

**LEGEND**

PROPERTY BOUNDARY	---
ADJACENT PROPERTY BOUNDARY	---
EX. LOT LINE	---
EX. FENCE	---
EX. OVERHEAD UTILITIES	---
EX. UTILITY POLE	---
EX. ASPHALT PAVEMENT	[Pattern]
EX. CONCRETE	[Pattern]
PROPOSED ASPHALT PAVEMENT	[Pattern]
PROPOSED PERMEABLE PAVEMENT	[Pattern]
EX. DECIDUOUS TREES	[Symbol]
EX. CONIFEROUS TREES	[Symbol]

PREPARED BY:  
  
**The Sanitas Group**  
 801 MAIN ST, SUITE 210  
 LOUISVILLE, CO 80027  
 720.346.1656  
 PROJECT CONTACT:  
 CURTIS C. STEVENS, P.E.

PREPARED FOR:  
**22ND ST. ELEMENT, LLC**  
 C/O ELEMENT PROPERTIES  
 1539 PEARL STREET  
 BOULDER, CO 80302  
 CONTACT:  
 SCOTT HOLTON

TECHNICAL DOCUMENTS FOR:  
**1838 22ND STREET  
 RESIDENTIAL DEVELOPMENT**  
 1838 22ND STREET  
 CITY OF BOULDER, STATE OF COLORADO



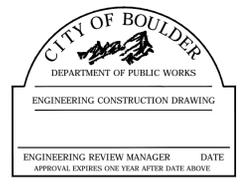
ISSUE	DATE
TECH DOC	11/4/13

DESIGNED BY: CCS  
 DRAWN BY: CCS  
 CHECKED BY: TSG

DRAWING SCALE:  
 HORIZONTAL: 1"=10'  
 VERTICAL: N/A

**CIVIL  
 SITE  
 PLAN**  
 PROJECT NO. B1064

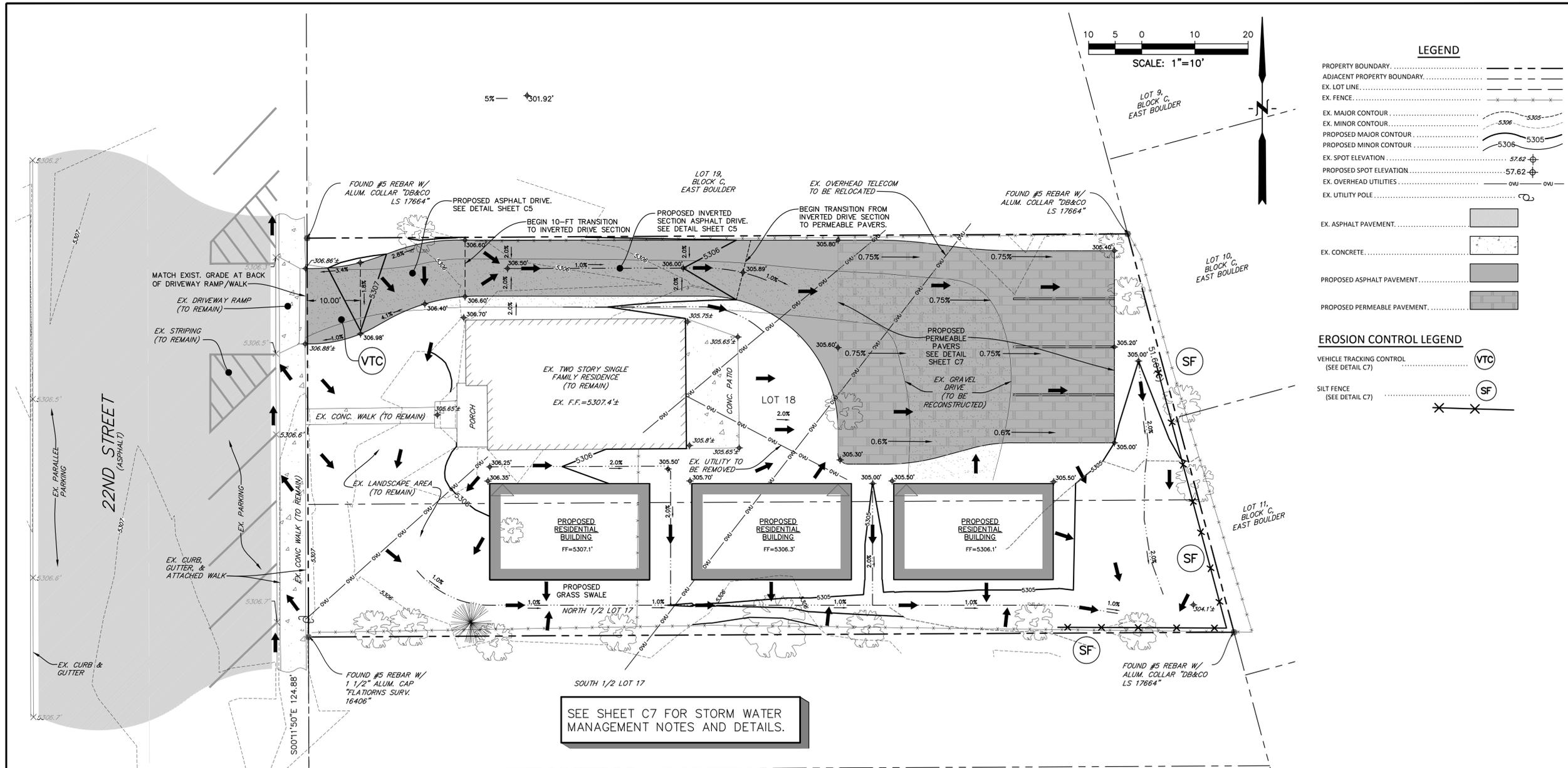
**C2**  
 SHEET: 2 OF 7



CITY OF BOULDER  
 DEPARTMENT OF PUBLIC WORKS  
 ENGINEERING REVIEW MANAGER \_\_\_\_\_ DATE \_\_\_\_\_  
 APPROVAL EXPIRES ONE YEAR AFTER DATE ABOVE

