facility would be consistent with the intent of the BVCP, Community Well Being policies as well as the policies below more specifically related to land development:

- BVCP Policy 2.03 Compact Development Pattern
 - BVCP Policy 2.21 Commitment to a Walkable and Accessible City
 - BVCP Policy 2.21 Mixed Use
 - BVCP Policy 2.36 Design Excellence for Public Projects
 - BVCP Policy 4.04 Energy-Efficient Land Use
 - BVCP Policy 6.12 Neighborhood Street Connectivity
- (B) **The proposed development shall not exceed the maximum density associated with the Boulder Valley Comprehensive Plan residential land use designation. Additionally, if the density of existing residential development within a three-hundred-foot area surrounding the site is at or exceeds the density permitted in the Boulder Valley Comprehensive Plan, then the maximum density permitted on the site shall not exceed the lesser of:**
 - (i) **The density permitted in the Boulder Valley Comprehensive Plan, or**
 - (ii) **The maximum number of units that could be placed on the site without waiving or varying any of the requirements of chapter 9-8, "Intensity Standards," B.R.C. 1981.**

Not applicable. The site is not under a residential land use designation and will contain no residential uses.

- (C) **The proposed development's success in meeting the broad range of BVCP policies considers the economic feasibility of implementation techniques required to meet other site review criteria.**

The project will not be rendered infeasible as a result of meeting these criteria.

- (2) **Site Design: Projects should preserve and enhance the community's unique sense of place through creative design that respects historic character, relationship to the natural environment, multi-modal transportation connectivity and its physical setting. Projects should utilize site design techniques which are consistent with the purpose of site review in Subsection (a) of this section and enhance the quality of the project. In determining whether this subsection is met, the approving agency will consider the following factors:**

- (A) **Open Space: Open space, including, without limitation, parks, recreation areas and playgrounds:**

- (i) **Useable open space is arranged to be accessible and functional and incorporates quality landscaping, a mixture of sun and shade and places to gather;**

The site plan includes a courtyard between the medical building and parking garage that is well landscaped and with seating walls that will encourage use. Quality landscaping is found within the space as well as around a seating area and along pathways through the site. The spaces will be functional and include a mix of sun and shade.

- (ii) **Private open space is provided for each detached residential unit;**

Not applicable to a non-residential project.

- (iii) **The project provides for the preservation of or mitigation of adverse impacts to natural features, including, without limitation, healthy long-lived trees, significant plant communities, ground and surface water, wetlands, riparian areas, drainage areas and species on the federal Endangered Species List, "Species of Special Concern in Boulder County" designated by Boulder County, or prairie dogs (*Cynomys ludovicianus*), which is a species of local concern, and their habitat;**

The site, including four properties, is already developed with four buildings and contains no nature features necessitating preservation.

- (iv) **The open space provides a relief to the density, both within the project and from surrounding development;**

Open space on the site is greater than 30 percent on the site which exceeds the required 20 percent based on the building heights. The site is well landscaped and complements and surrounds the buildings providing relief to the density on the site and from surrounding development.

- (v) **Open space designed for active recreational purposes is of a size that it will be functionally useable and located in a safe and convenient proximity to the uses to which it is meant to serve;**

The size and location of the proposed open space is appropriate to a medical use. Active recreational uses would not be expected for the use of the property.

- (vi) **The open space provides a buffer to protect sensitive environmental features and natural areas; and**

The property does not contain any existing sensitive environmental features or natural areas. The site is associated with the Boulder Community Health

Foothills Hospital site, which includes substantial preserved areas of 17 acres in the floodplain areas of Boulder Creek.

(vii) If possible, open space is linked to an area- or city-wide system.

The proposed pathways on the site would connect to the city's existing sidewalk system and will be convenient access to nearby multi-use paths as well as the Boulder Creek Path.

(B) Open Space in Mixed Use Developments (Developments That Contain a Mix of Residential and Nonresidential Uses):

- (i) The open space provides for a balance of private and shared areas for the residential uses and common open space that is available for use by both the residential and nonresidential uses that will meet the needs of the anticipated residents, occupants, tenants and visitors of the property; and**
- (ii) The open space provides active areas and passive areas that will meet the needs of the anticipated residents, occupants, tenants and visitors of the property and are compatible with the surrounding area or an adopted plan for the area.**

Not applicable. There is no residential component to the project.

(C) Landscaping:

- (i) The project provides for aesthetic enhancement and a variety of plant and hard surface materials, and the selection of materials provides for a variety of colors and contrasts and the preservation or use of local native vegetation where appropriate;**

Planting areas fill the majority of areas around the buildings and along circulation ways create an attractive environment and a contrast to other hard scape areas on the site.

- (ii) Landscape design attempts to avoid, minimize or mitigate impacts on and off site to important native species, healthy, long lived trees, plant communities of special concern, threatened and endangered species and habitat by integrating the existing natural environment into the project;**

The four properties are already developed and therefore, there would be no impact to existing natural environment.

- (iii) The project provides significant amounts of plant material sized in excess of the landscaping requirements of Sections 9-9-12, "Landscaping and Screening Standards," and 9-9-13, "Streetscape Design Standards," B.R.C. 1981; and**

The proposal includes a significant amount of plantings that exceed the city landscaping requirements and with a variety that contributes to visual interest of the site.

- (iv) The setbacks, yards and useable open space along public rights of way are landscaped to provide attractive streetscapes, to enhance architectural features and to contribute to the development of an attractive site plan.**

As stated above, areas along the streetscape would be landscaped in excess of city requirements and will contribute to the development of an attractive site plan.

(D) Circulation: Circulation, including, without limitation, the transportation system that serves the property, whether public or private and whether constructed by the developer or not:

(i) High speeds are discouraged or a physical separation between streets and the project is provided;

The reconfigured Riverbend Road will relatively narrow and include curves and a round-a-bout that would not be conducive to high speeds.

(ii) Potential conflicts with vehicles are minimized;

Potential conflicts with vehicles would be minimized by slowing the speeds of vehicles with the design and placing vehicle entries to the interior of the site so that visitors can follow wayfinding signs to parking and drop-off areas. The curbs and entry points have been designed to avoid vehicle conflict points.

(iii) Safe and convenient connections are provided that support multi-modal mobility through and between properties, accessible to the public within the project and between the project and the existing and proposed transportation systems, including, without limitation, streets, bikeways, pedestrian ways and trails;

Although there is not a transportation connections plan applicable the area, Riverbend Road has been designed to enable a future connection to the Ball Aerospace property on the east side should that property redevelop and connect in the future. This would make a street connection to Commerce Street to the east possible. Further, sidewalks and walkways are provided throughout the site provided safe and convenient access to the medical pavilion and parking garage as well as to the other Riverbend properties. A new wider sidewalk and burb out of 48th Street on the west side of the site would enable a safer pedestrian connection to the Boulder Community Health facility to the west. Pedestrian crossings are limited to key points on the site and are designed for the safety and convenience of pedestrians.

(iv) Alternatives to the automobile are promoted by incorporating site design techniques, land use patterns and supporting infrastructure that supports and encourages walking, biking and other alternatives to the single-occupant vehicle;

The site design includes wide pathways and conveniently located bike racks to encourage biking. Sidewalks provide enhanced pedestrian access to the medical use as well as the other Riverbend properties.

(v) Where practical and beneficial, a significant shift away from single-occupant vehicle use to alternate modes is promoted through the use of travel demand management techniques;

The applicant has been required to prepare a Transportation Demand Management (TDM) plan which includes but is not limited to carpool parking, EV charging stations, a bike repair station and EcoPasses for all employees.

(vi) On-site facilities for external linkage are provided with other modes of transportation, where applicable;

Sidewalks and pathways on the site connect to existing sidewalks which enable access to a multi-use path along Arapahoe Avenue to the south and the Boulder Creek Path to the north via an existing bridge.

(vii) The amount of land devoted to the street system is minimized; and

The circulation on the site is minimum necessary to provide access to the new medical pavilion and parking and the existing Riverbend offices.

(viii) The project is designed for the types of traffic expected, including, without limitation, automobiles, bicycles and pedestrians, and provides safety, separation from living areas and control of noise and exhaust.

(E) Parking:

(i) The project incorporates into the design of parking areas measures to provide safety, convenience and separation of pedestrian movements from vehicular movements;

Most parking will be within the proposed parking structure. Once visitors are parked they will just need to traverse the proposed courtyard space before entering the medical building. This design separates the pedestrian flow from vehicular movements outside of the garage.

(ii) The design of parking areas makes efficient use of the land and uses the minimum amount of land necessary to meet the parking needs of the project;

Surface parking is limited to four spaces within the remaining 400+ parking spaces provided within a six level parking structure. The parking needs of the project would be efficient met with this structure.

(iii) Parking areas and lighting are designed to reduce the visual impact on the project, adjacent properties and adjacent streets; and

Impacts to adjacent properties would be minimal as the site is surrounded by the industrial facilities of Ball Aerospace. No impacts from parking or lighting are anticipated.

(iv) Parking areas utilize landscaping materials to provide shade in excess of the requirements in Subsection 9-9-6(d), and Section 9-9-14, "Parking Lot Landscaping Standards," B.R.C. 1981.

Landscaping is provided around the four surface parking spaces and would provide appropriate shade and screening of parking.

(F) Building Design, Livability and Relationship to the Existing or Proposed Surrounding Area:

(i) The building height, mass, scale, orientation, architecture and configuration are compatible with the existing character of the area or the character established by adopted design guidelines or plans for the area;

The character of the area is eclectic and contains a variety of building forms, heights and uses ranging from multi-family residential, transitional business, strip commercial to light industrial and medical uses. The proposed buildings would not be unlike the scale and design of buildings present in the area and particularly near to the site on the Boulder Community Health Foothill's Hospital and the Ball Aerospace campus. The general design of the buildings borrow from the designs and materiality of the existing hospital and medical buildings to the west and are oriented in an east-west orientation much like most of the buildings on the north side of the Arapahoe Avenue. Therefore, it can be concluded that the height, mass, scale, orientation, architecture and configuration of the proposed buildings will be compatible with the existing character of the area.

(ii) The height of buildings is in general proportion to the height of existing buildings and the proposed or projected heights of approved buildings or approved plans or design guidelines for the immediate area;

The buildings are proposed to be a maximum of 55 feet. This height would match that of several nearby structures including the Ball Aerospace buildings immediately to north and the existing hospital complex to the south. Another Ball Aerospace building to the east exceeds the 55-foot height limit and is considered nonconforming because it predates the current height limit. Therefore, the height of the proposed buildings is in general proportion to the heights of existing buildings in the immediate area.

(iii) The orientation of buildings minimizes shadows on and blocking of views from adjacent properties;

The proposed buildings will not block any prominent views from adjacent properties. The buildings are proposed just to the south of a large windowless Ball Aerospace facility where satellites are constructed. Shadows would be minimized and would fall into the mostly alley-like utilitarian area between the subject property and the Ball Aerospace site discussed above.

(iv) If the character of the area is identifiable, the project is made compatible by the appropriate use of color, materials, landscaping, signs and lighting;

The character of the area is eclectic and contains a variety of building forms, heights and uses ranging from multi-family residential, transitional business, strip commercial to light industrial and medical uses. The proposed buildings would not be unlike the scale and design of buildings present in the area and particularly near to the site on the Boulder Community Health Foothill's Hospital and the Ball Aerospace campus. The general design of the buildings borrow from the designs and materiality of the existing hospital and include similar building materials and color palette as the Boulder Community Health Foothills hospital with its use of brick, copper and metal components. The proposed buildings will be compatible with the nearby buildings.

(v) Projects are designed to a human scale and promote a safe and vibrant pedestrian experience through the location of building frontages along public streets, plazas, sidewalks and paths, and through the use of building elements, design details and landscape materials that include, without limitation, the location of entrances and windows, and the creation of transparency and activity at the pedestrian level;

The proposed medical building has a high level of window glazing on all levels promoting a positive pedestrian experience. The proposed parking structure, also will have a storefront system for the accessory retail that will be conducive to the pedestrian experience. Further, to mitigate the concrete structural appearance of the garage, custom perforated metal screens would be applied to the structure and etched with patterns to enhance visual interest.

(vi) To the extent practical, the project provides public amenities and planned public facilities;

As a hospital, the use is a critical public facility, the expansion of which will better provide for the needs of the community in a highly accessible location.

(vii) For residential projects, the project assists the community in producing a variety of housing types, such as multifamily, townhouses and detached single family units, as well as mixed lot sizes, number of bedrooms and sizes of units;

Not applicable to a non-residential project.

- (viii) For residential projects, noise is minimized between units, between buildings and from either on-site or off-site external sources through spacing, landscaping and building materials;**

Not applicable to a non-residential project.

- (ix) A lighting plan is provided which augments security, energy conservation, safety and aesthetics;**

A lighting plan will be required at time of Technical Documents to determine compliance with section 9-9-16, B.R.C. 1981.

- (x) The project incorporates the natural environment into the design and avoids, minimizes or mitigates impacts to natural systems;**

The proposed project is upon an already developed site and will not adversely impact any natural systems.

- (xi) Buildings minimize or mitigate energy use; support on-site renewable energy generation and/or energy management systems; construction wastes are minimized; the project mitigates urban heat island effects; and the project reasonably mitigates or minimizes water use and impacts on water quality;**

The project includes solar panels on the roof of the medical building and parking structure and EV charging stations within the parking garage. An efficient heating and cooling system intended to preserve energy is intended to be implemented as part of the project.

- (xii) Exteriors of buildings present a sense of permanence through the use of authentic materials such as stone, brick, wood, metal or similar products and building material detailing;**

The buildings will be constructed with brick, concrete, metal and wood and will appear substantial and evoke a sense of permanence akin to the quality seen in the Boulder Community Health Foothills facility.

- (xiii) Cut and fill are minimized on the site, the design of buildings conforms to the natural contours of the land, and the site design minimizes erosion, slope instability, landslide, mudflow or subsidence, and minimizes the potential threat to property caused by geological hazards;**

The two buildings would not contain subterranean space and cut and fill would be limited to necessary contouring for the building footprints, open spaces and construction of a new roadway.

- (xiv) In the urbanizing areas along the Boulder Valley Comprehensive Plan boundaries between Area II and Area III, the building and site design provide for a well-defined urban edge; and**

The property is found within Area I and not in the urbanizing areas between Area II and III.

- (xv) In the urbanizing areas located on the major streets shown on the map in Appendix A to this title near the Boulder Valley Comprehensive Plan boundaries between Area II and Area III, the buildings and site design establish a sense of entry and arrival to the City by creating a defined urban edge and a transition between rural and urban areas.**

See (xiv) above.

(G) Solar Siting and Construction: For the purpose of ensuring the maximum potential for utilization of solar energy in the City, all applicants for residential site reviews shall place streets, lots, open spaces and buildings so as to maximize the potential for the use of solar energy in accordance with the following solar siting criteria:

(i) Placement of Open Space and Streets: Open space areas are located wherever practical to protect buildings from shading by other buildings within the development or from buildings on adjacent properties. Topography and other natural features and constraints may justify deviations from this criterion.

The nature of the circulation and placement of open space south of the buildings will keep areas free from development and thus, would not create any long term impacts such as shading from other buildings.

(ii) Lot Layout and Building Siting: Lots are oriented and buildings are sited in a way which maximizes the solar potential of each principal building. Lots are designed to facilitate siting a structure which is unshaded by other nearby structures. Wherever practical, buildings are sited close to the north lot line to increase yard space to the south for better owner control of shading.

The buildings are sited on the north side of the Riverbend Office Park PUD and will not be impacted by the lower scaled buildings to the south.

(iii) Building Form: The shapes of buildings are designed to maximize utilization of solar energy. Buildings shall meet the solar access protection and solar siting requirements of Section 9-9-17, "Solar Access," B.R.C. 1981.

Both buildings have flat roofs that are conducive to solar installations.

(iv) Landscaping: The shading effects of proposed landscaping on adjacent buildings are minimized.

The buildings are proposed at 55-feet and will not be impacted by adjacent landscaping.

(H) Additional Criteria for Poles Above the Permitted Height: No site review application for a pole above the permitted height will be approved unless the approving agency finds all of the following:

(i) The light pole is required for nighttime recreation activities which are compatible with the surrounding neighborhood, light or traffic signal pole is required for safety or the electrical utility pole is required to serve the needs of the City; and

(ii) The pole is at the minimum height appropriate to accomplish the purposes for which the pole was erected and is designed and constructed so as to minimize light and electromagnetic pollution.

Not applicable to this project.

(I) Land Use Intensity Modifications:

(i) Potential Land Use Intensity Modifications:

a. The density of a project may be increased in the BR-1 district through a reduction of the lot area requirement or in the Downtown (DT), BR-2 or MU-3 districts through a reduction in the open space requirements.

- b. The open space requirements in all Downtown (DT) districts may be reduced by up to one hundred percent.
 - c. The open space per lot requirements for the total amount of open space required on the lot in the BR-2 district may be reduced by up to fifty percent.
 - d. Land use intensity may be increased up to twenty-five percent in the BR-1 district through a reduction of the lot area requirement.
- (ii) Additional Criteria for Land Use Intensity Modifications: A land use intensity increase will be permitted up to the maximum amount set forth below if the approving agency finds that the criteria in paragraph (h)(1) through Subparagraph (h)(2)(H) of this section and following criteria have been met:
- a. Open Space Needs Met: The needs of the project's occupants and visitors for high quality and functional useable open space can be met adequately;
 - b. Character of Project and Area: The open space reduction does not adversely affect the character of the development or the character of the surrounding area; and
 - c. Open Space and Lot Area Reductions: The specific percentage reduction in open space or lot area requested by the applicant is justified by any one or combination of the following site design features not to exceed the maximum reduction set forth above:
 1. Close proximity to a public mall or park for which the development is specially assessed or to which the project contributes funding of capital improvements beyond that required by the parks and recreation component of the development excise tax set forth in chapter 3-8, "Development Excise Tax," B.R.C. 1981: maximum one hundred percent reduction in all Downtown (DT) districts and ten percent in the BR-1 district;
 2. Architectural treatment that results in reducing the apparent bulk and mass of the structure or structures and site planning which increases the openness of the site: maximum five percent reduction;
 3. A common park, recreation or playground area functionally useable and accessible by the development's occupants for active recreational purposes and sized for the number of inhabitants of the development, maximum five percent reduction; or developed facilities within the project designed to meet the active recreational needs of the occupants: maximum five percent reduction;
 4. Permanent dedication of the development to use by a unique residential population whose needs for conventional open space are reduced: maximum five percent reduction;
 5. The reduction in open space is part of a development with a mix of residential and nonresidential uses within a BR-2 zoning district that, due to the ratio of residential to nonresidential uses and because of the size, type and mix of dwelling units, the need for open space is reduced: maximum fifteen percent reduction; and

6. The reduction in open space is part of a development with a mix of residential and nonresidential uses within a BR-2 zoning district that provides high quality urban design elements that will meet the needs of anticipated residents, occupants, tenants and visitors of the property or will accommodate public gatherings, important activities or events in the life of the community and its people, that may include, without limitation, recreational or cultural amenities, intimate spaces that foster social interaction, street furniture, landscaping and hard surface treatments for the open space: maximum twenty-five percent reduction.

Not applicable to this project.

(J) Additional Criteria for Floor Area Ratio Increase for Buildings in the BR-1 District:

- (i) Process: For buildings in the BR-1 district, the floor area ratio ("FAR") permitted under Table 8-2, Section 9-8-2, "Floor Area Ratio Requirements," B.R.C. 1981, may be increased by the city manager under the criteria set forth in this subparagraph.
- (ii) Maximum FAR Increase: The maximum FAR increase allowed for buildings thirty-five feet and over in height in the BR-1 district shall be from 2:1 to 4:1.
- (iii) Criteria for the BR-1 District: The FAR may be increased in the BR-1 district to the extent allowed in subparagraph (h)(2)(J)(ii) of this section if the approving agency finds that the following criteria are met:
 - a. Site and building design provide open space exceeding the required useable open space by at least ten percent: an increase in FAR not to exceed 0.25:1.
 - b. Site and building design provide private outdoor space for each office unit equal to at least ten percent of the lot area for buildings twenty-five feet and under and at least twenty percent of the lot area for buildings above twenty-five feet: an increase in FAR not to exceed 0.25:1.
 - c. Site and building design provide a street front facade and an alley facade at a pedestrian scale, including, without limitation, features such as awnings and windows, well-defined building entrances and other building details: an increase in FAR not to exceed 0.25:1.
 - d. For a building containing residential and nonresidential uses in which neither use comprises less than twenty-five percent of the total square footage: an increase in FAR not to exceed 1:1.
 - e. The unused portion of the allowed FAR of historic buildings designated as landmarks under chapter 9-11, "Historic Preservation," B.R.C. 1981, may be transferred to other sites in the same zoning district. However, the increase in FAR of a proposed building to which FAR is transferred under this subparagraph may not exceed an increase of 0.5:1.
 - f. For a building which provides one full level of parking below grade, an increase in FAR not to exceed 0.5:1 may be granted.

Not applicable to this project.

