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DOVER, KOHL & PARTNERS
town planning



- **street design = the whole ensemble**
- **design excellence: range of tools & strategies**
- **form-based codes**
- **architectural composition**
- **excerpts: visuals**
- **discuss: how it works now / how it should work**

STREET DESIGN

The Secret to Great Cities and Towns



VICTOR DOVER
JOHN MASSENGALE

foreword by HRH The Prince of Wales
afterword by James Howard Kunstler

WILEY



Rue de Seine, Paris



Lincoln Avenue, Chicago IL



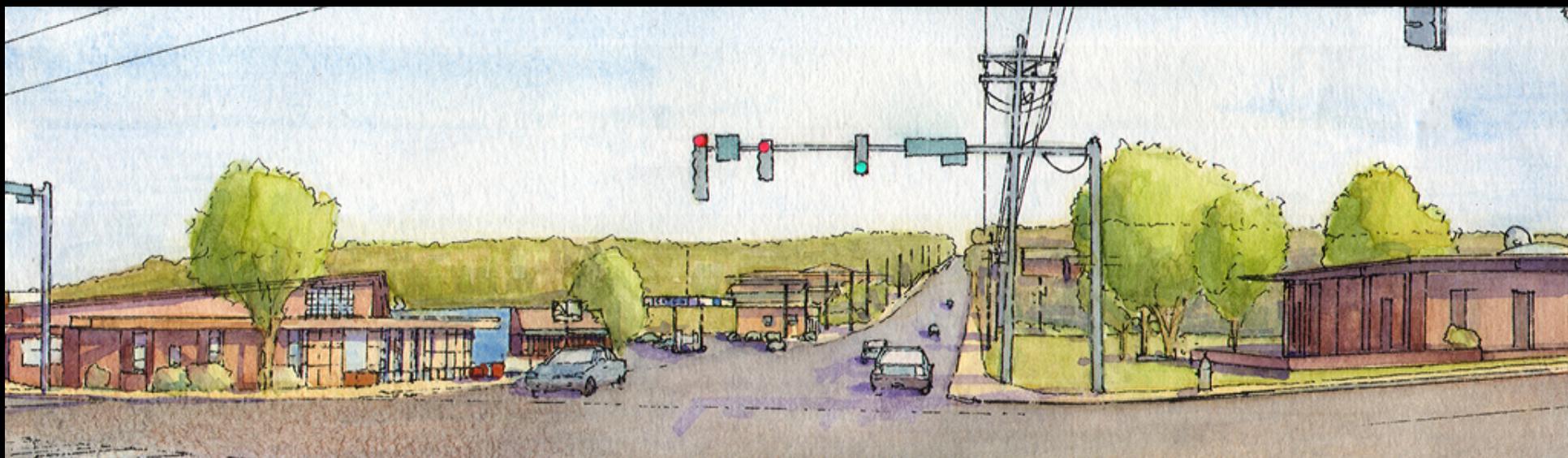
Main Street, Galena IL

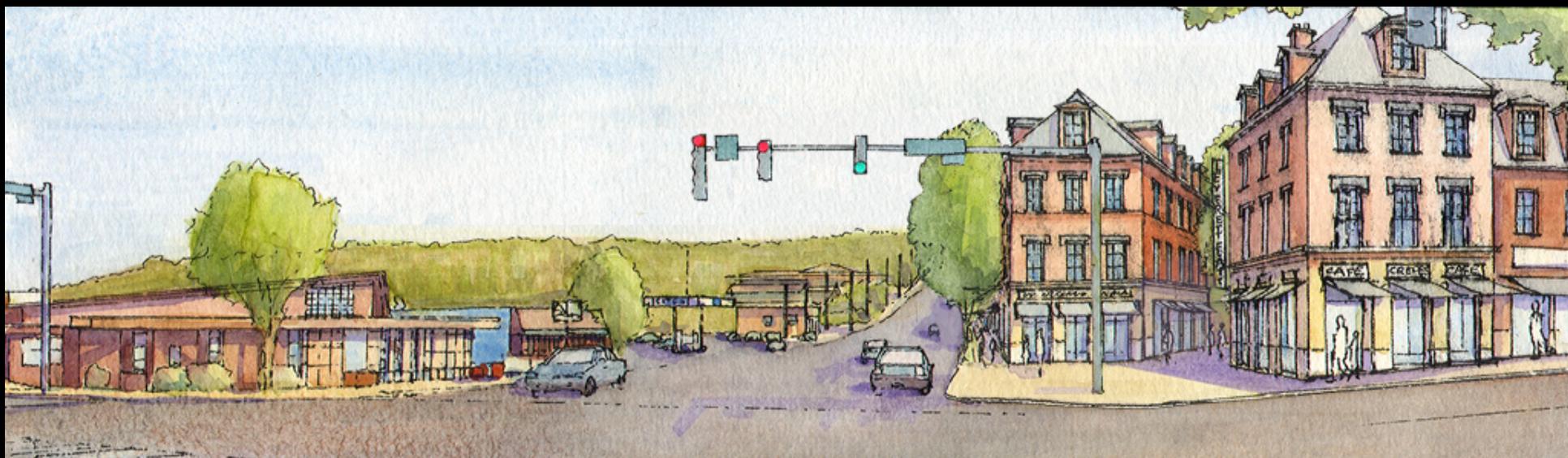


Boulder, CO



Bentonville AR













Boulevard Rochechouart, Paris

SHAPED

COMFORTABLE

CONNECTED

SAFE

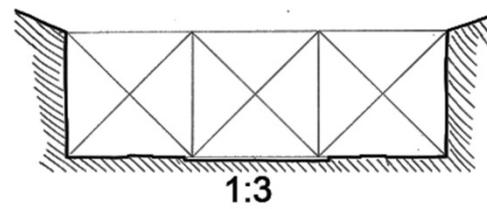
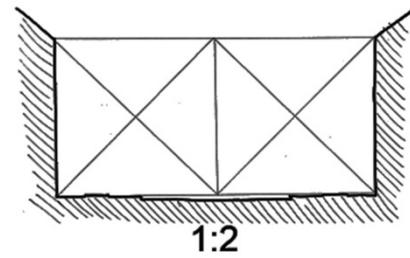
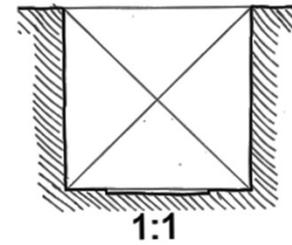
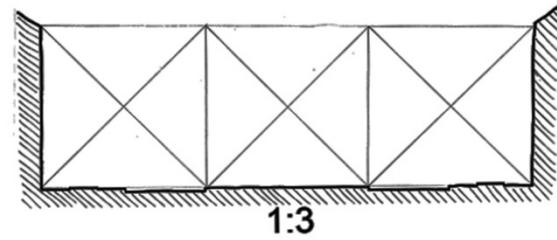
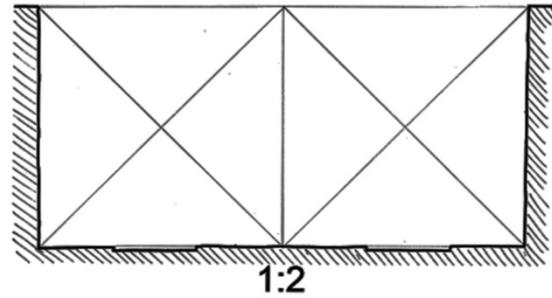
MEMORABLE



Main Street, Galena IL



Great Barrington MA



A driver's visual focus diminishes as speed increases.



15 mph



20 mph

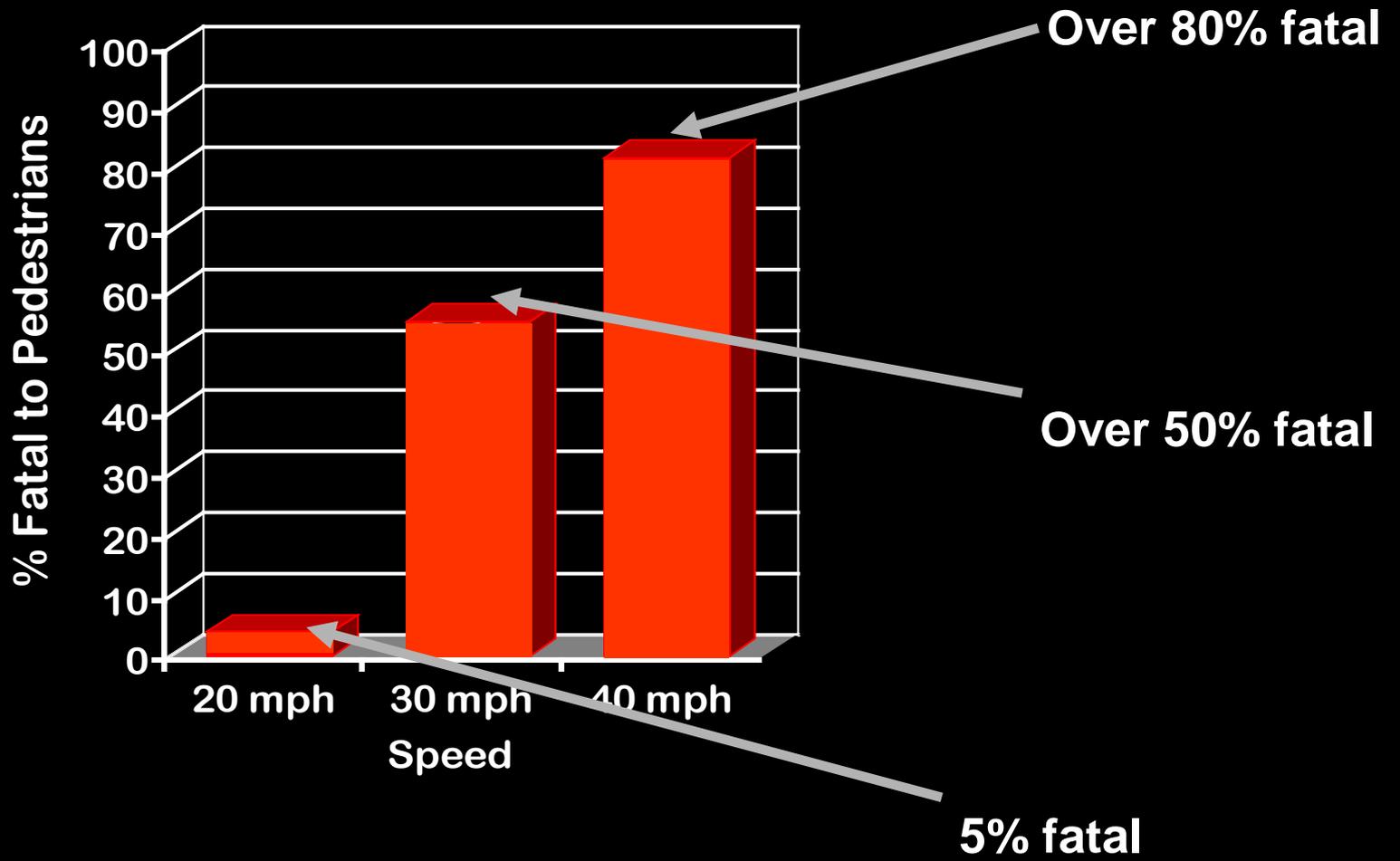


25 mph



30 mph

Vision Cone / NACTO





Seven Dials, London, England



Roundabout, Okemos, Michigan



124



Lexham Gardens, London



regulatory instruments

- specific plans, special area plans?
- form-based codes?
- detailed architectural standards?

procedures

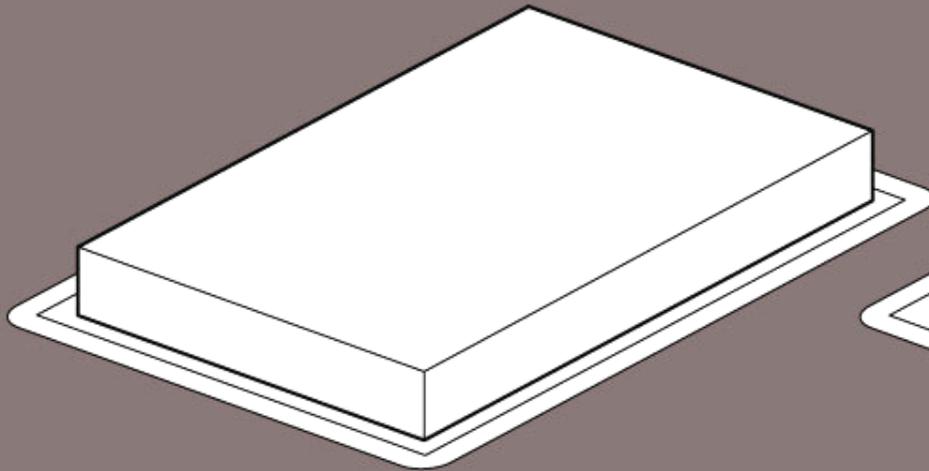
- “coach”-type reviews? streamlining?
- intensified discretionary review?
- re-arrange the reviews?