RECOMMENDATION FOR APPROVAL  
 WATER/SEWER \_\_\_\_\_  
 TRANSPORTATION \_\_\_\_\_  
 DRAINAGE \_\_\_\_\_





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**1838 22ND STREET RESIDENTIAL DEVELOPMENT**  
 1838 22ND STREET  
 CITY OF BOULDER, STATE OF COLORADO



ISSUE	DATE
TECH DOC	11/4/13

DESIGNED BY: CCS  
 DRAWN BY: CCS  
 CHECKED BY: TSG

DRAWING SCALE:  
 HORIZONTAL: 1" = 10'  
 VERTICAL: NONE

**GRADING & EROSION CONTROL PLAN**  
 PROJECT NO. B1064

**C3**  
 SHEET: 3 OF 7

**LEGEND**

PROPERTY BOUNDARY	---
ADJACENT PROPERTY BOUNDARY	---
EX. LOT LINE	---
EX. FENCE	---
EX. MAJOR CONTOUR	.....
EX. MINOR CONTOUR	.....
PROPOSED MAJOR CONTOUR	.....
PROPOSED MINOR CONTOUR	.....
EX. SPOT ELEVATION	57.62
PROPOSED SPOT ELEVATION	57.62
EX. OVERHEAD UTILITIES	---OW---
EX. UTILITY POLE	---OW---

EX. ASPHALT PAVEMENT	■
EX. CONCRETE	■
PROPOSED ASPHALT PAVEMENT	■
PROPOSED PERMEABLE PAVEMENT	■

**EROSION CONTROL LEGEND**

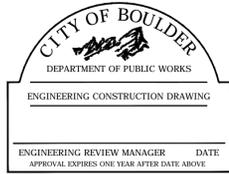
VEHICLE TRACKING CONTROL (SEE DETAIL C7)	(VTC)
SILT FENCE (SEE DETAIL C7)	(SF)

- GRADING NOTES**
- ALL WORK SHALL COMPLY WITH THE CITY OF BOULDER DESIGN AND CONSTRUCTION STANDARDS, LATEST EDITION, AS WELL AS ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES.
  - ALL CONTRACTORS UTILIZING THESE PLANS ARE CAUTIONED TO COMPLY WITH THE REQUIREMENTS OF COLORADO CODE TITLE 9, ARTICLE 1.5, AS AMENDED, CONCERNING THE PROTECTION OF EXISTING UNDERGROUND FACILITIES FROM DAMAGE DUE TO EXCAVATIONS. THE LOCATION OF EXISTING UTILITIES AND FACILITIES ARE SHOWN BASED ON INFORMATION AVAILABLE, AND COMPLETENESS IS NOT GUARANTEED. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO STARTING WORK. THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER AT 811 TWO DAYS IN ADVANCE OF STARTING WORK, AS REQUIRED BY COLORADO CODE.
  - CONTRACTOR SHALL VERIFY THE DEPTH AND LOCATION OF ALL UTILITIES AND FACILITIES PRIOR TO STARTING WORK. HAND EXCAVATION MAY BE REQUIRED. WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARDS OF THE UTILITY COMPANIES WHOSE FACILITIES ARE IN THE PROXIMITY OF THE WORK.
  - CONTRACTOR SHALL VERIFY EXISTING CONDITIONS INCLUDING ALL DIMENSIONS AND INVERTS PRIOR TO THE START OF THE WORK. CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY VARIATIONS BETWEEN THESE PLANS AND THE ACTUAL FIELD CONDITIONS.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR TO ANY EXISTING IMPROVEMENTS DISTURBED OR DAMAGED BY CONSTRUCTION ACTIVITIES.
  - CONTRACTOR SHALL MAINTAIN AND PROTECT VEHICULAR AND PEDESTRIAN TRAFFIC IN PROXIMITY OF THE WORK.
  - CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND SUBMITTAL APPROVALS PRIOR TO THE BEGINNING OF WORK.
  - COORDINATES REFER TO CENTERLINE OF UTILITY, UNLESS OTHERWISE NOTED ON THE PLANS.