(K) **Additional Criteria for Parking Reductions:** The off-street parking requirements of Section 9-9-6, "Parking Standards," B.R.C. 1981, may be modified as follows:

- (i) **Process:** The city manager may grant a parking reduction not to exceed fifty percent of the required parking. The planning board or city council may grant a reduction exceeding fifty percent.
- (ii) **Criteria:** Upon submission of documentation by the applicant of how the project meets the following criteria, the approving agency may approve proposed modifications to the parking requirements of Section 9-9-6, "Parking Standards," B.R.C. 1981 (see tables 9-1, 9-2, 9-3 and 9-4), if it finds that:
 - a. For residential uses, the probable number of motor vehicles to be owned by occupants of and visitors to dwellings in the project will be adequately accommodated;
 - b. The parking needs of any nonresidential uses will be adequately accommodated through on-street parking or off-street parking;
 - c. A mix of residential with either office or retail uses is proposed, and the parking needs of all uses will be accommodated through shared parking;
 - d. If joint use of common parking areas is proposed, varying time periods of use will accommodate proposed parking needs; and
 - e. If the number of off-street parking spaces is reduced because of the nature of the occupancy, the applicant provides assurances that the nature of the occupancy will not change.

Not applicable to this project.

(L) **Additional Criteria for Off-Site Parking:** The parking required under Section 9-9-6, "Parking Standards," B.R.C. 1981, may be located on a separate lot if the following conditions are met:

- (i) The lots are held in common ownership;
- (ii) The separate lot is in the same zoning district and located within three hundred feet of the lot that it serves; and
- (iii) The property used for off-site parking under this subparagraph continues under common ownership or control.

Not applicable to this project.

Use Review

Criteria for Review: No use review application will be approved unless the approving agency finds all of the following:

(1) Consistency with Zoning and Nonconformity: The use is consistent with the purpose of the zoning district as set forth in section 9-5-2, "Zoning Districts," B.R.C. 1981, except in the case of a nonconforming use;

The proposed use of parking as a principal use is a use permitted with use review approval within the P, Public, zone district and is a use that is necessary to serve the Foothill Community Hospital.

(2) Rationale: The use either:

- (A) Provides direct service or convenience to or reduces adverse impacts to the surrounding uses or neighborhood;**

The use will reduce adverse impacts to the surrounding uses and neighborhood by relieving some of the constrained parking conditions of the adjacent hospital by providing additional parking for hospital employees on the site and thereby reducing adverse impacts on parking in the area.

- (B) Provides a compatible transition between higher intensity and lower intensity uses;**

- (C) Is necessary to foster a specific city policy, as expressed in the Boulder Valley Comprehensive Plan, including, without limitation, historic preservation, moderate income housing, residential and nonresidential mixed uses in appropriate locations and group living arrangements for special populations; or**

- (D) Is an existing legal nonconforming use or a change thereto that is permitted under subsection (f) of this section;**

- (3) Compatibility: The location, size, design and operating characteristics of the proposed development or change to an existing development are such that the use will be reasonably compatible with and have minimal negative impact on the use of nearby properties or for residential uses in industrial zoning districts, the proposed development reasonably mitigates the potential negative impacts from nearby properties;**

The parking garage is consistent with the scale and size of the parking garage on the adjacent Foothill Hospital site and is designed to be as attractive as possible with interesting metallic screens and brick to match the proposed medical building and hospital. It is adjacent to other structures of greater scale and thus will be compatible with existing development.

- (4) Infrastructure: As compared to development permitted under section 9-6-1, "Schedule of Permitted Land Uses," B.R.C. 1981, in the zone, or as compared to the existing level of impact of a nonconforming use, the proposed development will not significantly adversely affect the infrastructure of the surrounding area, including, without limitation, water, wastewater and storm drainage utilities and streets;**

No adverse impacts to infrastructure would occur as a result of the parking use.

- (5) Character of Area: The use will not change the predominant character of the surrounding area or the character established by adopted design guidelines or plans for the area; and**

The parking garage is designed with brick and metallic screens that are similar to that used within the Boulder Community Health campus immediately to the west. It will appear consistent with the predominant character of the surrounding area as a result.

- (6) Conversion of Dwelling Units to Nonresidential Uses: There shall be a presumption against approving the conversion of dwelling units in the residential zoning districts to nonresidential uses that are allowed pursuant to a use review, or through the change of one nonconforming use to another nonconforming use. The presumption against such a conversion may be overcome by a finding that the use to be approved serves another compelling social, human services, governmental or recreational need in the community, including, without limitation, a use for a daycare center, park, religious assembly, social service use, benevolent organization use, art or craft studio space, museum or an educational use.**

Not applicable.



CITY OF BOULDER
Planning and Development Services

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CITY OF BOULDER
LAND USE REVIEW RESULTS AND COMMENTS

DATE OF COMMENTS: **June 24, 2016**
 CASE MANAGER: **Karl Guiler**
 PROJECT NAME: **Boulder Community Health – Riverbend Medical Center and Parking Garage**
 LOCATION: **4801, 4855, 4865, and 4885 Riverbend Road (directly east of existing Boulder Community Health Foothills campus)**
 COORDINATES: **N03W01**
 REVIEW TYPES: **BVCP Land Use Map Change, Rezoning, Site Review and Use Review**
 REVIEW NUMBER: **LUR2016-00038 (BVCP Land Use Map Change), LUR2016-00039 (Rezoning) and LUR2016-00040 (Site and Use Review)**
 APPLICANT: **Darryl Brown for Boulder Community Health**

DESCRIPTION: **1) BOULDER VALLEY COMPREHENSIVE PLAN (BVCP) LAND USE MAP CHANGE:** Proposal to change the underlying BVCP Land Use Designation on the Riverbend Road site from Transitional Business to Public as a part of the requests below (Case No. LUR2016-00038);

2) REZONING: In conjunction with the requested land use map change discussed above, a rezoning from BT-2 (Business Transitional – 2) to P (Public) is requested (Case No. LUR2016-00038);

3) SITE REVIEW: Request to amend the Riverbend Office Park Planned Unit Development (PUD) to build a new 75,030 sq. ft., 3-story medical center to include inpatient behavioral health, inpatient rehabilitation and neurology facilities as part of the Boulder Community Health functions at the corner of Arapahoe Ave. and 48th Street. The proposal also includes a new, 5-story parking structure containing 409 parking spaces with first floor accessory uses including office and hospital-oriented retail. The proposal would require a height modification to permit the medical and parking garage buildings at 55-feet where 35-feet is the by-right limit (the request for a height modification will require City Council action on an amendment to the ordinance specifying areas where height modifications may be requested), and

4) USE REVIEW: Request for automobile parking lots, garages or car pool lots as a principal use.

REQUESTED MODIFICATIONS FROM THE LAND USE REGULATIONS:

- 9-7-1- Minimum side yard landscaped setback from a street to permit a building at 10 feet and parking spaces at 3 feet where 12.5 feet is required.
- 9-7-1- Minimum rear yard setback to permit the parking structure at 13 feet where 25 feet is required.
- 9-7-1- Maximum permitted height to permit 55 feet where 35 feet is the by-right limit (requires City Council approval).
- 9-7-1- Maximum number of stories to permit 6 garage parking levels where 3 is the limit.

I. REVIEW FINDINGS

Overall, staff finds the general design direction and approach to the site consistent with most of the Site Review criteria and also finds the proposed location of the hospital facility on the site consistent with Boulder Valley Comprehensive Plan (BVCP) policies and the associated criteria necessary to allow the BVCP land use map change to Public, including the related rezoning criteria.

As stated within the comments found within Section II of this document, the proposed building height, configuration and massing of the proposed buildings has been found consistent with surrounding buildings and the character of the area. The expansion of the hospital uses in the subject location is logical and staff appreciates the attention of Boulder Community Health to more effectively accommodate parking for the medical uses in the area through the subject project.

Please note that modifications to the building and the site would be necessary to fully meet the Site Review criteria. Detailed comments with suggested changes to meet the criteria are provided in Section II below. Staff finds that while the Planning Board requested a more organized design and a greater level of simplicity at the Concept Plan stage, it appears that the design, while more organized, has been somewhat over simplified and appears to not be of the same level of quality as previously presented. Staff has provided suggestions for improvements to better meet the code criteria. With respect to site design, there are some challenges with accommodating the new roadway and meeting requirements for turning movements, vehicle turnarounds and tree/utility locations etc. as well as avoiding vehicle and pedestrian conflicts that will also need to be addressed.

Staff has also requested additional information on the following topics to assist with the review:

- Building materials and quality
- Location of proposed lot lines
- Accessory retail uses
- Potential impact to adjacent property with respect to parking and circulation
- General parking information for the subject site to better understand how it will address some of the parking challenges of the adjacent Foothills hospital.

Please review and address all comments in this document and submit seven (7) revised review sets and written responses to the comments to the Project Specialists within 60 days. If submittal is not possible in that time frame, please inform the Case Manager of the reason for delay. If the applicant demonstrates that there is a good faith reason for the delay and that work is continuing on addressing the comments, the City Manager may extend the review time. If no review sets are received in this time and the applicant does not contact the Case Manager, the project will be considered withdrawn.

Questions regarding process and zoning related items should be forwarded to the Case Manager (Karl Guiler, 303-441-4236). Otherwise, specific questions about reviewer comments should be forwarded to the specific reviewer identified in each section. As there are a number of complex issues to balance on this site, staff is happy to set up a meeting with the applicant and reviewers to discuss solutions.

II. CITY REQUIREMENTS

Access/Circulation, David Thompson, 303-441-4417

1. Pursuant to City's Design and Construction Standards (DCS) please provide staff with a letter for any roadway design variances being requested in conjunction with the Boulder Community Health project. The format and information to be contained in the variance letter can be found in section 1.05 of the DCS. The variance letter should be submitted as soon as possible given the potential impacts of any requested variance on the site design.
2. At time of re-submittal, please include a vertical profile consistent with the design standards for a local road found in the DCS for Riverbend Road between 48th Street and the site's eastern property line. The vertical profile must include the location where the garage, cul-de-sac, driveway and porte-cochere intersect the road.
3. Please provide staff with a typical cross-section for the east / west multi-use path in order to evaluate the impacts of the proposed guardrail with respect to the clear zone of the multi-use path and the need to provide additional width along this corridor.

4. Given the complexities of the right-of-way/easements to be vacated and dedication in conjunction with this project, please revise the site plans to include a separate sheet showing the right-of-way/easements to be vacated and dedicated. The sheet must include the layouts of the roadway, sidewalk, parking lots building footprints and any door swings in order to verify the width of the right-of-way to be dedicated / vacated and to ensure compliance with the Boulder Revised Code and City's Design and Construction Standards. Please note pursuant to section 9-9-8 of the BRC structures and door swings are not permitted to open / encroach within the city owned right-of-way or easements.
5. Staff appreciates the street lighting being proposed in conjunction with the project; however, the number of street lights being shown within the right-of-way exceeds the number required by section 2.12 of the DCS. Please revise the site plans to show street lights at the following locations: (1) the northeast quadrant of the 48th Street and Riverbend Road intersection adjacent to the crosswalk; (2) at the intersection of Riverbend Road and the cul-de-sac and (3) at the terminus of the Riverbend Road at the east end of the site.
6. Please provide staff with documentation to support the design of the proposed porte-cochere / drop-off area as shown on the site plans. Staff is concerned the width of the porte-cochere combined with the length of the drop-off area may not be sufficient to address the demand or prevent vehicles from queuing out onto Riverbend Road. Staff is also concerned about vehicles using the accessible spaces not being able to safely back-out of the parking spaces without impacting the traffic flow of the porte-cochere and causing vehicles to queue onto Riverbend Road. The Applicant should consider removing some of the accessible spaces in the porte-cochere and relocating them to the parking garage.
7. If the accessible spaces are proposed to remain as part of the porte-cochere, please revise the site plans to indicate the parking angle for the accessible parking and include the dimensions of the parking stalls and access aisle consistent with Table 9-5 in order to allow staff to verify compliance with the Boulder Revised Code and the Accessibility Guidelines.
8. Please revise the site plan to show a detached sidewalk on the southside of Riverbend Road being extended as far east as feasible and provide a long reverse curve for the sidewalk where it goes from being detached to attached. Also, please revise the plans to show a continuous eight-foot wide sidewalk on the north side of Riverbend Road through the site.
9. Staff does not concur with the design shown for the terminus of Riverbend Road at the east end of the site. The Riverbend Road cross-section must be extended eastward and constructed to approximately the site's east property line and allow a modest width to accommodate a street light and landscaping. A driveway ramp curb-cut pursuant to section 2.04(I)(1) of the DCS must be shown as the access point for the off-street parking lot of 4895 Riverbend Road. The site design must also show how the emergency vehicle and passenger vehicles turnaround will be accommodated.
10. Additional information must be shown on the site plans before staff concurs with the layout of the proposed cul-de-sac. Please revise the site plans to provide the turning paths through the cul-de-sac for the anticipated design vehicles. Staff wishes to ensure the width of the access points are adequate as well as the radius of the cul-de-sac and pavement width to accommodate the design vehicle without damaging the concrete curb-and-gutter or landscaping. Additionally, please replace the redundant north / south sidewalk with a single sidewalk.
11. Pursuant to Section 2.04(J) of the DCS which states curb-cuts shall be the minimum necessary to serve the use, staff does not concur with the width of the curb-cuts being proposed along 48th Street for the ambulance and loading zone without documentation to support the requested widths.
12. Please revise the Traffic Impact Study to include a parking management plan for the Boulder Community Hospital Complex which includes strategies that will be implemented by BCH to manage the employee and patient parking between the various buildings.
13. In support of section 9-2-14(h)(2)(D) of the B.R.C. 1981 please revise the site plans to construct curb extensions on 48th Street south of Riverbend Road in order to slow vehicles prior to approaching the intersection and crosswalk. Also, please revise the site plans to show a new or the existing curb-ramp in the southeast quadrant of the 48th Street / Riverbend intersection.
14. In support of the project's TDM Plan, please revise the site plans to expand the concrete pad for the short-term bike parking at the west end of the site to accommodate bikes with trailers.

15. Pursuant to section 9-9-6(g)(3) of the BRC regarding the location of short-term bicycle parking, please relocate the two inverted “u” racks from the north end of the site to an area within fifty feet of the building’s entrance off Riverbend Road.
16. Pursuant to the project’s TDM Plan, please label on the site plans for the Medical Pavilion Complex the location and number of showers and lockers being provided for employees.

Building Design Karl Guiler, Case Manager, 303-441-4236

1. Specify the material and attachment method for the hanging elements along the façades of the garage.
2. Submit a color and materials board that includes all of the material components including the parking structure hanging elements and type of stucco proposed.
3. Indicate if walls will have a different cap material and if so, include details and label on the elevations accordingly.
4. Provide the following additional materials for the city to assess the quality of the design:
 - Enlarged sections and details for any in plane material transitions that will occur on the building (e.g., copper to brick etc.) will occur on the facades of the building;
 - Sections of walls through the corner entry elements;
 - Typical windows details through all materials (e.g., copper, brick, stucco etc.) to show window framing details including but not limited to recess measurements of windows to create reveals and wall thickness;
 - Dimensions and attachment details for canopies;
 - Provide more detail (i.e., wall tags) regarding materiality when corners are turned (e.g., materials around the elevator shaft adjacent to the courtyard);
5. Staff finds that the general architecture, height and forms of the buildings are consistent with the building design criteria of sections 9-2-14(h)(2)(B)(i) and (ii), which are respectively as follows, “*The building height, mass, scale, orientation, architecture and configuration are compatible with the existing character of the area or the character*” and “*The height of buildings is in general proportion to the height of existing buildings and the proposed or projected heights of approved buildings or approved plans or design guidelines for the immediate area.*”

At the Concept Plan stage, a unique and attractive design was submitted that continued some of the basic elements of the Boulder Community Health Foothills Hospital while also creating a unique identity unto itself. While staff appreciates the general architectural direction of the project and masonry elements that have been added to the design to better ground the building, the new designs appear somewhat less inspired and less distinct from the existing buildings to the west. Staff finds that this may be due to the Planning Board direction of requesting a simpler design that is more organized. While staff can understand the basis of the board comments, staff finds that the design may be over simplified and thus, is not to the standard of quality expected of the Site Review criteria below:

Section 9-2-14(h)(2)(B)(iv), B.R.C. 1981- “*If the character of the area is identifiable, the project is made compatible by the appropriate use of color, materials, landscaping, signs and lighting*”, and

Section 9-2-14(h)(2)(B)(v), B.R.C. 1981- “*Projects are designed to a human scale and promote a safe and vibrant pedestrian experience through the location of building frontages along public streets, plazas, sidewalks and paths, and through the use of building elements, design details and landscape materials that include, without limitation, the location of entrances and windows, and the creation of transparency and activity at the pedestrian level.*”

While the basic design remains is similar, the proposed design integrates less copper, brick (north side of medical building), and includes a less welcome interface at the pedestrian level, particularly at the corner of 48th Street and along both side of the courtyard. The Concept Plan version of the building showed emphasis at the corner of 48th Street and at the entry by the courtyard, whereas the new design effectively pulls away from the 48th Street corner. Both corners of the building have been deemphasized giving the building a less warm appearance. The Concept Plan also focused on creating attractive four-sided architecture, whereas the new design largely ignores the north elevations by replacing the brick with stucco and removing the screen elements from that side. Staff does not request that revisions contradict Planning Board’s request for more origination and simplicity, but staff does propose the following design suggestions to meet the criteria above in full and to create a design more in the vein of the Concept Plan albeit less intricate:

- Retain the masonry elements at grade, but add more emphasis to the 48th and Riverbend corner by not recessing the building and by adding more fenestration like the Concept Plan design;
 - Consider moving active uses either from the parking garage ground floor or from within the medical building (e.g., cafeteria?) to the 48th and Riverbend corner to create a more welcoming entry to the site and connection to the hospital;
 - Revise the south façade to include more copper elements and windows to create a rhythm similar to the Concept Plan design that created more of a sense of vertical continuity between all three levels. The current design has noticeably less fenestration than the Concept Plan design (e.g., 9 rows of single paned windows versus 6 on the current design);
 - The appearance of a garage door, utility doors and minimal fenestration on the medical pavilion ground floor west elevation does not lend to an attractive, pedestrian friendly façade – particularly in a very visible location. Revise the west elevation of the medical building to have a more pedestrian friendly facade along 48th Street by replacing blank walls and utility doors with more glazing and glass doors and a more attractive porte cochere type design;
 - Consider windows or other treatments to the medical building’s east façade that mitigates the impact of the blank walls around the elevator shaft in that location.
 - Add more substantially brick to the north elevation of the medical pavilion;
 - The proposed canopies added a great deal of visual interest at the Concept Plan stage with their modified angles and wood materiality beneath. It is not clear on the new submittal if this design quality will be included. Please include more detail on the design of the canopies and consider revising the pedestrian connector canopy between the medical and parking buildings that is more integrated as a unifying design element rather than a typical free floating element;
 - The graphic screens on the parking garage at the Concept Plan stage appeared more seamless and screened much of the underlying concrete structural elements on all sides. Further, a “green wall” was proposed on the garage north wall, which is now absent. Much of the features of the garage were enclosed by these elements and fenestration making the negative attributes of the appearance much less apparent. The new design is wrapped to a lesser extent making the garage design less appealing and pedestrian friendly. Staff finds that in order to meet the criteria above, the design should be revised to include more enclosing elements, including more graphic screens extending to the top of the ground level and filling in the gaps between each screen covering up all levels as done at the Concept Plan stage. The unenclosed exterior stairwells also appear tacked on and should be revised to have a more integrated design with the building.
6. Because of the proposed 55-foot height and other appurtenances maximizing the allowable 25 percent coverage for appurtenances, it may be difficult to achieve the solar goals proposed to meet section 9-2-14(h)(2)(F)(xi), B.R.C. 1981 relative minimizing and mitigating energy use. Staff finds that additional measures may be necessary to meet this criterion. Staff is happy to meet and discuss this issue further.



Drainage, Scott Kuhna, 303-441-4071

1. The Design Procedure Form: Rain Garden (RG) calculations in the Appendix of the *Riverbend Medical Center Preliminary Drainage Report (Report)* show an area of 1.4 acres being treated with Water Quality Capture Volume (WQCV) facilities. Page 1 of the *Report* states “the project site is approximately 3.8 acres”. Projects that disturb more than 1 acre of land are required to provide WQCV for the entire disturbed area. Revise accordingly.
2. Page 6 of the *Report* states “There are no known public or private irrigation ditches on the site. Therefore, no impacts to irrigation facilities are proposed with this development”. The Dry Creek No. 2 Ditch runs along the west side of 48th Street and is the outfall for runoff from this project prior to discharge to Boulder Creek. The applicant is responsible for obtaining approvals for any modifications or discharges to irrigation ditches or laterals from the impacted ditch company. Revise the *Report* accordingly.

Engineering, Scott Kuhna, 303-441-4071

The plans show a proposed trash enclosure in the public right-of-way of the cul-de-sac for Riverbend Road, which cannot be permitted. Revise accordingly.