culture

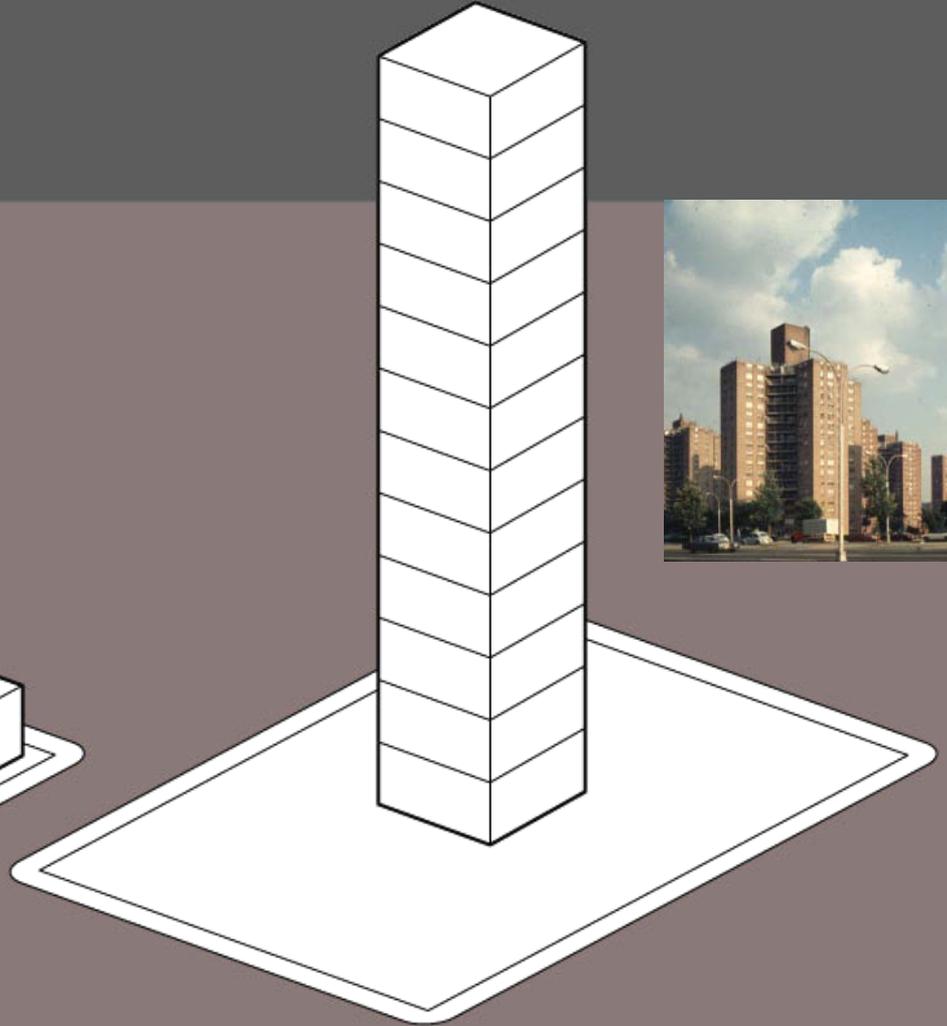
- training the applicants, consultants, staff?
- design-commission subsidies?
- design competitions?
- design awards programs?

regarding
form-based codes

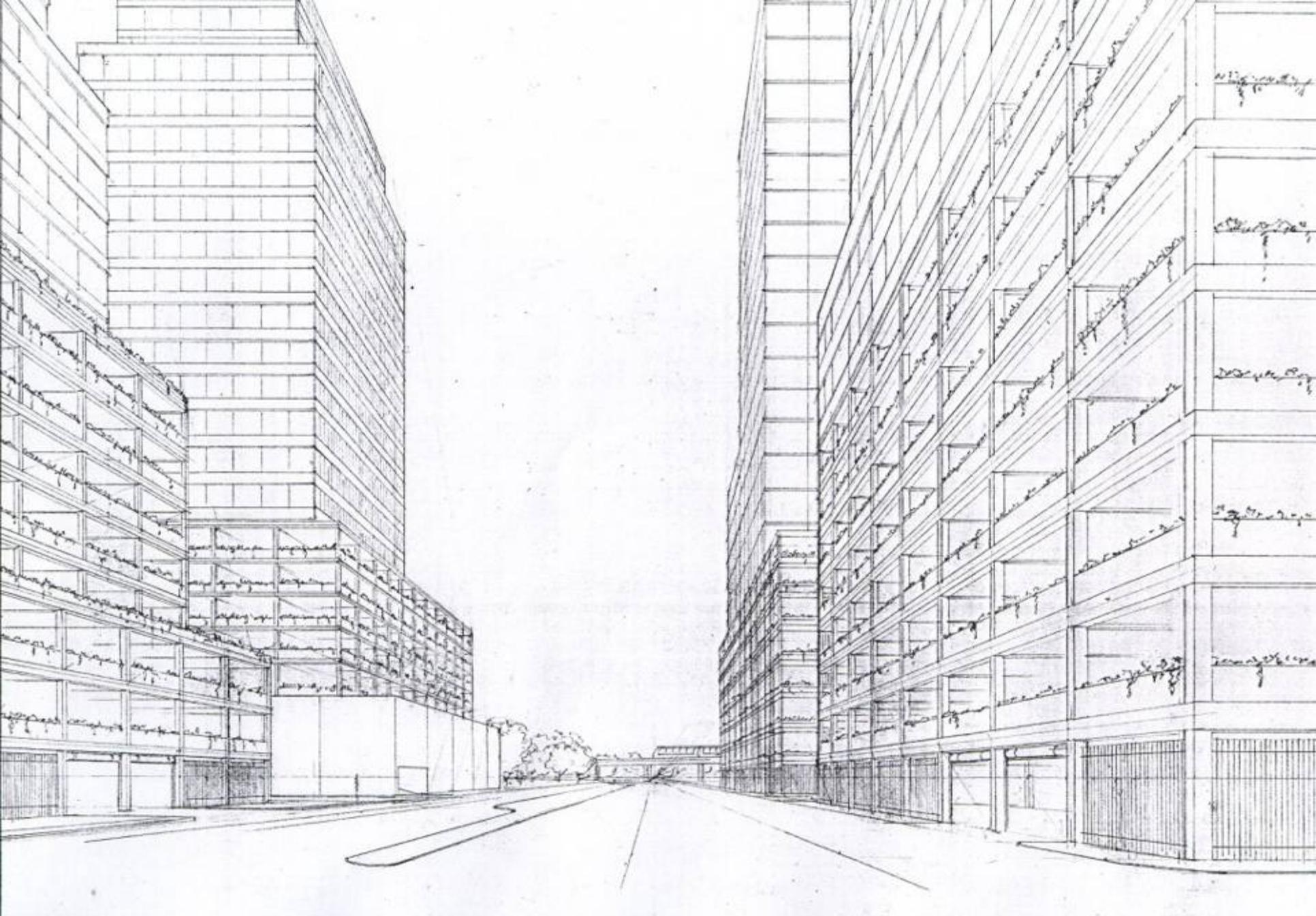
Floor Area Ratio (FAR) vs. building height



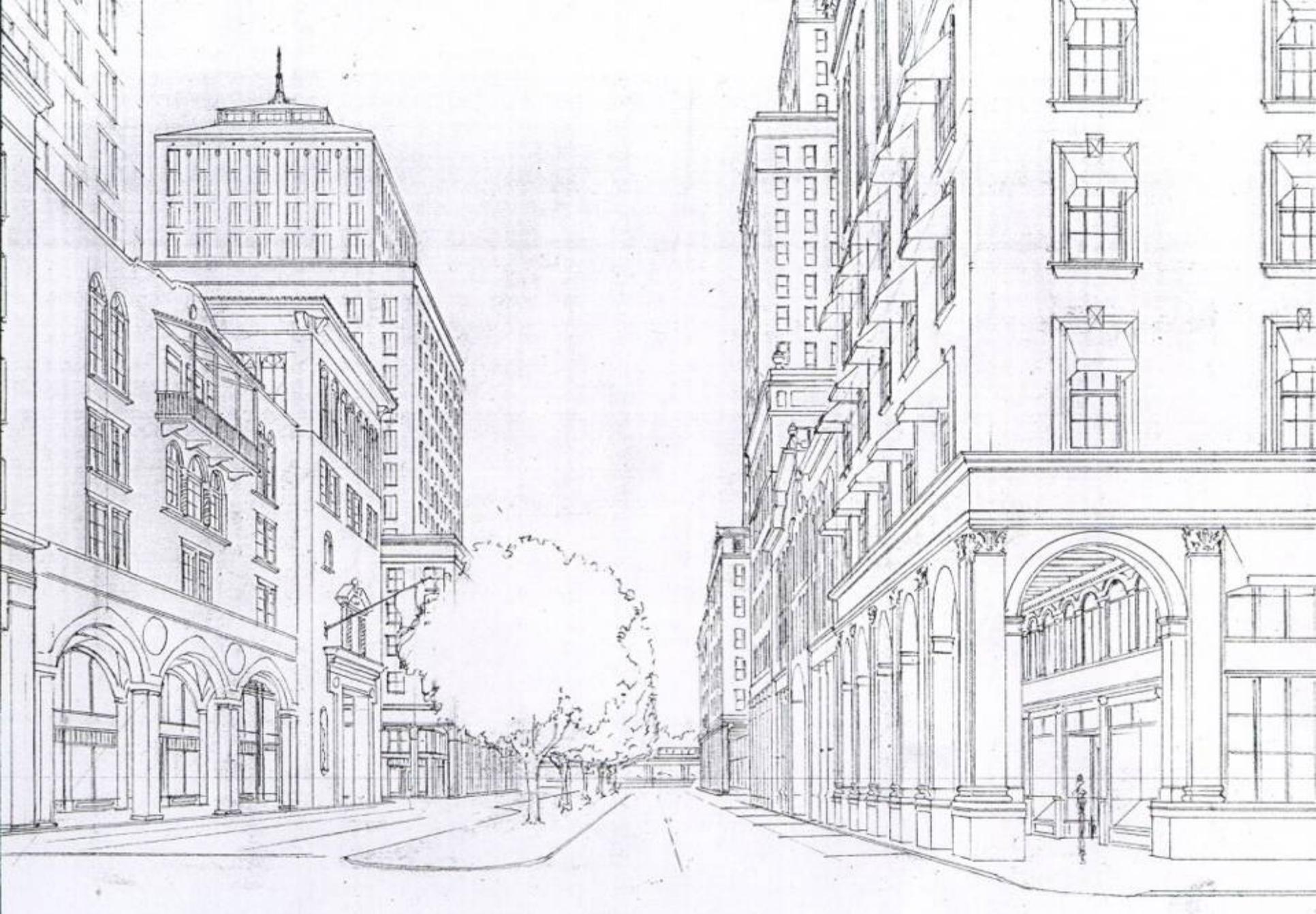
FAR 1.0



FAR 1.0



Conventional Zoning



Urban Center District Code

Building with Better Rules



The form of our towns and cities affects the quality of our lives

Click to see the power of simple design rules >

1 2 3 4 5 6

What are Form-Based Codes?

Form-based codes use physical form, rather than separation of land uses, as their organizing principle. They foster predictable results in the built environment and a high quality public realm. [Learn more >](#)

Is It a Form-Based Code?



You want to evaluate the quality and effectiveness of a form-based code. FBCI provides a useful checklist to help you.

[Evaluation Checklist >](#)

FBCI Courses & Webinars

Distance Learning

Featured News & Info

[The Frontier of Form-Based Codes](#)

Alan Mammoser, APA Regional Newsletter

Look at innovative new ways to stop sprawl

Do You Want a Form-Based Code?

You want to find a consultant to make a form-based code for your community. FBCI's sample RFQ will help you a

formbasedcodes.org

what are form-based codes?

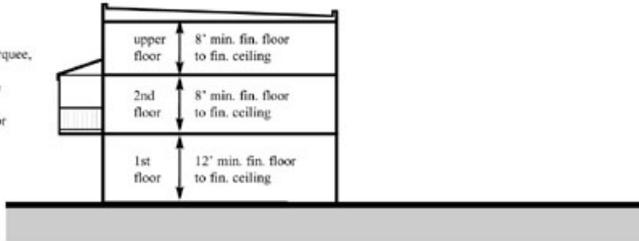
A method of regulating development to achieve a specific **urban form**. Form-Based Codes create a predictable **public realm** by controlling physical **form** primarily, and land uses secondarily, through city or county regulations.

form-based code

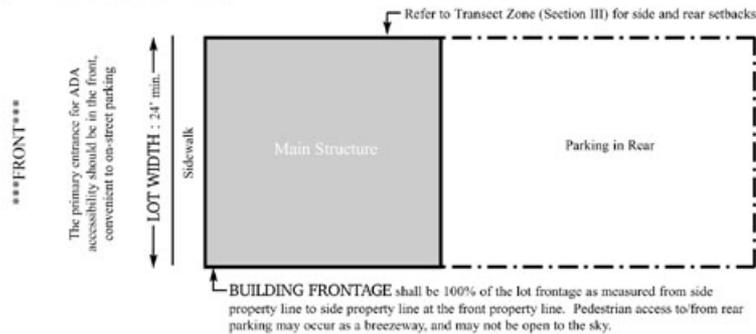
(MS): Main Street Building Lot

HEIGHT:

*An awning/ marquee, balcony, or colonnade/arcade is required - See pages 4.2 - 4.3 for requirements



BUILDING PLACEMENT:



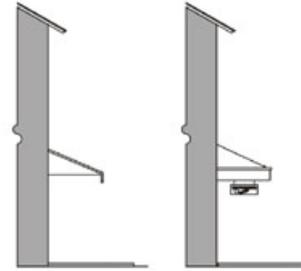
*Each building shall have separate walls to support all loads independently of any walls located on an adjacent property.

PRECEDENTS & CHARACTER EXAMPLES:



A. Special Building Elements and Appurtenances

1. Awnings / Marquees



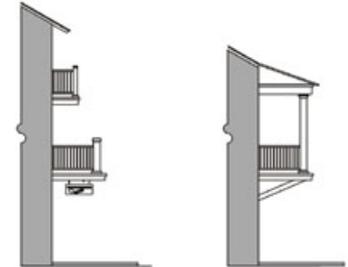
Depth = 5 ft minimum.
Height = 8 ft minimum clear.
Length = 25% to 100% of Building Front
(for Mixed-Use Buildings only).

The above requirements apply to first-floor awnings. There are no minimum requirements for awnings above the first floor.

Marquees and Awnings shall occur forward of the Build-to Line and may encroach within the right-of-way, but shall not extend into the planting zone.

Awnings shall be made of fabric or metal. High-gloss or plasticized fabrics are prohibited.

