



CITY OF BOULDER Planning and Development Services

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phone 303-441-1880 • fax 303-441-3241 • web boulderplandevlop.net

May 18, 2016

Greetings:

We are writing to notify you that the City of Boulder Planning and Development Services Center has received the following development review application:

LOCATION: 1440 Pine Street
PROJECT NAME: Attention Homes Apartments
DESCRIPTION: CONCEPT PLAN REVIEW AND COMMENT: Request for citizen, Planning Board, and city comment on a proposal to develop an existing parking lot on the corner of Pine Street and 15th Street on the First United Methodist Church site with a three-story building of roughly 30,000 square feet with 90 underground parking spaces containing 40 affordable rental units and associated commons spaces. The units are intended for homeless young adults between the ages of 18 and 24 years old who are in need for supportive services in order to address underlying issues associated with their homelessness. A Concept Plan is a preliminary step in the city's regulatory review process. **Concept plans are not approved or denied, but rather are an opportunity for the city and residents to comment on the general aspects of the proposal before a more detailed application is submitted.**

REVIEW TYPE: Concept Plan Review & Comment
REVIEW NUMBER: LUR2016-00033
APPLICANT: Jeff Dawson, Studio Architecture
ZONING: RH-2 (Residential High – 2)

What is allowed on this property?

The project site is zoned RH-2, High Density Residential. RH-2 areas are high density residential areas primarily used for a variety of types of attached residential units, including without limitation, apartment buildings, and where complementary uses may be allowed.

For more information regarding City zoning regulations, please refer to the City's Land Use Regulations at www.bouldercolorado.gov under 'Building Codes' (→ Boulder Revised Code → Title 9: Land Use Regulations) found under selection "B" in A-Z or contact Planning and Development Services at 303-441-1880.

Why is this review required?

Per Section 9-2-14, B.R.C. 1981, the project requires Concept Plan review and comment, because the project exceeds 20 dwelling units. The Concept Plan is an opportunity for the applicant to get comments from the community about the proposed plan before moving forward. "Concept Plan Review and Comment" requires staff review and a public hearing before the Planning Board. Planning Board, staff and neighborhood comments made at public hearings are intended to be advisory comments for the applicant to consider prior to submitting any detailed plan documents.

What are the criteria for review?

The Planning Department and Planning Board will review the applicant's Concept Review & Comment plans against the guidelines found in Section 9-2-13(f), B.R.C. 1981.

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When will a decision be made?

There is no approval or denial of a Concept Plan application. Planning Board comments are given at a public hearing, after a staff review. The timing of the development review process depends on several factors, including the complexity of the project and the number of times the proposal is revised. **Staff welcomes inquiries and comments from the public throughout the review process.** All comments received will be transmitted to the Planning Board and the applicant.

Comments may also be sent directly to the Planning Board at planningboard@bouldercolorado.gov. **Please note that**

staff will send out a separate mailed notification when a public hearing date with the Planning Board has been scheduled.

How can I find out more?

Staff will send out separate notification regarding public outreach and notification of the Planning Board hearing. In the meantime, for more information or to comment on the application, contact the project's staff case manager Karl Guiler.