Flood Control, Jessica Stevens, 303-441-3121

1. The property is impacted by the 100-year floodplain of Boulder Creek. A floodplain development permit will be required for all development within the 100-year floodplain. The floodplain development permit shall contain certified drawings demonstrating:

- a. Any person constructing a new nonresidential structure shall floodproof in a manner requiring no human intervention or elevate the lowest floor, including the basement, to or above the flood protection elevation.
 - b. The proposed buildings will have structural components capable of resisting projected hydrostatic and hydrodynamic loads and the effects of buoyancy, and be constructed with materials resistant to flood damage.
 - c. Any proposed structures or obstructions in the floodplain, including trash enclosures and raised planters, will be properly anchored to prevent flotation, collapse, or lateral movement and be capable of resisting hydrostatic and hydrodynamic loads.
 - d. The buildings will be constructed with electrical, heating, ventilation, plumbing, air conditioning equipment, and other service facilities that are designed and located (by elevating or floodproofing) so as to prevent water from entering or accumulating within the components during conditions of flooding.
 - e. No owner or operator of a critical facility within the floodplain shall fail to develop and have approved an emergency management plan prior to issuance of any floodplain development permit.
2. The proposed floodproofing/elevation measures must be reviewed through the Site Review process.
 3. In accordance with section [9-3-3\(a\)\(7\)](#) of the BRC, no person shall store a hazardous substance at or below the flood protection elevation for the area of the floodplain in. The underground fuel storage for the generator must be relocated outside of the floodplain.

Fees Karl Guiler, Case Manager, 303-441-4236

Please note that 2016 development review fees include a \$131 hourly rate for reviewer services following the initial city response (these written comments). Please see the P&DS Questions and Answers brochure for more information about the hourly billing system.

Land Uses Karl Guiler, Case Manager, 303-441-4236

1. Staff finds that the proposal to change the Boulder Valley Comprehensive Plan (BVCP) land use designation on site meets the criteria within the BVCP. Staff responses to the applicable criteria are provided in Section V below.
2. The application indicates that surplus parking will be provided within the parking structure to account for limited parking on the Boulder Community Health Foothills Hospital site. Because some parking would serve another site, the surplus parking qualifies as “Automobile parking lots, garages or car pool lots as a principal use”. Staff will consider this as part of the already submitted Use Review application. Staff has requested additional information in the ‘zoning’ section below related to the parking.
3. Little information about the use of the “retail” spaces has been provided with the application. Please note that most retail uses are prohibited in the Public zone. Therefore, the spaces would need to qualify as accessory sales per the definition below or other permitted uses in the P zone. Please submit more detailed information about the intended use of the spaces within the parking garage first floor.

Accessory sales means incidental retail sales in a nonresidential zone where retail sales are not otherwise permitted. Sales not exceeding fifteen percent (twenty-five percent in an IS zone) of the gross floor area are permitted if the products sold are directly related to the principal use. Examples, art work sold at an artist's studio, convenience goods in a hotel or motel, health care products sold by a healing arts practitioner, or a factory outlet store selling products manufactured on the site.

Please submit responses to the Use Review criteria of Section 9-2-15(e), B.R.C. 1981 related to this use for evaluation.

Landscaping Elizabeth Lokocz, 303-441-3138

Staff appreciates the high level of detail provided in the initial submittal. Please respond to the following comments at the next submittal. Contact staff with any questions or concerns.

1. Delete the proposed weed barrier fabric from the plans (keynote 3.5) based on the relatively small planting beds and extremely poor soils in this area of the city.
2. While turf is not a primary landscape cover, its’ use in the right of way planting strips might be better substituted with a more drought tolerant ground cover such as sedums, ice plant, phlox. Ajuga, etc. Limiting turf helps to meet the xeric and water conservation standards of section 9-9-12(d) B.R.C. 1981.
3. The western portion of the Riverbend has numerous tree/utility conflicts. Work with the civil engineer to evaluate alternative storm sewer alignments that do not prevent street trees. The existing sanitary sewer is also in conflict.

Dimension the separation on the utility plan and evaluate how to achieve all requirements. See utility comments for additional information. Alternatives may include relocation of existing utilities.

4. The proposed traffic circle also has conflicts with tree/utility separation and one tree on the southwest side is less than three feet from the edge of pavement. Adjust the trees to the extent possible before reducing the overall number.
5. Adjust the proposed light over the surface parking spaces to provide a minimum ten foot separation from proposed trees.
6. Note that the below grade garage does not contribute to required landscaping (see the summary chart on sheet L1.0).
7. Provide a sample of the parking garage screen. Is the tree graphic illustrated achieved through perforations, or is it an additional coating? Please be aware that vinyl or peel and stick materials have relatively short life spans in Colorado due to UV exposure and are not likely to be supported as a material option.
8. The material keynotes have extensive details furniture and material selections. Create an addition an additional sheet with cutsheets, details, etc. to help illustrate the outdoor space. It might also be necessary to provide a materials board.
9. The proposed eight foot screen wall on the north end of the courtyard is not included in any elevations or perspectives. Clarify if it is necessary and adjust the planter shape and tree selections to better respond to the vertical obstruction of the wall. The current layout has relatively small planter beds bisected by the wall footer and trees within 30 inches of the wall. Also note the height limit for walls per section 9-9-15(c) B.R.C. 1981. Wall height may be modified through the Site Review process, but must specifically be listed as a requested modification on the application materials. Provide additional information on the aluminum panels described in Material Keynote 4.5.
10. The rain gardens have been successfully integrated in similar building contexts; however, the planting palette included on sheet L2.3 includes primarily full sun perennials and the majority of the rain gardens are part sun or full shade. Evaluate a wider range of plant options to accommodate the exposure. Fully detailed planting design is not needed until Technical Document if changes are anticipated, but the plant palette would be very helpful to develop now. Detail 5 on the same sheet also calls out 3" of mineral mulch while the material keynotes call out cobble. Please coordinate. Three inches is probably not necessary. The minimum amount of mulch necessary to help control moisture loss and weeds should be specified.
11. Please update the Summary Chart of sheet L1.0 to reflect actual street frontage and required and provided quantities for street trees.

Note that the space north of the service curb cut on 48th appears to accommodate a street tree, but another tree is directly over a water service.

There are four existing ash in the right of way north of Riverbend. These trees are not large enough to treat for Emerald Ash Borer and should be marked for removal and replacement. Mitigation is not due for removal, but the project will be responsible for removal per all federal and local requirements and replacement with large maturing street trees. Please note only a city licensed arborist may do tree removal to help manage proper wood disposal.

12. Complete all tree quantities in the Plant Legend to assist in verifying proposed tree counts and any diversity questions. A few tree labels are missing (or hard to find?); see the Japanese tree lilac in the courtyard and the single Kentucky coffeetree off the southeast corner of the parking structure.

Swamp white oak is a great tree, but there are too many of them on Riverbend. Add an additional non-oak species. Catalpa would be a good addition.

The traffic circle may have sight triangle conflicts with the proposed serviceberry. If utilities allow, additional larch would be a great option.

The proposed Hoopsii spruce may conflict with sight triangles which don't appear to be on the plans. Add sight triangles per section 9-9-7 B.R.C. 1981 and any general transportation standards and adjust the locations of the trees as needed. They are a nice addition to the overall plant selection, but may need to be incorporated into other locations.

13. Please note additional plant selection comments may be provided in the next submittal.

Legal Documents

1. The Applicant will be required to sign a Development Agreement, if approved. When staff requests, the Applicant shall provide the following:

- a) an updated title commitment current within 30 days; and
- b) Proof of authorization to bind on behalf of the owners.

Neighborhood Comments

Karl Guiler, Case Manager, 303-441-4236

Staff received a call from a doctor at 4895 Riverbend who is concerned about the construction impacts to the site and tie increase in traffic that will congest the site. The commenter requested that the connection with the Ball Aerospace property be done as part of this project to provide additional access points for the site. Staff has forwarded this comment to the applicant's attention.

Plan Documents

Karl Guiler, Case Manager, 303-441-4236

1. The proposed property lines appear to be inconsistent between the different plans. Please revise and make sure existing and proposed lot lines and areas to be dedicated are accurate and consistent between the different plan sets.
2. Please use a more common scale size (e.g., 1"=10", 1"=20' etc.) for the site development plan and floor plans.
3. Correct the spelling of 'ambulance' on Sheet SR1.
4. Dimension the minimum 24 feet of back out in the aisle drives within the parking structure.
5. Revise Sheet L1.0 to remove the 1"=20', which is incorrect.
6. It appears that the pedestrian doorway into the parking garage on the plan (Sheet L2.2) does not match the location shown on the site plans. Please clarify.

Signage Caeli Hill, 303-441-4161

Please note that all proposed signs require separate review and permit approval. Signs will not be reviewed as a part of Site Review or Technical Document review unless a specific modification is requested and specifically called out on the plans. Section 9-9-21(k), B.R.C. 1981 allows for the standards dealing with sign setbacks from property lines, spacing between projecting and freestanding signs and sign lettering and graphic symbol height to be varied through the Site Review process; however, any proposed variations to the sign code standards must be specifically referenced in the requested variations to the land use regulations and called out on the plan set in order to be valid following approval of the application. The Applicant may also wish to create a uniform sign program to ensure continued uniformity in the future, in which case the standards found in section 9-9-21(k)(3) would apply. While it is preferable to remove all signs from the Site Review and Technical Document plan sets to avoid any potential future confusion, ghosting the images into the set with a notation that it is under a separate permit is acceptable. Please note that illustration of a sign on the plan set does not grant a modification. Please refer to section 9-9-21 B.R.C. 1981 for all sign related requirements.

Site Design

Karl Guiler, Case Manager, 303-441-4236

1. The plans are somewhat unclear as to how the proposed right-of-way will interact with the parking and circulation of 4895 Riverbend. Will paved areas north of the 4895 Riverbend be removed? Will circulation continue around the east part of the site onto 4890 Riverbend? What impact to existing parking will occur? Please update all site and engineering plans to clarify. If circulation does not continue, please note that a turnaround space would be required per Section 9-9-6(d)(3)(B), B.R.C. 1981.
2. Site Review criterion 9-2-14(h)(2)(D)(iii), B.R.C. 1981 requires that "*Safe and convenient connections are provided that support multi-modal mobility through and between properties, accessible to the public within the project and between the project and the existing and proposed transportation systems, including, without limitation, streets, bikeways, pedestrianways and trails.*" In the interest of meeting city goals of creating neighborhood street connectivity and break up large blocks the proposal to extend Riverbend Road to the east property line with Ball Aerospace moves appropriately towards meeting this intent. The ability to make this connection at this time would greatly achieve these aims. Please show the connection built up to the property line and work with Ball Aerospace on achieving this. Please also see 'Access/Circulation' comments for Design and Construction Standard (DCS) requirements for rights-of-way.

Also consistent with the criterion above, staff supports to the curb *bulb outs at the crosswalk over 48th Street to provide an enhanced pedestrian connection between the subject site and the Boulder Community Health Foothills hospital. Please provide a blow up diagram of this crosswalk and show how the pedestrian walk ways will appropriately align (e.g., how will the proposed path connection align with the colonnaded walkway on the hospital site?).* Modifications to the hospital property though a minor modification may be necessary to have the most efficient design for pedestrian passage.

3. Staff is concerned that the "multi-use path" may be confusing to site users because it ultimately terminates in the location of an electrical transformer. The application makes note that the path will not connect to the eastern

property due to grade. Will this connection continue onto the Ball Aerospace property in the future? If so, please add a note or graphic indication that the path is intended to continue further east.

4. In order to also meet Site Review criterion 9-2-14(h)(2)(D)(iii), B.R.C. 1981 that requires “*safe and convenient connections*” please revise the sidewalk connections from the southern Riverbend sites to the medical facility to be more convenient and direct as suggested by the ‘Access/Circulation’ comments above.
5. To “*avoid potential conflict between vehicles*” pursuant to Section 9-2-14(h)(2)(D)(ii), B.R.C. 1981, please consider locating the four accessible stalls in the garage so that automobiles do not need to back out into traffic flow and that patrons will not need to cross a drive to access the facility. This would also be consistent with Section 9-2-14(h)(2)(E)(i), B.R.C. 1981, which states, “*the project incorporates into the design of parking areas measures to provide safety, convenience and separation of pedestrian movements from vehicular movements.*”
6. To also “*avoid potential conflict between vehicles*” pursuant to Section 9-2-14(h)(2)(D)(ii), B.R.C. 1981 and consistent with the goals of creating attractive streetscapes, the proposed trash enclosure on the south side of the cul-de-sac shall be relocated to a location that is not visually prominent and where there is no potential for trash trucks conflicting with other vehicles or pedestrians.
7. Staff finds that another site alternation would be necessary to fully meet section 9-2-14(h)(2)(i), B.R.C. 1981 discussed above. To fully meet the intent of that section, staff finds that a relocation of the parking structure entry to align with the circulation access to parking on the south lot (4895 Riverbend) may be more functional and efficient than the proposed location to remove a vehicle/pedestrian conflict point and also consolidate the ground floor wrap uses.
8. In general, staff finds the central garden courtyard space consistent with the Site Review criteria; however, to fully meet Section 9-2-14(h)(2)(A)(i), B.R.C. 1981, which states, “*Useable open space is arranged to be accessible and functional and incorporates quality landscaping...*”, staff is requesting that further attention be considered for the pedestrian circulation through the space as well as the building designs that frame the space (see ‘Building Design’ comments). At present, the parking garage opening into the space visually directs patrons toward a raised landscape area rather than the building entry. This configuration is somewhat awkward and should be revised to achieve a more intuitive connection. Also, staff is concerned about the usability of the space with the abundance of blank building walls framing the space and impact that the open garage could have the space in as far as vehicle noise is concerned. Please consider changes to the buildings and the space that would enhance its usability, including but not limited to relocation of more active uses framing the space. In addition, it appears that the space will also be used for therapeutic uses where such spaces may benefit from being more insulated from public spaces or the noises from the parking garage.
9. Please provide a detailed elevation of the proposed screening wall on the north side of the courtyard space and show how it will appropriately screen the transformer.
10. A bench location is shown immediate in front of a doorway to the medical building. Consider moving the bench to the bike parking location to meet the criterion relevant to items 5 and 6 above.
11. To demonstrate that the third floor courtyard will be a accessible and function space, please show the wall treatments surrounding the space and consider a water feature or other elements that would make the space inviting.

Utilities, Scott Kuhna, 303-441-4071

Trees need to be located at least 10 feet away from existing or future utilities. The following utility lines (or trees) were identified as not meeting separation requirements.

- Proposed street trees (3) on south side of Riverbend – Existing wastewater main
- Proposed street tree on south side of Riverbend – Proposed storm sewer lateral and existing water main
- Proposed street trees (2) on south side of Riverbend – Existing water main
- Proposed pine trees (3) on south side of Riverbend – Existing water main and existing wastewater main
- Proposed street tree northwest of cul-de-sac – Existing wastewater main
- Proposed street tree west of cul-de-sac – Existing water service line
- Proposed street trees (2) south of cul-de-sac – Existing (separate) water service lines
- Proposed ornamental trees (7) in middle of cul-de-sac - Existing water main and existing wastewater main
- Proposed street tree south of Parking Garage – Proposed storm sewer line and inlet
- Proposed street tree south of MOB Building – Proposed storm sewer line and inlet

- Proposed street trees (2) on south side of Riverbend – Existing water service for 4895 Riverbend
- Proposed street tree on north side of Riverbend – Proposed wastewater service for Parking Garage
- Proposed tree west of MOB Building – Proposed fire service line
- Proposed trees (2) between the two buildings – Proposed private storm sewer

Zoning Karl Guiler, Case Manager, 303-441-4236

1. The survey or any plat for the project site shall indicate the total size of the development site. The site size shall be consistent between all plan sets.
2. A preliminary plat is required to show the lots to be combined and the new rights-of-way through the site. Staff strongly recommends that the plat be submitted at this time during the Site Review stage.
3. Add topographic contours to the site development plan. This is necessary to confirm the low point elevations from each building's tallest side.
4. The proposal includes a request for a height modification for both the medical hospital building and parking garage. Please note that this would require an amendment to an adopted city ordinance specifying where height modifications will be considered. The appendix to the ordinance that shows the areas where height modifications would need to be amended to except the subject site. This will require City Council action and can be simultaneous to the consideration of the BVCP Land Use Map change and rezoning.
5. On Sheet SR4-4, include a calculation of the roof area that includes appurtenances (including screen enclosures) to demonstrate that the 25 percent maximum is not exceeded. Please note that at 55 feet solar arrays would also be limited to the 25 percent maximum. Further, include section of the appurtenances indicating their height from the roof and demonstrate that the appurtenances cannot be accommodated at a lesser height to lower their visual impact. See Section 9-7-7, "Building Height, Appurtenance," B.R.C. 1981 for specific standards.
6. Per the city's definition of front, rear and side setback in chapter 9-16 of the land use code, the front setback would be measured from 48th Street. This would make the setback along the new Riverbend Road a street side yard. An interior side yard would be shared with the Ball Aerospace property to the north and a rear setback would be applied to the site's eastern property line. Please revise these dimensions on the site development plan. Based on this, staff has identified the following required setback modifications:
 - 9-7-1- Minimum side yard landscaped setback from a street to permit a building at 10 feet and parking spaces at 3 feet where 12.5 feet is required.
 - 9-7-1- Minimum rear yard setback to permit the parking structure at 13 feet where 25 feet is required.
7. Staff calculations for total floor area are close to those within the plan set, although please check the following items to see if the numbers are accurate per the city's definition of "floor area" in chapter 9-16:
 - Is the storage area included in the calculations for the garage, including the calculations for total parking?
 - Why is the uppermost level of the garage significantly less in square footage than the other levels?
 - Have the stairwell openings and upper floor garden in the medical building been exempted from the floor area total?
 - Are the trash enclosure/service areas included in the building footprint totals?
8. The compact parking stalls are acceptable, but please note that per code the dimensions of the stalls are a minimum of 7.75 feet by 15 feet in the vent that additional space is needed.
9. Staff's count of the parking spaces is generally consistent with the numbers in the plan set. However, please clearly designate on the parking structure plans areas by the stair wells that will not be parking spaces as it is currently not clear.
10. The plans appear to show roughly 150 parking spaces in excess of the parking requirements. Staff is aware that there have been challenges with accommodating parking on the Boulder Community Health Foothills Hospital site and that the proposed garage is meant to alleviate some of the parking issues. Pursuant to Section 9-9-6(d)(6), B.R.C. 1981 prepare a parking study that includes the Boulder Community Health Foothills Hospital site in the study area and demonstrates that parking will between the sites will be appropriately accommodated. This study may be done in conjunction with the required traffic study.
11. Please indicate whether overflow spaces provided in the parking garage will be restricted to employees or open to

all visitors.

12. The cantilevered portion of the building over the service areas shall not be exempted from the building footprint calculation. Please revise.
13. The drop off access lane between the buildings and accessible parking spaces on the site cannot count as useable open space per section 9-9-11, B.R.C. 1981. Please remove these areas and revise the open space calculation accordingly.
14. Approval of any Site Review will require an amendment to the existing Riverbend Office Park Planned Unit Development (PUD). At present, there are no references to this. In order to amend the four subject properties from the stipulations of the original PUD, it would be necessary to show that the remaining Riverbend properties and demonstrate how they will continue to be compliant with zoning and its original and subsequent approvals with respect to parking, open space etc. This is especially relevant as the proposal will likely impact parking and open space conditions on the other lots. Please include site plan sheet specific to the remaining properties of the Riverbend Office Park with relevant zoning data demonstrating basic compliance with PUD and underlying BT-2 (Business Transitional – 2) zoning.
15. Staff finds that the rezoning criteria can be met to rezone the property P (Public). See Section V below.

III. INFORMATIONAL COMMENTS

Addressing Caeli Hill, 303-441-4161

At the time of redevelopment of the land south of the proposed site between River Bend Road and Arapahoe Road, and east of 48th Street, the street name of the circular drive should be changed from River Bend Road to River Bend Circle to comply with the City's addressing policy.