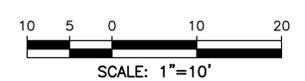
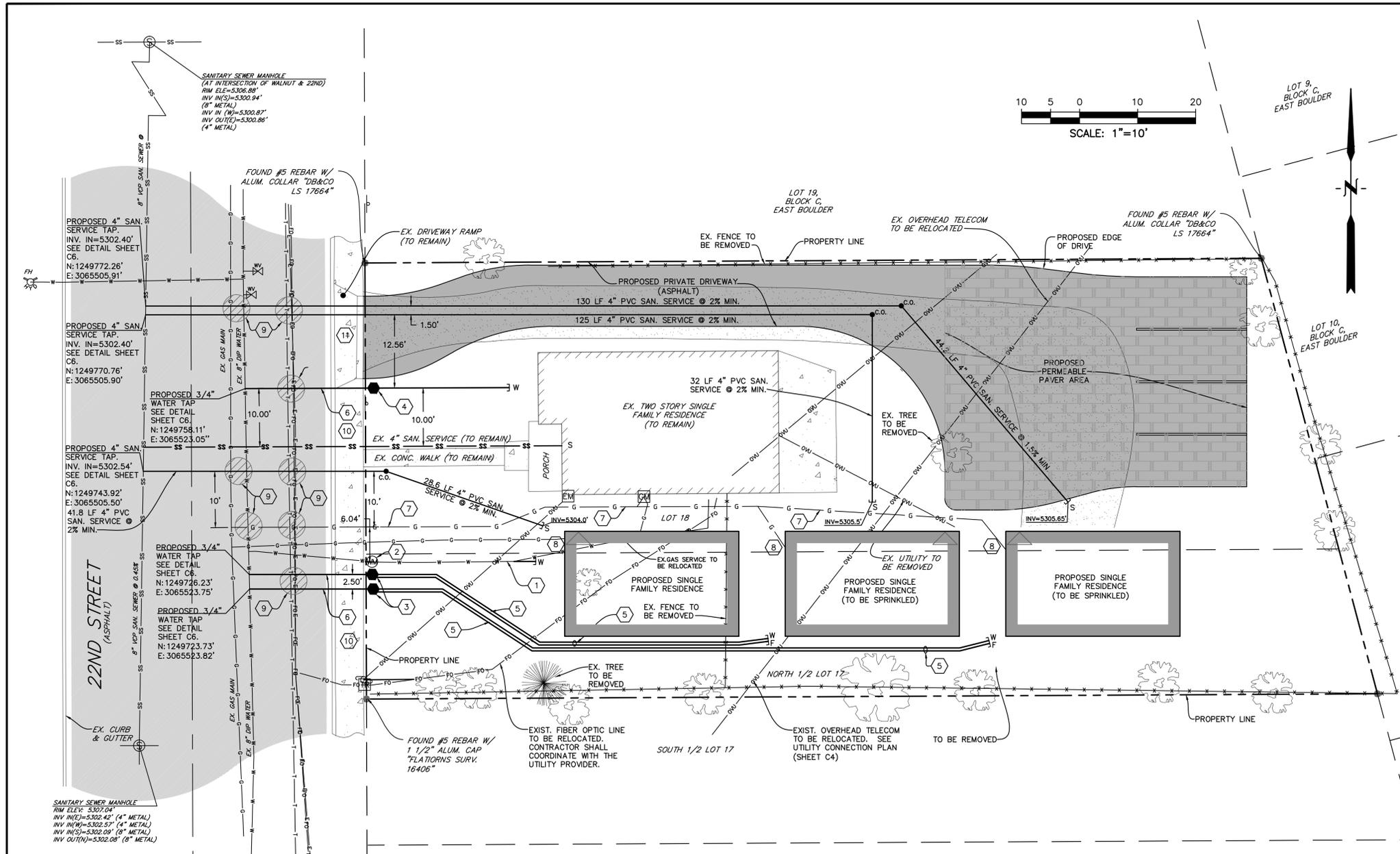
- GRADING NOTES (CONTINUED)**
- ALL SPOT ELEVATIONS ARE FLOWLINE OF CURB AND GUTTER OR TOP OF PAVING UNLESS OTHERWISE NOTED.
  - ALL PROPOSED CONTOURS ARE TO TOP OF FINISHED PAVING AND LANDSCAPED AREAS UNLESS OTHERWISE NOTED.
  - ADD 5200 TO ALL PROPOSED SPOT ELEVATIONS AND CONTOUR ELEVATIONS TO REACH PROJECT VERTICAL DATUM.
  - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN AND PROVIDE FOR ADEQUATE DRAINAGE THROUGH THE SITE DURING THE PROCESS OF EXCAVATION, GRADING AND EMBANKMENT. THE GRADE SHALL BE MAINTAINED IN SUCH CONDITION THAT IT IS WELL DRAINED AT ALL TIMES.
  - LANDSCAPE SLOPES SHALL NOT EXCEED 4:1 (H:V) UNLESS OTHERWISE APPROVED BY THE CITY INSPECTOR/ENGINEER.
  - MATCH EXISTING GRADES AT LIMITS OF CONSTRUCTION.
  - SHOULD GROUNDWATER BE ENCOUNTERED DURING CONSTRUCTION ACTIVITIES FOR THIS PROJECT, EXCAVATION DEWATERING IS THE RESPONSIBILITY OF THE CONTRACTOR.
  - UNSATURABLE MATERIALS (MUCK) ENCOUNTERED IN THE SUBGRADE SHALL BE REMOVED TO THE DEPTH DIRECTED BY THE ENGINEER. THE EXCAVATED AREA SHALL BE BACKFILLED TO THE FINISHED GRADED SECTION WITH APPROVED MATERIAL. ALL UNSATURABLE MATERIAL SHALL BE DISPOSED OF IN ACCORDANCE WITH APPLICABLE LOCAL, STATE, & FEDERAL REGULATIONS.

- LANDSCAPE/RESTORATION NOTES**
- ALL EXISTING TREES TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION FROM DAMAGE.
  - DAMAGE SODDED AREAS SHALL BE REPLACED WITH NEW SOD.
  - CONTRACTOR SHALL COORDINATE WITH OWNER ON FINAL LANDSCAPING IMPROVEMENTS AND LAYOUT.
  - ALL DISTURBED AREAS SHALL BE REVEGETATED (SOD, SEED, OR SIMILAR) AS SOON AS POSSIBLE, AND SHALL COMPLY WITH THE "STORMWATER MANAGEMENT" NOTES ON SHEET C7.

- DRAINAGE NOTES**
- REFER TO THE "FINAL DRAINAGE REPORT FOR 1838 22ND STREET RESIDENTIAL DEVELOPMENT" DATED NOVEMBER 2013 FOR SUPPORTING CALCULATIONS.
  - REFER TO SHEET DR2 FOR PROPOSED DRAINAGE CONDITIONS.