By Phone: 303-441-4236

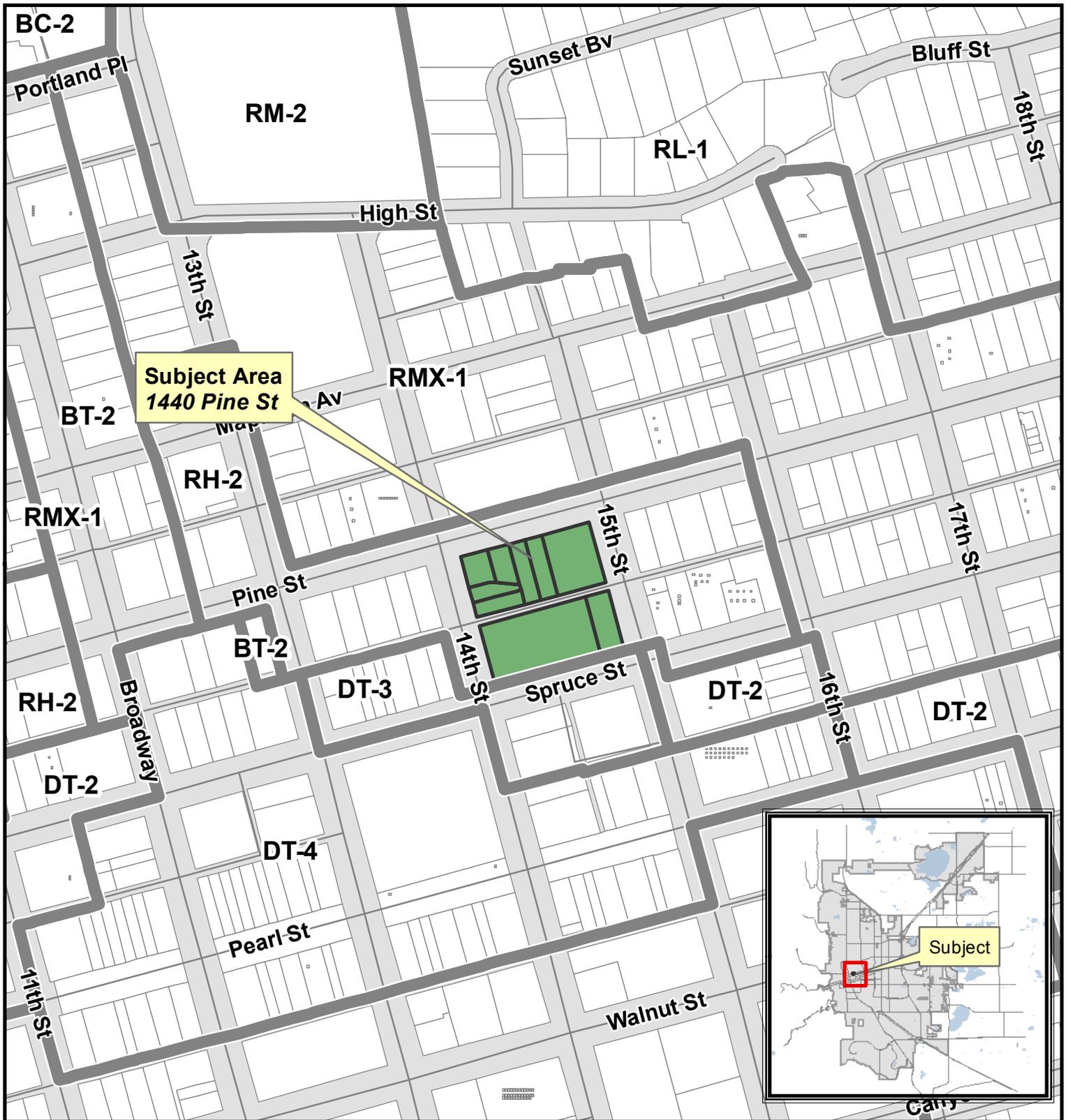
By FAX: 303-441-3241

By Mail: P.O. Box 791, Boulder, CO 80306

By e-mail: guilerk@bouldercolorado.gov

Or review the project file at the Planning and Development Services Center, 1739 Broadway, 3rd floor, during regular office hours.

City of Boulder Vicinity Map



Location: 1440 Pine St

Project Name: Attention Home Apartments

Review Type: Concept Plan Review

Review Number: LUR2016-00033

Zoning: Residential-High 2 (RH-2)

Applicant: Jeff Dawson



1 inch = 300 feet



The information depicted on this map is provided as graphical representation only. The City of Boulder provides no warranty, expressed or implied, as to the accuracy and/or completeness of the information contained herein.