Area Characteristics and Zoning History

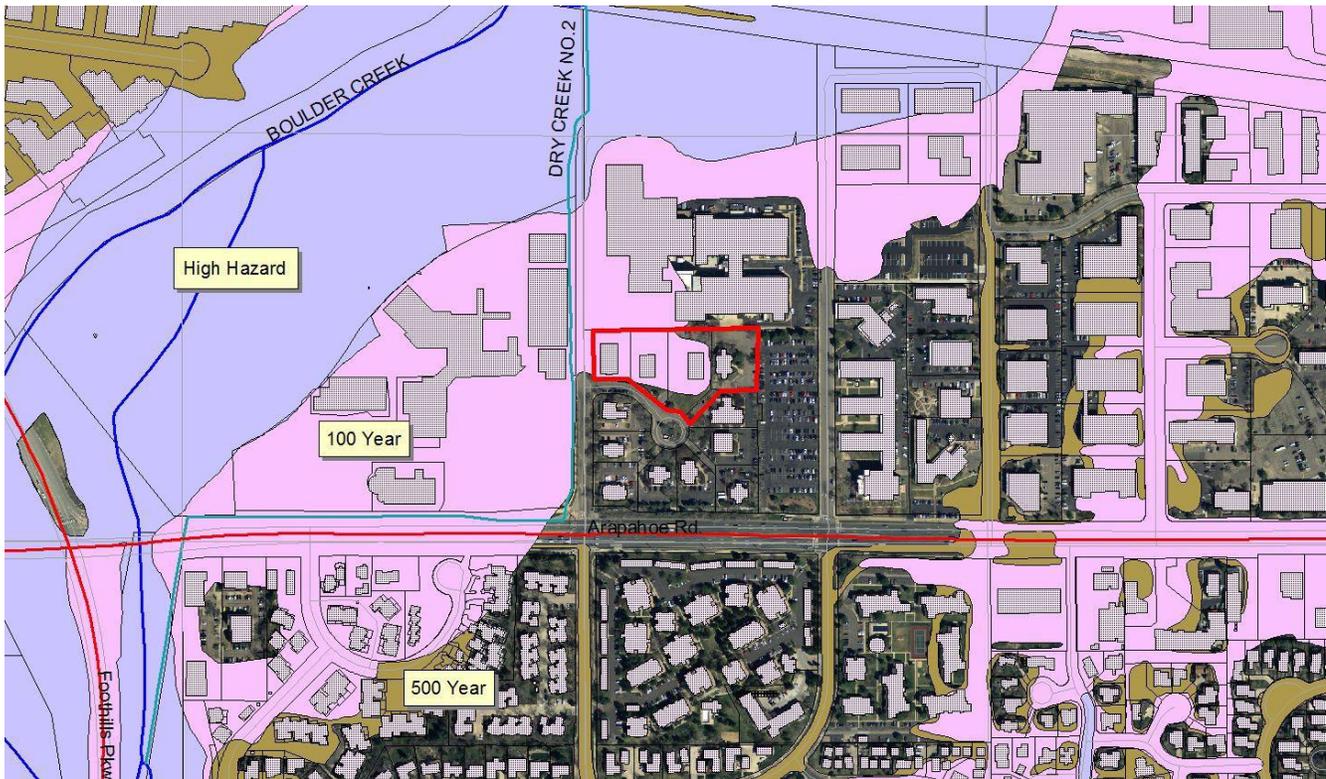
Karl Guiler, Case Manager, 303-441-4236

The site is currently the location of the Riverbend Office Park, which was originally annexed and approved as a Planned Unit Development (PUD) with an initial zoning designation of Industrial – Developing ("IG" under current code standards). The original approval also included a Special Review (now called Use Review) approval for the office uses.

Over the years, several additional Use Reviews were approved for additional office uses on specific sites within the PUD, and several other office uses were established or converted without the benefit of City review. In 2000, the Riverbend Office Park was rezoned from Industrial to Transitional Business in acknowledgment of the fact that the proliferation of office uses within the development, many of which were nonconforming or prohibited, had resulted in the development no longer being consistent with the Industrial zoning designation. Currently, the 12 existing one and two-story buildings within the Riverbend Office Park contain a mix of medical/dental, professional and technical offices and personal service uses, all of which are allowed uses in the BT-2 zone district.

A variety of BVCP land use designations surround the site and reflect the diversity of land uses in the area. Most land east and north of the site are designated light industrial, whereas uses south of Arapahoe are predominantly designated medium to high density residential with low density residential neighborhoods further from Arapahoe. As mentioned above, the project site is located immediately to the east of the existing BCH Foothills campus at the corner of Arapahoe and Foothills, which has a BVCP land use designation of Public. The lands southwest of Foothills and Arapahoe owned by the University of Colorado have a Public land use designation as well.

The project site has a number of unique characteristics that will need to be taken into consideration. As shown in the figure below, the site is impacted by the 100-year floodplain and as such any new development will require a floodplain development permit. In addition, because the proposed facility is considered a critical facility per section 9-16, B.R.C. 1981, an Emergency Management Plan would be required.



It is also worth noting that the Federal Emergency Management Agency (FEMA) is considering the adoption of updated floodplain maps for Boulder Creek. These maps were previously adopted by the Boulder City Council on Sept. 18, 2012, but have not yet been incorporated into FEMA's Flood Insurance Rate Maps. FEMA held an Open House meeting to present the proposed mapping on Wednesday, Sept. 16, 2015.

The new floodplain mapping was adopted by City Council on Sept. 18, 2012 and is currently regulatory. FEMA began reviewing the mapping on Oct. 30, 2012. Final project documentation was submitted to FEMA in September 2013. In November 2013, FEMA indicated that they accepted the results of the study and will be adopting the new mapping through the Physical Map Revision process, which is a multi-year process. The process was delayed due to the September 2013 flooding. FEMA released Preliminary Flood Insurance Rate Maps (FIRMs) on July 23, 2015. These maps are available on FEMA's website: <http://msc.fema.gov/portal>

The new FIRMs are anticipated to become effective in December 2016, although this schedule is subject to change. Please see the link to the FEMA fact sheet for more information. The existing floodplain mapping and the revised floodplain mapping are both regulatory until FEMA adopts the new mapping. For additional information please visit: <https://bouldercolorado.gov/flood/boulder-creek-floodplain-mapping-update>.

The properties are also immediate adjacent to the existing Boulder Community Health facility, which now contains the principal hospital for Boulder. The property was annexed in 2001 and application LUR2001-00009 was approved to permit construction of the hospital in phases with deferred parking. Five phases and up to 420,000 square feet of floor area was permitted through Site Review #LUR2001-00009.

Application LUR2004-00012 entailed a change to the annexation agreement (i.e., removal of doctor offices from critical medical services definition) and application LUR2005-00049 permitted an adjustment to the phasing (designations) and floor area to permit the new cancer center along Arapahoe. Total floor area to the site was reduced from 420,000 square feet to 418,000 square feet (see Condition No. 4 of the approval). The 2001 approval permitted the Site Review to be valid for a period of 10 years. Staff extended this validity for six months into 2012.

Site Review application #LUR2011-00043 was approved by Planning Board on Dec. 1, 2011 to expand the existing 308,255 square foot hospital by over 100,000 square feet of new floor area (totaling up to 440,000 square feet) within new three-story wings and upper floors on the existing hospital building. A height modification was also approved to build the new additions up to 52 feet (similar to existing height). Use Review application #LUR2011-00061 was also approved to permit the heliport. A rezoning was also approved to properly align the zoning with the underlying BVCP land use map designations of Public and Open Space.

Drainage, Scott Kuhna, 303-441-4071

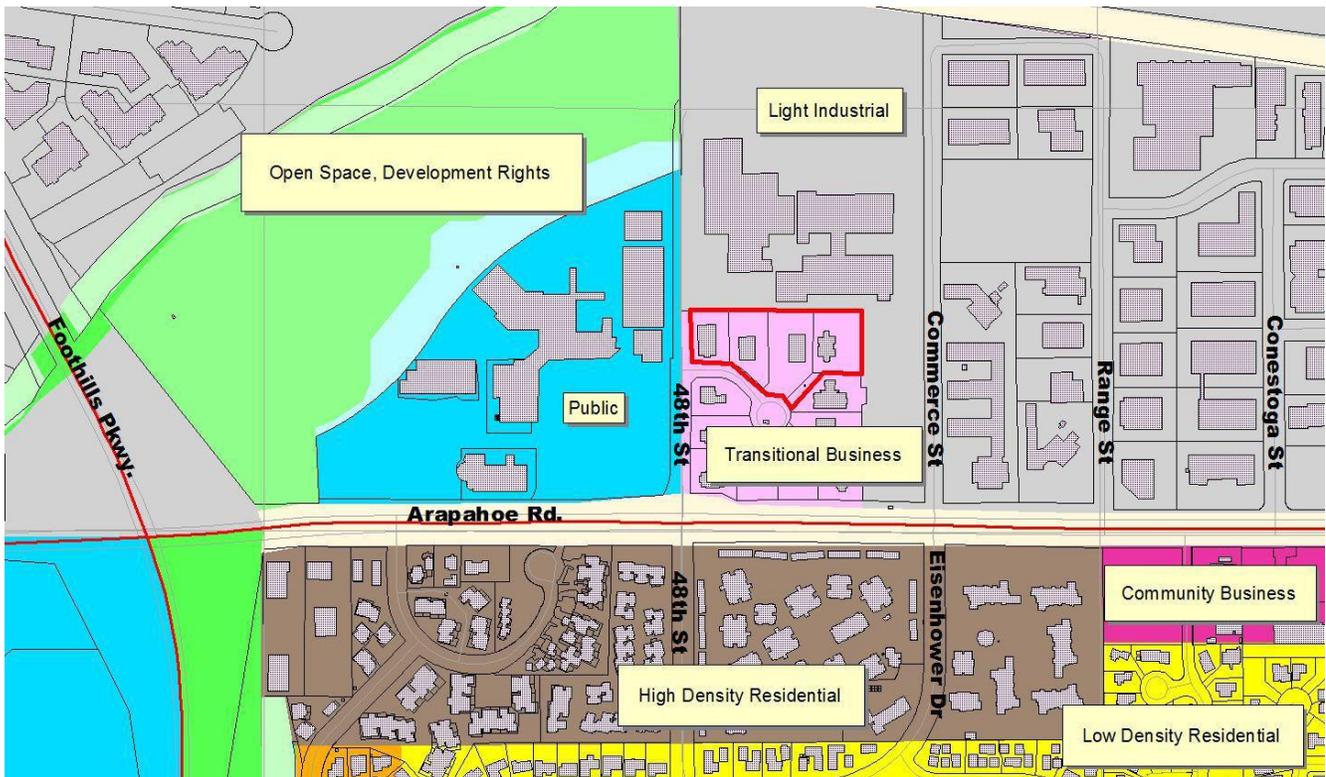
1. A Final Storm Water Report and Plan will be required as part of the Technical Document Review process. All plans and reports shall be prepared in accordance with the City of Boulder Design and Construction Standards (DCS).
2. Discharge of groundwater to the public storm sewer system may be necessary to accommodate construction and operation of the proposed development. City and/or State permits will be required for this discharge. The applicant is advised to contact the City of Boulder Storm Water Quality Office at 303-413-7350 regarding permit requirements. All applicable permits must be in place prior to building permit application. Additionally, special design considerations for the properties to handle groundwater discharge as part of the development may be necessary.
3. All inlet grates in proposed streets, alleys, parking lot travel lanes, bike paths, or sidewalks shall utilize a safety grate approved for bicycle traffic.
4. A construction stormwater discharge permit is required from the State of Colorado for projects disturbing greater than 1-acre. The applicant is advised to contact the Colorado Department of Public Health and Environment.

Groundwater, Scott Kuhna, 303-441-4071

Groundwater is a concern in many areas of the city of Boulder. Please be advised that if it is encountered at this site, an underdrain/dewatering system may be required to reduce groundwater infiltration, and information pertaining to the quality of the groundwater encountered on the site will be required to determine if treatment is necessary prior to discharge from the site. City and/or State permits are required for the discharge of any groundwater to the public storm sewer system.

Land Uses Karl Guiler, Case Manager, 303-441-4236

The existing Boulder Valley Comprehensive Plan (BVCP) land use designation on the site is Transitional Business. The BVCP describes Transitional Business as follows “*The Transitional Business designation is shown along certain major streets. These are areas usually zoned for less intensive business uses than in the General Business areas, and they often provide a transition to residential areas.*” The application includes a request for Public land use, which is described as follows, “*Public/Semi-Public land use designations encompass a wide range of public and private nonprofit uses that provide a community service. This category includes municipal and public utility services such as the municipal airport, water reservoirs, and water and wastewater treatment plants. Public/Semi-Public also includes: educational facilities, including public and private schools and the university; government offices such as city and county buildings, libraries, and the jail; government laboratories; and nonprofit facilities such as cemeteries, churches, hospitals, retirement complexes and may include other uses as allowed by zoning.*”



Landscaping

Due to the recent identification of Emerald Ash Borer (EAB) in the city, there is a mandatory state and federal quarantine that restricts the movement of all ash products and all hardwood firewood. The quarantine area includes all of Boulder County; it also includes the two landfills in Erie, a wood containment area in Meeker Park and the Republic Landfill on Highway 93 south of Boulder to facilitate the movement of ash and flood debris. ONLY a city of Boulder licensed Certified Arborist may prune or remove trees to ensure proper wood disposal. A list of licensed Certified Arborists is available on the city's website at <https://bouldercolorado.gov/plan-develop/tree-contractor-license>. For more information on EAB, please visit www.EABColorado.com.

Miscellaneous, Scott Kuhna, 303-441-4071

1. The applicant is notified that any groundwater discharge to the storm sewer system will require both a state permit and a city agreement. The steps for obtaining the proper approvals are as follows:

Step 1 -- Identify applicable Colorado Discharge Permit System requirements for the site.

Step 2 -- Determine any history of site contamination (underground storage tanks, groundwater contamination, industrial activities, landfills, etc.) If there is contamination on the site or in the groundwater, water quality monitoring is required.

Step 3 -- Submit a written request to the city to use the municipal separate storm sewer system (MS4). This submittal should include a copy of the Colorado Department of Public Health and Environment (CDPHE) permit application. The written request should include the location, description of the discharge, and brief discussion of all discharge options (e.g., discharge to MS4, groundwater infiltration, off-site disposal, etc.) The request should be addressed to: City of Boulder, Stormwater Quality, 4049 75th St, Boulder, CO 80301 Fax: 303-413-7364

Step 4 -- The city's Stormwater Quality Office will respond with a DRAFT agreement, which will need to be submitted with the CDPHE permit application. CDPHE will not finalize the discharge permit without permission from the city to use the MS4.

Step 5 -- Submit a copy of the final discharge permit issued by CDPHE back to the City's Stormwater Quality Office so that the MS4 agreement can be finalized.

For further information regarding stormwater quality within the City of Boulder contact the City's Stormwater Quality Office at 303-413-7350. All applicable permits must be in place prior to building permit application.

2. No portion of any structure, including footings and eaves, may encroach into any public right-of-way or easement.

Review Process

Karl Guiler, Case Manager, 303-441-4236

Per section 9-2-14(b)(1), B.R.C. 1981, Site Review is required for projects located in the BT-2 zone district that are over 2 acres in size or include over 30,000 square feet of floor area. Therefore, development of the 2.55-acre site with a 75,030 sq. ft. building requires Site Review. The land use map change and rezoning of the property, as described above, also requires Planning Board and City Council action.

Utilities, Scott Kuhna, 303-441-4071

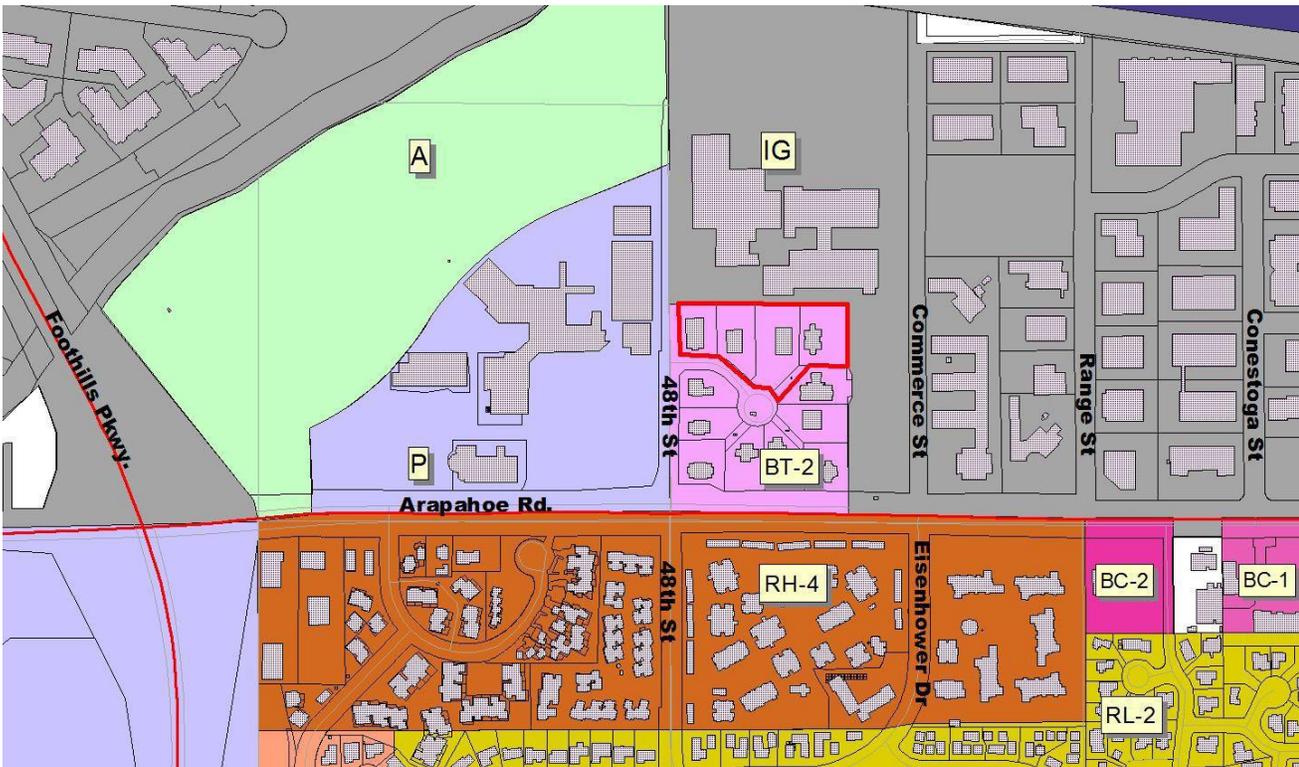
1. The applicant is advised that any proposed street trees along the property frontage may conflict with existing utilities, including without limitation: gas, electric, and telecommunications, within and adjacent to the development site. It is the applicant's responsibility to resolve such conflicts with appropriate methods conforming to the Boulder Revised Code 1981, the City of Boulder Design and Construction Standards, and any private/franchise utility specifications.
2. Final utility construction drawings will be required as part of the Technical Document Review process (which must be completed prior to building permit application). All existing and proposed "dry" utilities (Xcel, Comcast, Century Link, etc.) will also need to be included on the plans.
3. Maintenance of sand/oil interceptors and all private wastewater and storm sewer lines and structures shall remain the responsibility of the owner.
4. The landscape irrigation system requires a separate water service and meter. A separate water Plant Investment Fee must be paid at time of building permit. Service, meter and tap sizes will be required at time of building permit submittal.
5. The applicant is advised that at the time of building permit application the following requirements will apply:
 - a. The applicant will be required to provide accurate plumbing fixture count forms to determine if the proposed meters and services are adequate for the proposed use.

- b. Water and wastewater Plant Investment Fees and service line sizing will be evaluated.
 - c. If the existing water and/or wastewater services are required to be abandoned and upsized, all new service taps to existing mains shall be made by city crews at the developer's expense. The water service must be excavated and turned off at the corporation stop, per city standards. The sewer service must be excavated and capped at the property line, per city standards.
 - d. Since the buildings will be sprinklered, the approved fire line plans must accompany the fire sprinkler service line connection permit application.
6. All water meters are to be placed in city right-of-way or a public utility easement, but meters are not to be placed in driveways, sidewalks or behind fences.
 7. The applicant is notified that, though the city allows Xcel and Qwest to install their utilities in the public right-of-way, they generally require them to be located in easements on private property.
 8. Floor drains internal to covered parking structures, that collect drainage from rain and ice drippings from parked cars or water used to wash-down internal floors, shall be connected to the wastewater service using appropriate grease and sediment traps.
 9. Trees proposed to be planted shall be located at least 10 feet away from existing or future utility mains and services.

Zoning

Karl Guiler, Case Manager, 303-441-4236

The project site is zoned BT-2 (Business-Transitional 2), defined in the land use code as: *“Transitional business areas which generally buffer a residential area from a major street and are primarily used for commercial and complementary residential uses, including, without limitation, temporary lodging and office uses”* (section 9-5-2(c)(2)(E)). The proposal includes a request to rezone to P (Public) zoning. P zoning is defined in the land use code as: *“Public areas in which public and semi-public facilities and uses are located, including without limitation, governmental and educational uses.”*



IV. NEXT STEPS

1. Review and address the comments contained within this document.
2. If desired, contact the case manager on setting up a meeting to discuss the comments with case reviewers.
3. Submit eight (8) copies of revised review sets, requested additional information, and a letter response to the comments to the Project Specialists to continue review.

V. CITY CODE CRITERIA CHECKLIST

BVCP Land Use Map Change

The Land Use Map is not intended to be a zoning map. It is intended to provide policy direction and definition for future land uses in the Boulder Valley. Thus, a change to the land use designations may be considered at any time if it is related to a proposed change in zoning or proposed annexation and meets all of the following criteria:

(a) The proposed change is consistent with the policies and overall intent of the comprehensive plan.

The proposal to change the BVCP Land Use Map designation is consistent with the intent of the comprehensive plan to promote the physical health and well-being of residents of the Boulder Valley. The BVCP strives to “*maintain a high quality of life for all of its residents*” by “*providing facilities and services, among are human service programs and a focus on promoting cultural, social and economic equity.*” More specifically, the following policies on economic and social sustainability are relevant:

BVCP Policy 1.03 Principles of Economic Sustainability The city and county will strive to develop and maintain a healthy, adaptable economy that is vital to the community’s quality of life and high level of services and amenities by:

- a) Promoting a diverse economy that supports the needs of all community members;*
- b) Promoting a qualified and diversified work force that meets employers’ needs and supports a range of jobs; and*
- c) Providing for and investing in a quality of life, unique amenities, and infrastructure that attracts, sustains, and retains businesses and entrepreneurs.*

BVCP Policy 1.04 Principles of Social Sustainability The city and county will strive to promote a healthy community and address social and cultural inequities by:

- a) Respecting and valuing cultural and social diversity;*
- b) Ensuring the basic health and safety needs of all residents are met; and*
- c) Providing infrastructure and services that will encourage culturally and socially diverse communities to both prosper within and connect to the larger community.*

The Public Land Use Designation is described as follows:

Public/Semi-Public land use designations encompass a wide range of public and private nonprofit uses that provide a community service. This category includes municipal and public utility services such as the municipal airport, water reservoirs, and water and wastewater treatment plants. Public/Semi-Public also includes: educational facilities, including public and private schools and the university; government offices such as city and county buildings, libraries, and the jail; government laboratories; and nonprofit facilities such as cemeteries, churches, hospitals, retirement complexes and may include other uses as allowed by zoning.