2. Balconies



Depth = 6 ft minimum for 2nd floor balconies.
Height = 10 ft minimum clear.
Length = 25% to 100% of Building Front
(for Main Street Buildings only)

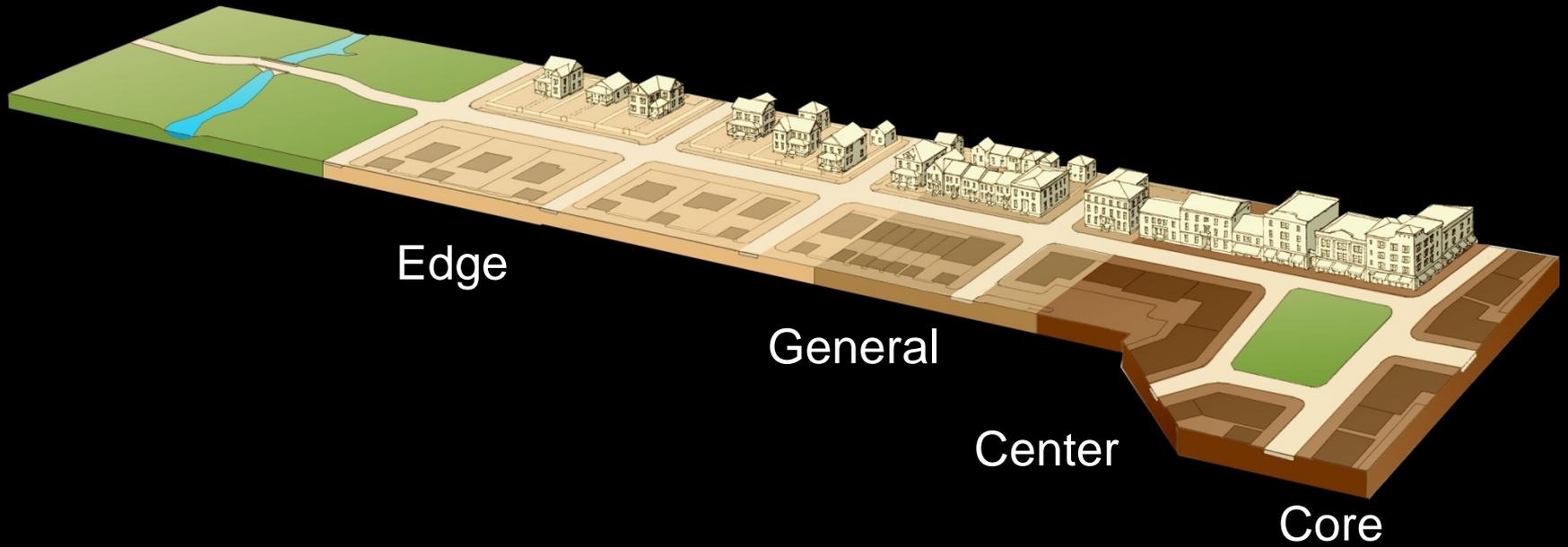
Balconies shall occur forward of the Build-to Line and may encroach within the right-of-way with special easement permission, but shall not extend into the planting zone.

Balconies may have roofs, but are required to be open, un-airconditioned parts of the buildings.

On corners, balconies may wrap around the side of the building facing the side street.



“transect”



examples

The Hometown District

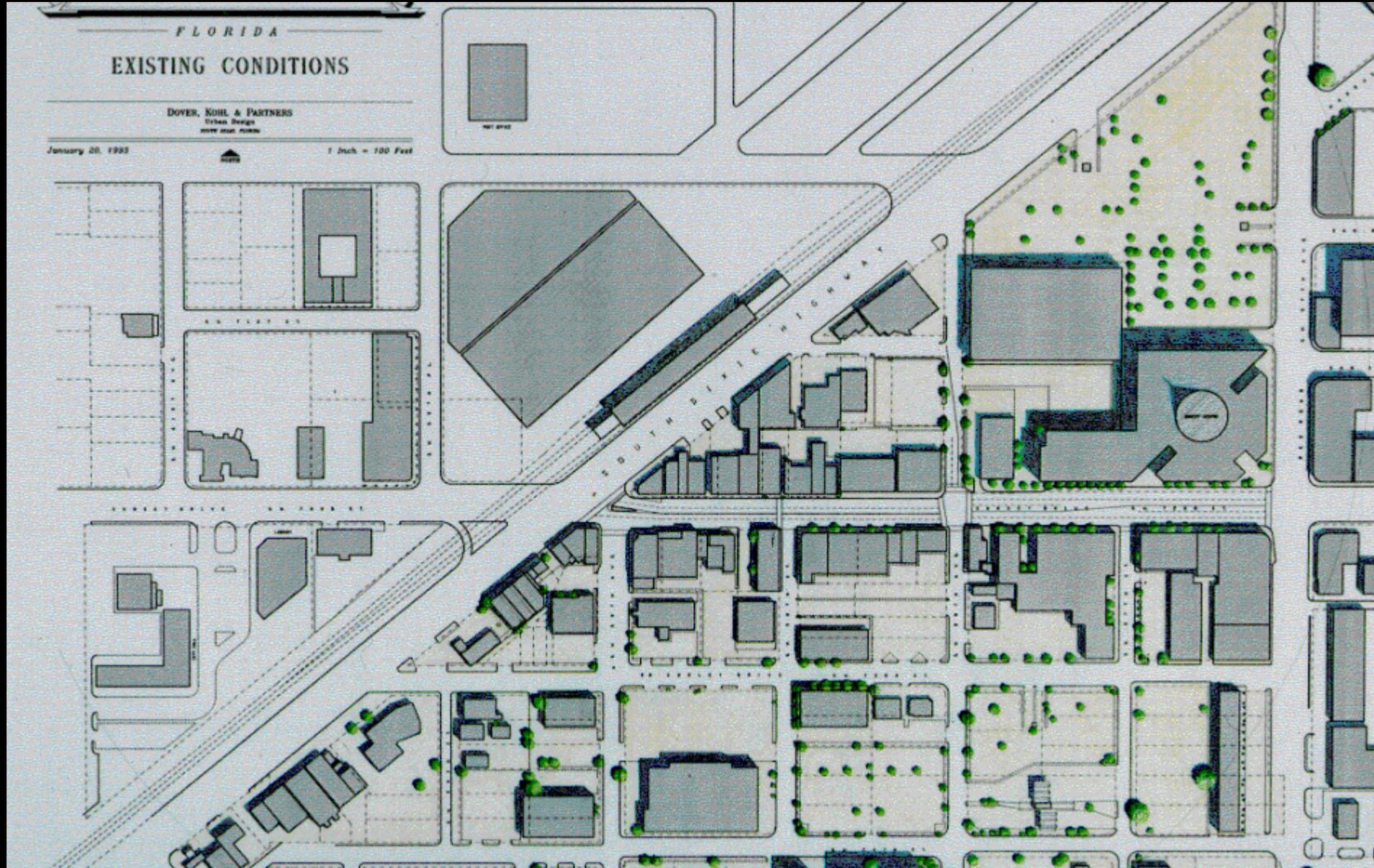
South Miami, FL

form-based code results



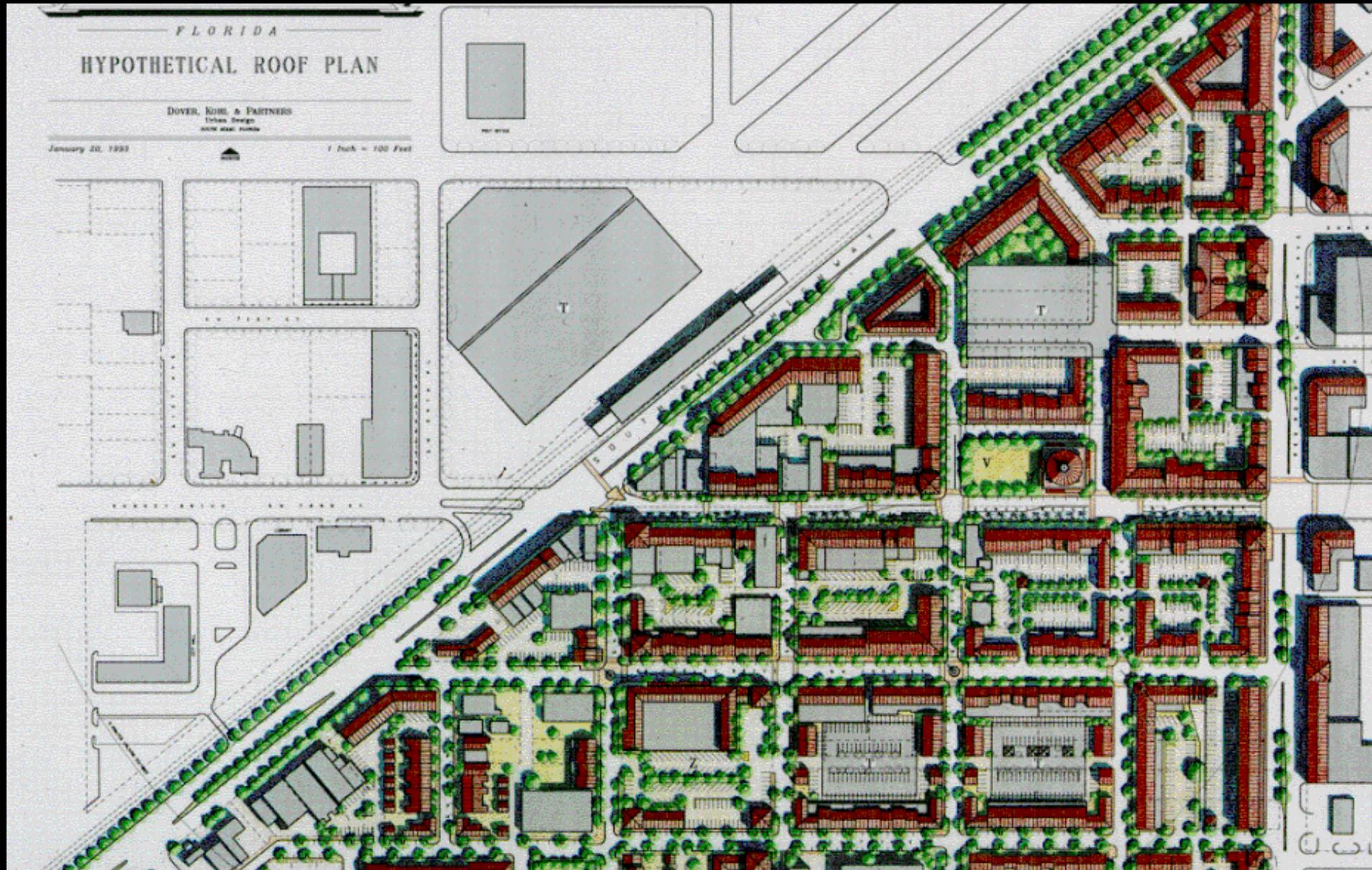
South Miami, FL: Dorn Avenue, before and after

South Miami pre-boom



South Miami 1992

South Miami pre-boom





Existing Conditions:
Sunset Drive, next to Starbucks



Catalyzing Reinvestment via Regulatory Reform



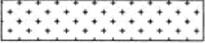
The Hand and Foot Company
FOR HANDS AND FEET

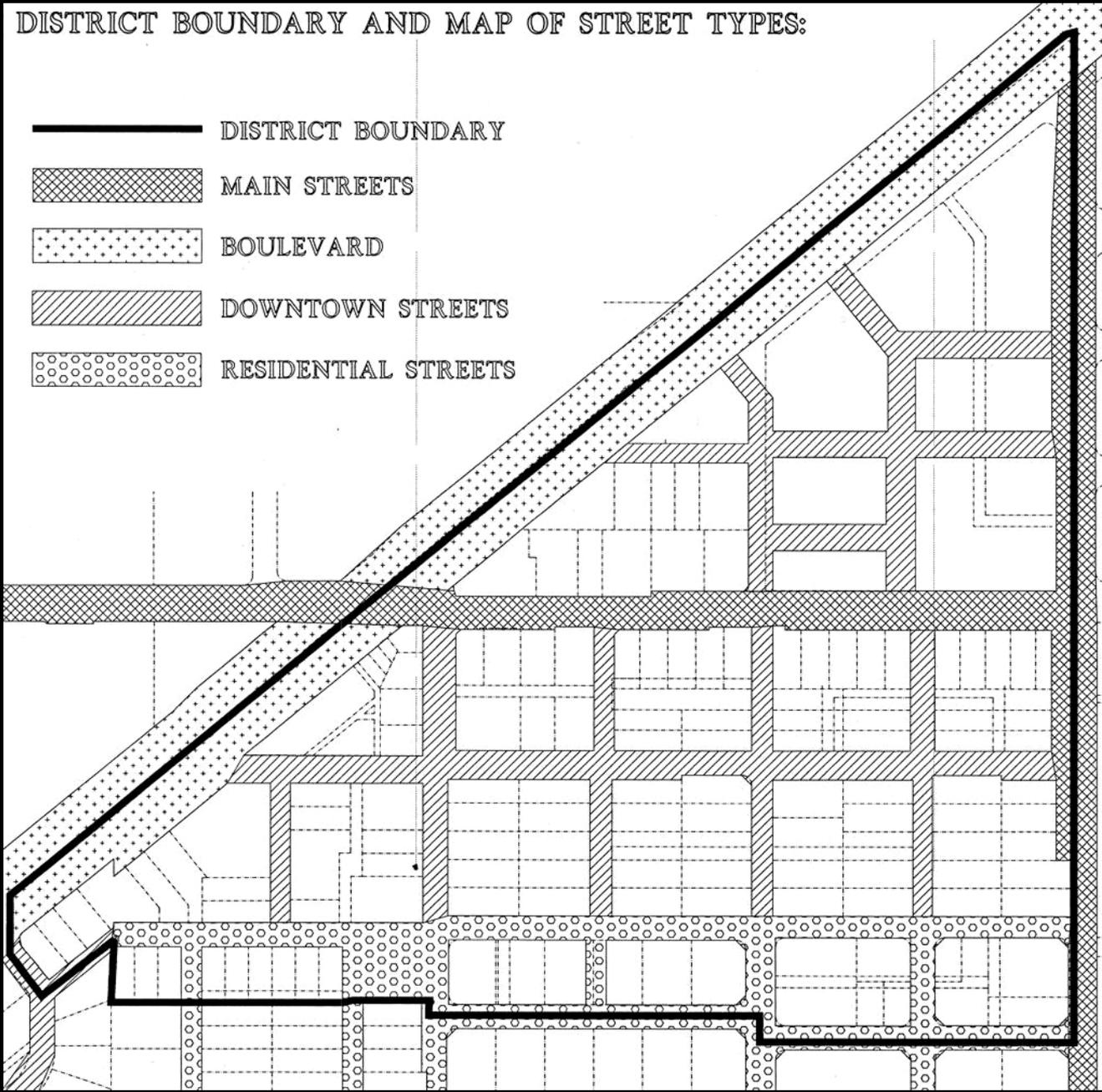
STARBUCKS COFFEE



STARBUCKS

DISTRICT BOUNDARY AND MAP OF STREET TYPES:

-  DISTRICT BOUNDARY
-  MAIN STREETS
-  BOULEVARD
-  DOWNTOWN STREETS
-  RESIDENTIAL STREETS

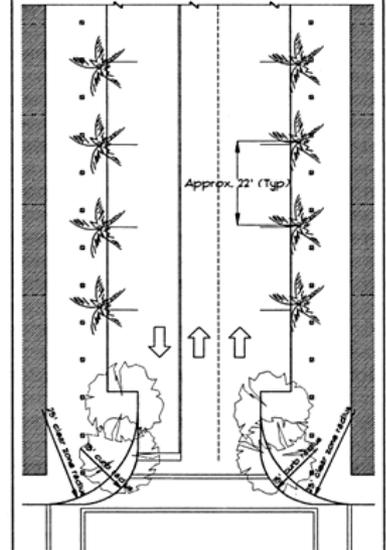
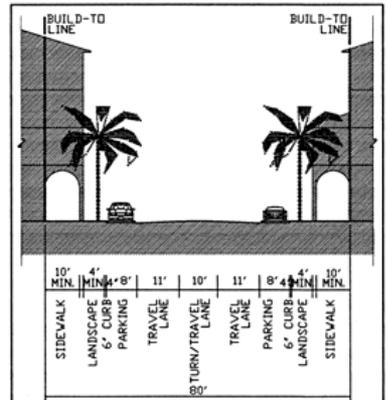


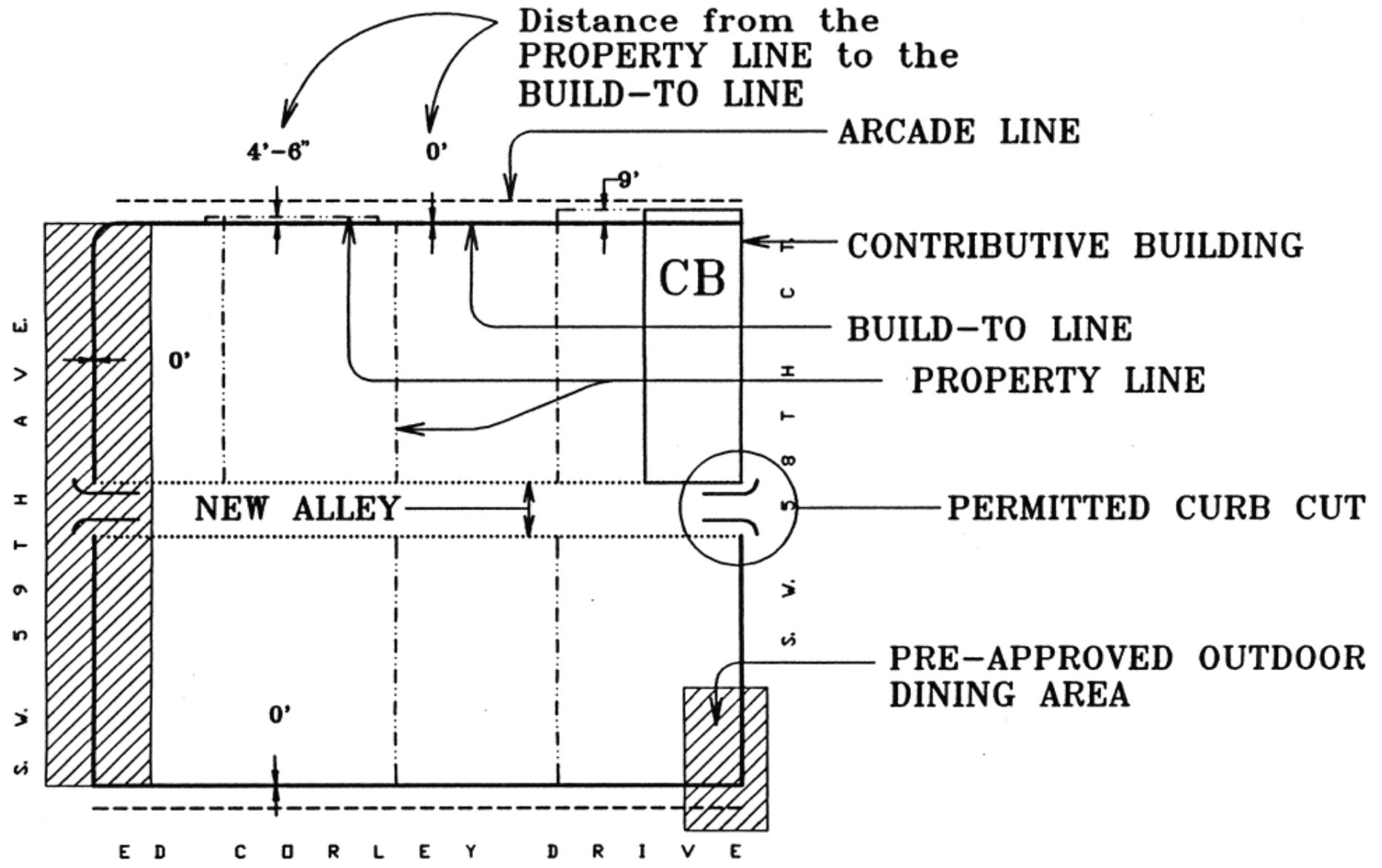
MAIN STREETS

Right of Way width = 480 ft.
 Curb Radius = 15 ft.
 Clear Zone Radius = 25 ft.
 Tree Spacing = 22 ft. (aligned with each parking space division line)
 Arcade required except for contributive buildings.

- Typical Street Section for Sunset Drive and Red Road:
- 2 Travel Lanes 11 ft. wide, one traveling in each direction.
 - 1 Center Lane 10 ft. used primarily as a turn lane; on Sunset Dr. it may also be used as a west-bound travel lane near the US1 intersection.
 - 2 Parallel Parking Lanes, 8 ft. wide, on each side of street.
 - Sidewalks may vary in width, but shall be maximized.
 - Arcades shall be a minimum of 10 Ft wide between the face of the building and the inside face of the columns.
 - There shall be a minimum of 4 ft. between the curb and the outside face of the columns for tree planting; between trees, this area may also be used for groundcover or sidewalks.

EXAMPLE: SUNSET DRIVE (80' R.O.W.)





The Regulating Plan prescribes the build-to line

Columbia Pike

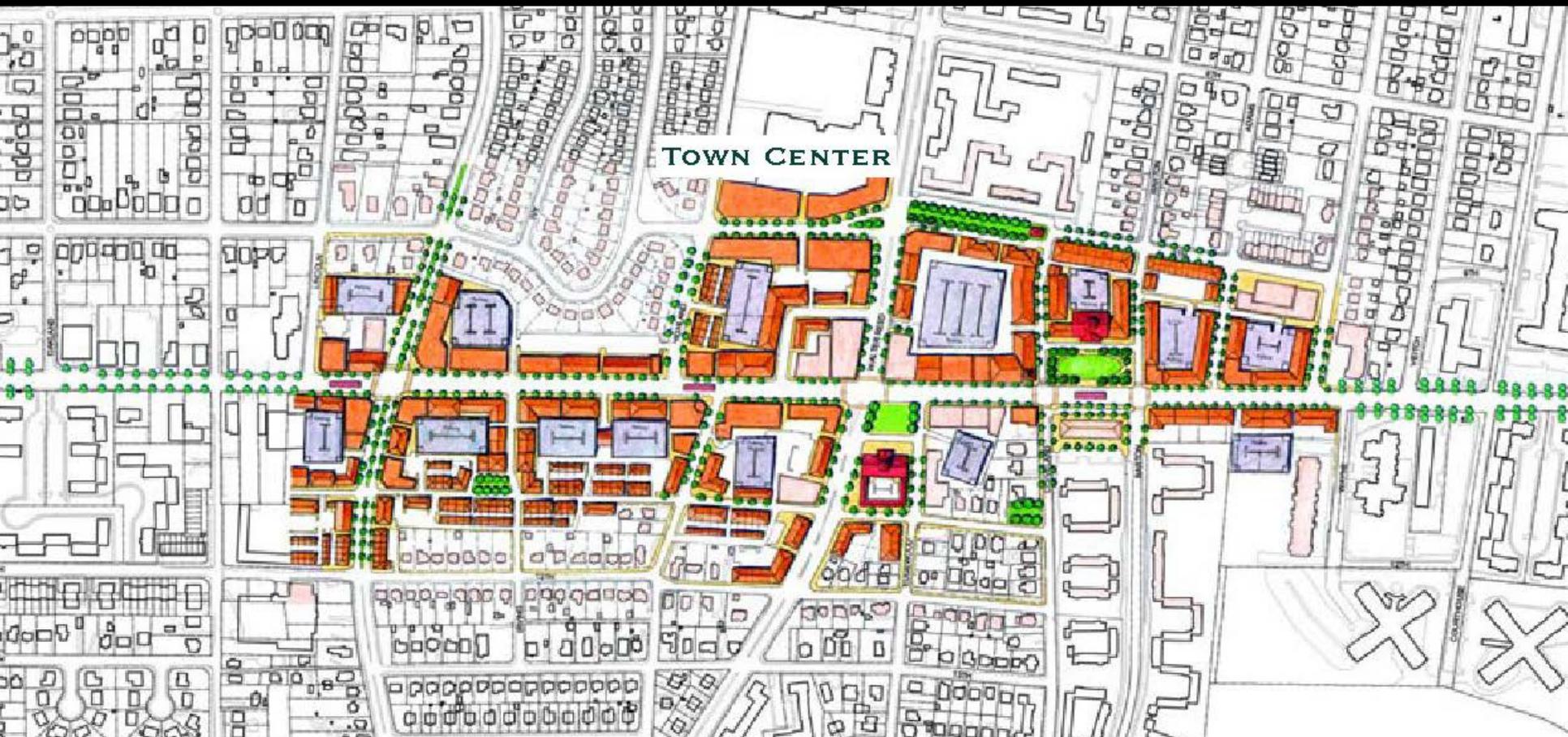
Arlington, VA

form-based code **results**



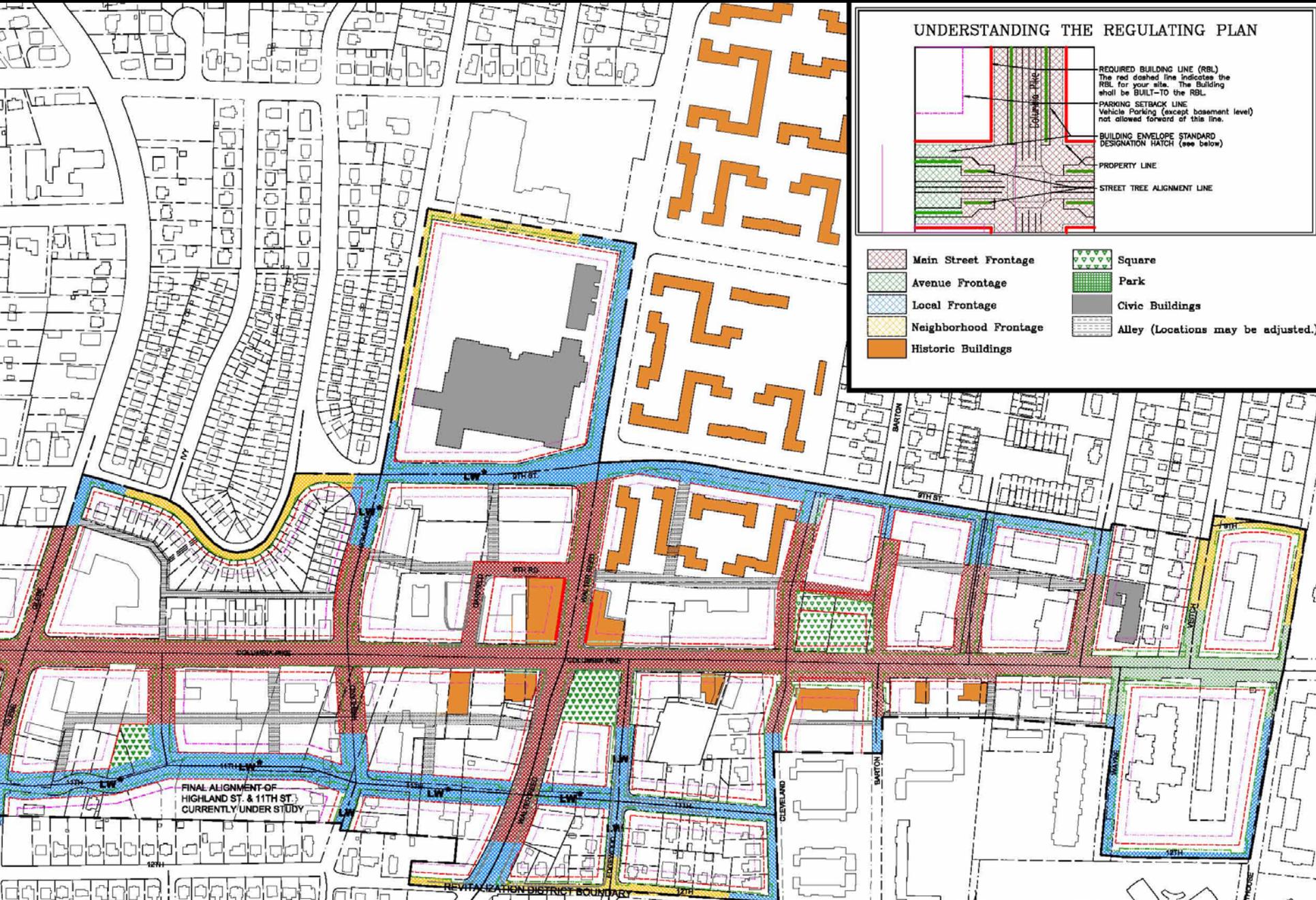
Columbia Pike, Arlington, VA

Columbia Pike, Arlington (VA)