CITY OF BOULDER  
 PUBLIC WORKS DEPARTMENT  
 RECOMMENDATION FOR APPROVAL  
 WATER/SEWER \_\_\_\_\_  
 TRANSPORTATION \_\_\_\_\_  
 DRAINAGE \_\_\_\_\_



**GENERAL UTILITY NOTES**

- ALL WORK SHALL COMPLY WITH THE CITY OF BOULDER DESIGN AND CONSTRUCTION STANDARDS, LATEST EDITION, AS WELL AS ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES.
- ALL CONTRACTORS UTILIZING THESE PLANS ARE CAUTIONED TO COMPLY WITH THE REQUIREMENTS OF COLORADO CODE TITLE 9, ARTICLE 1.5, AS AMENDED, CONCERNING THE PROTECTION OF EXISTING UNDERGROUND FACILITIES FROM DAMAGE DUE TO EXCAVATIONS. THE LOCATION OF EXISTING UTILITIES AND FACILITIES ARE SHOWN BASED ON INFORMATION AVAILABLE, AND COMPLETENESS IS NOT GUARANTEED. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO STARTING WORK. THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER AT 811 TWO DAYS IN ADVANCE OF STARTING WORK, AS REQUIRED BY COLORADO CODE.
- CONTRACTOR SHALL VERIFY THE DEPTH AND LOCATION OF ALL UTILITIES AND FACILITIES PRIOR TO STARTING WORK. HAND EXCAVATION MAY BE REQUIRED. WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARDS OF THE UTILITY COMPANIES WHOSE FACILITIES ARE IN THE PROXIMITY OF THE WORK.
- CONTRACTOR SHALL VERIFY EXISTING CONDITIONS INCLUDING ALL DIMENSIONS AND INVERTS PRIOR TO THE START OF THE WORK. CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY VARIATIONS BETWEEN THESE PLANS AND THE ACTUAL FIELD CONDITIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR TO ANY EXISTING IMPROVEMENTS DISTURBED OR DAMAGED BY CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL MAINTAIN AND PROTECT VEHICULAR AND PEDESTRIAN TRAFFIC IN PROXIMITY OF THE WORK.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND SUBMITTAL APPROVALS PRIOR TO THE BEGINNING OF WORK.
- NORTHING & EASTING COORDINATES PROVIDED ON THIS PLAN ARE BASED ON THE SITE SPECIFIC SURVEY COORDINATE SYSTEM. CONTRACTOR SHALL COORDINATE WITH SURVEYOR ON BASE COORDINATES IN RELATION TO PROPERTY CORNERS AND SITE IMPROVEMENTS.
- ALL WATER AND SEWER MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE CITY OF BOULDER DESIGN AND CONSTRUCTION STANDARDS, LATEST EDITION THEREOF.
- UTILITY TAPS SHALL BE MADE BY CITY OF BOULDER PERSONNEL AT OWNER'S OR CONTRACTOR'S EXPENSE.
- MINIMUM 10-FT HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL TREES AND UTILITIES IN THE RIGHT-OF-WAY.
- WATERLINES SHALL HAVE A MINIMUM FOUR AND A HALF (4.5-FT) OF COVER AS MEASURED FROM TOP OF PIPE TO FINAL GRADE.
- WATER AND SEWER PIPE SHALL BE BEDDED IN ACCORDANCE WITH THE CITY OF BOULDER DESIGN AND CONSTRUCTION, LATEST EDITION THEREOF.

**DRY UTILITY NOTE:**

THE CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS FOR ELECTRIC, GAS, TELECOM, AND CABLE SERVICES. DRY UTILITIES SHOWN ON THIS PLAN ARE SCHEMATIC AND SHOWN FOR INFORMATION AND PLANNING ONLY. FINAL LAYOUT MAY VARY BASED ON UTILITY PROVIDER DIRECTIONS, SITE CONDITIONS, ETC.

**KEY NOTES**

- EXISTING 3/4" WATER SERVICE TO BE INTERCEPTED AND REUSED FOR PROPOSED STRUCTURE AS SHOWN.
- EXISTING 3/4" WATER METER TO REMAIN.
- PROPOSED 3/4" COMBINATION DOMESTIC/FIRE SPRINKLER METER SETTING. SEE DETAIL SHEET C6 (CITY DETAIL 5.19).
- PROPOSED 3/4" STD. DOMESTIC WATER METER SETTING. SEE DETAIL SHEET C6 (CITY DETAIL 5.16A).
- 3/4" TYPE K COPPER DOMESTIC WATER SERVICE AND 3/4" TYPE K COPPER RESIDENTIAL FIRE SPRINKLER SERVICE LOCATED IN COMMON TRENCH.
- 3/4" WATER SERVICE FROM TAP TO METER SETTING.
- PROPOSED GAS SERVICE TRENCH FOR SERVICES TO EXISTING BUILDING METER SETTING AND PROPOSED RESIDENCES METERS. CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDER ON FINAL LOCATION AND CONSTRUCTION REQUIREMENTS.
- PROPOSED GAS METER.
- CAUTION!!! UTILITY CROSSING. MAINTAIN MIN. 18" VERTICAL CLEARANCE BETWEEN UTILITIES.
- EXISTING CONCRETE WALK TO BE MAINTAINED. REPAIR ANY AREAS DAMAGED BY CONSTRUCTION ACTIVITIES PER CITY STANDARDS. SEE CITY DETAILS SHEET C5.
- EXISTING CONCRETE DRIVE RAMP TO BE MAINTAINED. REPAIR ANY AREAS DAMAGED BY CONSTRUCTION ACTIVITIES PER CITY STANDARDS. SEE CITY DETAILS SHEET C5.