The requested Public land use designation would allow for the expansion of the Boulder Community Health facility consistent with the following BVCP policies:

- BVCP Policy 2.17 Variety of Activity Centers
- BVCP Policy 8.01 Provide for a Broad Spectrum of Human Needs
- BVCP Policy 8.07 Physical Health
- BVCP Policy 8.10 Support for Community Facilities

(b) The proposed change would not have significant cross-jurisdictional impacts that may affect residents, properties or facilities outside the city.

The proposed change is meant to facilitate the expansion of health services in a single location for the Boulder Valley. The change would allow for more efficient provision of services and enhance access to services for residents of the area. There would be no significant cross-jurisdictional impacts to residents, properties or facilities outside the city.

(c) The proposed change would not materially affect the land use and growth projections that were the basis of the comprehensive plan.

The proposed land use designation change is necessary to facilitate a new hospital facility on the site and will not materially affect the land use and growth projections that were the basis of the comprehensive plan.

(d) The proposed change does not materially affect the adequacy or availability of urban facilities and services to the immediate area or to the overall service area of the City of Boulder.

The proposed land use designation change is necessary to facilitate a new hospital facility on the site and will not materially affect the adequacy or availability of urban facilities and services to the immediate area or to the overall service area of the City of Boulder. Infrastructural upgrades necessary to serve the redevelopment will be evaluated and required as part of the Site Review process.

(e) The proposed change would not materially affect the adopted Capital Improvements Program of the City of Boulder.

The proposed land use designation change is necessary to facilitate a new hospital facility on the site and will not materially affect the adopted Capital Improvements Program of the City of Boulder.

(f) The proposed change would not affect the Area II/Area III boundaries in the comprehensive plan.

The proposed change is within Area I and would have no impact on the Area II/Area III boundaries in the comprehensive plan.

Rezoning

Criteria: The city's zoning is the result of a detailed and comprehensive appraisal of the city's present and future land use allocation needs. In order to establish and maintain sound, stable and desirable development within the city, rezoning of land is to be discouraged and allowed only under the limited circumstances herein described. Therefore, the city council shall grant a rezoning application only if the proposed rezoning is consistent with the policies and goals of the Boulder Valley Comprehensive Plan, and, for an application not incidental to a general revision of the zoning map, meets one of the following criteria:

(1) The applicant demonstrates by clear and convincing evidence that the proposed rezoning is necessary to come into compliance with the Boulder Valley Comprehensive Plan map;

Based on the necessity to apply a Public Boulder Valley Comprehensive Plan (BVCP) land use designation on the properties to accommodate the proposed hospital, the Public (P) zoning would be appropriate on the site to be consistent with this change to the BVCP (discussed above) in order to be in compliance with the BVCP map.

(2) The existing zoning of the land was the result of a clerical error;

(3) The existing zoning of the land was based on a mistake of fact;

(4) The existing zoning of the land failed to take into account the constraints on development created by the natural characteristics of the land, including, but not limited to, steep slopes, floodplain, unstable soils and inadequate drainage;

(5) The land or its surrounding environs has changed or is changing to such a degree that it is in the public interest to encourage a redevelopment of the area or to recognize the changed character of the area; or

(6) The proposed rezoning is necessary in order to provide land for a community need that was not anticipated at the time of adoption of the Boulder Valley Comprehensive Plan.

Site Review

Staff's analysis of the compliance with these criteria will be completed upon submission of additional materials and modifications and at the time of staff recommendation to Planning Board.

Criteria for Review: No site review application shall be approved unless the approving agency finds that:

(1) Boulder Valley Comprehensive Plan:

(A) The proposed site plan is consistent with the land use map and the service area map and, on balance, the policies of the Boulder Valley Comprehensive Plan.

The proposal requires a BVCP land use map change to apply Public land use. This is necessary to permit a hospital use on properties that are located proximate to the Boulder Community Health facility at 48th and Arapahoe. Consistent with the analysis for the BVCP Land Use Map change, the proposal to develop the properties with a new medical/hospital facility would be consistent with the intent of the BVCP, Community Well Being policies as well as the policies below more specifically related to land development:

- BVCP Policy 2.03 Compact Development Pattern
- BVCP Policy 2.21 Commitment to a Walkable and Accessible City
- BVCP Policy 2.21 Mixed Use
- BVCP Policy 2.36 Design Excellence for Public Projects
- BVCP Policy 4.04 Energy-Efficient Land Use
- BVCP Policy 6.12 Neighborhood Street Connectivity

(B) The proposed development shall not exceed the maximum density associated with the Boulder Valley Comprehensive Plan residential land use designation. Additionally, if the density of existing residential development within a three-hundred-foot area surrounding the site is at or exceeds the density permitted in the Boulder Valley Comprehensive Plan, then the maximum density permitted on the site shall not exceed the lesser of:

- (i) The density permitted in the Boulder Valley Comprehensive Plan, or**
- (ii) The maximum number of units that could be placed on the site without waiving or varying any of the requirements of chapter 9-8, "Intensity Standards," B.R.C. 1981.**

Not applicable. The site is not under a residential land use designation and will contain no residential uses.

(C) The proposed development's success in meeting the broad range of BVCP policies considers the economic feasibility of implementation techniques required to meet other site review criteria.

(2) Site Design: Projects should preserve and enhance the community's unique sense of place through creative design that respects historic character, relationship to the natural environment, multi-modal transportation connectivity and its physical setting. Projects should utilize site design techniques which are consistent with the purpose of site review in Subsection (a) of this section and enhance the quality of the project. In determining whether this subsection is met, the approving agency will consider the following factors:

(A) Open Space: Open space, including, without limitation, parks, recreation areas and playgrounds:

(i) Useable open space is arranged to be accessible and functional and incorporates quality landscaping, a mixture of sun and shade and places to gather;

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(ii) Private open space is provided for each detached residential unit;

Not applicable to a non-residential project.

(iii) The project provides for the preservation of or mitigation of adverse impacts to natural features, including, without limitation, healthy long-lived trees, significant plant communities, ground and surface water, wetlands, riparian areas, drainage areas and species on the federal Endangered Species List, "Species of Special Concern in Boulder County" designated by Boulder County, or prairie dogs (*Cynomys ludovicianus*), which is a species of local concern, and their habitat;

(iv) The open space provides a relief to the density, both within the project and from surrounding development;

(v) Open space designed for active recreational purposes is of a size that it will be functionally useable and located in a safe and convenient proximity to the uses to which it is meant to serve;

The size and location of the proposed open space is appropriate to a medical use. Active recreational uses would not be expected for the use of the property.

(vi) The open space provides a buffer to protect sensitive environmental features and natural areas; and

The property does not contain any existing sensitive environmental features or natural areas. The site is associated with the Boulder Community Health Foothills Hospital site, which includes substantial preserved areas of 17 acres in the floodplain areas of Boulder Creek.

(vii) If possible, open space is linked to an area- or city-wide system.

The proposed pathways on the site would connect to the city's existing sidewalk system and will be convenient access to nearby multi-use paths as well as the Boulder Creek Path.

(B) Open Space in Mixed Use Developments (Developments That Contain a Mix of Residential and Nonresidential Uses):

(i) The open space provides for a balance of private and shared areas for the residential uses and common open space that is available for use by both the residential and nonresidential uses that will meet the needs of the anticipated residents, occupants, tenants and visitors of the property; and

(ii) The open space provides active areas and passive areas that will meet the needs of the anticipated residents, occupants, tenants and visitors of the property and are compatible with the surrounding area or an adopted plan for the area.

Not applicable. There is no residential component to the project.

(C) Landscaping:

(i) The project provides for aesthetic enhancement and a variety of plant and hard surface materials, and the selection of materials provides for a variety of colors and contrasts and the preservation or use of local native vegetation where appropriate;

(ii) Landscape design attempts to avoid, minimize or mitigate impacts on and off site to important native species, healthy, long lived trees, plant communities of special concern, threatened and endangered species and habitat by integrating the existing natural environment into the project;

(iii) The project provides significant amounts of plant material sized in excess of the landscaping requirements of Sections 9-9-12, "Landscaping and Screening Standards," and 9-9-13, "Streetscape Design Standards," B.R.C. 1981; and

(iv) The setbacks, yards and useable open space along public rights of way are landscaped to provide attractive streetscapes, to enhance architectural features and to contribute to the development of an attractive site plan.

(D) Circulation: Circulation, including, without limitation, the transportation system that serves the property, whether public or private and whether constructed by the developer or not:

(i) High speeds are discouraged or a physical separation between streets and the project is provided;

(ii) Potential conflicts with vehicles are minimized;

(iii) Safe and convenient connections are provided that support multi-modal mobility through and between properties, accessible to the public within the project and between the project and the existing and proposed transportation systems, including, without limitation, streets, bikeways, pedestrianways and trails;

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(iv) Alternatives to the automobile are promoted by incorporating site design techniques, land use patterns and supporting infrastructure that supports and encourages walking, biking and other alternatives to the single-occupant vehicle;



(vi) To the extent practical, the project provides public amenities and planned public facilities;

As a hospital, the use is a critical public facility, the expansion of which will better provide for the needs of the community in a highly accessible location.

(vii) For residential projects, the project assists the community in producing a variety of housing types, such as multifamily, townhouses and detached single family units, as well as mixed lot sizes, number of bedrooms and sizes of units;

Not applicable to a non-residential project.

(viii) For residential projects, noise is minimized between units, between buildings and from either on-site or off-site external sources through spacing, landscaping and building materials;

Not applicable to a non-residential project.

(ix) A lighting plan is provided which augments security, energy conservation, safety and aesthetics;

A lighting plan will be required at time of Technical Documents to determine compliance with section 9-9-16, B.R.C. 1981.

(x) The project incorporates the natural environment into the design and avoids, minimizes or mitigates impacts to natural systems;

The proposed project is upon an already developed site and will not adversely impact any natural systems.

(xi) Buildings minimize or mitigate energy use; support on-site renewable energy generation and/or energy management systems; construction wastes are minimized; the project mitigates urban heat island effects; and the project reasonably mitigates or minimizes water use and impacts on water quality;



(xii) Exteriors of buildings present a sense of permanence through the use of authentic materials such as stone, brick, wood, metal or similar products and building material detailing;

(xiii) Cut and fill are minimized on the site, the design of buildings conforms to the natural contours of the land, and the site design minimizes erosion, slope instability, landslide, mudflow or subsidence, and minimizes the potential threat to property caused by geological hazards;

The two buildings would not contain subterranean space and cut and fill would be limited to necessary contouring for the building footprints, open spaces and construction of a new roadway.

(xiv) In the urbanizing areas along the Boulder Valley Comprehensive Plan boundaries between Area II and Area III, the building and site design provide for a well-defined urban edge; and

The property is found within Area I and not in the urbanizing areas between Area II and III.

(xv) In the urbanizing areas located on the major streets shown on the map in Appendix A to this title near the Boulder Valley Comprehensive Plan boundaries between Area II and Area III, the buildings and site design establish a sense of entry and arrival to the City by creating a defined urban edge and a transition between rural and urban areas.

See (xiv) above.

(G) Solar Siting and Construction: For the purpose of ensuring the maximum potential for utilization of solar energy in the City, all applicants for residential site reviews shall place streets, lots, open spaces and buildings so as to maximize the potential for the use of solar energy in accordance with the following solar siting criteria:

(i) Placement of Open Space and Streets: Open space areas are located wherever practical to protect buildings from shading by other buildings within the development or from buildings on adjacent properties. Topography and other natural features and constraints may justify deviations from this criterion.

- (ii) **Lot Layout and Building Siting:** Lots are oriented and buildings are sited in a way which maximizes the solar potential of each principal building. Lots are designed to facilitate siting a structure which is unshaded by other nearby structures. Wherever practical, buildings are sited close to the north lot line to increase yard space to the south for better owner control of shading.
 - (iii) **Building Form:** The shapes of buildings are designed to maximize utilization of solar energy. Buildings shall meet the solar access protection and solar siting requirements of Section 9-9-17, "Solar Access," B.R.C. 1981.
 - (iv) **Landscaping:** The shading effects of proposed landscaping on adjacent buildings are minimized.
- (H) **Additional Criteria for Poles Above the Permitted Height:** No site review application for a pole above the permitted height will be approved unless the approving agency finds all of the following:
- (i) The light pole is required for nighttime recreation activities which are compatible with the surrounding neighborhood, light or traffic signal pole is required for safety or the electrical utility pole is required to serve the needs of the City; and
 - (ii) The pole is at the minimum height appropriate to accomplish the purposes for which the pole was erected and is designed and constructed so as to minimize light and electromagnetic pollution.

Not applicable to this project.

(I) **Land Use Intensity Modifications:**

(i) **Potential Land Use Intensity Modifications:**

- a. The density of a project may be increased in the BR-1 district through a reduction of the lot area requirement or in the Downtown (DT), BR-2 or MU-3 districts through a reduction in the open space requirements.
- b. The open space requirements in all Downtown (DT) districts may be reduced by up to one hundred percent.
- c. The open space per lot requirements for the total amount of open space required on the lot in the BR-2 district may be reduced by up to fifty percent.
- d. Land use intensity may be increased up to twenty-five percent in the BR-1 district through a reduction of the lot area requirement.

(ii) **Additional Criteria for Land Use Intensity Modifications:** A land use intensity increase will be permitted up to the maximum amount set forth below if the approving agency finds that the criteria in paragraph (h)(1) through Subparagraph (h)(2)(H) of this section and following criteria have been met:

- a. **Open Space Needs Met:** The needs of the project's occupants and visitors for high quality and functional useable open space can be met adequately;
- b. **Character of Project and Area:** The open space reduction does not adversely affect the character of the development or the character of the surrounding area; and
- c. **Open Space and Lot Area Reductions:** The specific percentage reduction in open space or lot area requested by the applicant is justified by any one or combination of the following site design features not to exceed the maximum reduction set forth above:
 - 1. Close proximity to a public mall or park for which the development is specially assessed or to which the project contributes funding of capital improvements beyond that required by the parks and recreation component of the development excise tax set forth in chapter 3-8, "Development Excise Tax," B.R.C. 1981: maximum one hundred percent reduction in all Downtown (DT) districts and ten percent in the BR-1 district;
 - 2. Architectural treatment that results in reducing the apparent bulk and mass of the structure or structures and site planning which increases the openness of the site: maximum five percent reduction;
 - 3. A common park, recreation or playground area functionally useable and accessible by the development's occupants for active recreational purposes and sized for the number of inhabitants of the development, maximum five percent reduction; or developed

facilities within the project designed to meet the active recreational needs of the occupants: maximum five percent reduction;

4. Permanent dedication of the development to use by a unique residential population whose needs for conventional open space are reduced: maximum five percent reduction;
5. The reduction in open space is part of a development with a mix of residential and nonresidential uses within a BR-2 zoning district that, due to the ratio of residential to nonresidential uses and because of the size, type and mix of dwelling units, the need for open space is reduced: maximum fifteen percent reduction; and
6. The reduction in open space is part of a development with a mix of residential and nonresidential uses within a BR-2 zoning district that provides high quality urban design elements that will meet the needs of anticipated residents, occupants, tenants and visitors of the property or will accommodate public gatherings, important activities or events in the life of the community and its people, that may include, without limitation, recreational or cultural amenities, intimate spaces that foster social interaction, street furniture, landscaping and hard surface treatments for the open space: maximum twenty-five percent reduction.

Not applicable to this project.

(J) Additional Criteria for Floor Area Ratio Increase for Buildings in the BR-1 District:

- (i) **Process:** For buildings in the BR-1 district, the floor area ratio ("FAR") permitted under Table 8-2, Section 9-8-2, "Floor Area Ratio Requirements," B.R.C. 1981, may be increased by the city manager under the criteria set forth in this subparagraph.
- (ii) **Maximum FAR Increase:** The maximum FAR increase allowed for buildings thirty-five feet and over in height in the BR-1 district shall be from 2:1 to 4:1.
- (iii) **Criteria for the BR-1 District:** The FAR may be increased in the BR-1 district to the extent allowed in subparagraph (h)(2)(J)(ii) of this section if the approving agency finds that the following criteria are met:
 - a. Site and building design provide open space exceeding the required useable open space by at least ten percent: an increase in FAR not to exceed 0.25:1.
 - b. Site and building design provide private outdoor space for each office unit equal to at least ten percent of the lot area for buildings twenty-five feet and under and at least twenty percent of the lot area for buildings above twenty-five feet: an increase in FAR not to exceed 0.25:1.
 - c. Site and building design provide a street front facade and an alley facade at a pedestrian scale, including, without limitation, features such as awnings and windows, well-defined building entrances and other building details: an increase in FAR not to exceed 0.25:1.
 - d. For a building containing residential and nonresidential uses in which neither use comprises less than twenty-five percent of the total square footage: an increase in FAR not to exceed 1:1.
 - e. The unused portion of the allowed FAR of historic buildings designated as landmarks under chapter 9-11, "Historic Preservation," B.R.C. 1981, may be transferred to other sites in the same zoning district. However, the increase in FAR of a proposed building to which FAR is transferred under this subparagraph may not exceed an increase of 0.5:1.
 - f. For a building which provides one full level of parking below grade, an increase in FAR not to exceed 0.5:1 may be granted.

Not applicable to this project.

(K) Additional Criteria for Parking Reductions: The off-street parking requirements of Section 9-9-6, "Parking Standards," B.R.C. 1981, may be modified as follows:

- (i) **Process:** The city manager may grant a parking reduction not to exceed fifty percent of the required parking. The planning board or city council may grant a reduction exceeding fifty percent.

- (ii) Criteria: Upon submission of documentation by the applicant of how the project meets the following criteria, the approving agency may approve proposed modifications to the parking requirements of Section 9-9-6, "Parking Standards," B.R.C. 1981 (see tables 9-1, 9-2, 9-3 and 9-4), if it finds that:
 - a. For residential uses, the probable number of motor vehicles to be owned by occupants of and visitors to dwellings in the project will be adequately accommodated;
 - b. The parking needs of any nonresidential uses will be adequately accommodated through on-street parking or off-street parking;
 - c. A mix of residential with either office or retail uses is proposed, and the parking needs of all uses will be accommodated through shared parking;
 - d. If joint use of common parking areas is proposed, varying time periods of use will accommodate proposed parking needs; and
 - e. If the number of off-street parking spaces is reduced because of the nature of the occupancy, the applicant provides assurances that the nature of the occupancy will not change.

Not applicable to this project.

(L) Additional Criteria for Off-Site Parking: The parking required under Section 9-9-6, "Parking Standards," B.R.C. 1981, may be located on a separate lot if the following conditions are met:

- (i) The lots are held in common ownership;**
- (ii) The separate lot is in the same zoning district and located within three hundred feet of the lot that it serves; and**
- (iii) The property used for off-site parking under this subparagraph continues under common ownership or control.**

Use Review

Criteria for Review: No use review application will be approved unless the approving agency finds all of the following:

- (1) **Consistency With Zoning and Nonconformity:** The use is consistent with the purpose of the zoning district as set forth in section 9-5-2, "Zoning Districts," B.R.C. 1981, except in the case of a nonconforming use;
- (2) **Rationale:** The use either:
 - (A) Provides direct service or convenience to or reduces adverse impacts to the surrounding uses or neighborhood;
 - (B) Provides a compatible transition between higher intensity and lower intensity uses;
 - (C) Is necessary to foster a specific city policy, as expressed in the Boulder Valley Comprehensive Plan, including, without limitation, historic preservation, moderate income housing, residential and nonresidential mixed uses in appropriate locations and group living arrangements for special populations; or
 - (D) Is an existing legal nonconforming use or a change thereto that is permitted under subsection (f) of this section;
- (3) **Compatibility:** The location, size, design and operating characteristics of the proposed development or change to an existing development are such that the use will be reasonably compatible with and have minimal negative impact on the use of nearby properties or for residential uses in industrial zoning districts, the proposed development reasonably mitigates the potential negative impacts from nearby properties;
- (4) **Infrastructure:** As compared to development permitted under section 9-6-1, "Schedule of Permitted Land Uses," B.R.C. 1981, in the zone, or as compared to the existing level of impact of a nonconforming use, the proposed development will not significantly adversely affect the infrastructure of the surrounding area, including, without limitation, water, wastewater and storm drainage utilities and streets;
- (5) **Character of Area:** The use will not change the predominant character of the surrounding area or the character established by adopted design guidelines or plans for the area; and

- (6) **Conversion of Dwelling Units to Nonresidential Uses:** There shall be a presumption against approving the conversion of dwelling units in the residential zoning districts to nonresidential uses that are allowed pursuant to a use review, or through the change of one nonconforming use to another nonconforming use. The presumption against such a conversion may be overcome by a finding that the use to be approved serves another compelling social, human services, governmental or recreational need in the community, including, without limitation, a use for a daycare center, park, religious assembly, social service use, benevolent organization use, art or craft studio space, museum or an educational use.