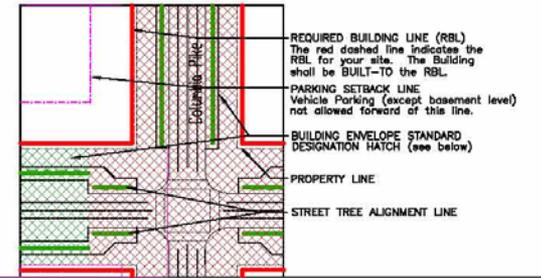


- Adopted as an optional (parallel) “overlay zone”
- Use of this code is encouraged by density bonuses
- Additional incentive: a streamlined approval process

Columbia Pike, Arlington (VA)



UNDERSTANDING THE REGULATING PLAN



- | | | | |
|---|-----------------------|---|------------------------------------|
|  | Main Street Frontage |  | Square |
|  | Avenue Frontage |  | Park |
|  | Local Frontage |  | Civic Buildings |
|  | Neighborhood Frontage |  | Alley (Locations may be adjusted.) |
|  | Historic Buildings | | |

FINAL ALIGNMENT OF
HIGHLAND ST. & 11TH ST.
CURRENTLY UNDER STUDY

REVITALIZATION DISTRICT BOUNDARY

the form standards

B. BUILDING ENVELOPE STANDARDS: MAIN STREET SITES

C. BUILDING ENVELOPE STANDARDS: AVENUE SITES

Height Specifications

Building Height

1. Principal building height is measured in zones.

Upper Stories Height

1. The maximum floor-to-floor story height limit for stories other than the Ground Story is 14 feet.

Special Conditions
 MAX 6 STOREYS
 MIN 3 STOREYS
 100 FT OF SIDE SETBACK OR EXISTING SINGLE FRONT YARD
 20 FT SETBACK TO REAR YARD
 10 FT SETBACK TO SIDE YARD
 10 FT SETBACK TO FRONT YARD
 10 FT SETBACK TO REAR YARD
 10 FT SETBACK TO SIDE YARD
 10 FT SETBACK TO FRONT YARD

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 MAX 6 STOREYS
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 100 FT OF SIDE SETBACK OR EXISTING SINGLE FRONT YARD
 20 FT SETBACK TO REAR YARD
 10 FT SETBACK TO SIDE YARD
 10 FT SETBACK TO FRONT YARD

Height Specifications

Building Height

1. Principal building height is measured in zones. These parameters preserve appropriate street-space and allow for greater variety in building height.
2. Each building shall be between 3 and 6 stories in height, except where otherwise noted here or in the Resource Plan.

Building Structure Height

No parking structure within the block shall exceed the new height of any building (built after 2002) within 40 feet of the parking structure.

Ground Story Height

1. The ground story floor elevation shall be between 5 inches below and 24 inches above the sidewalk elevation at the front of the building. The maximum floor-to-floor story height limit for the ground story is 14 feet.
2. The ground story shall have at least 15 foot clear (floor to ceiling) height for at least 1/3 of its area contiguous to RBL frontage.

Upper Stories Height

1. The maximum floor-to-floor story height limit for stories other than the Ground Story is 14 feet.
2. At least 80 percent of the upper stories shall each have at least 9 feet 4 inches clear (floor to ceiling) height.

Massing and Pediments

Massing and pediments greater than 2/3 of the floor area footprint shall be counted as full stories.

Street Wall Height

1. Any unbuilt alley and/or corner lot frontage shall have a street wall along it, 7 feet in height.
2. Street wall heights are measured relative to the adjacent sidewalk or to the ground elevation when not fronting a sidewalk.

Other

Where a Main Street site is within 40 feet of a Local Str, Neighbourhood Str or a single family home, the maximum height for that portion is 32 feet to the eaves of main street.

D. BUILDING ENVELOPE STANDARDS: LOCAL SITES

Height Specifications

Building Height

1. Principal building height is measured in zones.

Upper Stories Height

1. The maximum floor-to-floor story height limit for stories other than the Ground Story is 14 feet.

Height Specifications

Building Height

1. Principal building height is measured in zones.
2. Each building shall be between 2 and 3 stories in height. Additionally, an attic over shall be built. An attic or half stories any top story which achieves its minimum clear height between 8 and 12 feet behind the RBL. An attic or half story may have screen windows.

Upper Stories Height

1. All stories shall have at least 9 feet 4 inches in clear height for at least 80 percent of their area.

Massing and Pediments

Massing or pediments greater than 2/3 of the floor area footprint shall be counted as full stories.

E. BUILDING ENVELOPE STANDARDS: NEIGHBORHOOD SITES

Height Specifications

Building Height

1. Principal building height is measured in zones.

Upper Stories Height

1. The maximum floor-to-floor story height limit for stories other than the Ground Story is 14 feet.

Height Specifications

Building Height

1. Principal building height is measured in zones.
2. The building shall be no more than 3 stories in height.
3. No accessory building shall be more than 10 feet high.

Ground Floor and Second Story Height

1. The ground floor finished elevation shall be between 5 inches above the average RBL elevation.
2. The maximum floor-to-floor story height for the ground story shall be 14 feet.

Upper Stories Height

1. The maximum floor-to-floor story height limit for stories other than the Ground Story is 14 feet.
2. Each story above the second story shall be at least 8 inches in clear height, least 80 percent of its area.

Massing and Pediments

Massing or pediments greater than 2 floor area footprint shall be counted as full stories.

Siting Specifications

Street Facade

1. The street facade shall be built to not be less than 30 percent of the overall RBL.
2. That portion of a facade that is required to be built to the RBL shall be composed as a simple plane limited to no more than 30 inches in height. A simple plane within this requirement interrupted only by porches, stoops, awnings, shopfronts, and awnings.

Building Set

Buildings shall occupy only the area of the lot specified on the Resource Plan as buildable area. No part of any building (excluding overhanging eaves, awnings, stoops, and small and unroofed garden structures) shall occupy the remaining or area. The minimum open contiguous area shall comprise at least 30% of the total Business Area and cannot be located anywhere within the Business Area of the site.

Side Lot Line

The minimum side setback is 5 feet.

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Elements Specifications

Signage

1. An ornamental front yard fence (not to be chain-link or any other type of utilitarian fence), 30 to 40 inches in height, is required along the street frontage and common wall lines to at least 10 feet behind the Required Building Line (RBL).
2. A masonry wall 7 feet in height, may run the remainder of the rear and screen an area (except within the front yard area which shall have a fence as designated above).

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Use Specifications

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1. Within the primary building permitted use include those occupations as defined in the Zoning Ordinance (by right with these exceptions): maximum 2 non-residential employees within the primary structure and/or maximum 1 nonresident employee within 1 accessory structure, for each unit.
2. One English basement unit or one accessory use permitted. Conversion of primary structure (single-family units for multiple family uses is prohibited).
3. Refuse and accessory unit (maximum 600 square feet) use is permitted in the building area at the rear of the lot.

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Siting Specifications

Street Facade

1. The street facade shall be built to not less than 75 percent of the overall RBL. However, the ground story portions of the Street Facade within 7 feet of a Corner are exempt from this requirement in order to allow special corner treatments in these areas.
2. The Street facade shall be composed as a simple plane (limited to no more than 24 inches above the sidewalk elevation at the front of the building) interrupted only by porches, stoops, awnings, shopfronts, and awnings.

Building Set

Buildings shall occupy only the area of the lot specified in the siting specifications of the zones unless otherwise specified as buildable area. No part of any building (excluding overhanging eaves and RBL permitted awnings, awnings, stoops, and shopfronts shall encroach into the street beyond the RBL. No part of any building (excluding overhanging eaves, awnings, stoops, and small and unroofed garden structures) shall occupy the remaining or area. The minimum open contiguous area shall comprise at least 15% of the total Business Area and can be located anywhere within the Business Area of the site.

Side Lot Line

There is no required side lot setback unless shared with an existing single family house where an 8-foot setback is required.

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Use Specifications

Use Specifications

1. Within the primary building permitted use include those occupations as defined in the Zoning Ordinance (by right with these exceptions): maximum 2 non-residential employees within the primary structure and/or maximum 1 nonresident employee within 1 accessory structure, for each unit.
2. One English basement unit or one accessory use permitted. Conversion of primary structure (single-family units for multiple family uses is prohibited).
3. Refuse and accessory unit (maximum 600 square feet) use is permitted in the building area at the rear of the lot.

Mediterranean Village

FBC

Coral Gables, FL

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1. Administration

2. Regulating Plans

3. Building Form Standards

4. General Standards

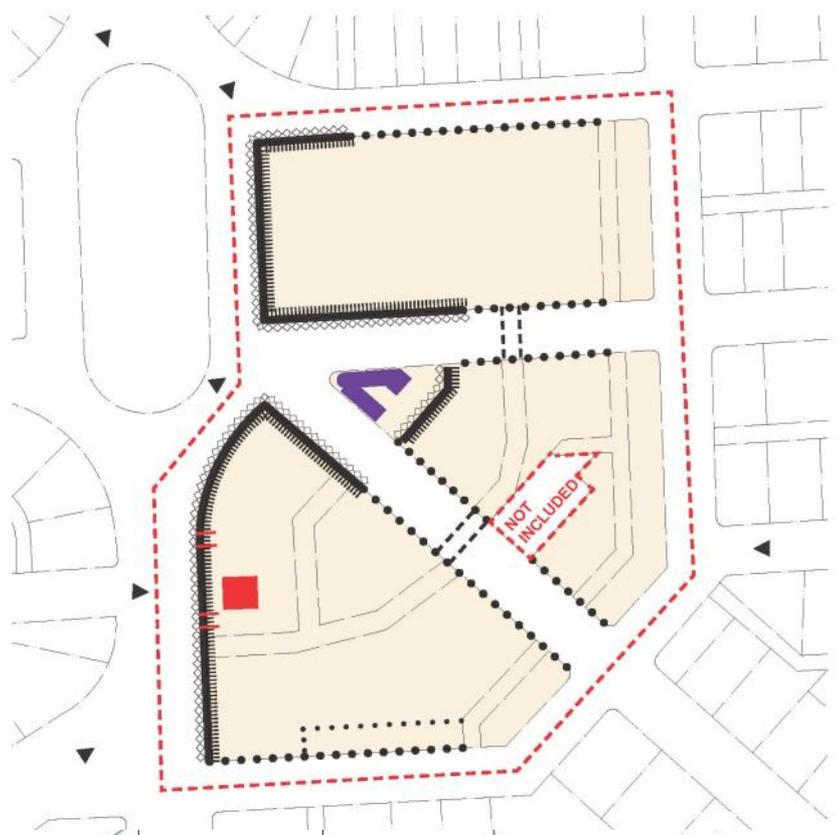
5. Architectural Standards

6. Definitions

Section 3-510-2 | Regulating Plans

SECTION 3-510-2 | REGULATING PLANS

C. Regulating Plan



LEGEND

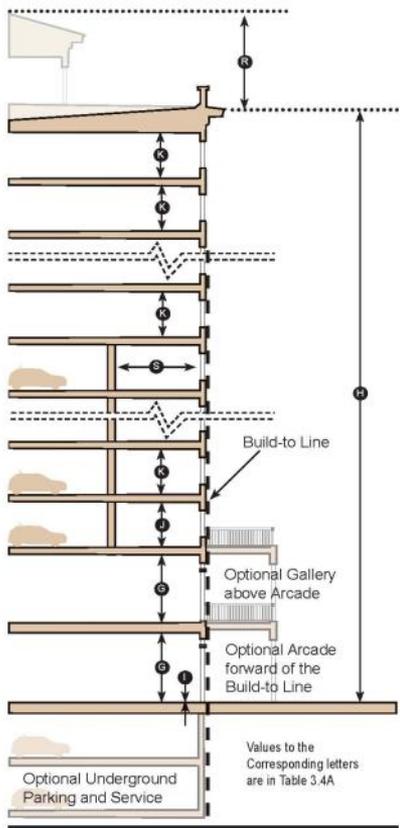
- | | | |
|-----------------------------|----------------------------|------------------------------|
| Shopfront Frontage | Pedestrian Amenities | Permitted Upper Level Bridge |
| Build-to Line | Terminated Vista | Boundary |
| Upper Level Stepback | Signature Terminated Vista | Permitted Curb Cut |
| Recommended Arcade Frontage | Historic/Civic Building | |

Section 3-510-3 | Building Form Standards

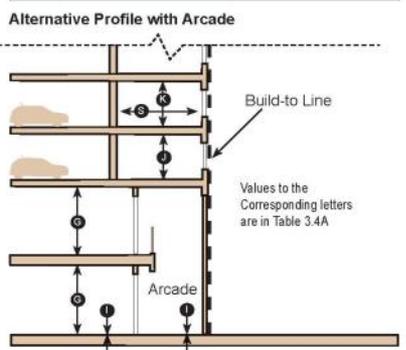
E. Signature Streets

Signature Streets are primary thoroughfares in Coral Gables with wide rights of way that can accommodate taller buildings.

1. Building Heights & Profile



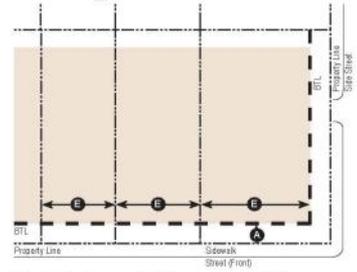
Building Heights & Profile, Table 3.4A		
Heights		
Building Height ⁽¹⁾	3 Floors min 190'-6" to eave max or as provided in the Comprehensive Plan	M
Signature Terminated Vista Bonus ⁽²⁾	2 Floors max	
Rooftop Architectural Elements⁽³⁾		
Rooftop Area	3/4 max	
Height Above Rooftop	25' max	R
Signature Terminated Vista Element ⁽⁴⁾	1/2 Building Height	
Floor Heights (floor to floor)		
Ground Floor & 2nd Floor	10' min 17' max	G
Third Floor	8' min 17' max	J
Upper Floors (above 3rd Floor)	8' min 13'6" max	K
Ground Floor above sidewalk ⁽⁴⁾	6' max	L
Profile		
Upper Level Stepback above 7th Floor	0'	
Building Separation above 7th Floor	60' min	
Building Floorplate above 7th Floor	30,000 sf max 215' length max	
Parking Placement	3rd - 7th Floor	
Parking Setback from Primary Street BTL	20' min	S
Parking Setback from Side Street BTL	20' min	



Values to the Corresponding letters are in Table 3.4A

Key
--- Build-to Line (BTL) Building

2. Building Placement



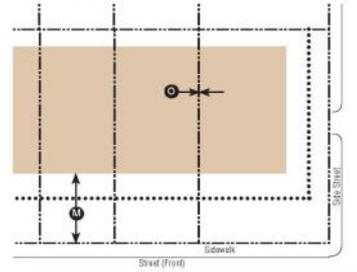
Values to the Corresponding letters are in Table 3.5A

Key
--- Property Line Building Area
--- Build-to Line (BTL)

Building Placement, Table 3.5A		
Front Build-to Line ⁽²⁾	0' min to 14' max	A
Frontage Build-out ⁽³⁾	100% ⁽³⁾	B

(2) See note 2 on page 3.3.
(3) See note 3 on page 3.3.