LOST LAKE SUBDIVISION  
(FILM 1238 REC# 531531)

PREPARED BY:



PREPARED FOR:

**22ND ST. ELEMENT, LLC**  
C/O ELEMENT PROPERTIES  
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TECHNICAL DOCUMENTS FOR:

**1838 22ND STREET  
RESIDENTIAL DEVELOPMENT**  
1838 22ND STREET  
CITY OF BOULDER, STATE OF COLORADO



ISSUE	DATE
TECH DOC	11/4/13

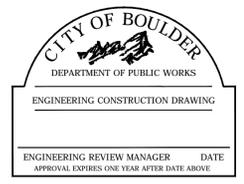

DESIGNED BY: CCS  
DRAWN BY: CCS  
CHECKED BY: TSG

DRAWING SCALE:  
HORIZONTAL: 1"=10'  
VERTICAL: N/A

**UTILITY CONNECTION PLAN**  
PROJECT NO. B1064

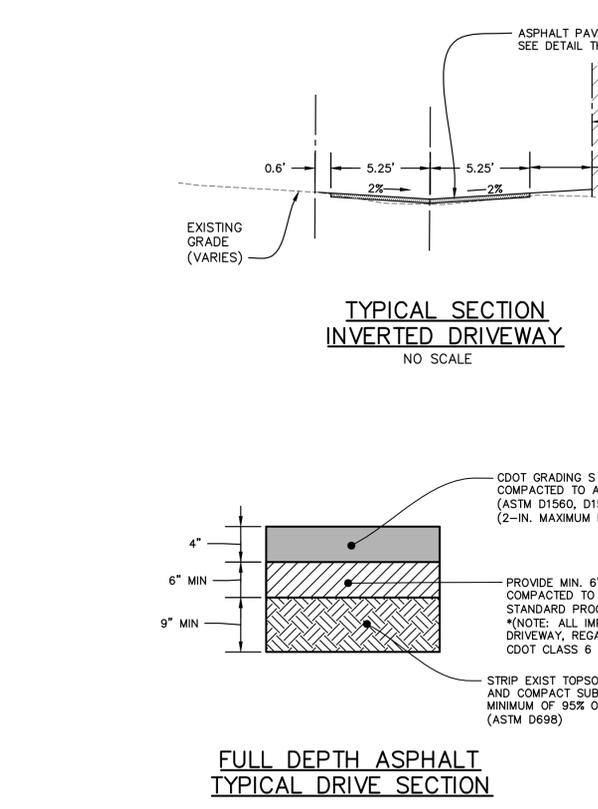
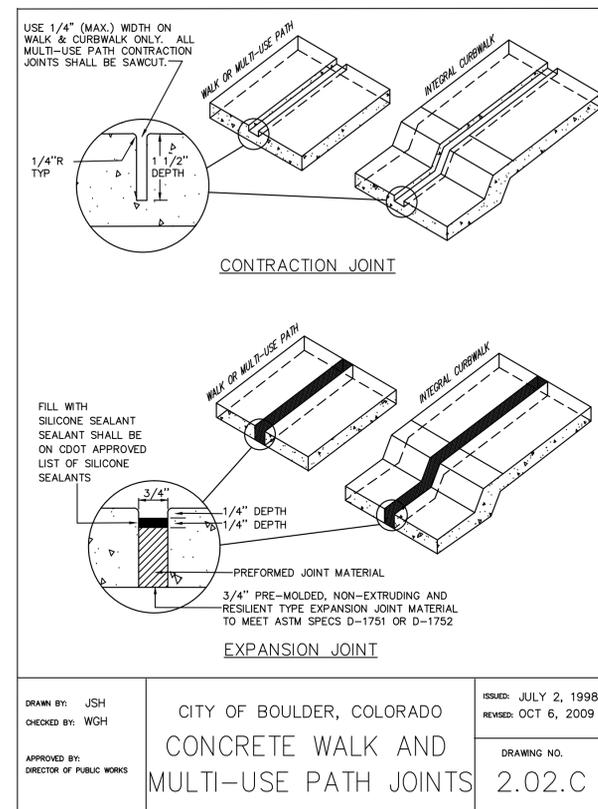
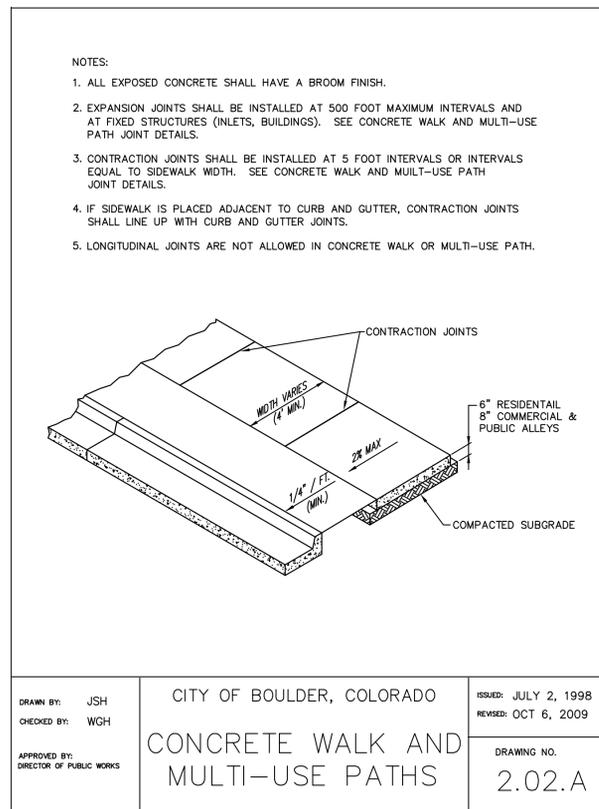
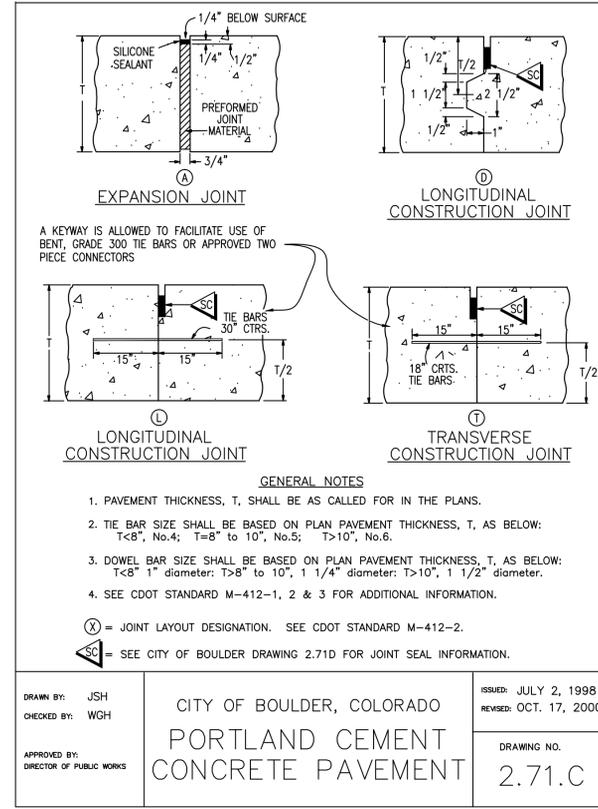
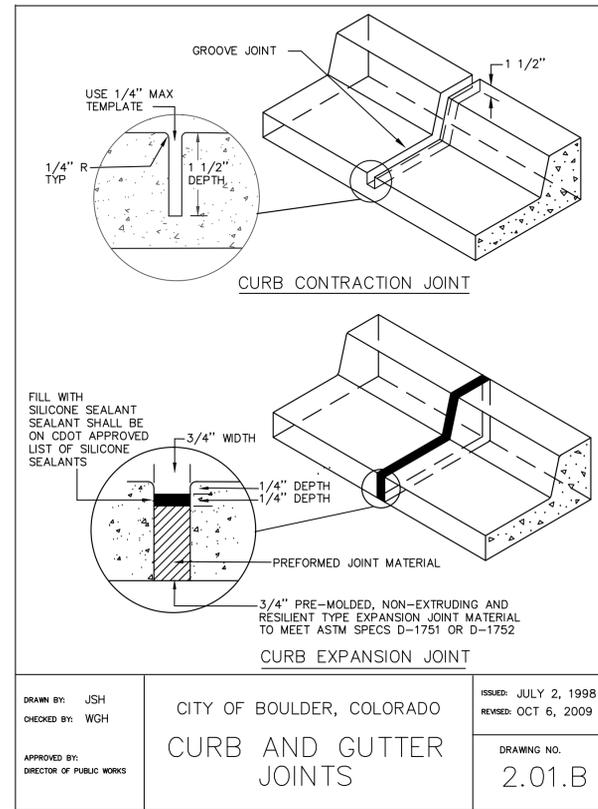
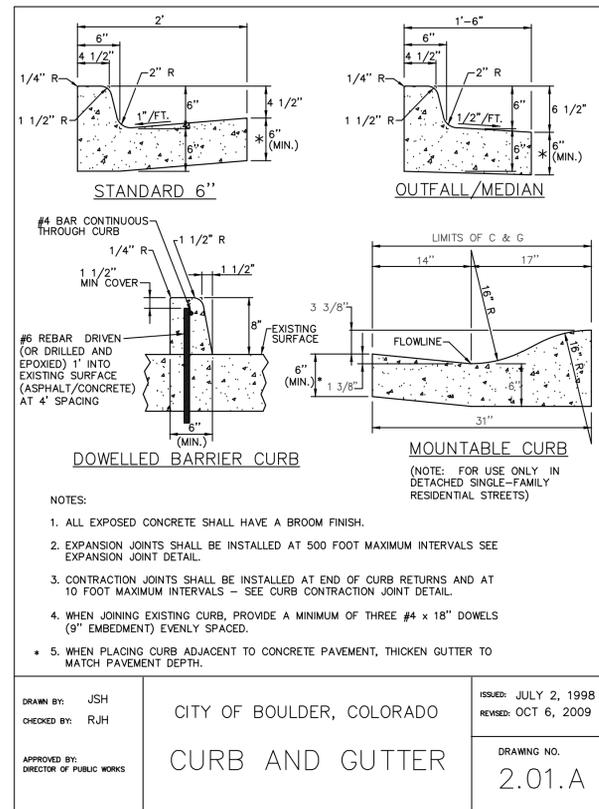
**C4**