VI. Conditions On Case

To be prepared prior to staff recommendation on the project.



CITY OF BOULDER
Planning and Development Services

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CITY OF BOULDER
LAND USE REVIEW RESULTS AND COMMENTS

DATE OF COMMENTS: **August 19, 2016**
CASE MANAGER: **Karl Guiler**
PROJECT NAME: **Boulder Community Health – Riverbend Medical Center and Parking Garage**
LOCATION: **4801, 4855, 4865, and 4885 Riverbend Road (directly east of existing Boulder Community Health Foothills campus)**
COORDINATES: **N03W01**
REVIEW TYPES: **BVCP Land Use Map Change, Rezoning, Site Review and Use Review**
REVIEW NUMBER: **LUR2016-00038 (BVCP Land Use Map Change), LUR2016-00039 (Rezoning) and LUR2016-00040 (Site and Use Review)**
APPLICANT: **Darryl Brown for Boulder Community Health**
DESCRIPTION: **1) BOULDER VALLEY COMPREHENSIVE PLAN (BVCP) LAND USE MAP CHANGE:** Proposal to change the underlying BVCP Land Use Designation on the Riverbend Road site from Transitional Business to Public as a part of the requests below (Case No. LUR2016-00038);
2) REZONING: In conjunction with the requested land use map change discussed above, a rezoning from BT-2 (Business Transitional – 2) to P (Public) is requested (Case No. LUR2016-00038);
3) SITE REVIEW: Request to amend the Riverbend Office Park Planned Unit Development (PUD) to build a new 75,030 sq. ft., 3-story medical center to include inpatient behavioral health, inpatient rehabilitation and neurology facilities as part of the Boulder Community Health functions at the corner of Arapahoe Ave. and 48th Street. The proposal also includes a new, 5-story parking structure containing 409 parking spaces with first floor accessory uses including office and hospital-oriented retail. The proposal would require a height modification to permit the medical and parking garage buildings at 55-feet where 35-feet is the by-right limit (the request for a height modification will require City Council action on an amendment to the ordinance specifying areas where height modifications may be requested), and
4) USE REVIEW: Request for automobile parking lots, garages or car pool lots as a principal use.

REQUESTED MODIFICATIONS FROM THE LAND USE REGULATIONS:

- 9-7-1- Minimum side yard landscaped setback from a street to permit a building at 10 feet and parking spaces at 3 feet where 12.5 feet is required.
- 9-7-1- Minimum rear yard setback to permit the parking structure at 12 feet where 25 feet is required.
- 9-7-1- Minimum side yard landscape setback to permit the existing structure at 4895 Riverbend as 11 feet where 15 feet is required.
- 9-7-1- Maximum permitted height to permit 55 feet where 35 feet is the by-right limit (requires City Council approval).
- 9-7-1- Maximum number of stories to permit 6 garage parking levels where 3 is the limit.
- Parking reduction (5%) to permit 18 spaces where 19 spaces are required at 4895 Riverbend Road.

I. REVIEW FINDINGS

Staff acknowledges the applicant’s efforts in balancing the variety of logistical and aesthetic concerns expressed in the previous comments and addressing them effectively on the latest sets. Because of this, staff finds that the revised plans

meet the Site Review criteria of Section 9-2-14(h), B.R.C. 1981 and will recommend approval of the Site Review in addition to the proposed Boulder Valley Comprehensive Plan (BVCP) land use map change and rezoning. At present, Planning Board review is tentatively scheduled for **Oct. 6, 2016** followed by first reading and second readings of the ordinance to rezone and permit the proposed height at City Council.

Prior to advancing to Planning Board there are some inconsistencies and remaining issues that will require revised sets to be submitted to ensure that the item can be heard by the Planning Board on Oct. 6, 2016.

Revised plans that adequately address the comments within this document shall be submitted no later than Sept. 5th at 10am (however, it would be helpful to have revisions in advance of that) to keep the current Planning Board date. If the issues are not satisfactorily resolved, a later Planning Board date may be necessary to enable time for the issues to be resolved. Staff is happy to meet at your earliest convenience to discuss the issues within this document to enable expeditious turnaround of the plan sets. The case manager is available to set up and meet with other reviewers within the next two weeks.

Please review and address all comments in this document and submit five (5) revised review sets and written responses to the comments to the Project Specialists within 60 days.

II. CITY REQUIREMENTS

Access/Circulation David Thompson, 303-441-4417

1. As a follow-up to staff's previous comment, the submitted variance request letter is incomplete because it doesn't include all the non-standard geometric design elements being shown on the civil plans. Specifically, the variance request does not include the non-standard centerline radius being proposed for the horizontal curves nor the non-standard reverse curve tangent being provided at the east end of Riverside Road. The variance letter needs to include all the non-standard design elements being proposed with the project along with an analysis and discussion which demonstrates: (1) the non-standard street geometric design elements will provide adequate horizontal sight distance for vehicles traveling along Riverbend Road; (2) the sight triangle requirements in section 9-9-7 of the Boulder Revised Code can be met where both private drives and public roads intersect with Riverbend Road and (3) that passenger vehicles and single unit trucks can maneuver through the non-standard horizontal alignment of Riverbend Rd without encroaching into the opposite lane and triggering the need to provide wider travel lanes. The revised variance letter should be re-submitted to staff as soon as possible given the potential impacts of the requested variances on the site's design.
2. Please revise the easement and right-of-way plan sheet to show: (1) with width of Riverbend Road, extending one-foot beyond the back of curb, in right-of-way to be owned by the City from 48th Street to the east property line; (2) the landscape strip, detached and attached sidewalks extending one-foot beyond the back of the sidewalk on the south side of Riverbend Road in right-of-way to be owned by the City; (3) the landscape strip on the north side of Riverbend Road, not exceeding eight feet in width, in a public access easement to be dedicated to the City; (4) the eight-foot wide east / west sidewalk on the south side and adjacent to the two buildings within a ten foot wide public access easement to be dedicated to the City with the additional easement width being provided on each side of the sidewalk; (5) the right-of-way to be owned by the City for the cul-de-sac extending to one foot beyond the detached sidewalk where the cul-de-sac intersects with Riverbend Road; (6) an emergency access easement to be dedicated to the City across the properties at 4895 Riverbend, 4890 Riverbend, 4880 Riverbend, and potentially 4860 Riverbend in order to provide a turnaround for emergency vehicles where Riverbend Road ends and pursuant to section 2.10 of the City's Design and Construction Standards (DCS) and (7) show the grading easement to be granted by Ball Aerospace for the construction of the east / west multi-use path.
3. Staff is unable to concur with the results of the auto-turn exhibits submitted for the cul-de-sac because staff is unable to verify the same results using vehicle turning templates. The turning templates used by staff show the proposed width of the curb-cut for the cul-de-sac to be too narrow to comfortably accommodate the turning requirements of a single unit truck without the truck driving over the adjacent curb-and-gutter. This would result in an on-going maintenance issue for the City. The turning templates also show the need to provide a wider travel way in the cul-de-sac and the need to modify the proposed curb cuts in the cul-de-sac again to comfortably accommodate the turning movements of the single unit truck. Please also refer to review comment made by Fire Protection below. Staff would like to meet with the design engineer to resolve this comment.

4. Pursuant to staff's previous comments: (1) please revise the vertical curve profile to include the location where the garage, cul-de-sac, driveway and porte-cochere intersect with Riverbend Road and (2) show the existing curb ramps on 48th Street south of Riverbend Road being replaced with new curb-ramps meeting CDOT standards.
5. On the project data sheet, please revise the bike parking information to replace "per public zone" with "per land use - office, medical and financial uses"
6. On both the civil and landscape plans: (1) please correct the discrepancy between the different plan sheets on the number of short-term bicycle parking spaces to be provided on the site: (2) revise the civil and landscape plan sheets to disperse the eight inverted "u" bicycle racks fronting the medical pavilion building across the entire length of the concrete pad and (3) revise the plan sheets to demonstrate the concrete pad area for the six inverted "u" bicycle racks fronting the garage does not encroach within the 10-foot wide public access easement being dedicated for the sidewalk. Please refer to technical drawing 2.52.B of the DCS for guidance on the dimensions of the concrete pad.
7. Staff appreciates the applicant's revisions to the site plans in order to provide bicycle parking spaces to accommodate bikes with trailers in support of the project's TDM Plan. However, in order to provide the parking space needed for bikes with attached trailers the length of the parking space needs to increase from six-feet as shown in technical drawing 2.52.B of the DCS to ten-feet. On the site plans, please revise the length of three of the proposed bicycle parking spaces from six-feet to ten-feet to order to accommodate bikes with trailers. Also, please demonstrate the ten-foot long bicycle parking spaces do not encroach within the public access easement for the east / west sidewalk.
8. As a follow-up to staff's previous comment, please revise the street lighting being shown on the civil plans to match the street lighting being shown on the landscape plans.
9. Staff appreciates the applicant providing a 14-foot wide public access easement east of the courtyard and adjacent to the property's north boundary line for the future continuation of the east / west multi-use path. That said, staff will only support the 14' wide public access easement dedication if it also includes the construction and continuation of the multi-use path to the east property line as part of this site review.

Building Design Karl Guiler, Case Manager, 303-441-4236

1. Staff finds the fiber cement panel proposed is appropriate. Please specify the exact type of fiber cement panel intended for the building on Sheet SR3-1.
2. Please clarify whether window panes will be light or dark colored. Some information in the sets conflict regarding the color.

Drainage, Scott Kuhna, 303-441-4071

1. The *Riverbend Medical Center Preliminary Drainage Report (Report)* references the Dry Creek No. 2 Ditch as the outfall in several sections of the *Report*. It has been determined that this is no longer the case. Revise accordingly.
2. The plans show a proposed CDS Water Quality Unit in the right-of-way of Riverbend Rd. Sizing of the proposed unit is required at time of Technical Document Review. All maintenance responsibilities for the proposed unit will remain with the property owner, and will be detailed in the Subdivision Agreement.

Flood Control, Jessica Stevens, 303-441-3121

Please include the extents of the 100-year floodplain of Boulder Creek on all site development plans upon resubmittal.

Fees Karl Guiler, Case Manager, 303-441-4236

Please note that 2016 development review fees include a \$131 hourly rate for reviewer services following the initial city response (these written comments). Please see the P&DS Questions and Answers brochure for more information about the hourly billing system.

Fire Protection David Lowrey, 303.441.4356

Please note that the Autoturn states Boulder Fire "small" truck. I am unsure what that is. We have only one truck design that is required to be use. I believe it is the only one that JVA should have on file however, this must be verified that what they used meets Boulder Fire specifications.

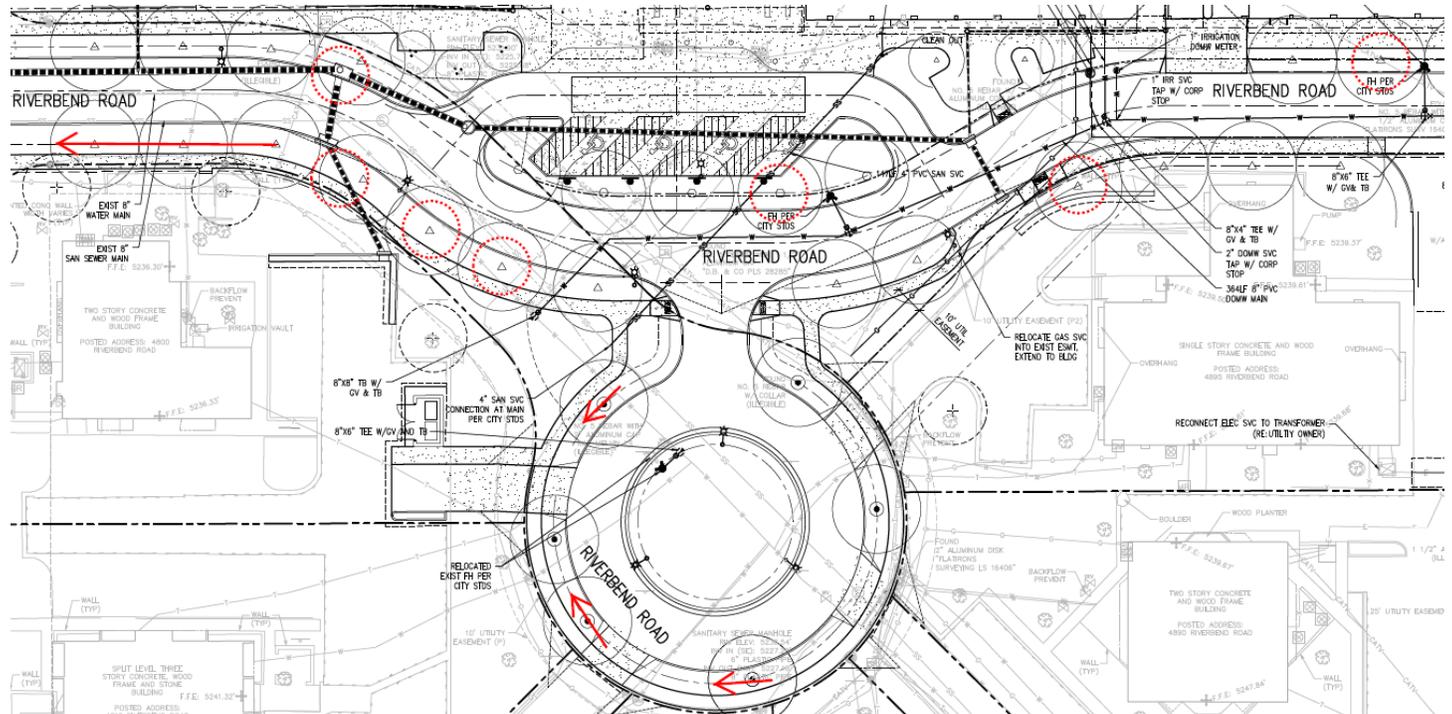
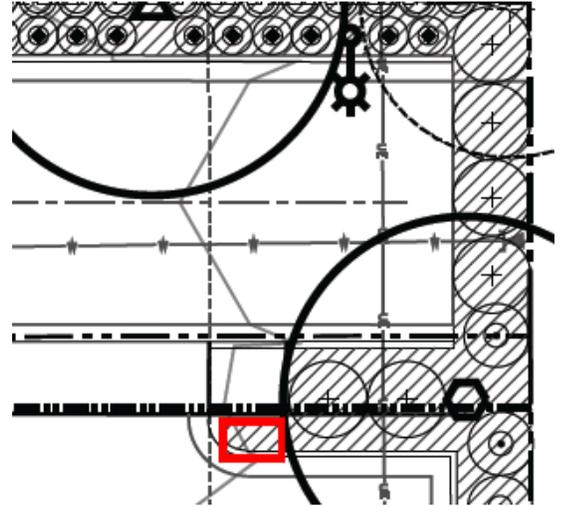
No other issues noted at this time.

Land Uses Karl Guiler, Case Manager, 303-441-4236

Staff agrees with the response related to accessory retail uses in the garage. Please add the narrative to the plans by the spaces so that it is clear what types of uses are anticipated for the spaces.

Landscaping Elizabeth Lokocz, 303-441-3138

1. Clarify the summary table regarding structured parking (which has not landscape requirements) and surface parking. The surface ADA parking and turnaround do not have any landscape requirements as a standalone parking area, but the surface parking along the eastern property lines does. It is unclear if additional screening can be provided. Please include the current condition and proposed improvements in the table. The small landscape area (see the red box in the graphic) adjacent to the ramp seems likely to be a maintenance issue. Consider a pavement treatment.
2. Please use the city approved U-rack detail on sheet L3.0 available from the Design and Construction Standards.
3. Please note that additional species selection comments may be provided at the Technical Document Review.
4. Staff appreciates the efforts to coordinate the street trees and utilities. Please dimension the separation on the utility plan and the landscape plan for any tree that does not meet the required ten feet. Many conflicts still exist. While dry utilities do not have the same requirement, private utility companies will need to accept the separation and planting directly on top of a line may not be feasible or advisable. See the graphic below and adjust the trees or utilities as needed. The graphic below includes trees that need minor adjustments indicated with an arrow and trees that have larger conflicts needing additional resolution with dashed circles.



5. There appears to be an existing wall north of 4895 that is called out for demolition on the demo plan, but appears as remaining on the site and landscape plans. Please clarify. The wall would prevent the proposed street trees.

Legal Documents Julia Chase, City Attorney's Office, Ph. (303) 441-3052

1. The Applicant will be required to sign a Development Agreement, if approved. When staff requests, the Applicant shall provide the following:

- a) an updated title commitment current within 30 days; and

- b) Proof of authorization to bind on behalf of the owners.

Neighborhood Comments Karl Guiler, Case Manager, 303441-4236

Staff has been contacted by a neighbor employee and resident who have expressed concerns about the project. The concerns relate mostly to traffic congestion in the area and traffic conflicts on Riverbend Road.

Parking Karl Guiler, Case Manager, 303-441-4236

1. City requirements for parking are that any resulting number of a parking calculation be rounded down. Please revise Sheet SR1-1 for the 'existing (BT-2) Riverbend properties' to update the parking required column for 4800 through 4880 Riverbend to have one less parking space for each. Further, revise the totals in the general parking data on Sheet 01 to be 'Required Medical Parking: 234, Required Retail Parking: 16, and Total Required Parking: 250 spaces.'
2. The layout of parking within the garage has been revised since the previous iteration and as a result there does not appear to include the same number of parking spaces as shown on the prior plans. Staff has counted spaces at least 10 spaces less than the amounts in the parking data table. Staff also counted a lower number of compact stalls than represented in the parking data table. Please clarify and revise the parking data tables and parking studies to match the numbers accordingly.
3. It appears from the numbers on Sheet SR1-1 that construction work on the 4895 Riverbend property will result in the reduction of one parking space. This will require a 5% parking reduction for that property as the parking for the individual properties will continue to apply to the individual lots as previously approved for the Riverbend Office Park PUD. Please indicate that parking will not be shared between the properties on SR1-1 related to the previous PUD and submit responses for the parking reduction criteria of Section 9-214(h)(2)(K), B.R.C. 1981. Also, as stated in 'Plan Documents' below, the co-owner of that site will need to consent to the construction work and this parking reduction.

Plan Documents Karl Guiler, Case Manager, 303-441-4236

1. Without a preliminary plat it continues to be confusing the limits of the public right-of-way to be dedicated on the site. Staff finds that the engineering sets should be updated to clarify that a portion of the right-of-way limits by the northeast quadrant of the round-a-bout should be shown to be eliminated as the right-of-way will continue onto the new portions of Riverbend Road. This can be done on Sheet C5.0.
2. Correct the spelling of 'Generally' on Sheet SR1-1 in the 'Existing PUD Approval' section.
3. Please add a section on Sheet SR1-1 related to Uses and that allowed uses are according to the underlying BT-2 requirements and any existing non-conforming uses would be regulated according to Chapter 9-10, "Nonconformance Standards." Further, a statement shall be added that indicates that expansions and changes are subject to the city Site Review Amendment or Minor Modification processes as applicable. Also, see comments related to parking.
4. Revise the south elevation on Sheet SR2-1 to show the brick wall beyond as shown on SR2-3.
5. Construction work is proposed for the property at 4895 Riverbend in the area identified as Outlot 3 as well as Lot 8. Riverbend Sleep LLC has ½ ownership in Outlot 3 and owns Lot 8. Therefore, Riverbend Sleep LLC will need to consent to work by signing the application, by signing a letter of consent. In addition, Riverbend Sleep LLC will need to sign the Development Agreement.

Further, as stated in the 'Access/Circulation' comments, an emergency access easement is required through the properties at 4895 Riverbend, 4890 Riverbend, 4880 Riverbend, and potentially 4860 Riverbend. All non-Boulder Community Hospital owners will also need to submit consent to this easement.

6. Title commitments for all properties included in the development must be provided.

Signage: Caeli Hill, 303-441-4161

Please include the "signs by separate permit" note on sheet SR3-2.

Utilities, Scott Kuhna, 303-441-4071

Trees need to be located at least 10 feet away from existing or future utilities. Please see the Landscaping comments regarding tree and utility line conflicts.