3. Parking Location

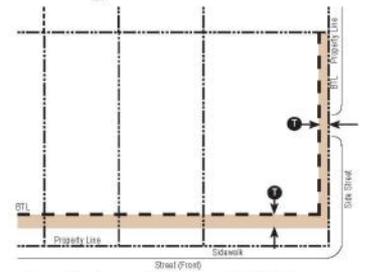


Key
--- Property Line Setback Line
--- Parking Area

Parking Location, Table 3.5B		
Front Setback	10' min.	M
Side Setback	5' min.	N

a. Parking and Service may be located underground.
b. Habitable liner space of a minimum depth of 20 feet is required along the primary frontage on all parking floors.

4. Frontage Elements



Values to the Corresponding letters are in Table 3.5C

Key
--- Property Line Encroachment Area
--- Build-to Line (BTL)

Frontage Elements, Table 3.5C		
Distance	12' max. or 2 feet behind the curb, if less	U
Allowed Frontage Elements	Shopfronts, Arcade, Balcony, Gallery, Canopy, Awning	

See Section 5, Architectural Standards for further requirements of these frontage elements.
There are no restrictions for building frontage elements entirely within private property unless otherwise stated in Section 5, Architectural Standards

5. Miscellaneous

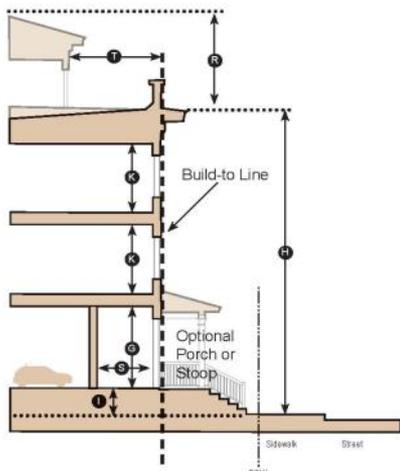
- a. All buildings must have a Primary Pedestrian Entrance along the front facade.
- b. Loading docks, overhead roll-down doors and other service entries shall not be located on street-facing facades.

Section 3-510-3 | Building Form Standards

H. Apartment & Townhouse Street

Apartment & Townhouse Streets are smaller streets that serve as a transition from higher intensity urban areas to low-intensity single-family neighborhoods.

1. Building Heights & Profile



Values to the Corresponding letters are in Table 3.14A

Key

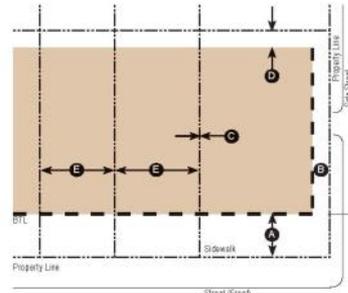
- Build-to Line (BTL)
- Building Area

Building Heights & Profile, Table 3.14A

Building Height ⁽¹⁾	1 Floor min 3 Floors max	(1)
Rooftop Architectural Elements⁽²⁾		
Rooftop Area	1/2 max	(K)
Architectural Element Stepback	10' min	(X)
Height Above Rooftop	11' max	(H)
Floor Heights (floor to floor)		
Ground Floor	10' min 13'6" max	(G)
Upper Floors	10' min 13'6" max	(U)
Ground Floor above sidewalk	18" min	(L)
Habitable Space Depth	10' min	(S)

(1) See note 1 on page 3.2.
(2) See note 3 on page 3.2.

2. Building Placement



Values to the Corresponding letters are in Table 3.14B

Key

- Property Line
- Build-to Line (BTL)
- Building Area

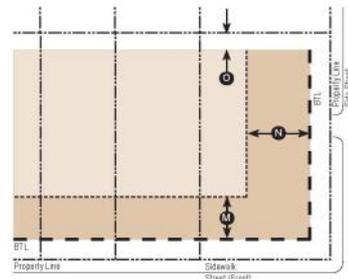
Building Placement, Table 3.14B

Front Street BTL ⁽²⁾	0' min 14" Max.	(A)
Side Street Setback	10' min	(B)
Side Setback	0' 10' min next to residential	(C)
Rear Setback	10' 0' with alley	(D)
Frontage Build-out ⁽³⁾	50%	(E)

(2) See note 2 on page 3.3.
(3) See note 3 on page 3.3.

3. Parking Location

Parking and Service may be located underground. Driveways shall be located off of alleys. See Section 4: General Standards for additional parking requirements.



Values to the Corresponding letters are in Table 3.15A

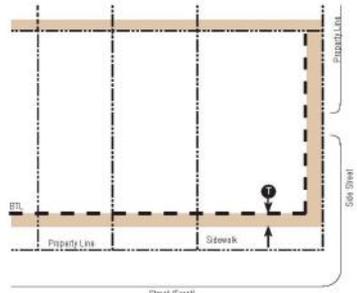
Key

- Property Line
- Build-to Line (BTL)
- Ground Floor Parking Area
- Habitable Space

Parking Location, Table 3.15A

Setback from Front Street BTL	10' min.	(M)
Setback from Side Street BTL	20' min.	(N)
Rear Setback	10' min 0' with an Alley	(O)

4. Frontage Elements



Values to the Corresponding letters are in Table 3.15B

Key

- Property Line
- Build-to Line (BTL)
- Encroachment Area

Frontage Elements, Table 3.15B

Frontage Elements may encroach forward of the build-to line, barring any additional restrictions by the public entity that has control over the public right of way.

Distance	12' max. or 2 feet behind the curb, if less	(T)
Allowed Frontage Elements	Stoop, Porch, Balcony, Canopy, Awning	

See Section 5, Architectural Standards for further requirements of these frontage elements.
There are no restrictions for building frontage elements entirely within private property unless otherwise stated in Section 5, Architectural Standards

5. Miscellaneous

- a. Where a building facade sets back or is absent from the BTL, the BTL line should be maintained and defined by fence, landscape wall or hedge 30"-54" high.
- b. All buildings shall have a Stoop or Porch along the front or side street facade.
- c. Buildings fronting a corner shall have a Stoop or Porch at the corner.
- d. Driveways, garage doors, and service areas shall be accessed from an Alley and may not be visible from the Apartment & Townhouse Street.

Section 3-510-4 | General Standards

3-510-4 General Standards

A. Intent

The General Standards apply to all buildings, irrespective of the street-type designation.

B. Building Site

1. Platting and/or replatting

Nothing contained herein shall be construed as requiring the platting and/or replatting of a development site for a PAD provided, however, that the Planning and Zoning Board and City Commission may require the platting or replatting of the development site when it determines that the platting or replatting would be in the best interest of the community.

2. Easements

The City Commission may, as a condition of PAD approval, require that suitable areas for easements be set aside, dedicated and/or improved for the installation of public utilities and purposes which include, but shall not be limited to water, gas, telephone, electric power, sewer, drainage, public access, ingress, egress, and other public purposes which may be deemed necessary by the City Commission.

3. Installation of utilities

All utilities within a PAD including but not limited to telephone, electrical systems and television cables shall be installed underground.

C. Permitted Uses

A Mediterranean Village must be mixed-use and have at least four different categories of uses, one of which must be residential. Other uses may include retail, lodging, office, entertainment, civic, and public uses. The application shall specify the permissible location of use categories by street type. Any particular use within a use category that is allowed by both the applicable land use designation and zoning district is allowed in a Mediterranean Village.

D. Density

The density requirements for multi-family dwellings and overnight accommodations shall be in accordance with the mixed-use provisions as outlined in the Zoning Code.

E. Mediterranean Bonus

A Mediterranean Village shall comply with the Non-residential use requirements of the Mediterranean Level 2 Bonus program as outlined in Section 5-604, except as modified in these Form-Based Regulations.

F. Green Building

A Mediterranean Village shall obtain LEED-ND (Leadership in Energy and Environmental Design for Neighborhood Development) Certification or equivalent nationally recognized green certification program.

H. Transit

The project shall include a Transit Improvement Plan as part of the development agreement, which will include contributions to local transit systems for the purposes of expanded hours and days of service and shorter headways.

I. Pedestrian Amenities

Where noted on the Regulating Plan in Section 2, an applicant needs to demonstrate, with a submission item called the Pedestrian Amenity Plan, all pedestrian amenities provided for the full length of the sidewalk of that required frontage. Pedestrian Amenities include, but are not limited to: shading devices such as arcades, mature shade trees, canopies, large awnings, etc.

There shall be no "gaps" between pedestrian amenities greater than 10 feet along such frontage.

The applicant may also propose covenants, including covenants in lieu of unities of title, or other mechanisms of property control that may be needed to maintain such pedestrian amenities.

J. Public Art

Public Art beyond that currently required by the Zoning Code shall be provided at focal points of the project, including but not limited to sculptures, mosaics, other forms of art in the public realm.

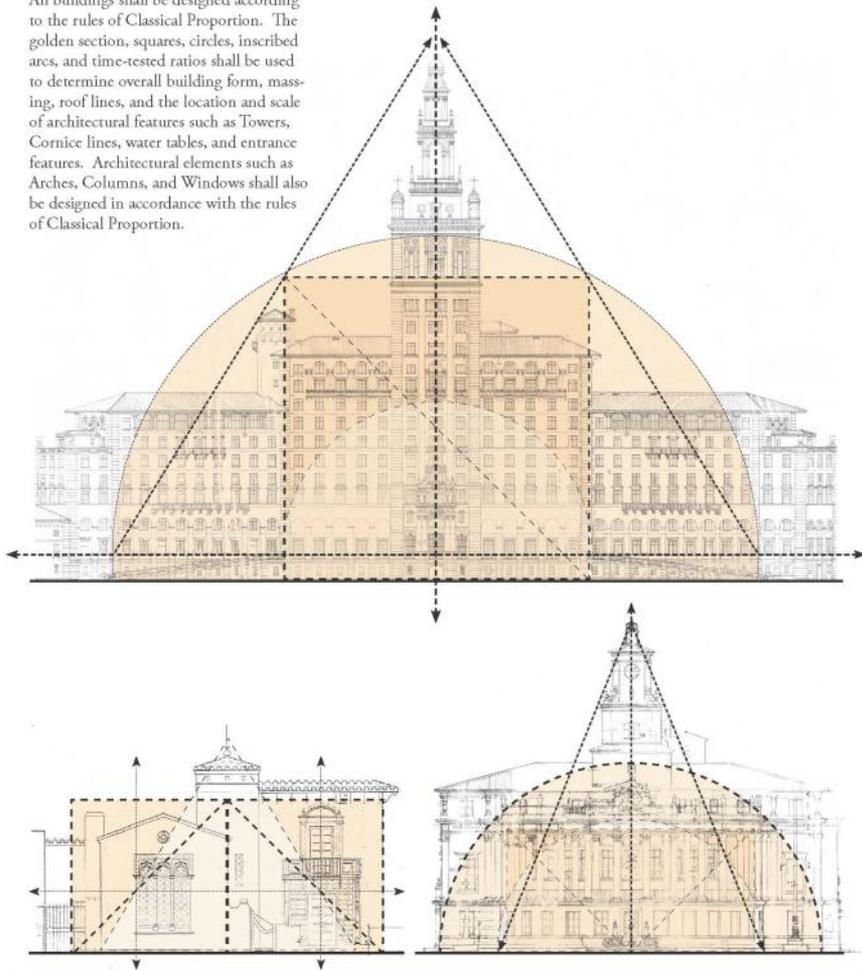
- A. Intent
- B. Building Site
- C. Permitted Uses
- D. Density
- E. Mediterranean Bonus
- F. Green Building
- G. Transit
- H. Pedestrian Amenities
- I. Public Art
- J. Parking
- K. Vehicular Access to Buildings
- L. Parking Under Public Right-of-Way
- M. Bridges and Roofs Over Public Right-of-Way
- N. Landscape
- O. Activated Rooftops

Section 3-510-5 | Architectural Standards

SECTION 3-510-5 | ARCHITECTURAL STANDARDS

1. Classical Proportion

All buildings shall be designed according to the rules of Classical Proportion. The golden section, squares, circles, inscribed arcs, and time-tested ratios shall be used to determine overall building form, massing, roof lines, and the location and scale of architectural features such as Towers, Cornice lines, water tables, and entrance features. Architectural elements such as Arches, Columns, and Windows shall also be designed in accordance with the rules of Classical Proportion.