SHEET: 4 OF 7



CITY OF BOULDER  
PUBLIC WORKS DEPARTMENT  
RECOMMENDATION FOR APPROVAL

WATER/SEWER \_\_\_\_\_  
TRANSPORTATION \_\_\_\_\_  
DRAINAGE \_\_\_\_\_



**GENERAL PAVEMENT NOTES**

- PAVEMENT CONSTRUCTION AND FINISHING SHALL BE IN ACCORDANCE WITH THE COLORADO DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", LATEST EDITION THEREOF.
- LONGITUDINAL AND TRANSVERSE JOINTS SHALL BE PROVIDED AS NEEDED IN CONCRETE PAVEMENTS FOR EXPANSION/CONTRACTION AND ISOLATION. THE LOCATION AND EXTENT OF JOINTS SHALL BE BASED ON PAVEMENT GEOMETRY. SAWED JOINTS SHALL BE CUT WITHIN 24 HOURS OF CONCRETE PLACEMENT. ALL JOINTS SHALL BE SEALED AND DOWELED WHERE NECESSARY FOR LOAD TRANSFER.
- SEALS SHALL BE PROVIDED BETWEEN CURB AND PAVEMENT AND AT ALL JOINTS TO REDUCE MOISTURE INFILTRATION.

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DESIGNED BY:	CCS
DRAWN BY:	CCS
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DRAWING SCALE:	HORIZONTAL: NONE VERTICAL: NONE

**CONSTRUCTION DETAILS**  
 (1 OF 3)  
 PROJECT NO. B1064

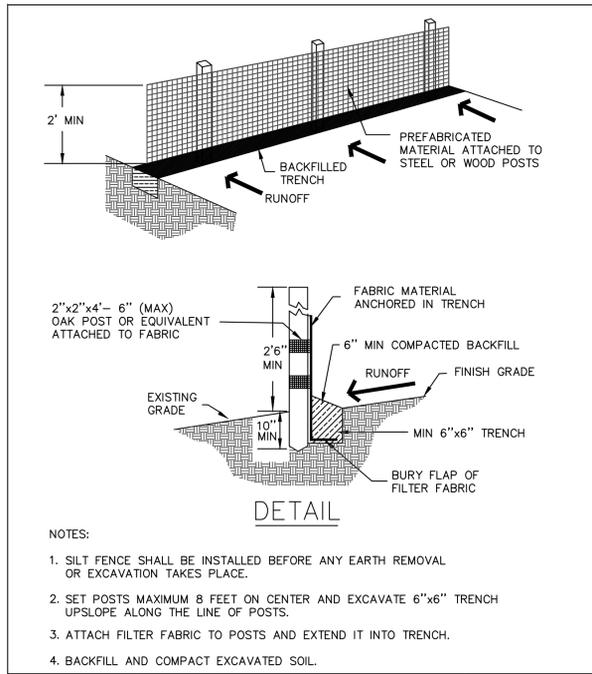
**C5**  
 SHEET: 5 OF 7



**CITY OF BOULDER**  
 DEPARTMENT OF PUBLIC WORKS  
 ENGINEERING CONSTRUCTION DRAWING  
 ENGINEERING REVIEW MANAGER DATE  
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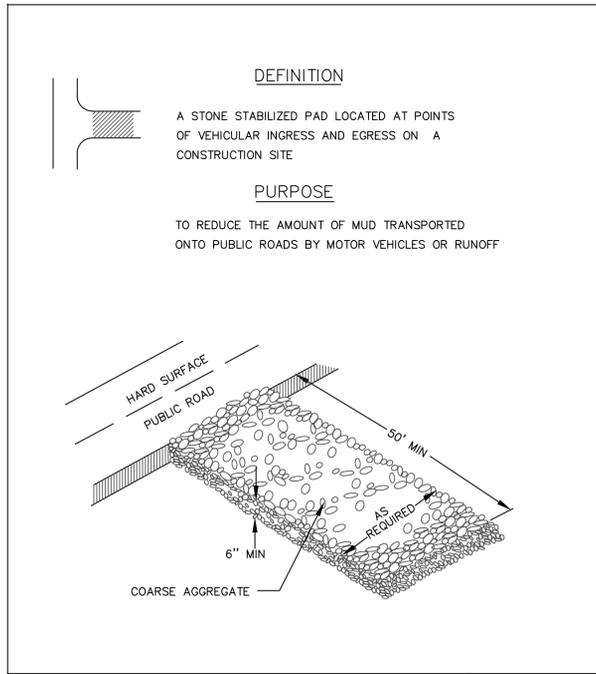




DRAWN BY: JSH CHECKED BY: RJH APPROVED BY: DIRECTOR OF PUBLIC WORKS	CITY OF BOULDER, COLORADO <b>PREFABRICATED SILT FENCE INSTALLATION</b>	ISSUED: JULY 2, 1998 REVISED: OCT. 17, 2000
	DRAWING NO. <b>7.26</b>	

**CITY OF BOULDER  
STANDARD STORM WATER MANAGEMENT NOTES**

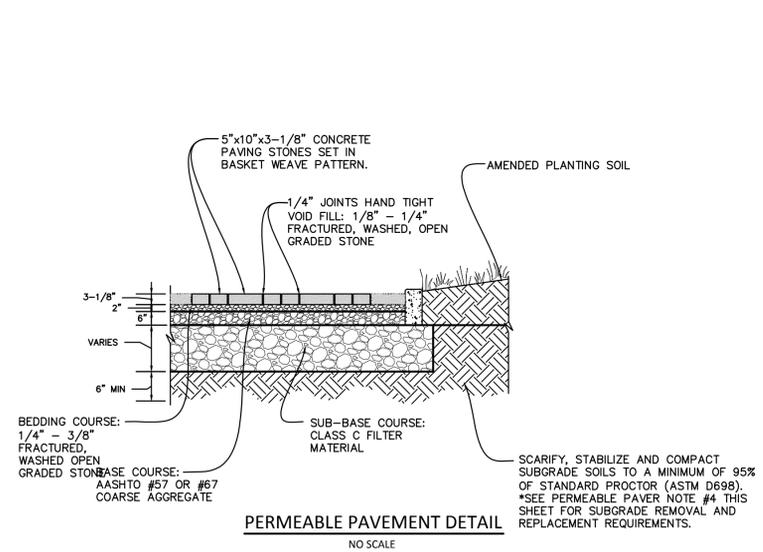
- ALL TEMPORARY EROSION CONTROL FACILITIES SHALL BE INSTALLED BEFORE ANY CONSTRUCTION ACTIVITIES TAKE PLACE.
- SOLID WASTE, INDUSTRIAL WASTE, YARD WASTE AND ANY OTHER POLLUTANTS OR WASTE ON ANY CONSTRUCTION SITE SHALL BE CONTROLLED THROUGH THE USE OF BMP'S. WASTE AND/OR RECYCLING CONTAINERS SHALL BE PROVIDED AND MAINTAINED BY THE OWNER OR CONTRACTOR ON CONSTRUCTION SITES WHERE THERE IS THE POTENTIAL FOR RELEASE OF WASTE. UNCONTAINED WASTE THAT MAY BLOW, WASH OR OTHERWISE BE RELEASED FROM THE SITE IS PROHIBITED. SANITARY WASTE FACILITIES SHALL BE PROVIDED BY THE OWNER OR CONTRACTOR.
- READY-MIX CONCRETE, OR ANY MATERIALS RESULTING FROM THE CLEANING OF VEHICLES OR EQUIPMENT CONTAINING OR USED IN TRANSPORTING OR APPLYING IT, SHALL BE CONTAINED ON CONSTRUCTION SITES FOR PROPER DISPOSAL. RELEASE OF THESE MATERIALS IS PROHIBITED.
- COVER SHALL BE APPLIED WITHIN 14 DAYS TO INACTIVE SOIL STOCKPILES, AND SHALL BE MAINTAINED FOR STOCKPILES THAT ARE PROPOSED TO REMAIN IN PLACE LONGER THAN 30 CALENDAR DAYS.
- BMP'S SHALL BE IMPLEMENTED TO PREVENT THE RELEASE OF SEDIMENT FROM CONSTRUCTION SITES. VEHICLE TRACKING OF MUD SHALL NOT BE ALLOWED TO ENTER THE STORM WATER SYSTEM OR WATERS OF THE STATE. SEDIMENT TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED.
- TECHNIQUES SHALL BE USED TO PREVENT DUST, SEDIMENT OR DEBRIS BLOWING FROM THE SITE.
- STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION OR DEGRADATION OF WATERS OF THE STATE.
- ALL EARTH DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED AND COMPLETED TO LIMIT THE EXPOSED AREA OF ANY DISTURBED LAND TO THE SHORTEST POSSIBLE PERIOD OF TIME.
- BULK STORAGE STRUCTURES FOR PETROLEUM PRODUCTS AND OTHER CHEMICALS SHALL HAVE ADEQUATE PROTECTION SO AS TO CONTAIN ALL SPILLS AND PREVENT ANY SPILLED MATERIAL FROM ENTERING THE STORM WATER SYSTEM OR WATERS OF THE STATE.
- ANY DISTURBANCE TO TEMPORARY OR PERMANENT BMP'S SHALL BE REPAIRED OR REPLACED WITHIN 24 HOURS.
- THE PROPERTY OWNER AND SUBSEQUENT PROPERTY OWNERS WILL BE RESPONSIBLE FOR THE CONTINUED COMPLIANCE WITH THE REQUIREMENTS OF CITY OF BOULDER "DESIGN AND CONSTRUCTION STANDARDS" SECTION 7.13, DURING CONSTRUCTION ACTIVITY ON THE SITE.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED AND DISPOSED WITHIN 30 DAYS AFTER FINAL STABILIZATION IS ACHIEVED, OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED, WHICHEVER OCCURS FIRST.