Zoning Karl Guiler, Case Manager, 303-441-4236

1. Staff has identified an additional setback modification that would apply to the existing building at 4895 Riverbend. Based on the proposed right-of-way in that area, a side yard landscape setback of 11 feet will need to be approved as a modification since the BT-2 zone requires 15 feet in that location.
2. Please indicate if the metal wall in the courtyard space will be backlit or uplit with lighting. If so, it would be necessary to include a lighting plan demonstrating compliance with the Outdoor Lighting regulations of section 9-9-16, B.R.C. 1981.
3. Section 9-7-7, "Building Height, Appurtenances," states, "No appurtenance may have useable floor area except for mechanical equipment installations; have more than twenty-five percent coverage of the roof area of the building; or be more than sixteen feet in height. For the purposes of this paragraph, coverage means the total area enclosed by the screening and roof area means the outside top covering of a building which is parallel to the ground." The proposed penthouse appears to include useable floor area. Please clarify the use of the space as mechanical spaces and demonstrate that the floor space cannot be met at a lower height and is the minimum necessary for the function of the building pursuant to Section 9-7-7(a)(2)(B), B.R.C. 1981. The proposed screens are also very noticeable on the roof. Consider lowering the height of the screen walls to lower their visibility consistent with the requirements of Section 9-7-7(A)(4)(c) and (d), B.R.C. 1981.
4. There are parapets over the 55-foot height limit for both the medical office building and parking structure. Include a diagram that affirms that they will not exceed 18 inches above the 55-foot height for the medical building and add the 55-foot height limit to the sections on SR3-3. Also, include a measurement on the sections and diagrams that affirms that the flat roof feature on the building is capped at only 18 inches above the 55-foot height limit.
5. Provide roof plan of the parking garage that affirms that the solar arrays, which exceed the 55-foot height limit, do not exceed 25% of the roof area of the garage. These elements and the calculation may be added to Sheet SR5-4.
6. There are several elements that exceed the 55-foot height limit in addition to parapets. These include the aforementioned flat cap roofs of the medical office building and the garage screens on the parking garage. Staff is considering these 'architectural features' consistent with the 'Appurtenance' definition below:

Appurtenances means:

(1) *Architectural features not used for human occupancy, consisting of spires, belfries, cupolas or dormers, silos, parapet walls, and cornices without windows; and*

(2) *Necessary mechanical equipment usually carried above the roof level, including, without limitation, chimneys, ventilators, skylights, antennas, microwave dishes, and solar systems, and excluding wind energy conversion systems.*

III. INFORMATIONAL COMMENTS

Access / Circulation David Thompson, 303-441-4417

At time of technical document review, staff will evaluate the need to provide a curb ramp along the east side of 48th Street in order to provide access for bicyclists from the street to the east / west multi-use path.

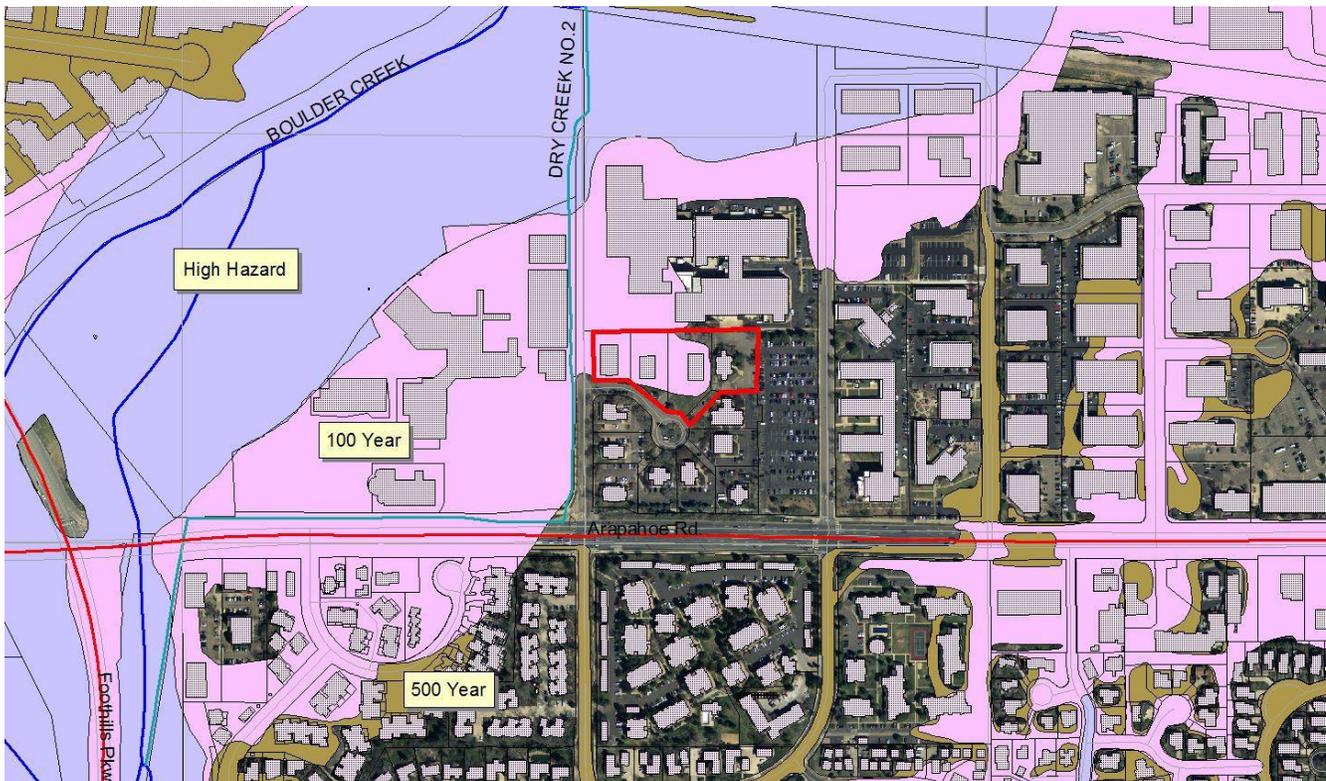
Area Characteristics and Zoning History Karl Guiler, Case Manager, 303-441-4236

The site is currently the location of the Riverbend Office Park, which was originally annexed and approved as a Planned Unit Development (PUD) with an initial zoning designation of Industrial – Developing ("IG" under current code standards). The original approval also included a Special Review (now called Use Review) approval for the office uses.

Over the years, several additional Use Reviews were approved for additional office uses on specific sites within the PUD, and several other office uses were established or converted without the benefit of City review. In 2000, the Riverbend Office Park was rezoned from Industrial to Transitional Business in acknowledgment of the fact that the proliferation of office uses within the development, many of which were nonconforming or prohibited, had resulted in the development no longer being consistent with the Industrial zoning designation. Currently, the 12 existing one and two-story buildings within the Riverbend Office Park contain a mix of medical/dental, professional and technical offices and personal service uses, all of which are allowed uses in the BT-2 zone district.

A variety of BVCP land use designations surround the site and reflect the diversity of land uses in the area. Most land east and north of the site are designated light industrial, whereas uses south of Arapahoe are predominantly designated medium to high density residential with low density residential neighborhoods further from Arapahoe. As mentioned above, the project site is located immediately to the east of the existing BCH Foothills campus at the corner of Arapahoe and Foothills, which has a BVCP land use designation of Public. The lands southwest of Foothills and Arapahoe owned by the University of Colorado have a Public land use designation as well.

The project site has a number of unique characteristics that will need to be taken into consideration. As shown in the figure below, the site is impacted by the 100-year floodplain and as such any new development will require a floodplain development permit. In addition, because the proposed facility is considered a critical facility per section 9-16, B.R.C. 1981, an Emergency Management Plan would be required.



It is also worth noting that the Federal Emergency Management Agency (FEMA) is considering the adoption of updated floodplain maps for Boulder Creek. These maps were previously adopted by the Boulder City Council on Sept. 18, 2012, but have not yet been incorporated into FEMA's Flood Insurance Rate Maps. FEMA held an Open House meeting to present the proposed mapping on Wednesday, Sept. 16, 2015.

The new floodplain mapping was adopted by City Council on Sept. 18, 2012 and is currently regulatory. FEMA began reviewing the mapping on Oct. 30, 2012. Final project documentation was submitted to FEMA in September 2013. In November 2013, FEMA indicated that they accepted the results of the study and will be adopting the new mapping through the Physical Map Revision process, which is a multi-year process. The process was delayed due to the September 2013 flooding. FEMA released Preliminary Flood Insurance Rate Maps (FIRMs) on July 23, 2015. These maps are available on FEMA's website: <http://msc.fema.gov/portal>

The new FIRMs are anticipated to become effective in December 2016, although this schedule is subject to change. Please see the link to the FEMA fact sheet for more information. The existing floodplain mapping and the revised floodplain mapping are both regulatory until FEMA adopts the new mapping. For additional information please visit: <https://bouldercolorado.gov/flood/boulder-creek-floodplain-mapping-update>.

The properties are also immediate adjacent to the existing Boulder Community Health facility, which now contains the principal hospital for Boulder. The property was annexed in 2001 and application LUR2001-00009 was approved to permit construction of the hospital in phases with deferred parking. Five phases and up to 420,000 square feet of floor area was permitted through Site Review #LUR2001-00009.

Application LUR2004-00012 entailed a change to the annexation agreement (i.e., removal of doctor offices from critical medical services definition) and application LUR2005-00049 permitted an adjustment to the phasing (designations) and floor area to permit the new cancer center along Arapahoe. Total floor area to the site was reduced from 420,000 square feet to 418,000 square feet (see Condition No. 4 of the approval). The 2001 approval permitted the Site Review to be valid for a period of 10 years. Staff extended this validity for six months into 2012.

Site Review application #LUR2011-00043 was approved by Planning Board on Dec. 1, 2011 to expand the existing 308,255 square foot hospital by over 100,000 square feet of new floor area (totaling up to 440,000 square feet) within new three-story wings and upper floors on the existing hospital building. A height modification was also approved to build the new additions up to 52 feet (similar to existing height). Use Review application #LUR2011-00061 was also approved to permit the heliport. A rezoning was also approved to properly align the zoning with the underlying BVCP land use map designations of Public and Open Space.

Drainage, Scott Kuhna, 303-441-4071

1. A Final Storm Water Report and Plan will be required as part of the Technical Document Review process. All plans and reports shall be prepared in accordance with the City of Boulder Design and Construction Standards (DCS).
2. Discharge of groundwater to the public storm sewer system may be necessary to accommodate construction and operation of the proposed development. City and/or State permits will be required for this discharge. The applicant is advised to contact the City of Boulder Storm Water Quality Office at 303-413-7350 regarding permit requirements. All applicable permits must be in place prior to building permit application. Additionally, special design considerations for the properties to handle groundwater discharge as part of the development may be necessary.
3. All inlet grates in proposed streets, alleys, parking lot travel lanes, bike paths, or sidewalks shall utilize a safety grate approved for bicycle traffic.
4. A construction stormwater discharge permit is required from the State of Colorado for projects disturbing more than 1-acre of land. The applicant is advised to contact the Colorado Department of Public Health and Environment.

Groundwater, Scott Kuhna, 303-441-4071

Groundwater is a concern in many areas of the city of Boulder. Please be advised that if it is encountered at this site, an underdrain/dewatering system may be required to reduce groundwater infiltration, and information pertaining to the quality of the groundwater encountered on the site will be required to determine if treatment is necessary prior to discharge from the site. City and/or State permits are required for the discharge of any groundwater to the public storm sewer system.

Land Uses Karl Guiler, Case Manager, 303-441-4236

The existing Boulder Valley Comprehensive Plan (BVCP) land use designation on the site is Transitional Business. The BVCP describes Transitional Business as follows "*The Transitional Business designation is shown along certain major streets. These are areas usually zoned for less intensive business uses than in the General Business areas, and they often provide a transition to residential areas.*" The application includes a request for Public land use, which is described as follows, "*Public/Semi-Public land use designations encompass a wide range of public and private nonprofit uses that provide a community service. This category includes municipal and public utility services such as the municipal airport, water reservoirs, and water and wastewater treatment plants. Public/Semi-Public also includes: educational facilities, including public and private schools and the university; government offices such as city and county buildings, libraries, and the jail; government laboratories; and nonprofit facilities such as cemeteries, churches, hospitals, retirement complexes and may include other uses as allowed by zoning.*"

Miscellaneous, Scott Kuhna, 303-441-4071

1. The applicant is notified that any groundwater discharge to the storm sewer system will require both a state permit and a city agreement. The steps for obtaining the proper approvals are as follows:
Step 1 -- Identify applicable Colorado Discharge Permit System requirements for the site.
Step 2 -- Determine any history of site contamination (underground storage tanks, groundwater contamination, industrial activities, landfills, etc.) If there is contamination on the site or in the groundwater, water quality monitoring is required.
Step 3 -- Submit a written request to the city to use the municipal separate storm sewer system (MS4). This submittal should include a copy of the Colorado Department of Public Health and Environment (CDPHE) permit application. The written request should include the location, description of the discharge, and brief discussion of all discharge options (e.g., discharge to MS4, groundwater infiltration, off-site disposal, etc.) The request should be addressed to: City of Boulder, Stormwater Quality, 4049 75th St, Boulder, CO 80301 Fax: 303-413-7364

Step 4 -- The city's Stormwater Quality Office will respond with a DRAFT agreement, which will need to be submitted with the CDPHE permit application. CDPHE will not finalize the discharge permit without permission from the city to use the MS4.

Step 5 -- Submit a copy of the final discharge permit issued by CDPHE back to the City's Stormwater Quality Office so that the MS4 agreement can be finalized.

For further information regarding stormwater quality within the City of Boulder contact the City's Stormwater Quality Office at 303-413-7350. All applicable permits must be in place prior to building permit application.

2. No portion of any structure, including footings and eaves, may encroach into any public right-of-way or easement.

Utilities, Scott Kuhna, 303-441-4071

1. The applicant is advised that any proposed street trees along the property frontage may conflict with existing utilities, including without limitation: gas, electric, and telecommunications, within and adjacent to the development site. It is the applicant's responsibility to resolve such conflicts with appropriate methods conforming to the Boulder Revised Code 1981, the City of Boulder Design and Construction Standards, and any private/franchise utility specifications.
2. Final utility construction drawings will be required as part of the Technical Document Review process (which must be completed prior to building permit application). All existing and proposed "dry" utilities (Xcel, Comcast, Century Link, etc.) will also need to be included on the plans.
3. Maintenance of sand/oil interceptors and all private wastewater and storm sewer lines and structures shall remain the responsibility of the owner.
4. The landscape irrigation system requires a separate water service and meter. A separate water Plant Investment Fee must be paid at time of building permit. Service, meter and tap sizes will be required at time of building permit submittal.
5. The applicant is advised that at the time of building permit application the following requirements will apply:
 - a. The applicant will be required to provide accurate plumbing fixture count forms to determine if the proposed meters and services are adequate for the proposed use.
 - b. Water and wastewater Plant Investment Fees and service line sizing will be evaluated.
 - c. If the existing water and/or wastewater services are required to be abandoned and upsized, all new service taps to existing mains shall be made by city crews at the developer's expense. The water service must be excavated and turned off at the corporation stop, per city standards. The sewer service must be excavated and capped at the property line, per city standards.
 - d. Since the buildings will be sprinklered, the approved fire line plans must accompany the fire sprinkler service line connection permit application.
6. All water meters are to be placed in city right-of-way or a public utility easement, but meters are not to be placed in driveways, sidewalks or behind fences.
7. The applicant is notified that, though the city allows Xcel and Qwest to install their utilities in the public right-of-way, they generally require them to be located in easements on private property.
8. Floor drains internal to covered parking structures, that collect drainage from rain and ice drippings from parked cars or water used to wash-down internal floors, shall be connected to the wastewater service using appropriate grease and sediment traps.
9. Trees proposed to be planted shall be located at least 10 feet away from existing or future utility mains and services.

Zoning Karl Guiler, Case Manager, 303-441-4236

The project site is zoned BT-2 (Business-Transitional 2), defined in the land use code as: "*Transitional business areas which generally buffer a residential area from a major street and are primarily used for commercial and complementary residential uses, including, without limitation, temporary lodging and office uses*" (section 9-5-2(c)(2)(E)). The proposal includes a request to rezone to P (Public) zoning for the northern properties within Riverbend. P zoning is defined in the land use code as: "*Public areas in which public and semi-public facilities and uses are located, including without limitation,*

governmental and educational uses.”

IV. NEXT STEPS

- (1) Please review and address all comments in this document and submit five (5) revised review sets and written responses to the comments to the Project Specialists within 60 days.
- (2) If necessary, contact the case manager to set up a meeting to occur within the next two weeks.
- (3) Planning Board is tentatively scheduled for Oct. 6th but is contingent on the remaining comments within this document being addressed in advance of Sept. 5th.

V. CITY CODE CRITERIA CHECKLIST

BVCP Land Use Map Change

The Land Use Map is not intended to be a zoning map. It is intended to provide policy direction and definition for future land uses in the Boulder Valley. Thus, a change to the land use designations may be considered at any time if it is related to a proposed change in zoning or proposed annexation and meets all of the following criteria:

(a) The proposed change is consistent with the policies and overall intent of the comprehensive plan.

The proposal to change the BVCP Land Use Map designation is consistent with the intent of the comprehensive plan to promote the physical health and well-being of residents of the Boulder Valley. The BVCP strives to “*maintain a high quality of life for all of its residents*” by “*providing facilities and services, among are human service programs and a focus on promoting cultural, social and economic equity.*” More specifically, the following policies on economic and social sustainability are relevant:

BVCP Policy 1.03 Principles of Economic Sustainability The city and county will strive to develop and maintain a healthy, adaptable economy that is vital to the community’s quality of life and high level of services and amenities by:

- a) *Promoting a diverse economy that supports the needs of all community members;*
- b) *Promoting a qualified and diversified work force that meets employers’ needs and supports a range of jobs; and*
- c) *Providing for and investing in a quality of life, unique amenities, and infrastructure that attracts, sustains, and retains businesses and entrepreneurs.*

BVCP Policy 1.04 Principles of Social Sustainability The city and county will strive to promote a healthy community and address social and cultural inequities by:

- a) *Respecting and valuing cultural and social diversity;*
- b) *Ensuring the basic health and safety needs of all residents are met; and*
- c) *Providing infrastructure and services that will encourage culturally and socially diverse communities to both prosper within and connect to the larger community.*

The Public Land Use Designation is described as follows:

Public/Semi-Public land use designations encompass a wide range of public and private nonprofit uses that provide a community service. This category includes municipal and public utility services such as the municipal airport, water reservoirs, and water and wastewater treatment plants. Public/Semi-Public also includes: educational facilities, including public and private schools and the university; government offices such as city and county buildings, libraries, and the jail; government laboratories; and nonprofit facilities such as cemeteries, churches, hospitals, retirement complexes and may include other uses as allowed by zoning.

The requested Public land use designation would allow for the expansion of the Boulder Community Health facility consistent with the following BVCP policies:

BVCP Policy 2.17 Variety of Activity Centers

BVCP Policy 8.01 Provide for a Broad Spectrum of Human Needs
BVCP Policy 8.07 Physical Health
BVCP Policy 8.10 Support for Community Facilities

(b) The proposed change would not have significant cross-jurisdictional impacts that may affect residents, properties or facilities outside the city.

The proposed change is meant to facilitate the expansion of health services in a single location for the Boulder Valley. The change would allow for more efficient provision of services and enhance access to services for residents of the area. There would be no significant cross-jurisdictional impacts to residents, properties or facilities outside the city.

(c) The proposed change would not materially affect the land use and growth projections that were the basis of the comprehensive plan.

The proposed land use designation change is necessary to facilitate a new hospital facility on the site and will not materially affect the land use and growth projections that were the basis of the comprehensive plan.

(d) The proposed change does not materially affect the adequacy or availability of urban facilities and services to the immediate area or to the overall service area of the City of Boulder.

The proposed land use designation change is necessary to facilitate a new hospital facility on the site and will not materially affect the adequacy or availability of urban facilities and services to the immediate area or to the overall service area of the City of Boulder. Infrastructural upgrades necessary to serve the redevelopment will be evaluated and required as part of the Site Review process.

(e) The proposed change would not materially affect the adopted Capital Improvements Program of the City of Boulder.

The proposed land use designation change is necessary to facilitate a new hospital facility on the site and will not materially affect the adopted Capital Improvements Program of the City of Boulder.

(f) The proposed change would not affect the Area II/Area III boundaries in the comprehensive plan.

The proposed change is within Area I and would have no impact on the Area II/Area III boundaries in the comprehensive plan.

Rezoning

Criteria: The city's zoning is the result of a detailed and comprehensive appraisal of the city's present and future land use allocation needs. In order to establish and maintain sound, stable and desirable development within the city, rezoning of land is to be discouraged and allowed only under the limited circumstances herein described. Therefore, the city council shall grant a rezoning application only if the proposed rezoning is consistent with the policies and goals of the Boulder Valley Comprehensive Plan, and, for an application not incidental to a general revision of the zoning map, meets one of the following criteria:

- (1) The applicant demonstrates by clear and convincing evidence that the proposed rezoning is necessary to come into compliance with the Boulder Valley Comprehensive Plan map;**

Based on the necessity to apply a Public Boulder Valley Comprehensive Plan (BVCP) land use designation on the properties to accommodate the proposed hospital, the Public (P) zoning would be appropriate on the site to be consistent with this change to the BVCP (discussed above) in order to be in compliance with the BVCP map.

- (2) The existing zoning of the land was the result of a clerical error;**
- (3) The existing zoning of the land was based on a mistake of fact;**
- (4) The existing zoning of the land failed to take into account the constraints on development created by the natural characteristics of the land, including, but not limited to, steep slopes, floodplain, unstable soils and inadequate drainage;**
- (5) The land or its surrounding environs has changed or is changing to such a degree that it is in the public interest to encourage a redevelopment of the area or to recognize the changed character of the area; or**
- (6) The proposed rezoning is necessary in order to provide land for a community need that was not anticipated at the time of adoption of the Boulder Valley Comprehensive Plan.**

Site Review

Staff's analysis of the compliance with these criteria will be completed upon submission of additional materials and modifications and at the time of staff recommendation to Planning Board.