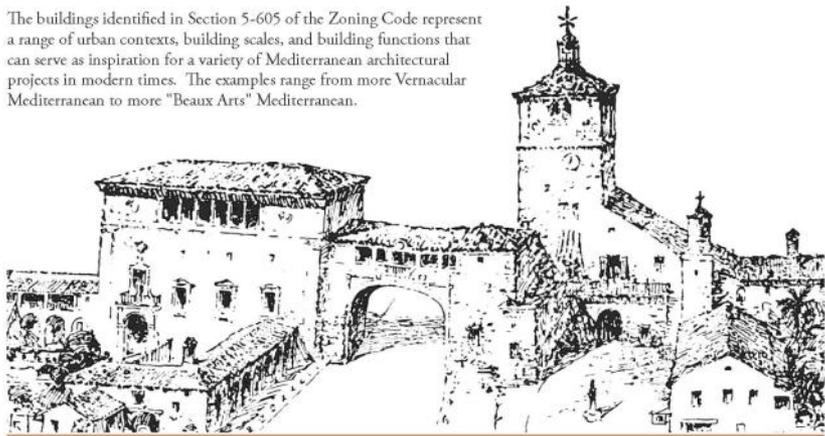


- A. Intent
- B. Mediterranean Architecture
 - Classical Proportion
 - Massing
 - Vertical Hierarchy
 - Emphasis
 - Fenestration
 - Windows and Doors
 - Garage Openings
 - Awnings, Canopies, Balconies & Cornice Lines
 - Columns and Piers
 - Arches
 - Intercolumniation
 - Arcades and Loggias
 - Roofs
 - Rooftop Architectural Elements
 - Shopfronts and Signage
 - Porches, Stoops and Garden Walls
 - Materials

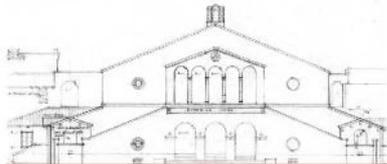
Section 3-510-5 | Architectural Standards

B. Mediterranean Architecture

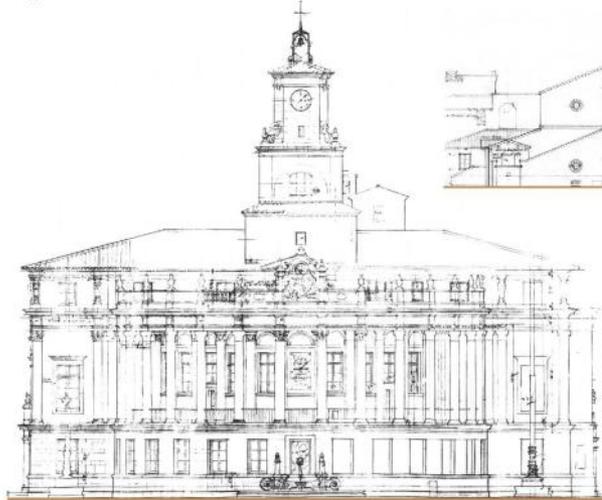
The buildings identified in Section 5-605 of the Zoning Code represent a range of urban contexts, building scales, and building functions that can serve as inspiration for a variety of Mediterranean architectural projects in modern times. The examples range from more Vernacular Mediterranean to more "Beaux Arts" Mediterranean.



Douglas Entrance



Coral Gables Elementary School



Coral Gables City Hall

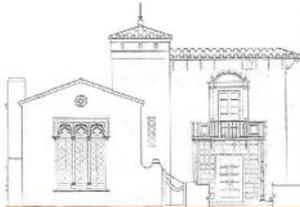
**Beaux-Arts
Mediterranean**
formal
symmetrical
ornate
civic
City scale
highest quality materials

Vernacular Mediterranean

informal
asymmetrical (but balanced)
simple
residential
domestic scale
everyday materials



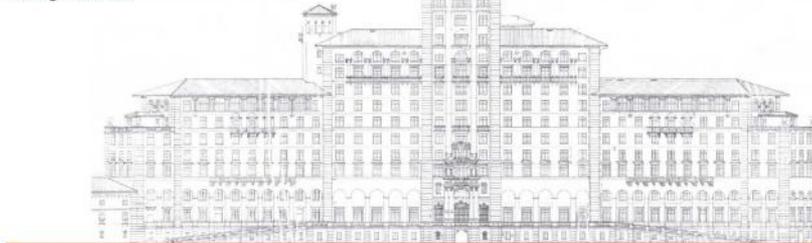
San Sebastian Apartments



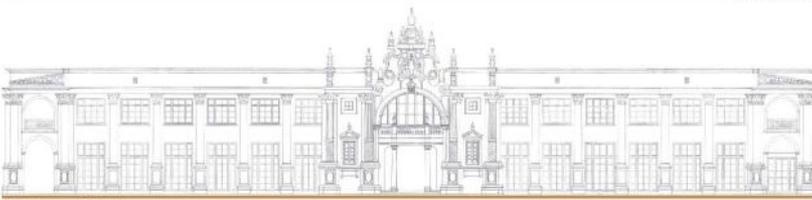
H. George Fink Offices

When applying Mediterranean design elements and architectural style to a project, the following rules shall apply:

1. Identify the urban context of the project,
2. Identify the function and significance of the project, and
3. Draw inspiration from the architectural examples that follow accordingly.



Biltmore Hotel

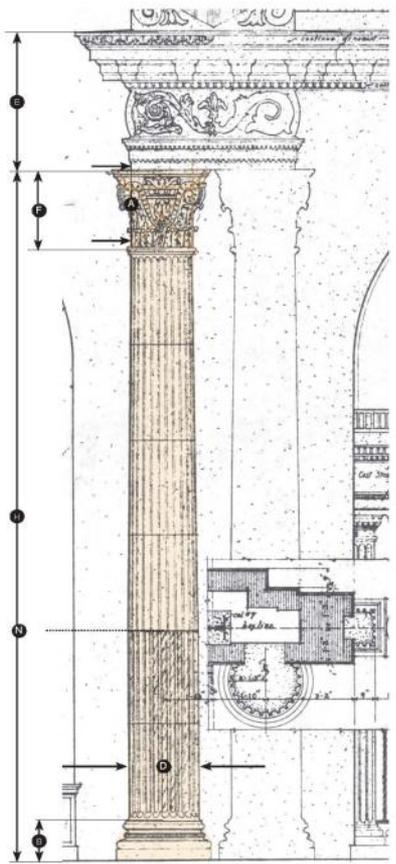
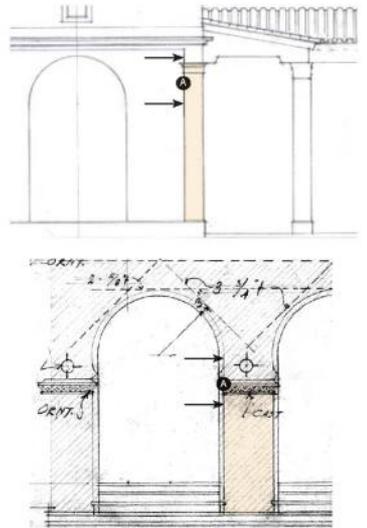


The Colonnade Building

Section 3-510-5 | Architectural Standards

9. Columns and Piers

The design of Columns and Piers shall relate to the overall design of the building, including scale, proportion, function, formality, and materials. All Columns and Piers shall be designed to appear to be load bearing according to the rules of tectonics. Columns and Piers shall have an expressed Base, Middle (Shaft), and Top (Capital). When using Columns from a Classical Order, the correct elements and proportions of that Order shall be used.



Columns and Piers, Table 5.12

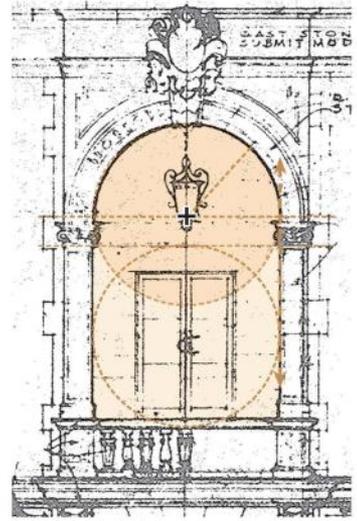
The Neck of the Column or Pier aligns with the Architrave (Outside edge of Beam or Arch). **A**

Column or Pier Diameter	Varies	D
Column Height*	10x the Column Diameter	C
Entablature Height*	2x the Column Diameter	E
Base Height*	1/2 the Column Diameter	B
Capital Height*	7/8 the Column Diameter	F
Entasis	1/3 of Column Height above Base	N

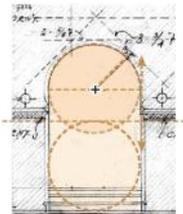
*Composite Order Rules outlined in this Table. Classical Column Orders shall meet the correct proportion of the chosen order, including the Tuscan, Doric, Ionic, Corinthian and/or Composite order.

10. Arches

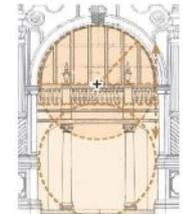
Arches shall be used sparingly to emphasize important elements on a building, such as Primary Pedestrian Entrances and Terminated Vistas that can be seen from a distance, and Civic spaces. Arches shall be designed with Classical Proportion and according to the common sense rules of tectonics. All elements of the Arch shall align with a center point and the springing of the Arch shall align with its means of support, as shown in the illustrations on this page.



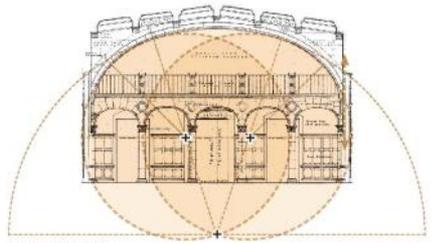
Semi-Circular Arch



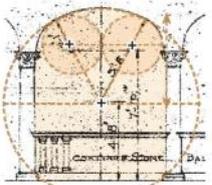
Semi-Circular Arch



Semi-Circular Arch



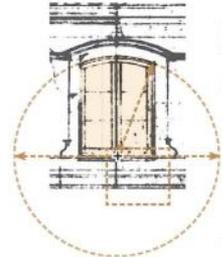
Elliptical Arch



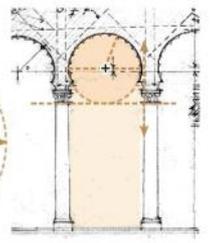
Elliptical Arch



Elliptical Arch



Segmental Arch



Horseshoe Arch

Arches, Table 5.13

Arch Center point	Elements of Arch point towards Center	+
Arch Springing	Aligns with Support Column or Pier	←→

regarding architectural composition

adapted from *Architectural Composition*,
John Beverley Robinson

Individuality and Continuity



Individuality and Continuity



over-emphasis of horizontal expression

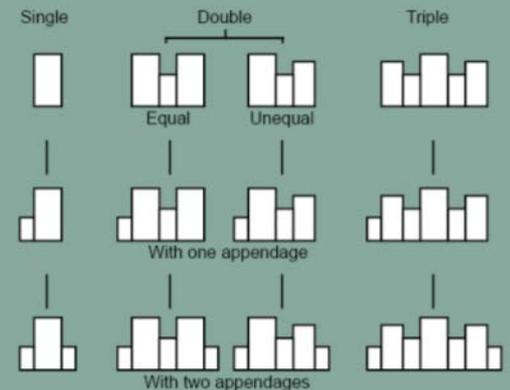
Individuality and Continuity



Hierarchy and Subordination



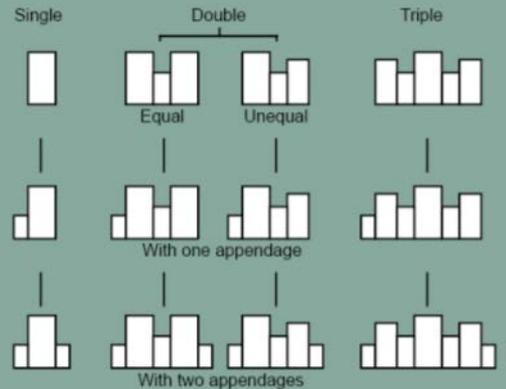
PRIMARY MASSING VARIATIONS



Hierarchy and Subordination



PRIMARY MASSING VARIATIONS

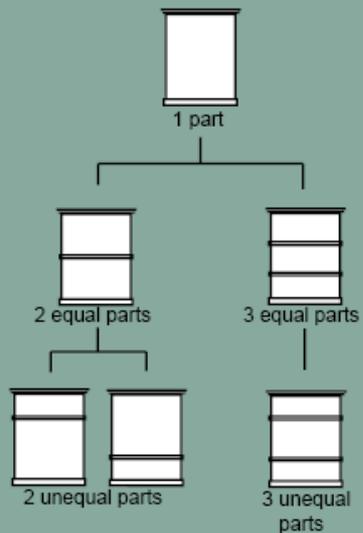


Horizontal Division



LAYERING VARIATIONS

Examples of horizontal subdivision can be grouped into one of the following categories.

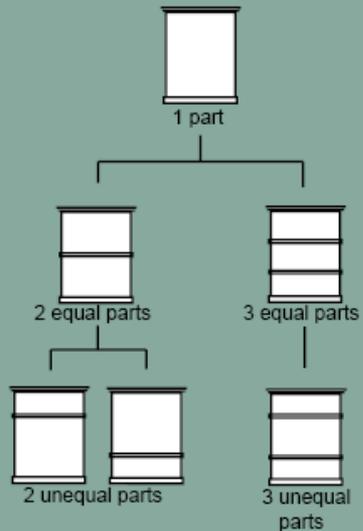


Horizontal Division



LAYERING VARIATIONS

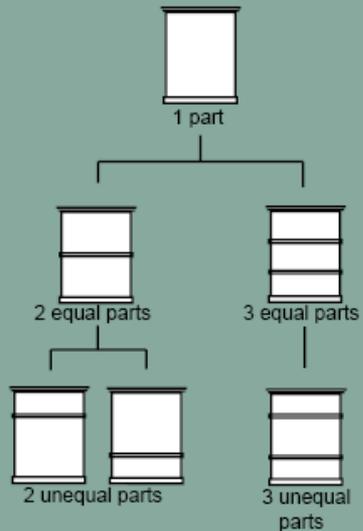
Examples of horizontal subdivision can be grouped into one of the following categories.



Horizontal Division

LAYERING VARIATIONS

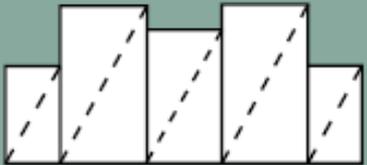
Examples of horizontal subdivision can be grouped into one of the following categories.



Proportion

SIMILAR RECTANGLES

Proportionate relations between parts.



Proportion

SIMILAR RECTANGLES

Proportionate relations between parts.