DRAWN BY: JSH CHECKED BY: RJH APPROVED BY: DIRECTOR OF PUBLIC WORKS	CITY OF BOULDER, COLORADO <b>TEMPORARY GRAVEL CONSTRUCTION ENTRANCE</b>	ISSUED: JULY 2, 1998 REVISED: OCT. 17, 2000
	DRAWING NO. <b>7.30</b>	

**SUPPLEMENTAL STORM WATER MANAGEMENT NOTES**

- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY STATE AND LOCAL PERMITS, INCLUDING A CDPHE CONSTRUCTION DISCHARGE PERMIT IF REQUIRED, PRIOR TO STARTING ANY CONSTRUCTION.
- ALL TEMPORARY EROSION CONTROL FACILITIES SHALL BE INSTALLED BEFORE ANY OTHER CONSTRUCTION ACTIVITIES TAKE PLACE.
- PAVING AND LANDSCAPING SHALL BE COMPLETED AS SOON AS PRACTICAL TO CONTROL EROSION AND LIMIT SEDIMENT TRANSPORT.
- UNCONTAINED WASTE THAT MAY BLOW, WASH OR OTHERWISE BE RELEASED FROM THE SITE IS PROHIBITED.
- READY-MIXED CONCRETE, OR ANY MATERIALS RESULTING FROM THE CLEANING OF VEHICLES OR EQUIPMENT CONTAINING, USED IN TRANSPORTING OR APPLY READY-MIXED CONCRETE, SHALL BE CONTAINED ON THE SITE FOR PROPER DISPOSAL.
- BMP'S SHALL BE IMPLEMENTED TO PREVENT THE RELEASE OF SEDIMENT FROM THE CONSTRUCTION SITE. ANY SEDIMENT TRACKED ONTO THE ADJACENT PARKING AREA OR PUBLIC ROADWAYS SHALL BE CLEANED AND REMOVED.
- FUGITIVE DUST EMISSIONS RESULTING FROM CONSTRUCTION ACTIVITIES AND/OR WIND SHALL BE CONTROLLED USING THE BEST AVAILABLE CONTROL TECHNOLOGY AT THE TIME OF GRADING AS DEFINED BY THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT (CDPHE).
- SOIL STABILIZATION MEASURES (SEEDING, ETC.) SHALL BE APPLIED WITHIN 30 DAYS TO DISTURBED AREAS THAT MAY NOT BE AT FINAL GRADE, BUT WILL REMAIN UNDISTURBED FOR 60 DAYS OR MORE.



**PERMEABLE PAVEMENT DETAIL**  
NO SCALE

**PERMEABLE PAVER NOTES**

- PERMEABLE CONCRETE PAVING STONE SYSTEM SHALL BE AQUA-BRIC BIO-AQUIFER STORM SYSTEM (BASS) BY BORGERT PRODUCTS OR APPROVED EQUAL.
- CONCRETE PAVING STONES SHALL BE AQUA-BRIC COLOR "PEWTER". CONTRACTOR SHALL COORDINATE PAVING STONE COLOR SELECTION WITH OWNER PRIOR TO ORDERING STONE.
- PERMEABLE CONCRETE PAVING STONE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND PRODUCT SPECIFICATIONS.
- PERMEABLE PAVEMENT SUB-BASE COURSE SHALL EXTEND TO EXISTING SAND AND GRAVEL LAYER LOCATED APPROXIMATELY 2 FEET BELOW EXISTING GRADE PER GEOTECHNICAL INVESTIGATION PREPARED BY WESTERN SOILS, INC. DATED OCTOBER 21, 2013.

**CITY OF BOULDER**  
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DRAWING SCALE: HORIZONTAL: NONE VERTICAL: NONE

**CONSTRUCTION DETAILS**  
(3 OF 3)  
PROJECT NO. B1064

**C7**