Criteria for Review: No site review application shall be approved unless the approving agency finds that:

(1) Boulder Valley Comprehensive Plan:

(A) The proposed site plan is consistent with the land use map and the service area map and, on balance, the policies of the Boulder Valley Comprehensive Plan.

The proposal requires a BVCP land use map change to apply Public land use. This is necessary to permit a hospital use on properties that are located proximate to the Boulder Community Health facility at 48th and Arapahoe. Consistent with the analysis for the BVCP Land Use Map change, the proposal to develop the properties with a new medical/hospital facility would be consistent with the intent of the BVCP, Community Well Being policies as well as the policies below more specifically related to land development:

- BVCP Policy 2.03 Compact Development Pattern
- BVCP Policy 2.21 Commitment to a Walkable and Accessible City
- BVCP Policy 2.21 Mixed Use
- BVCP Policy 2.36 Design Excellence for Public Projects
- BVCP Policy 4.04 Energy-Efficient Land Use
- BVCP Policy 6.12 Neighborhood Street Connectivity

(B) The proposed development shall not exceed the maximum density associated with the Boulder Valley Comprehensive Plan residential land use designation. Additionally, if the density of existing residential development within a three-hundred-foot area surrounding the site is at or exceeds the density permitted in the Boulder Valley Comprehensive Plan, then the maximum density permitted on the site shall not exceed the lesser of:

- (i) The density permitted in the Boulder Valley Comprehensive Plan, or**
- (ii) The maximum number of units that could be placed on the site without waiving or varying any of the requirements of chapter 9-8, "Intensity Standards," B.R.C. 1981.**

Not applicable. The site is not under a residential land use designation and will contain no residential uses.

(C) The proposed development's success in meeting the broad range of BVCP policies considers the economic feasibility of implementation techniques required to meet other site review criteria.

(2) Site Design: Projects should preserve and enhance the community's unique sense of place through creative design that respects historic character, relationship to the natural environment, multi-modal transportation connectivity and its physical setting. Projects should utilize site design techniques which are consistent with the purpose of site review in Subsection (a) of this section and enhance the quality of the project. In determining whether this subsection is met, the approving agency will consider the following factors:

(A) Open Space: Open space, including, without limitation, parks, recreation areas and playgrounds:

- (i) Useable open space is arranged to be accessible and functional and incorporates quality landscaping, a mixture of sun and shade and places to gather;**

To be completed in staff memorandum after submission of revised documents.

- (ii) Private open space is provided for each detached residential unit;**

Not applicable to a non-residential project.

- (iii) The project provides for the preservation of or mitigation of adverse impacts to natural features, including, without limitation, healthy long-lived trees, significant plant communities, ground and surface water, wetlands, riparian areas, drainage areas and species on the federal Endangered Species List, "Species of Special Concern in Boulder County" designated by Boulder County, or prairie dogs (*Cynomys ludovicianus*), which is a species of local concern, and their habitat;**

(iv) The open space provides a relief to the density, both within the project and from surrounding development;

(v) Open space designed for active recreational purposes is of a size that it will be functionally useable and located in a safe and convenient proximity to the uses to which it is meant to serve;

The size and location of the proposed open space is appropriate to a medical use. Active recreational uses would not be expected for the use of the property.

(vi) The open space provides a buffer to protect sensitive environmental features and natural areas; and

The property does not contain any existing sensitive environmental features or natural areas. The site is associated with the Boulder Community Health Foothills Hospital site, which includes substantial preserved areas of 17 acres in the floodplain areas of Boulder Creek.

(vii) If possible, open space is linked to an area- or city-wide system.

The proposed pathways on the site would connect to the city's existing sidewalk system and will be convenient access to nearby multi-use paths as well as the Boulder Creek Path.

(B) Open Space in Mixed Use Developments (Developments That Contain a Mix of Residential and Nonresidential Uses):

(i) The open space provides for a balance of private and shared areas for the residential uses and common open space that is available for use by both the residential and nonresidential uses that will meet the needs of the anticipated residents, occupants, tenants and visitors of the property; and

(ii) The open space provides active areas and passive areas that will meet the needs of the anticipated residents, occupants, tenants and visitors of the property and are compatible with the surrounding area or an adopted plan for the area.

Not applicable. There is no residential component to the project.

(C) Landscaping:

(i) The project provides for aesthetic enhancement and a variety of plant and hard surface materials, and the selection of materials provides for a variety of colors and contrasts and the preservation or use of local native vegetation where appropriate;

(ii) Landscape design attempts to avoid, minimize or mitigate impacts on and off site to important native species, healthy, long lived trees, plant communities of special concern, threatened and endangered species and habitat by integrating the existing natural environment into the project;

(iii) The project provides significant amounts of plant material sized in excess of the landscaping requirements of Sections 9-9-12, "Landscaping and Screening Standards," and 9-9-13, "Streetscape Design Standards," B.R.C. 1981; and

(iv) The setbacks, yards and useable open space along public rights of way are landscaped to provide attractive streetscapes, to enhance architectural features and to contribute to the development of an attractive site plan.

(D) Circulation: Circulation, including, without limitation, the transportation system that serves the property, whether public or private and whether constructed by the developer or not:

(i) High speeds are discouraged or a physical separation between streets and the project is provided;

(ii) Potential conflicts with vehicles are minimized;

(iii) Safe and convenient connections are provided that support multi-modal mobility through and between properties, accessible to the public within the project and between the project and the existing and proposed transportation systems, including, without limitation, streets, bikeways, pedestrian ways and trails;

To be completed in staff memorandum after submission of revised documents.

(iv) Alternatives to the automobile are promoted by incorporating site design techniques, land use patterns and supporting infrastructure that supports and encourages walking, biking and other alternatives to the single-occupant vehicle;

- (v) **Where practical and beneficial, a significant shift away from single-occupant vehicle use to alternate modes is promoted through the use of travel demand management techniques;**
 - (vi) **On-site facilities for external linkage are provided with other modes of transportation, where applicable;**
 - (vii) **The amount of land devoted to the street system is minimized; and**
 - (viii) **The project is designed for the types of traffic expected, including, without limitation, automobiles, bicycles and pedestrians, and provides safety, separation from living areas and control of noise and exhaust.**
- (E) Parking:**
- (i) **The project incorporates into the design of parking areas measures to provide safety, convenience and separation of pedestrian movements from vehicular movements;**
 - (ii) **The design of parking areas makes efficient use of the land and uses the minimum amount of land necessary to meet the parking needs of the project;**
 - (iii) **Parking areas and lighting are designed to reduce the visual impact on the project, adjacent properties and adjacent streets; and**
 - (iv) **Parking areas utilize landscaping materials to provide shade in excess of the requirements in Subsection 9-9-6(d), and Section 9-9-14, "Parking Lot Landscaping Standards," B.R.C. 1981.**
- (F) Building Design, Livability and Relationship to the Existing or Proposed Surrounding Area:**
- (i) **The building height, mass, scale, orientation, architecture and configuration are compatible with the existing character of the area or the character established by adopted design guidelines or plans for the area;**

The character of the area is eclectic and contains a variety of building forms, heights and uses ranging from multi-family residential, transitional business, strip commercial to light industrial and medical uses. The proposed buildings would not be unlike the scale and design of buildings present in the area and particularly near to the site on the Boulder Community Health Foothill's Hospital and the Ball Aerospace campus. The general design of the buildings borrow from the designs and materiality of the existing hospital and medical buildings to the west and are oriented in an east-west orientation much like most of the buildings on the north side of the Arapahoe Avenue. Therefore, it can be concluded that the height, mass, scale, orientation, architecture and configuration of the proposed buildings will be compatible with the existing character of the area.
 - (ii) **The height of buildings is in general proportion to the height of existing buildings and the proposed or projected heights of approved buildings or approved plans or design guidelines for the immediate area;**

The buildings are proposed to be a maximum of 55 feet. This height would match that of several nearby structures including the Ball Aerospace buildings immediately to north and the existing hospital complex to the south. Another Ball Aerospace building to the east exceeds the 55 foot height limit and is considered nonconforming because it predates the current height limit. Therefore, the height of the proposed buildings is in general proportion to the heights of existing buildings in the immediate area.
 - (iii) **The orientation of buildings minimizes shadows on and blocking of views from adjacent properties;**

The proposed buildings will not block any prominent views from adjacent properties. The buildings are proposed just to the south of a large window less Ball Aerospace facility where satellites are constructed. Shadows would be minimized and would fall into the mostly alley-like utilitarian area between the subject property and the Ball Aerospace site discussed above.
 - (iv) **If the character of the area is identifiable, the project is made compatible by the appropriate use of color, materials, landscaping, signs and lighting;**

To be completed in staff memorandum after submission of revised documents.
 - (v) **Projects are designed to a human scale and promote a safe and vibrant pedestrian experience through the location of building frontages along public streets, plazas, sidewalks and paths, and through the use of building elements, design details and landscape materials that include, without limitation, the location of entrances and windows, and the creation of transparency and activity at the pedestrian level;**

To be completed in staff memorandum after submission of revised documents.

- (vi) To the extent practical, the project provides public amenities and planned public facilities;**

As a hospital, the use is a critical public facility, the expansion of which will better provide for the needs of the community in a highly accessible location.

- (vii) For residential projects, the project assists the community in producing a variety of housing types, such as multifamily, townhouses and detached single family units, as well as mixed lot sizes, number of bedrooms and sizes of units;**

Not applicable to a non-residential project.

- (viii) For residential projects, noise is minimized between units, between buildings and from either on-site or off-site external sources through spacing, landscaping and building materials;**

Not applicable to a non-residential project.

- (ix) A lighting plan is provided which augments security, energy conservation, safety and aesthetics;**

A lighting plan will be required at time of Technical Documents to determine compliance with section 9-9-16, B.R.C. 1981.

- (x) The project incorporates the natural environment into the design and avoids, minimizes or mitigates impacts to natural systems;**

The proposed project is upon an already developed site and will not adversely impact any natural systems.

- (xi) Buildings minimize or mitigate energy use; support on-site renewable energy generation and/or energy management systems; construction wastes are minimized; the project mitigates urban heat island effects; and the project reasonably mitigates or minimizes water use and impacts on water quality;**

To be completed in staff memorandum after submission of revised documents.

- (xii) Exteriors of buildings present a sense of permanence through the use of authentic materials such as stone, brick, wood, metal or similar products and building material detailing;**

- (xiii) Cut and fill are minimized on the site, the design of buildings conforms to the natural contours of the land, and the site design minimizes erosion, slope instability, landslide, mudflow or subsidence, and minimizes the potential threat to property caused by geological hazards;**

The two buildings would not contain subterranean space and cut and fill would be limited to necessary contouring for the building footprints, open spaces and construction of a new roadway.

- (xiv) In the urbanizing areas along the Boulder Valley Comprehensive Plan boundaries between Area II and Area III, the building and site design provide for a well-defined urban edge; and**

The property is found within Area I and not in the urbanizing areas between Area II and III.

- (xv) In the urbanizing areas located on the major streets shown on the map in Appendix A to this title near the Boulder Valley Comprehensive Plan boundaries between Area II and Area III, the buildings and site design establish a sense of entry and arrival to the City by creating a defined urban edge and a transition between rural and urban areas.**

See (xiv) above.

- (G) Solar Siting and Construction: For the purpose of ensuring the maximum potential for utilization of solar energy in the City, all applicants for residential site reviews shall place streets, lots, open spaces and buildings so as to maximize the potential for the use of solar energy in accordance with the following solar siting criteria:**

- (i) Placement of Open Space and Streets: Open space areas are located wherever practical to protect buildings from shading by other buildings within the development or from buildings on adjacent properties. Topography and other natural features and constraints may justify deviations from this criterion.**

- (ii) Lot Layout and Building Siting: Lots are oriented and buildings are sited in a way which maximizes the solar potential of each principal building. Lots are designed to facilitate siting a structure which is unshaded by other nearby structures. Wherever practical, buildings are sited close to the north lot line to increase yard space to the south for better owner control of shading.**

- (iii) **Building Form: The shapes of buildings are designed to maximize utilization of solar energy. Buildings shall meet the solar access protection and solar siting requirements of Section 9-9-17, "Solar Access," B.R.C. 1981.**
- (iv) **Landscaping: The shading effects of proposed landscaping on adjacent buildings are minimized.**
- (H) **Additional Criteria for Poles Above the Permitted Height: No site review application for a pole above the permitted height will be approved unless the approving agency finds all of the following:**
 - (i) The light pole is required for nighttime recreation activities which are compatible with the surrounding neighborhood, light or traffic signal pole is required for safety or the electrical utility pole is required to serve the needs of the City; and
 - (ii) The pole is at the minimum height appropriate to accomplish the purposes for which the pole was erected and is designed and constructed so as to minimize light and electromagnetic pollution.

Not applicable to this project.

- (I) **Land Use Intensity Modifications:**
 - (i) **Potential Land Use Intensity Modifications:**
 - a. The density of a project may be increased in the BR-1 district through a reduction of the lot area requirement or in the Downtown (DT), BR-2 or MU-3 districts through a reduction in the open space requirements.
 - b. The open space requirements in all Downtown (DT) districts may be reduced by up to one hundred percent.
 - c. The open space per lot requirements for the total amount of open space required on the lot in the BR-2 district may be reduced by up to fifty percent.
 - d. Land use intensity may be increased up to twenty-five percent in the BR-1 district through a reduction of the lot area requirement.
 - (ii) **Additional Criteria for Land Use Intensity Modifications: A land use intensity increase will be permitted up to the maximum amount set forth below if the approving agency finds that the criteria in paragraph (h)(1) through Subparagraph (h)(2)(H) of this section and following criteria have been met:**
 - a. **Open Space Needs Met: The needs of the project's occupants and visitors for high quality and functional useable open space can be met adequately;**
 - b. **Character of Project and Area: The open space reduction does not adversely affect the character of the development or the character of the surrounding area; and**
 - c. **Open Space and Lot Area Reductions: The specific percentage reduction in open space or lot area requested by the applicant is justified by any one or combination of the following site design features not to exceed the maximum reduction set forth above:**
 - 1. Close proximity to a public mall or park for which the development is specially assessed or to which the project contributes funding of capital improvements beyond that required by the parks and recreation component of the development excise tax set forth in chapter 3-8, "Development Excise Tax," B.R.C. 1981: maximum one hundred percent reduction in all Downtown (DT) districts and ten percent in the BR-1 district;
 - 2. Architectural treatment that results in reducing the apparent bulk and mass of the structure or structures and site planning which increases the openness of the site: maximum five percent reduction;
 - 3. A common park, recreation or playground area functionally useable and accessible by the development's occupants for active recreational purposes and sized for the number of inhabitants of the development, maximum five percent reduction; or developed facilities within the project designed to meet the active recreational needs of the occupants: maximum five percent reduction;
 - 4. Permanent dedication of the development to use by a unique residential population whose needs for conventional open space are reduced: maximum five percent reduction;

5. The reduction in open space is part of a development with a mix of residential and nonresidential uses within a BR-2 zoning district that, due to the ratio of residential to nonresidential uses and because of the size, type and mix of dwelling units, the need for open space is reduced: maximum fifteen percent reduction; and
6. The reduction in open space is part of a development with a mix of residential and nonresidential uses within a BR-2 zoning district that provides high quality urban design elements that will meet the needs of anticipated residents, occupants, tenants and visitors of the property or will accommodate public gatherings, important activities or events in the life of the community and its people, that may include, without limitation, recreational or cultural amenities, intimate spaces that foster social interaction, street furniture, landscaping and hard surface treatments for the open space: maximum twenty-five percent reduction.

Not applicable to this project.

(J) Additional Criteria for Floor Area Ratio Increase for Buildings in the BR-1 District:

- (i) Process: For buildings in the BR-1 district, the floor area ratio ("FAR") permitted under Table 8-2, Section 9-8-2, "Floor Area Ratio Requirements," B.R.C. 1981, may be increased by the city manager under the criteria set forth in this subparagraph.
- (ii) Maximum FAR Increase: The maximum FAR increase allowed for buildings thirty-five feet and over in height in the BR-1 district shall be from 2:1 to 4:1.
- (iii) Criteria for the BR-1 District: The FAR may be increased in the BR-1 district to the extent allowed in subparagraph (h)(2)(J)(ii) of this section if the approving agency finds that the following criteria are met:
 - a. Site and building design provide open space exceeding the required useable open space by at least ten percent: an increase in FAR not to exceed 0.25:1.
 - b. Site and building design provide private outdoor space for each office unit equal to at least ten percent of the lot area for buildings twenty-five feet and under and at least twenty percent of the lot area for buildings above twenty-five feet: an increase in FAR not to exceed 0.25:1.
 - c. Site and building design provide a street front facade and an alley facade at a pedestrian scale, including, without limitation, features such as awnings and windows, well-defined building entrances and other building details: an increase in FAR not to exceed 0.25:1.
 - d. For a building containing residential and nonresidential uses in which neither use comprises less than twenty-five percent of the total square footage: an increase in FAR not to exceed 1:1.
 - e. The unused portion of the allowed FAR of historic buildings designated as landmarks under chapter 9-11, "Historic Preservation," B.R.C. 1981, may be transferred to other sites in the same zoning district. However, the increase in FAR of a proposed building to which FAR is transferred under this subparagraph may not exceed an increase of 0.5:1.
 - f. For a building which provides one full level of parking below grade, an increase in FAR not to exceed 0.5:1 may be granted.

Not applicable to this project.

(K) Additional Criteria for Parking Reductions: The off-street parking requirements of Section 9-9-6, "Parking Standards," B.R.C. 1981, may be modified as follows:

- (i) Process: The city manager may grant a parking reduction not to exceed fifty percent of the required parking. The planning board or city council may grant a reduction exceeding fifty percent.
- (ii) Criteria: Upon submission of documentation by the applicant of how the project meets the following criteria, the approving agency may approve proposed modifications to the parking requirements of Section 9-9-6, "Parking Standards," B.R.C. 1981 (see tables 9-1, 9-2, 9-3 and 9-4), if it finds that:
 - a. For residential uses, the probable number of motor vehicles to be owned by occupants of and visitors to dwellings in the project will be adequately accommodated;

- b. The parking needs of any nonresidential uses will be adequately accommodated through on-street parking or off-street parking;
- c. A mix of residential with either office or retail uses is proposed, and the parking needs of all uses will be accommodated through shared parking;
- d. If joint use of common parking areas is proposed, varying time periods of use will accommodate proposed parking needs; and
- e. If the number of off-street parking spaces is reduced because of the nature of the occupancy, the applicant provides assurances that the nature of the occupancy will not change.

Not applicable to this project.

(L) **Additional Criteria for Off-Site Parking:** The parking required under Section 9-9-6, "Parking Standards," B.R.C. 1981, may be located on a separate lot if the following conditions are met:

- (i) The lots are held in common ownership;
- (ii) The separate lot is in the same zoning district and located within three hundred feet of the lot that it serves; and
- (iii) The property used for off-site parking under this subparagraph continues under common ownership or control.

Not applicable to this project.

Use Review

Criteria for Review: No use review application will be approved unless the approving agency finds all of the following:

To be completed in staff memorandum after submission of revised documents.

- (1) **Consistency with Zoning and Nonconformity:** The use is consistent with the purpose of the zoning district as set forth in section 9-5-2, "Zoning Districts," B.R.C. 1981, except in the case of a nonconforming use;
- (2) **Rationale:** The use either:
 - (A) Provides direct service or convenience to or reduces adverse impacts to the surrounding uses or neighborhood;
 - (B) Provides a compatible transition between higher intensity and lower intensity uses;
 - (C) Is necessary to foster a specific city policy, as expressed in the Boulder Valley Comprehensive Plan, including, without limitation, historic preservation, moderate income housing, residential and nonresidential mixed uses in appropriate locations and group living arrangements for special populations; or
 - (D) Is an existing legal nonconforming use or a change thereto that is permitted under subsection (f) of this section;
- (3) **Compatibility:** The location, size, design and operating characteristics of the proposed development or change to an existing development are such that the use will be reasonably compatible with and have minimal negative impact on the use of nearby properties or for residential uses in industrial zoning districts, the proposed development reasonably mitigates the potential negative impacts from nearby properties;
- (4) **Infrastructure:** As compared to development permitted under section 9-6-1, "Schedule of Permitted Land Uses," B.R.C. 1981, in the zone, or as compared to the existing level of impact of a nonconforming use, the proposed development will not significantly adversely affect the infrastructure of the surrounding area, including, without limitation, water, wastewater and storm drainage utilities and streets;
- (5) **Character of Area:** The use will not change the predominant character of the surrounding area or the character established by adopted design guidelines or plans for the area; and
- (6) **Conversion of Dwelling Units to Nonresidential Uses:** There shall be a presumption against approving the conversion of dwelling units in the residential zoning districts to nonresidential uses that are allowed pursuant to a use review, or through the change of one nonconforming use to another nonconforming use. The presumption against such a conversion may be overcome by a finding that the use to be

approved serves another compelling social, human services, governmental or recreational need in the community, including, without limitation, a use for a daycare center, park, religious assembly, social service use, benevolent organization use, art or craft studio space, museum or an educational use.

VI. Conditions On Case

To be prepared prior to staff recommendation on the project.

VI. Conditions On Case