Similarity



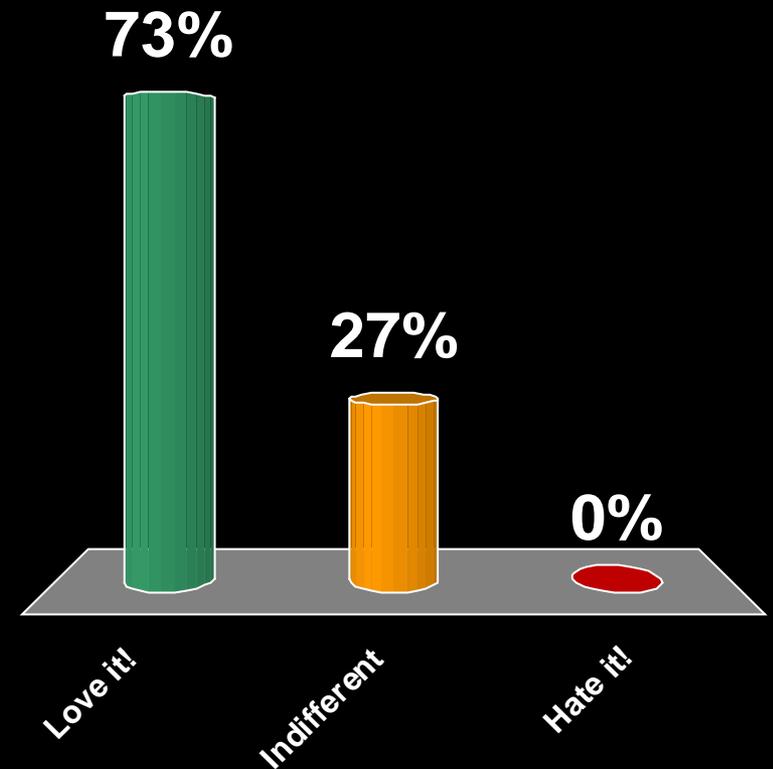
Apparent Structure



How would you rate this?



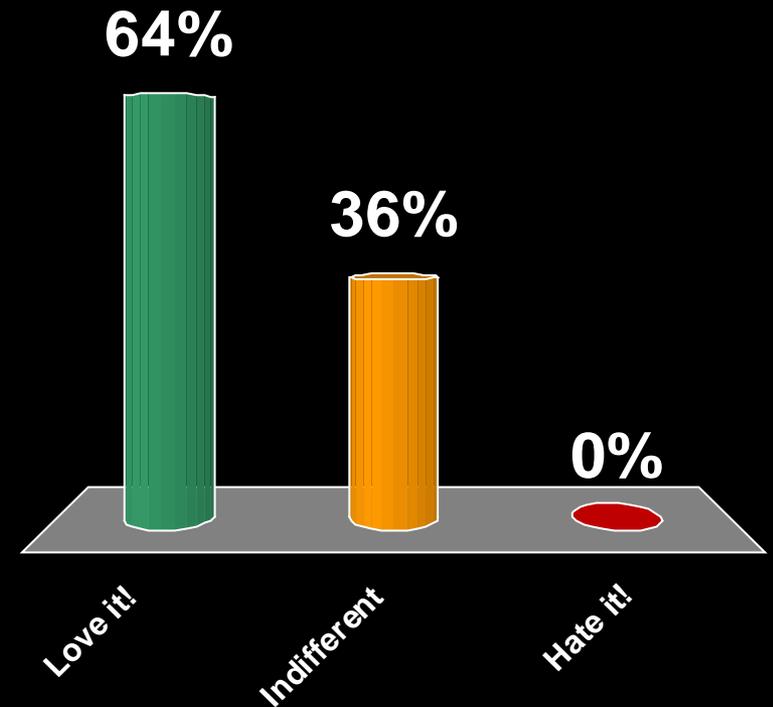
1. Love it!
2. Indifferent
3. Hate it!



How would you rate this?



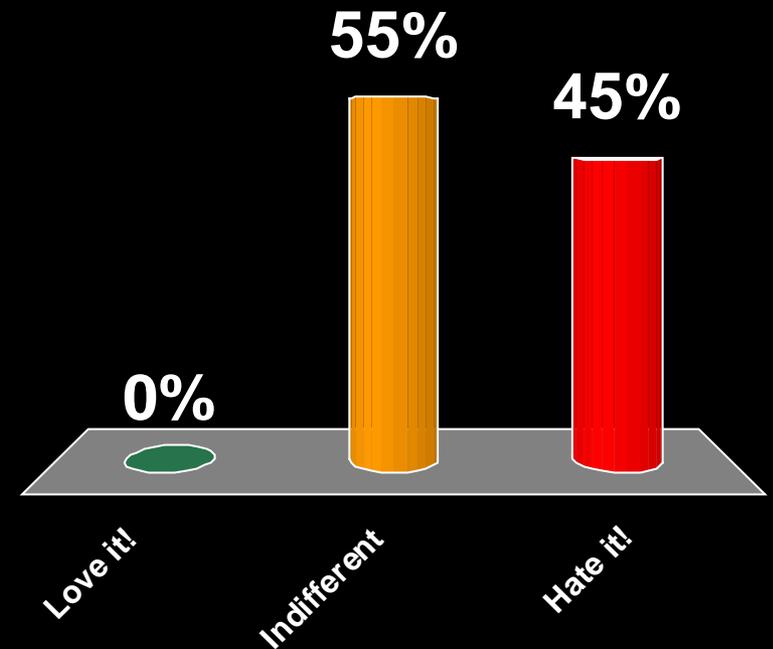
1. Love it!
2. Indifferent
3. Hate it!



How would you rate this?



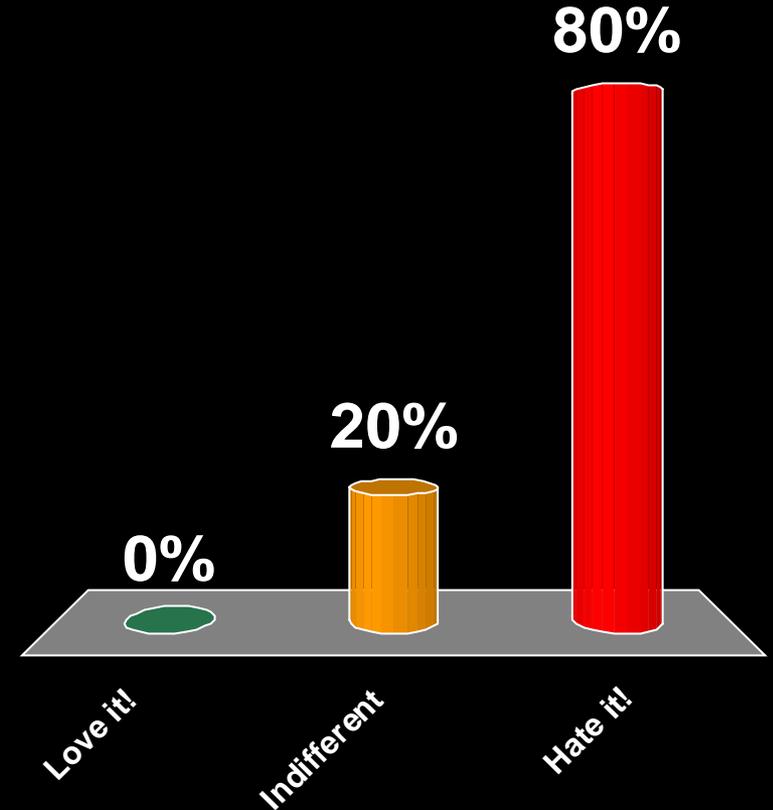
1. Love it!
2. Indifferent
3. Hate it!



How would you rate this?



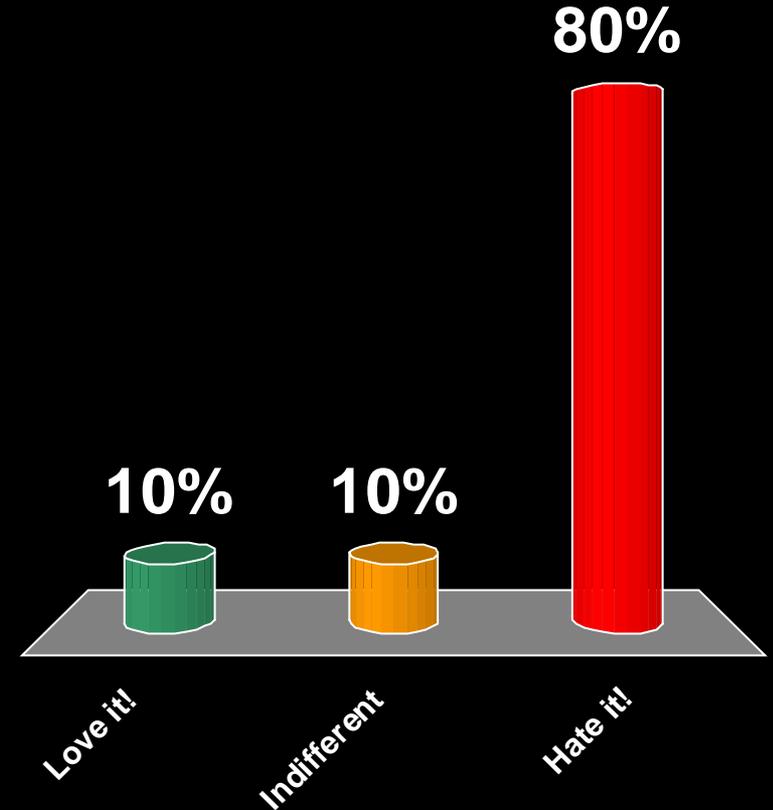
1. Love it!
2. Indifferent
3. Hate it!



How would you rate this?



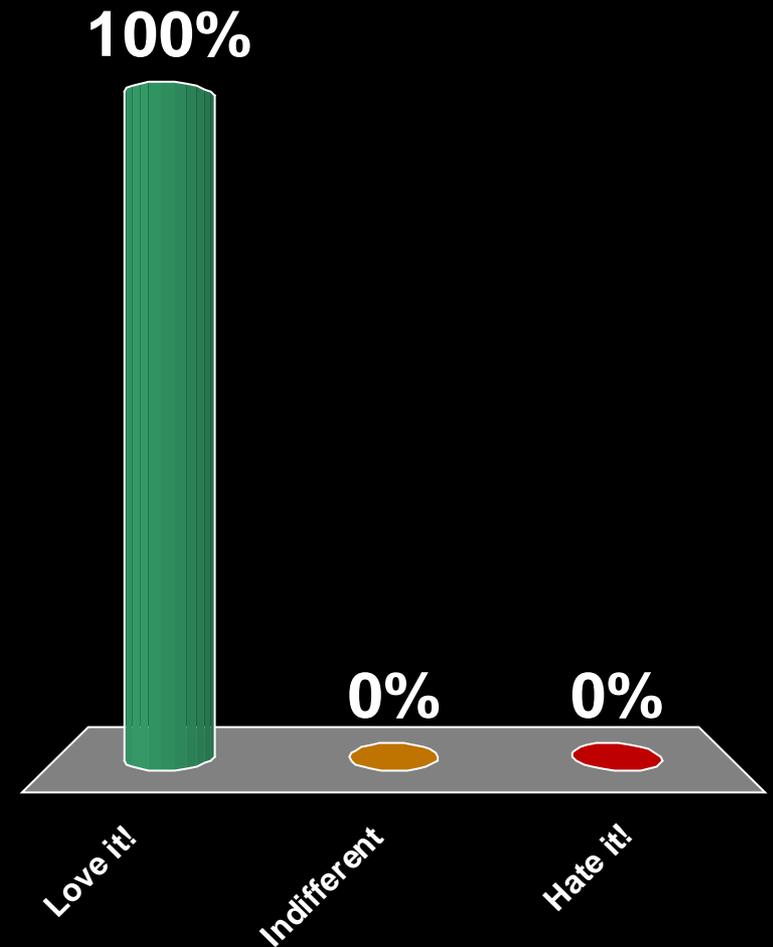
1. Love it!
2. Indifferent
3. Hate it!



How would you rate this?

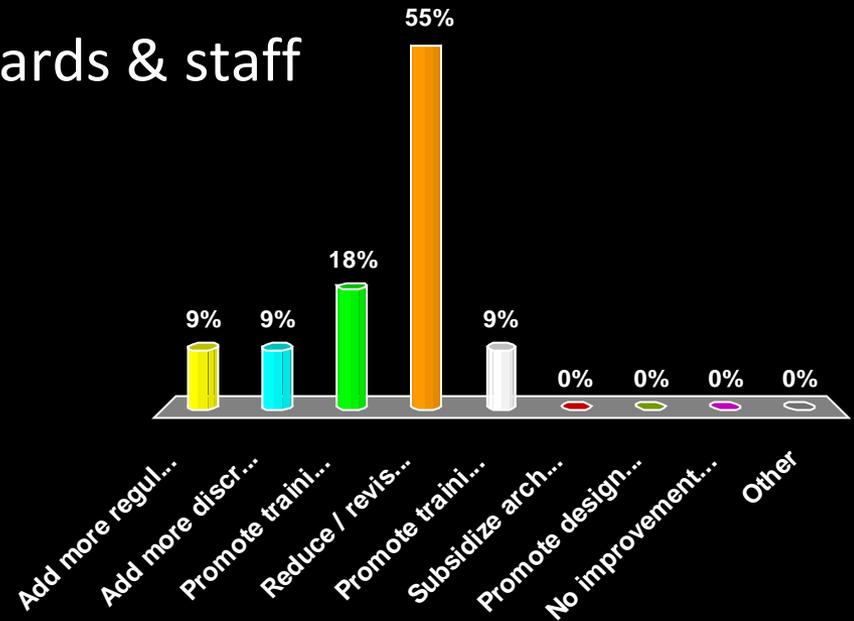


1. Love it!
2. Indifferent
3. Hate it!



What would help most to improve the quality of design in Boulder?

1. Add more regulations
2. Add more discretionary review steps
3. Promote training for architects & developers
4. Reduce / revise regulations
5. Promote training for review boards & staff
6. Subsidize architectural design
7. Promote design competitions
8. No improvement needed
9. Other



regulatory instruments

- specific plans, special area plans?
- form-based codes?
- detailed architectural standards?

procedures

- “coach”-type reviews? streamlining?
- intensified discretionary review?
- re-arrange the reviews?

culture

- training the applicants, consultants, staff?
- design-commission subsidies?
- design competitions?
- design awards programs?

